



Conservation Plan, Clark/McClure House, 10244 Mississauga Road, City of Brampton, Ontario

Project number: 2022-003

Report Type: Original

Report Date: Sept 2022

Proponents: Argo TFP Brampton II Limited

Address: 4900 Palladium Way, Suite 105 Burlington ON, L7M 0W7

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1. Introduction to Project

10244 Mississauga Road has been subject to a Heritage Impact Assessment (HIA) undertaken by Parslow Heritage Consultancy Inc. (PHC) (PHC 2021) and a Scoped Heritage Building Protection Plan (HBPP), also undertaken by PHC (PHC 2022). The HIA identified the 'Clark/McClure' house, located at 10244 Mississauga Road, as a candidate for heritage designation under Part IV of the Ontario Heritage Act (OHA); the HBPP outlined the work necessary to deconstruct and conserve structural materials for later reconstruction as part of the ARGO TFP Brampton II Ltd. redevelopment of the area.

Through the previous HIA and HBPP process, ARGO TFP Brampton II Ltd. and the City of Brampton have agreed to a preservation strategy whereby the Clark/McClure House will be deconstructed, and salvageable structural components stored at an offsite location, pending reconstruction as part of the ARGO TFP Brampton II Ltd. redevelopment of the area.

The understanding between the City of Brampton and ARGO TFP Brampton II Ltd. is that the exterior of the Clark/McClure House will be restored to its as-built configuration and the interior reconfigured in a way that is complementary to the heritage of the structure. It is understood the Clark/McClure House will also be subject to a rear addition in keeping with the antiquity of the structure and continue as a single-family residential structure.

In June of 2022, the Clark/McClure House was systematically deconstructed, placed on pallets and transported to a storage facility located at 9726 Heritage Road, Brampton, Ontario. The salvageable structural components of the Clark/McClure House will remain in the storage facility until such time as it is appropriate to undertake its reconstruction.

Sedgwick Marshall Heritage Homes Ltd. was retained by ARGO TFP Brampton II Ltd. to undertake the disassembly and to develop the restoration and reconstruction plans. As part of the disassembly process, Sedgwick Marshall Heritage Homes Ltd. created architectural/measured drawing of all elevations of the Clark/McClure House, so the exterior of the structure can be faithfully reproduced to its as-built configuration.

2. Description of Clark/McClure House

The Clark/McClure House is a one-and-a-half storey, red brick residential structure constructed in the Gothic Revival architectural style. The house is a fine example of the Gothic Revival style, presenting a five-bay façade with center gable. The house is originally of double brick construction, primarily of red brick, utilizing buff brick quoin accents at corners and at structural openings. The structure also displays dichromatic details at the lower edge of the eaves and around the lancet window in the center dormer.

The structure is well proportioned and as such is visually pleasing. The Clark/McClure House has been subject to modifications since construction, but retains its overall charm through the retention of drop pendent, louvered lancet center gable window, and returned eaves. The disassembly process by Sedgwick Marshall Heritage Homes Ltd. revealed that the front veranda was not original to the structure and was concealing the original rectangular transom located at the front door.



Image 1: Front façade of Clark/McClure House as seen at 10244 Mississauga Road

3. Preliminary Recommendations for Adaptive Reuse

The Clark/McClure House is to be reconstructed as a single-family residential structure as part of the ARGO TFP Brampton II Ltd. redevelopment. As per the understanding between the City of Brampton and ARGO TFP Brampton II Ltd., as outlined in the HBPP, the exterior of the Clark/McClure House will be restored to its as-built configuration and the interior reconfigured in a way that is complementary to the heritage of the structure. An addition will be added to the rear of the Clark/McClure House; the addition will be in keeping with the antiquity of the structure and once complete the restored Clark/McClure House will continue to serve as a single-family residential structure.

Detailed construction plans and 3D renderings of the reconstruction and augmentation of Clark/McClure have been prepared by Sedgwick Marshall Heritage Homes Ltd. (Appendix B)



Image 2: 3D rendering of the restored Clark/McClure House with modern rear addition

4. Current Condition

The Clark/McClure House is currently disassembled and subject to long term storage. The structure was disassembled in June/July 2022. The following items are in storage at 9726 Heritage Road, Brampton, Ontario:

- ▶ 31 pallets of brick
 - ▶ 27 pallets red brick (7000 bricks),
 - ▶ 4 pallets blond brick (1000 bricks)
- ▶ 7 pallets of foundation stone, to be cut and used as cladding on new concrete foundation
- ▶ 1 pallet containing the center dormer, bricks are numbered for reconstruction
- ▶ Front door assembly including side lights and transom
- ▶ 1 bag original mortar
- ▶ Collection of framing materials for use as interior accent pieces
- ▶ Center dormer shutter
- ▶ Center dormer drop pendent

The disassembly of the Clark/McClure House was overseen by Sedgwick Marshall Heritage Homes Ltd. The process was photo-documented and architectural rendering were created to facilitate reconstitution. Large format hard copy photographs were provided to City of Brampton Heritage Staff and are provided digitally as part of this report (Appendix F). As-built construction rendering are attached to this report (Appendix D)

Documentation of current storage are provided in Appendix G. Storage images taken by Chris Lemon during site visit on August 15, 2022.

