

0, 5200 Countryside Drive

Countryside Brameast Holdings LP

Application to Amend the Zoning By-law
Planning & Development Committee
September 12, 2022

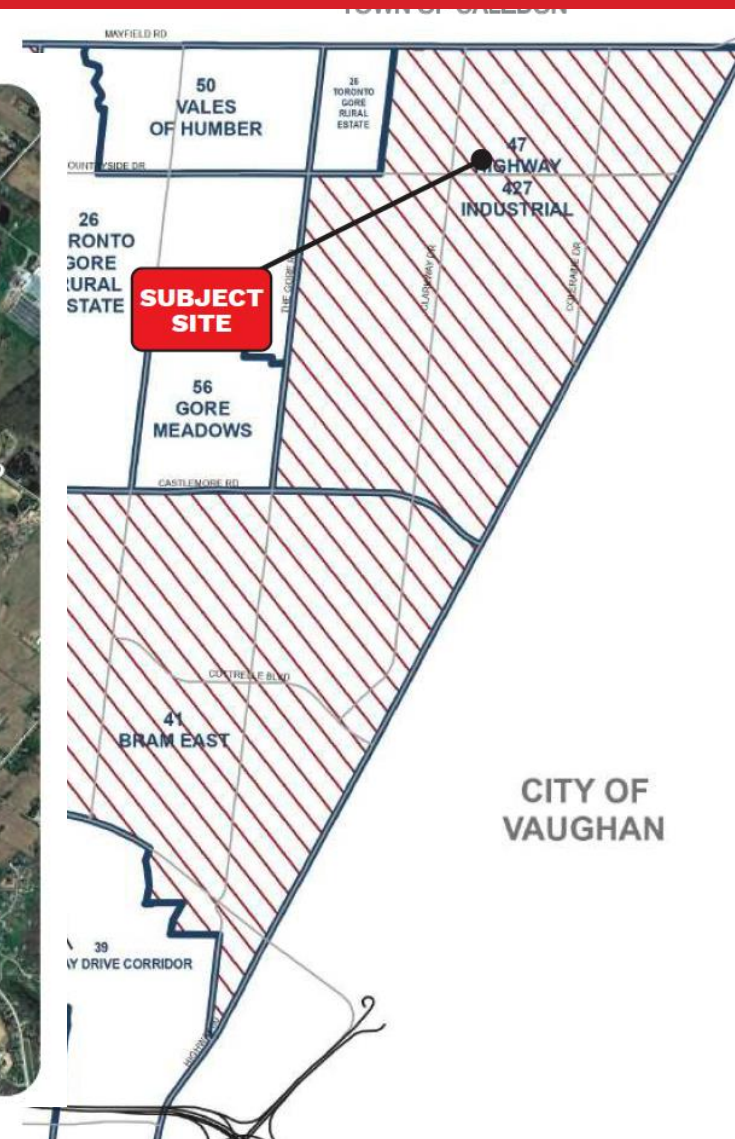
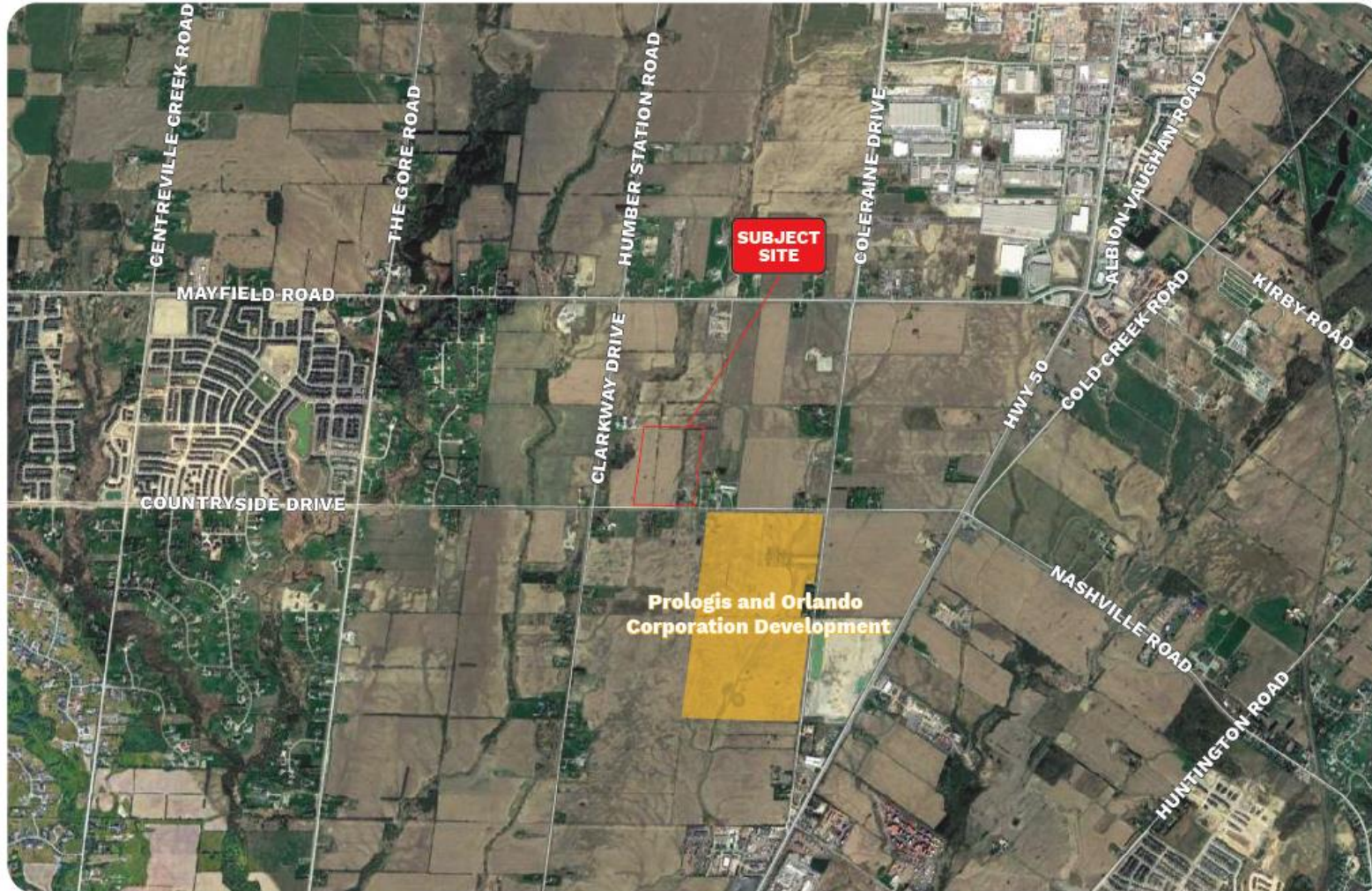