5. Protection Measures

The Clark/McClure House has been disassembled and transferred to a long term storage facility at 9726 Heritage Road, Brampton.

The following materials pertaining to the Clark/McClure House are in long term storage:

- ▶ 31 pallets of brick, separated between red and blond
 - ▶ 27 pallets red brick (7000 bricks),
 - ▶ 4 pallets blond brick (1000 bricks)
- ▶ 7 pallets of foundation Stone (to be used to skin new foundation)
- ▶ 1 pallet containing numbered center arch
- ▶ 1 complete front entrance assembly containing side lights and transom
- ▶ 1 bag original mortar
- ▶ Collection of framing materials for use as interior accent pieces
- ▶ Center dormer shutter
- ▶ Center dormer drop pendent

5.1 Documentation

Prior to disassembly, detailed building plans were created, and high-resolution photographs taken. Plans are of an architectural standard whereby reconstruction can be carried out to a level that will provide an accurate representation of the Clark/McClure House.

Sedgwick Marshall Heritage Homes Ltd. compiled a photographic record of the disassembly and storage of the Clark/McClure House and have provided high-resolution large format hard copies to City of Brampton Heritage Staff. Digital copies of these images are provided in Appendix F.

5.2 Storage

Storage of all elements will be undertaken in a way that ensures their longevity and preservation. All materials pertaining to Clark/McClure House will be maintained in an indoor storage facility that will protect the materials from the elements and provide adequate airflow to ensure stability of the components. Long-term storage will:

- ▶ Ensure all salvaged materials remain dry at all times
- ▶ Provide access for inspection of materials to be completed every 6 months
- ▶ Be insured to the satisfaction of the City of Brampton

Salvaged components of the Clark/McClure House are currently being stored at an ARGO-owned storage facility located at 9726 Heritage Road, Brampton Ontario. Sedgwick Marshall Heritage Homes Ltd. placed the salvaged components in the storage facility, where they will remain until reconstruction is undertaken. The Clark/McClure House components will be subject to inspection by Sedgwick Marshall Heritage Homes Ltd. every six months until Clark/McClure House is reconstructed. Inspections will occur each July and December and Sedgwick Marshall Heritage

Homes Ltd. will provide confirmation of inspections in written format as well as provide digital photographs to the City of Brampton's Director of City Planning and Design, Heritage Staff and the ARGO TFP Brampton II Ltd. development team c/o Mitch Taleski.

5.3 Financial Securities

ARGO TFP Brampton II Ltd. will provide the City of Brampton with financial securities in the amount of \$500,000.00 Canadian Dollars plus a 30% contingency for a total of \$650 000.00 Canadian Dollars. Financial securities will be held in trust by the City of Brampton and released as restoration benchmarks are reached, as per section 5.3.1.

5.3.1 Financial Securities Installment Release Benchmarks

- ▶ Completion and approval of foundation and footings (10% release) (\$50,000.00)
- ▶ Erection and approval of framing (15% release) (75,000.00)
- ▶ Erection and approval of external masonry (25% release) (\$125,000.00)
- ▶ Structure rendered watertight (20% release) (100,000.00)
- ▶ Installation and approval of HVAC and Electrical System (15% release) (75,000.00)
- ▶ Construction of front veranda and installation of restored drop pendent and lancet louver (15% release) (\$75,000.00)
- ▶ Interior finished to new programing and approval of heritage designation (residual release) (\$150,000.00)

5.4 Insurance Requirements

ARGO TFP Brampton II Ltd. will at all times keep the storage facility housing the salvaged remains of the Clark/McClure House insured against normal perils that are coverable by a fire and extended coverage insurance policy.

6. Reconstruction, Restoration and Replication Measures

The Clark/McClure House will be reconstructed on Lot 99 of the proposed redevelopment, as outlined on the Draft Plan of Subdivision, Mt Pleasant Heights, ARGO TFP Brampton Ltd. and ARGO TFP Brampton II Ltd. (Appendix C). Lot 99 is located on the north side of Lagerfeld Drive and is adjacent to the Trans Canada Pipeline (TCPL) easement and across from Coolhurst Park. The Clark/McClure House will be reconstructed on this lot as a single-family residence.

The exterior of Clark/McClure House will be restored to reflect its historic 'as-built' configuration, as documented by Sedgwick Marshall Heritage Homes Ltd. during the disassembly process. The reconstruction will include the following:

- ▶ The front façade including front veranda*
- ▶ 100% of the north wall
- ▶ 100% of south wall
- ▶ Full gable roof
- ▶ Original center gable drop pendent
- ▶ Original center dormer lancet shutter
- ▶ Original front entrance assembly

*Deconstruction process revealed front veranda to be later addition, reconstruction will include a temporally correct veranda designed to showcase original front entrance transom and window voussoirs.

The objective of the reconstruction is to retain the exterior of the Clark/McClure House. Retention of the interior is not the intention of the reconstruction; the interior will be subject to adaptive reuse with internal finishes being complementary to the antiquity of the structure. As per the HIA (Parslow 2021), the final form of the reconstruction will aim to:

- ▶ Promote community engagement and enjoyment of the structure
- ▶ Where possible maintain the visual connection with Mississauga Road
- ▶ Retain the exterior configuration of the structure including front veranda
- ▶ Ensure alterations and augmentations are sympathetic to and distinguishable from the original fabric of the structure
- ▶ Reflect the as-built setback of the structure
- ▶ Provide interior finishes that are in keeping with the antiquity of the structure, but not aim to restore the current interior configuration

Following completion of the reconstruction of Clark/McClure House the structure will be designated under Part IV of the Ontario Heritage Act.

To achieve the objectives of the restoration of the Clark/McClure House and achieve a higher level of cultural heritage value or interest, the following restoration measures will be undertaken:

- ▶ Original salvaged materials will be used (red and blonde brick, drop pendent, lancet louver)
 - ▶ Any shortfalls in brick materials should be replaced in kind to match colouring and materials (utilizing artificial colouring, as necessary)

- ▶ Original brick will not be altered and will be utilized in existing condition (stained and weathered)
 - ▶ Full bricks will not be cut, partial bricks for 'jackhearts' and other structural details were salvaged and retained and are stored in center of pallets
- ▶ Exterior will duplicate the historic 'as-built' configuration of Clark/McClure House
- ▶ Original mortar composition will be duplicated
 - ▶ Bag of original mortar is stored with bricks for testing
 - ▶ Lime-based mortar must be used during reconstruction
- ▶ Original wooden lug sills may be replaced with cut stone lug sills
- ▶ Original front entrance assembly will be restored and re-installed
- ▶ Period correct front entrance door to be installed (wood is preferable but period correct door of modern construction may be considered)
- ▶ Original center dormer lancet shutter and drop pendent will be restored and reinstalled
- ▶ Two additional rows of brick will be added to the structure in order to facilitate the use of 'Cathedral Trusses' and facilitate a seamless transition into modern rear addition.
- ▶ Stylistically correct divided light wood sash windows to be installed in original portion of Clark/ McClure House. Wood windows to be of a quality on par with or superior to the heritage series available from Klobe Windows and Doors (Klobewindows.com)
- ▶ Facia, Soffit and associated trim finishes on original portion of Clark/McClure house to be of wood construction and replicate original late 19th-century construction and materials. Modern materials (aluminum/vinyl etc.) should not be used on original portion of structure*. Modern materials that compliment original finishes may be used on new addition.
 - *Facia where eavestrough will be attached to original structure to be wrapped in aluminum to prevent water egress. Facia on Gable ends to be of wood as stated above.
- ▶ Exterior colouring should employ the use of heritage palettes from known paint brands (for example, Benjamin Moore or Sherwin-Williams)
- ▶ Reconstruction and restoration of the Clark/McClure House must duplicate the as built exterior finishes of the structure, soffit, facia, frieze, cornice returns, divided light wood sash windows.
- ▶ Front porch must be stylistically compatible with the antiquity of the Clark/McClure House and be constructed using accepted late 19th -century construction techniques and materials.

All work pertaining to the Clark/McClure House should adhere to the General Standards for Preservation, Rehabilitation and Restoration as outlined the Standards and Guidelines for the Conservation of Historic Places in Canada, Second Addition (Parks Canada 2010).

Detailed construction plans and 3D renderings of the reconstruction and augmentation of Clark/McClure have been prepared by Sedgwick Marshall Heritage Homes Ltd. and are provided in Appendix B. Exterior finishes of the proposed addition will be as outlined on the plans and 3D renderings provided in Appendix B. Exterior finishes will be coloured based on accepted heritage palettes from known paint brands as outlined in Section 6.

7. Long Term Maintenance and Preservation

The Clark/McClure House will be a truthful reproduction of the original and as such will utilize traditional construction techniques and period finishes. All exterior wood surfaces, including but not limited to fascia, soffit, trim, windows, and exterior doors on the original Clarke/McClure House, may require annual maintenance to maximize their longevity and to ensure the continued preservation of the heritage resource.

To achieve the objective of long-term preservation of the Clark/McClure House the following maintenance requirements must be followed:

- a. The Owner shall maintain the Clark/McClure house in as good and as sound a state of repair as prudent owner would normally do and as required by the City of Brampton's Property Standards By-Law (By-Law 165-2022), as may be amended or replaced, and in accordance with the HCP with a view to preventing the deterioration of the heritage attributes of Clark/McClure House, including all reasonable measures to secure and protect the Clark/McClure house from vandalism, fire and other insurable damage.

To aid in the long-term preservation and maintenance of Clark/McClure House the following suggestions of best practices are requested to be completed by the current owner and by all subsequent owners of Clark/McClure House:

- ▶ All exterior wood finishes should be inspected annually for signs of paint failure and or water damage. Any paint failure should be repaired in a timely manner upon discovery.
- ▶ Brick and associated mortar joints should be visually inspected every five years for signs of degradation and or damage. Any identified points of failure should be repaired upon discovery. Repair of brick and or mortar joints must be undertaken by a qualified heritage mason and replaced with period correct materials. It is particularly important that all mortar repairs utilize a traditional lime-based mortar and that modern cement-based mortars not be used. All mortar and brick repairs to be undertaken by a qualified heritage mason as approved by City Heritage Staff.
- ▶ A hard copy of the Heritage Designation By-Law, Heritage Building Protection Plan, Heritage Conservation Plan and Cultural Heritage Impact Assessment pertaining to the Clark/McClure House be maintained by the Property Owner and should remain with the house during any transfer of ownership. This Documentation binder would be updated if and when repairs or maintenance are undertaken on the structure. Documentation could include but is not limited to work orders, bills of sale, photo documentation. Though not required, this document should be viewed and utilized as a way to archive the life of the Clark/McClure house. This document should not be used as a legally binding document, but viewed and utilised as a journal and or keep sake to document the continued history of Clark/McClure house
- ▶ Any alterations to the structure that would alter it from its truthful reproduction of original must be done so through appropriate City permitting and review.
- ▶ Prior to any inspections, City Staff must notify and make contact with the owner before entering the property, as is standard practice at the City of Brampton.

8. Heritage Conservation Checklist Do's and Don't's

DO:

1. Add two rows of brick to upper course to accommodate Cathedral trusses
2. Retain original patina and staining on brick
3. Clad modern foundation in veneer from salvaged foundation stone
4. Ensure roof attachment of veranda provides for adequate space to ensure the exposure of entrance transom and window voussoirs
5. Utilize lime mortar of same composition as original
6. Incorporate white pine trees in the landscaping of the front façade
7. Center dormer be reconstructed using original bricks stored separately and numbered to facilitate reconstruction (Appendix E)
8. Affix a heritage designation plaque to the house. Plaque not to be attached directly to brick, fasteners to be placed in mortar joints

DO NOT:

1. Alter or cut any salvaged bricks unless the existing supply of salvaged cut brick have been used or are inappropriate for the application
 2. Attempt to disguise salvaged materials from other sources as original to the Clark/McClure House
 3. Chemically clean brick
 4. Obscure the façade or gable ends of the structure with modern additions
 5. Use modern cement-based mortar
 6. Drill into masonry (brick), all attachment points for exterior finishes to be made in mortar joints
- Any historic materials incorporated into the house that are not original to the Clark/McClure House will be clearly identified and outlined in the documentation binder. It is important that no attempt be made to pass off salvaged materials from other locations as original to the Clark/McClure House. For example, should a salvaged front door be used, said door will be listed in the documentation binder as originating from a salvage dealer. If original context of off-site salvaged materials is known, it should be recorded as part of the documentation binder.

9. Photos



Image 3: Front façade and veranda of Clark/McClure House



Image 4: North face of Clark/McClure House, note rear addition is not subject to retention or salvage



Image 5: South face of Clark/McClure House, note brick chimney is not subject to retention or salvage



Image 6: West face of Clark/McClure House, note plywood hording is concealing a structural opening that will need to be included on architectural plans

10. References Cited

City of Brampton

nd *Heritage Building Protection Plan: Terms of Reference.*

Parks Canada

2010 *Standards and Guidelines for the Conservation of Historic Places in Canada, Second Edition.* Available online at: [HistoricPlaces.ca](https://www.historicplaces.ca). Accessed July 2022.

PHC (Parslow Heritage Consultancy)

2021 *Heritage Impact Assessment, 10244 Mississauga Road, Part of Lot 12, Concession 5 West of Centre Road, Chinguacousy Township, now City of Brampton, Regional Municipality of Peel.* Report on file with the City of Brampton.

2022 *Scoped Heritage Building Protection Plan, Clark/McClure House, 10244 Mississauga Road, City of Brampton.* Report on file with City of Brampton

Province of Ontario

1990 *Ontario Heritage Act.* Electronic resource available online: <https://www.ontario.ca/laws/statute/90o18>. Accessed 21 June 2020.

Appendix A



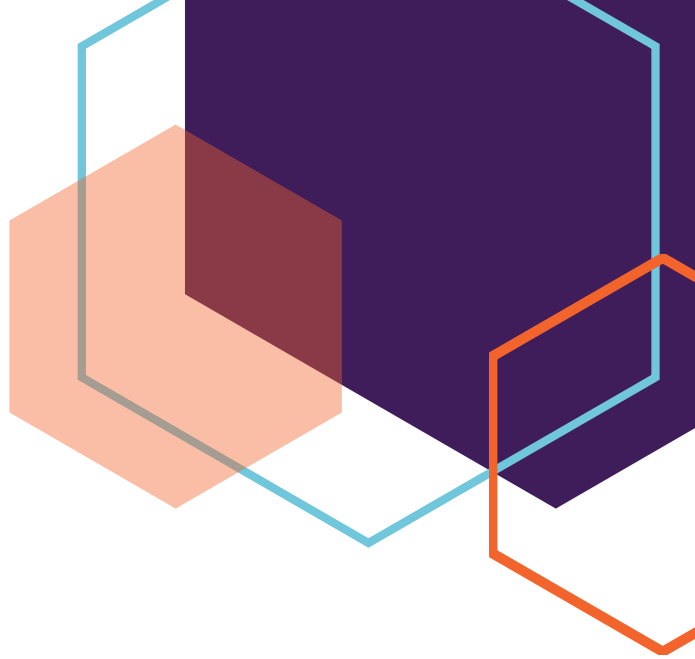
Senior Heritage Specialist – Carla Parslow, PhD, CAHP Member in Good Standing: Dr. Carla Parslow has over 20 years of experience in the cultural heritage resource management (CHRM) industry in Canada. As the President of PHC Inc., Dr. Parslow is responsible for the management of CHRM projects, as well as the technical review and quality assurance of all archaeological and cultural heritage projects completed by PHC. Throughout her career, Carla has managed both large and small offices of CHRM professionals and has mobilized both large (50+) and small (4+) teams of CHRM and Environmental projects offices throughout the province of Ontario. Dr. Parslow has served as either Project Manager or Project Director on hundreds of Archaeological and Cultural Heritage Assessments. Dr. Parslow is a professional member of the Canadian Association of Heritage Professionals (CAHP).