Client: Dream Industrial

Dream Industrial REIT owns, manages, and operates a global portfolio of well-located, diversified distribution, urban logistics and light industrial properties across Canada, Europe and the U.S.



Site Context



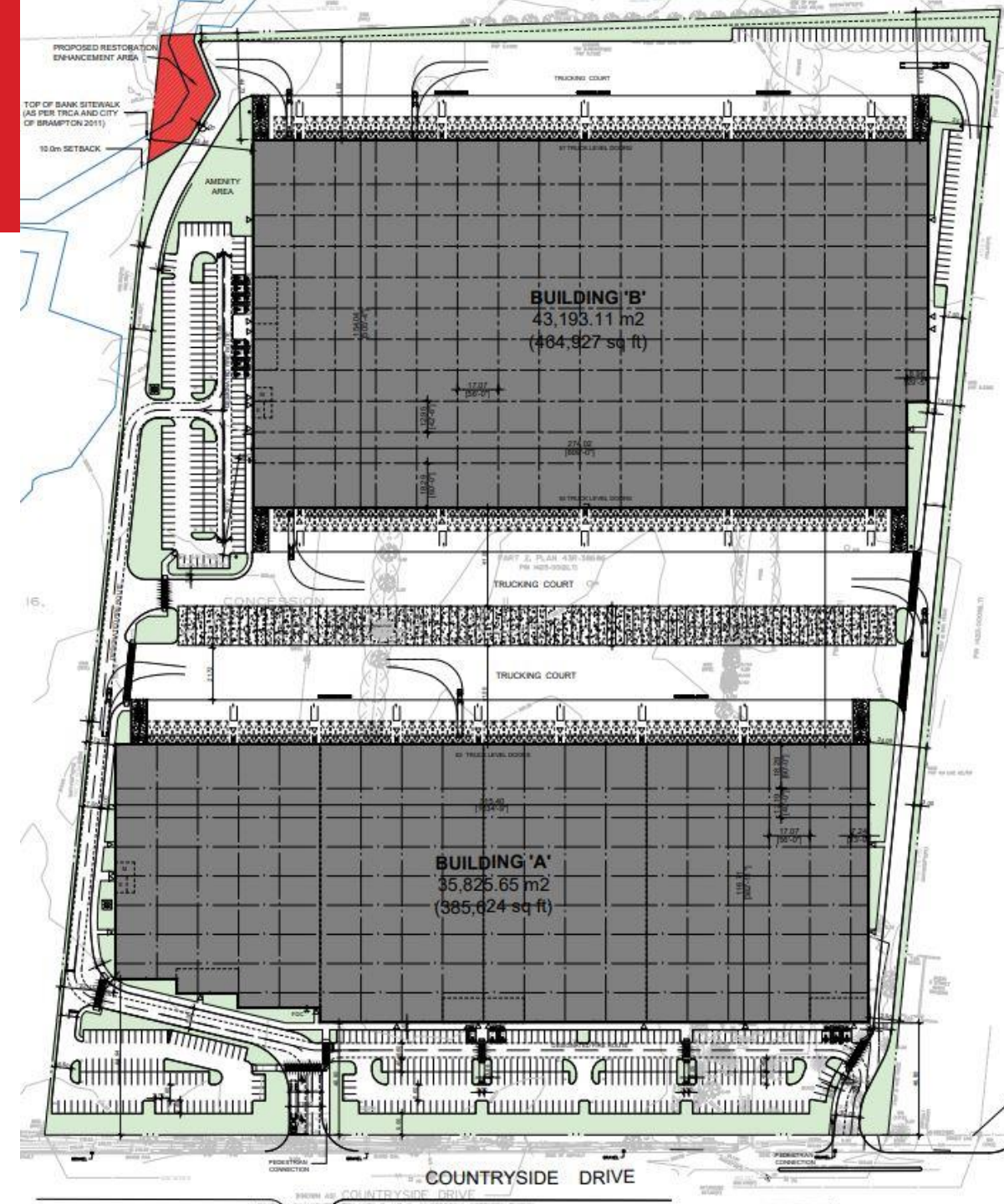
Subject Site: 0, 5200 Countryside Drive



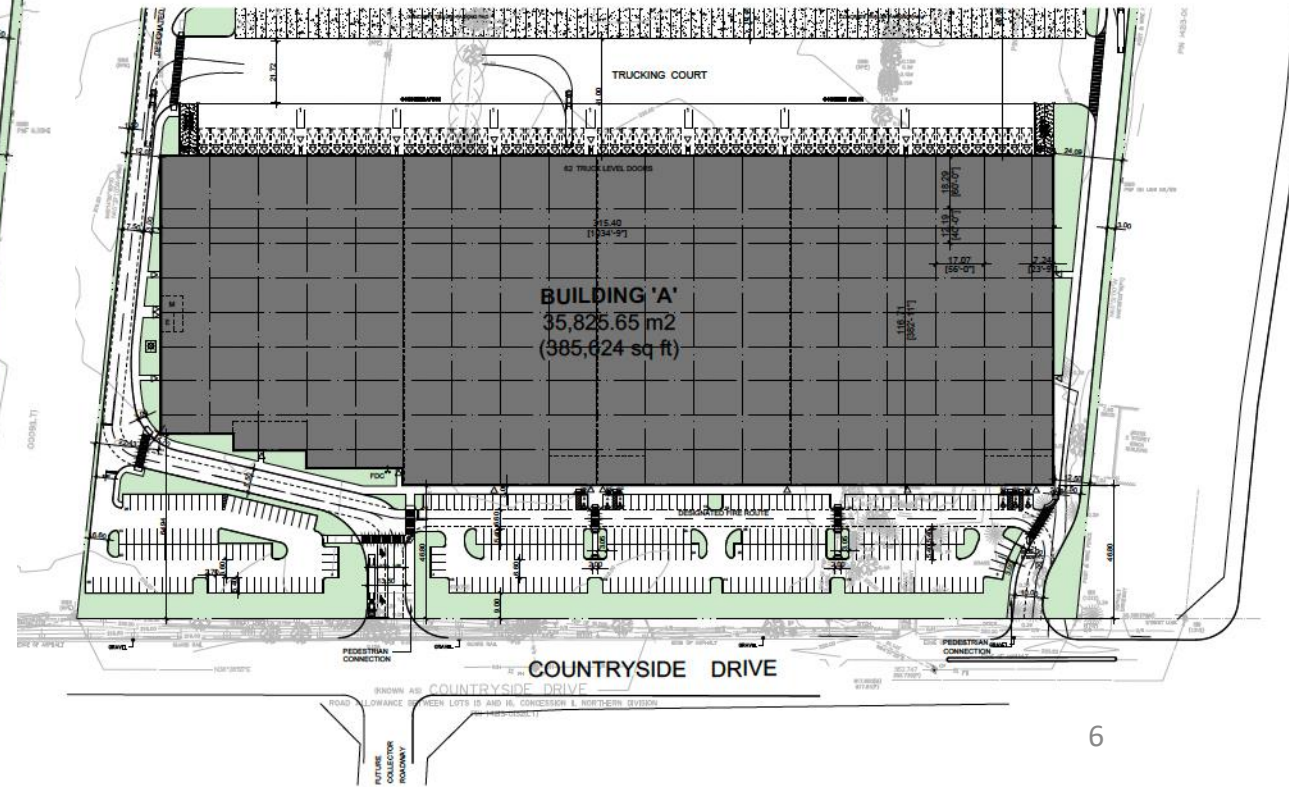
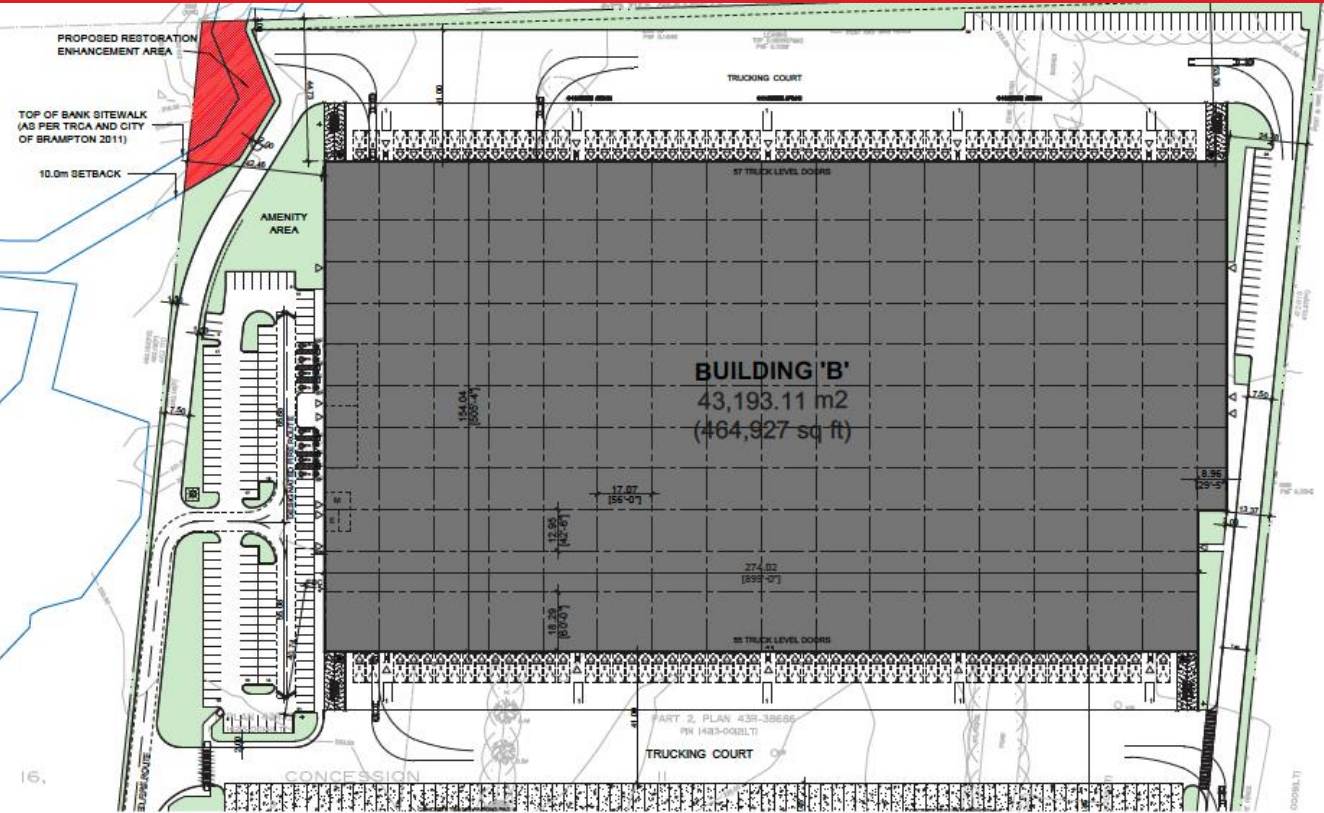
- NE Corner of Countryside Drive and Clarkway Drive
- 16.32 hectare in size
- 3 parcels with 350 m frontage and 472 metres of depth
- 2 parcels immediately west of Clarkway Drive are cultivated agricultural fields
- Remaining 1 parcel has asphalt driveway and 2-storey brick building with a 1-storey brick attachment to the rear with a wooden deck