Dr. Parslow is also responsible for the overall quality assurance.

Heritage Specialist – Chris Lemon, B.Sc., Dip. CAHP Member in Good Standing: Chris Lemon is a Cultural Heritage Specialist and Licensed Archaeologist (R289) with 15 years' experience. He received an Honours B.Sc. in Anthropology from the University of Toronto and has completed course work towards an M.A. from the University of Western Ontario. Mr. Lemon has a Diploma in Heritage Carpentry and Joinery and a Certificate in Heritage Planning from Algonquin College. During his career Mr. Lemon has participated in cultural heritage assessments across Ontario as both a Senior Field Director in archaeology and as a Built Heritage Practitioner. Chris's previous experience includes representation on Joint Health and Safety Committees; he is dedicated to maintaining a safety-first focus on all job sites. Chris is a professional member of the Canadian Association of Heritage Professionals (CAHP).

Mr. Lemon is responsible for research, reporting and analysis.

Appendix B





Pamela Farrow

ARCHITECTURAL TECHNOLOGIST

519 334 3456

pfarrow@pamhouse.ca

EXTERIOR 3D IMAGE 1 SEPTEMBER 6, 2022

THESE DRAWINGS ARE CONCEPTUAL ONLY. THEY SHALL NOT BE
REPRINTED OR FORWARD EXCEPT FOR THIS PROJECT

**SEDGWICK MARSHALL HERITAGE HOMES
CLARK-MCCLURE RENOVATION**

2217



Pamela Farrow

ARCHITECTURAL TECHNOLOGIST

519 334 3456

pfarrow@pamhouse.ca

EXTERIOR 3D IMAGE 2 SEPTEMBER 6, 2022

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**SEDGWICK MARSHALL HERITAGE HOMES
CLARK-MCCLURE RENOVATION**

2217



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ARCHITECTURAL TECHNOLOGIST

519 334 3456

pfarrow@pamhouse.ca

EXTERIOR 3D IMAGE 3 SEPTEMBER 6, 2022

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CLARK-MCCLURE RENOVATION
2217**



Pamela Farrow

ARCHITECTURAL TECHNOLOGIST

519 334 3456

pfarrow@pamhouse.ca

EXTERIOR 3D IMAGE 4
SEPTEMBER 6, 2022

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CLARK-MCCLURE RENOVATION
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Pamela Farrow

ARCHITECTURAL TECHNOLOGIST

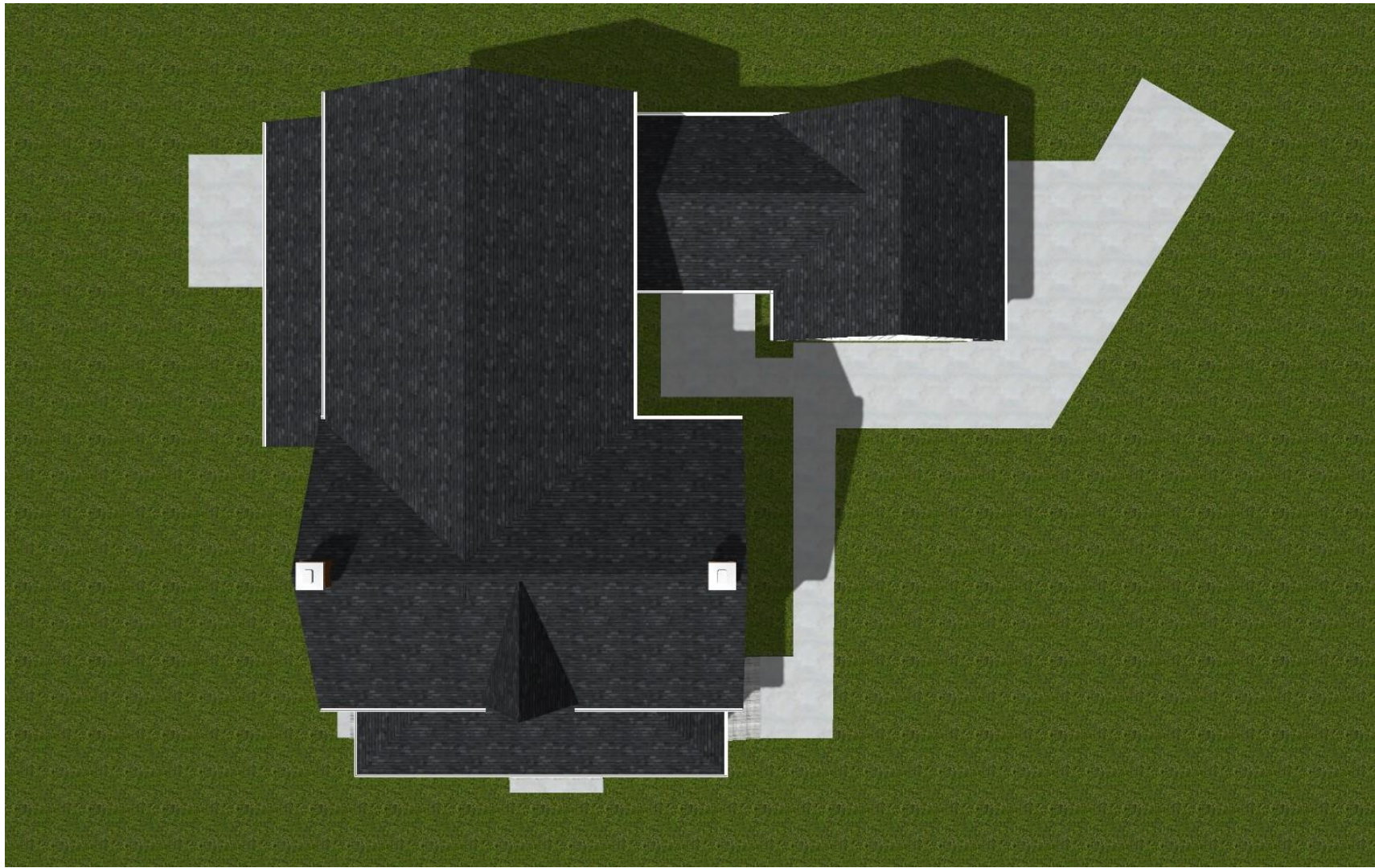
519 334 3456

pfarrow@pamhouse.ca

EXTERIOR 3D IMAGE 5
SEPTEMBER 6, 2022

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CLARK-MCCLURE RENOVATION
2217



Pamela Farrow

ARCHITECTURAL TECHNOLOGIST

519 334 3456

pfarrow@pamhouse.ca

BIRDS EYE VIEW IMAGE 1
SEPTEMBER 6, 2022

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SEDGWICK MARSHALL HERITAGE HOMES
CLARK-MCCLURE RENOVATION

2217



Pamela Farrow

ARCHITECTURAL TECHNOLOGIST

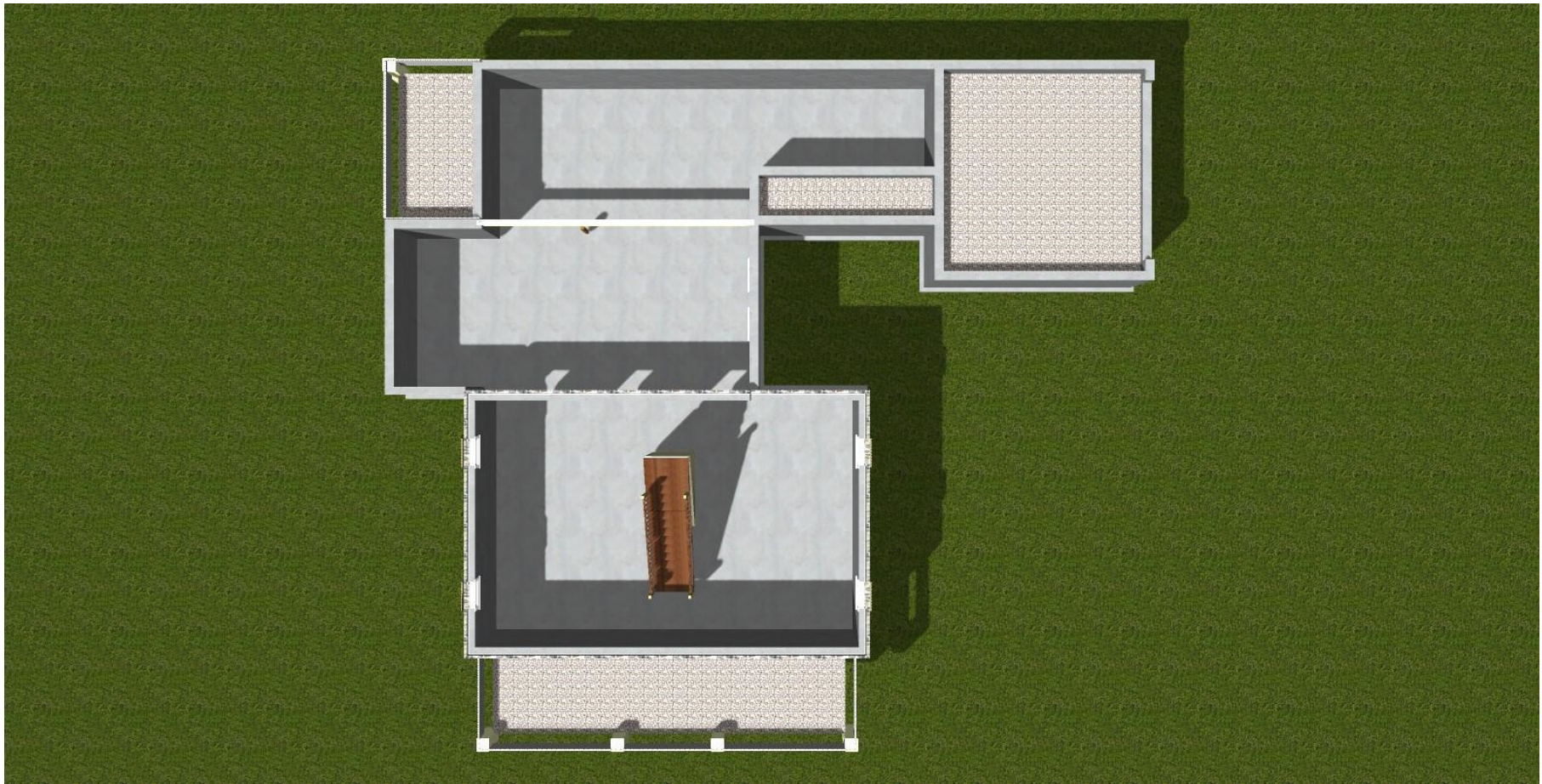
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pfarrow@pamhouse.ca