Proposal

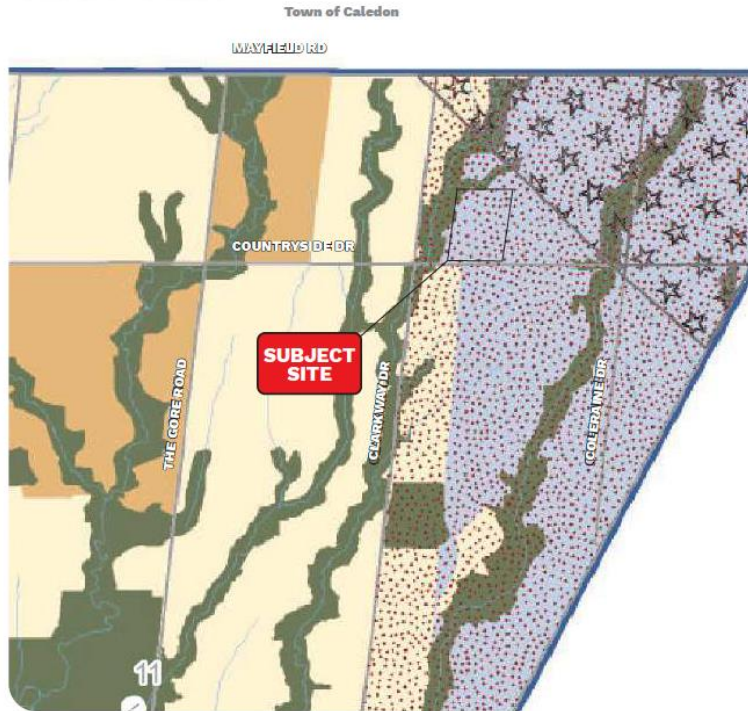
Site Area	163,306.8 square metres 16.3 hectares 40.4 acres
Building A	35,825.7 square metres
Building B	43,193.1 square metres
Total GFA	79,018.76 square metres (850,551 square feet)
FSI	0.48
Site Coverage	48.39%
Paved/Concrete Apron Area	69,530.7 square metres 42.58%
Car Parking Spaces	Total parking: 575 spaces Accessible Spaces (included within Total): 11 spaces
Landscaped Area	9.04%
Loading Spaces	174
Trailer Parking Spaces	82