BIRDS EYE VIEW IMAGE 3 SEPTEMBER 6, 2022

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CLARK-MCCLURE RENOVATION
2217**



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519 334 3456

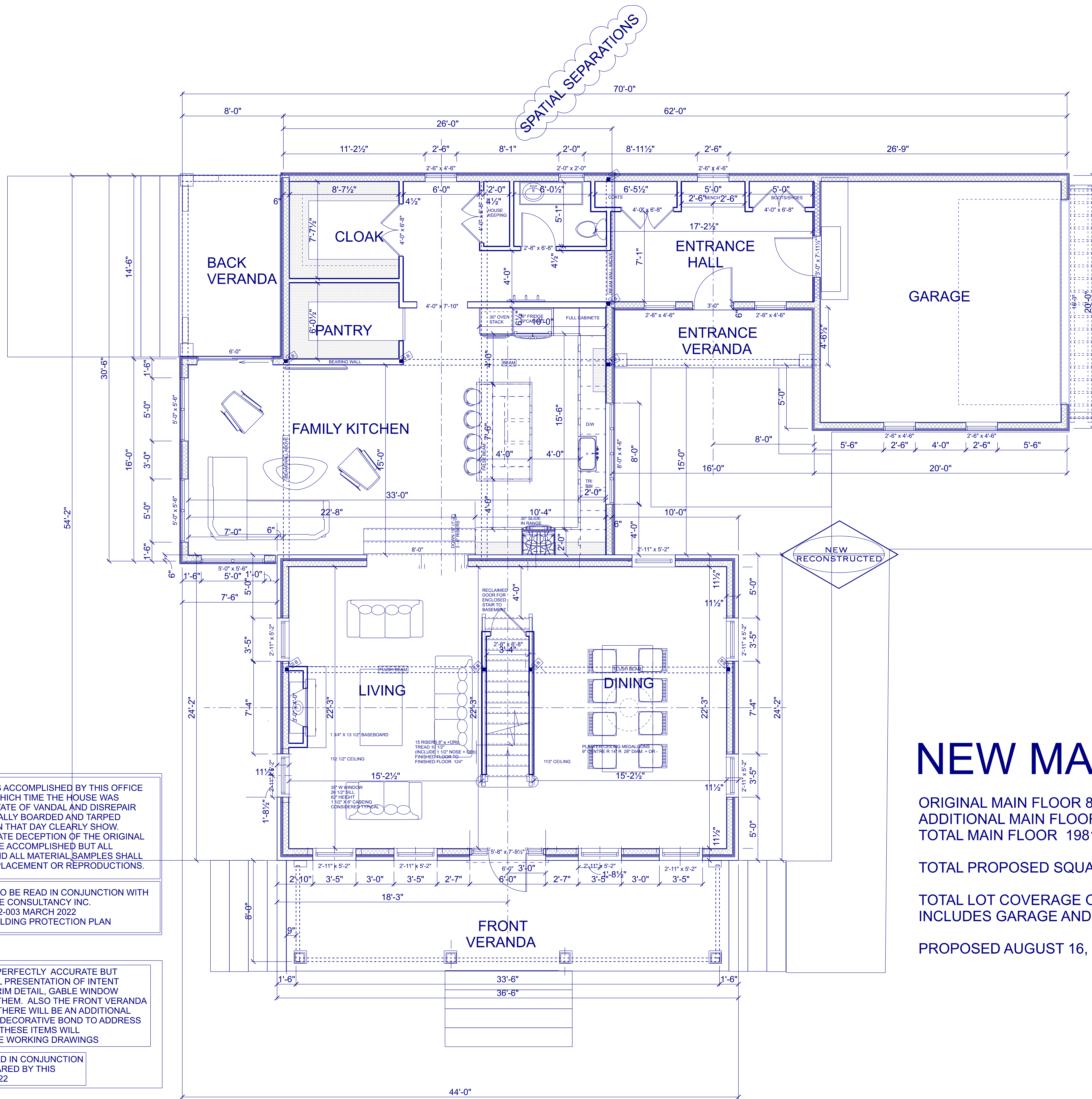
pfarrow@pamhouse.ca

BIRDS EYE VIEW IMAGE 4 SEPTEMBER 6, 2022

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**SEDGWICK MARSHALL HERITAGE HOMES
CLARK-MCCLURE RENOVATION**

2217



SITE VIEW AND MEASURE WAS ACCOMPLISHED BY THIS OFFICE ON MARCH 24, 2022 AT WHICH TIME THE HOUSE WAS FOUND IN CONSIDERABLE STATE OF VANDAL AND DISREPAIR AS WELL AS BEING PARTIALLY BOARDED AND TARPED AS PER PICTURES TAKEN THAT DAY CLEARLY SHOW. DESPITE THIS A FAIRLY ACCURATE DECEPTION OF THE ORIGINAL HOUSE WAS ABLE TO BE ACCOMPLISHED BUT ALL DIMENSIONS ARE VARIABLE AND ALL MATERIAL SAMPLES SHALL BE SAVED FOR ACCURATE REPLACEMENT OR REPRODUCTIONS.

P.A.F. APRIL 21, 2022 DRAWINGS TO BE READ IN CONJUNCTION WITH PARSLow HERITAGE CONSULTANCY INC. PROJECT # 2022-003 MARCH 2022 SCOPED HERITAGE BUILDING PROTECTION PLAN

NOTE 3D CONDITIONS ARE NOT PERFECTLY ACCURATE BUT ARE INTENDED FOR AN OVER ALL PRESENTATION OF INTENT THIS INCLUDES BRICK DETAIL, TRIM DETAIL, GABLE WINDOW AND FRONT ENTRANCE AMONG THEM. ALSO THE FRONT VERANDA WILL HAVE A BELLED ROOF AND THERE WILL BE AN ADDITIONAL TWO BRICKS ADDED ABOVE THE DECORATIVE BOND TO ADDRESS THE RECONSTRUCTION HEIGHT. THESE ITEMS WILL BE ACCURATELY DETAILED IN THE WORKING DRAWINGS

THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH THE AS BUILT PLANS PREPARED BY THIS OFFICE PRESENTED APRIL 21, 2022

GENERAL NOTES

These plans have been prepared for the clients SEDGWICK MARSHALL HERITAGE HOMES by Pamela Farrow Architectural Technologist and shall not be reproduced without consent of one of the above noted, for any purpose, and are NOT transferable to other projects by anyone.

Where signature drawings are e-filed, any discrepancies in content of plans must be verified with the original set in office.

Any alterations to signed e-filed drawings by parties other than this office shall have signed and dated indicators. Such changes are not bound by the signature of these drawings unless approved by the Designer.

These plans shall be used for the execution of the building or renovation of the home or addition by a qualified General Contractor/Builder and no responsibility for quality of workmanship or selection of material shall bear on the Designer.