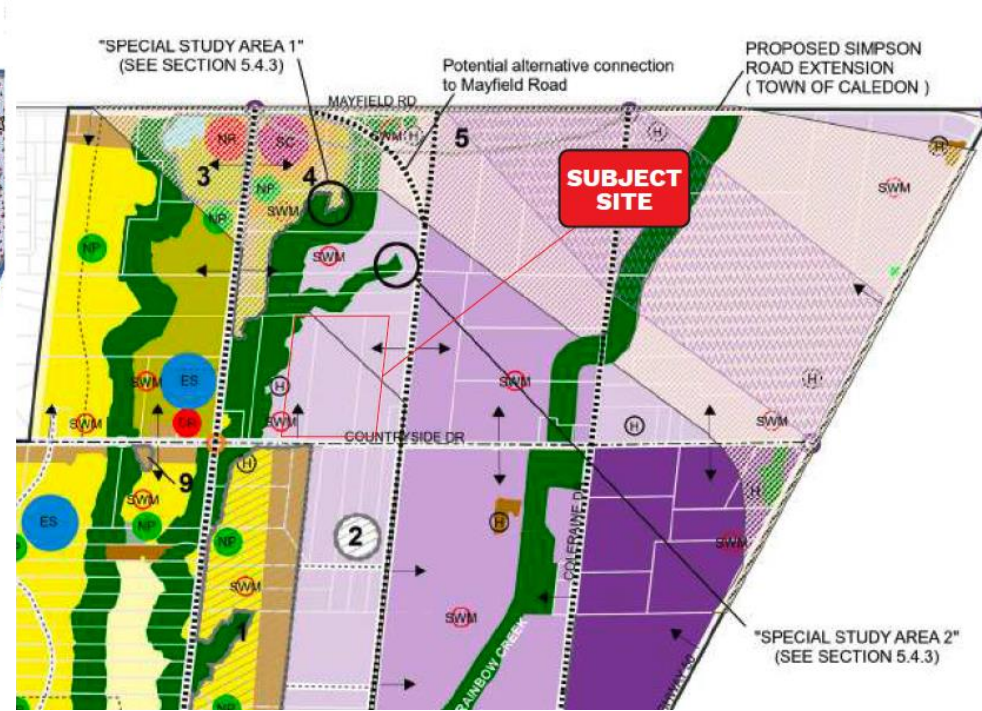
Proposal: Site Plan Close-up



Planning Framework



Official Plan

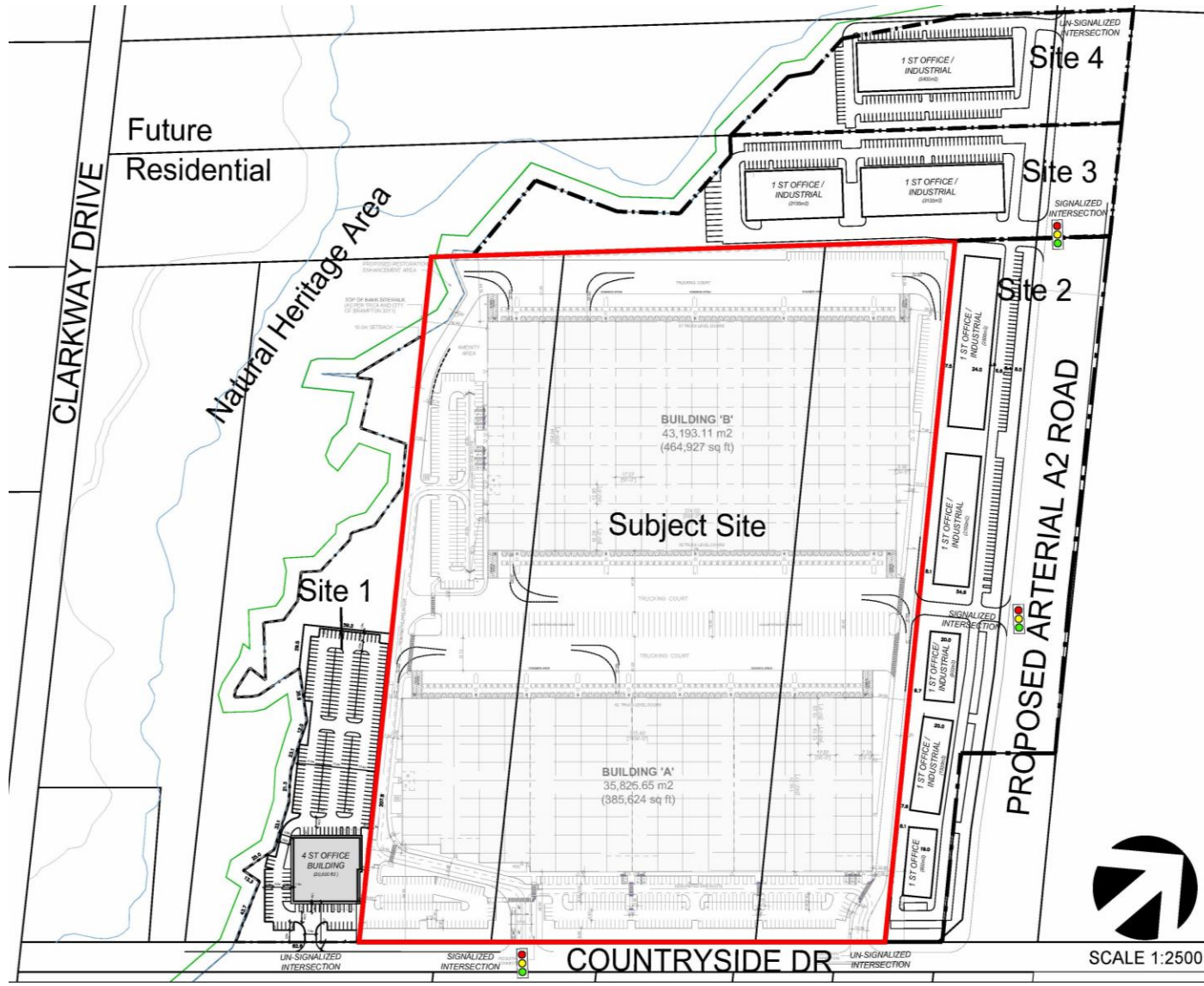


Secondary Plan



Zoning By-Law

Tertiary Plan



Legend

SITE 1 - APPROXIMATE AREA 2.1 ha
ASSUMED 4 ST - OFFICE BUILDING
1,900 m² PER FLOOR

SUBJECT SITE - AREA 16.307 ha
2 - 1 ST - WAREHOUSE BUILDINGS
WITH TOTAL OF
79,019 m² GFA

SITE 2 - AREA 4.0 ha
ASSUMED 5 - 1 ST OFFICE BUILDINGS
WITH TOTAL OF
±8,000 m² GFA

SITE 3 - APPROXIMATE AREA 2.5 ha
ASSUMED 2 - 1 ST OFFICE BUILDINGS
WITH TOTAL OF
±5,200 m² PER FLOOR

SITE 4 - APPROXIMATE AREA 1.6 ha
ASSUMED 1 ST OFFICE BUILDING
3,400 m² PER FLOOR

Subject Site

Thank you !

Questions?

We look forward to working with Brampton City Staff to address any comments or concerns.