The General Contractor/Builder and all trades shall have a good working knowledge of the Ontario Building Code and inform the Designer if plans are in contravention.

These plans shall be read as a set.

In many cases the specifications on these plans exceed that required by the O.B.C. in interest of building quality & efficiency.

All dimensions may vary according to final material selection.

The location of the building as noted on the title block shall be used in referencing climatic data where required for materials and system design.

Any plumbing, mechanical or electrical details included on this plan are for Architectural reference only and not to be interpreted as the design in any of these fields of expertise.

Where noted on plans or as otherwise required, an Engineer shall be engaged by the Contractor to provide any design or calculation required to meet design beyond Part 9 of the Ontario Building Code.

Where engineered products are used, ie trusses and floor systems etc. they shall be designed for the building as a whole and shall be accompanied with engineered stamped shop drawings. Where clarification of design intent is required in the engineering of such elements it shall be confirmed with this office. Where design of these elements requires a change in other elements, ie, sheathing and or attachment such shall be noted as part of the shop drawings.

The General Contractor/Builder and all trades involved in the execution of this project shall confirm all site envelope, soil and grading conditions and shall confirm all dimensions and details as drawn and report any discrepancies to the General Contractor/Builder or Designer.

All Trades must comply with all Bylaws and applicable codes.

Where site visits are made by the designer they shall not be deemed as site inspections which are the responsibility of the C.B.O. and where required the Professional Engineer.

I review and take responsibility for the design work, according to the above noted conditions and am qualified in the appropriate category as a "DESIGNER" under the Ontario Building Code.

Individual BCIN 20727 Firm BCIN 26773

PAMELA FARROW MAATO

ISSUE DATE

THESE DRAWINGS SHALL NOT BE COPIED FOR ANY OTHER PURPOSE THAN REQUIRED FOR THIS PROJECT.

Pamela Farrow ARCHITECTURAL TECHNOLOGIST

519 334 3456 pfarrow@pamhouse.ca

SEDGWICK MARSHALL HERITAGE HOMES CLARK-MCCLURE RECONSTRUCTION AND ADDITION CITY OF BRAMPTON

MAIN FLOOR

Scale 1/4"=1'-0" 3/16"=1'-0" 1/8"=1'-0" 1"=10'-0" 1:50 metric N.T.S.

1/3

DESIGN DATE MARCH 2022

PROJECT NUMBER 2217

NEW MAIN FLOOR

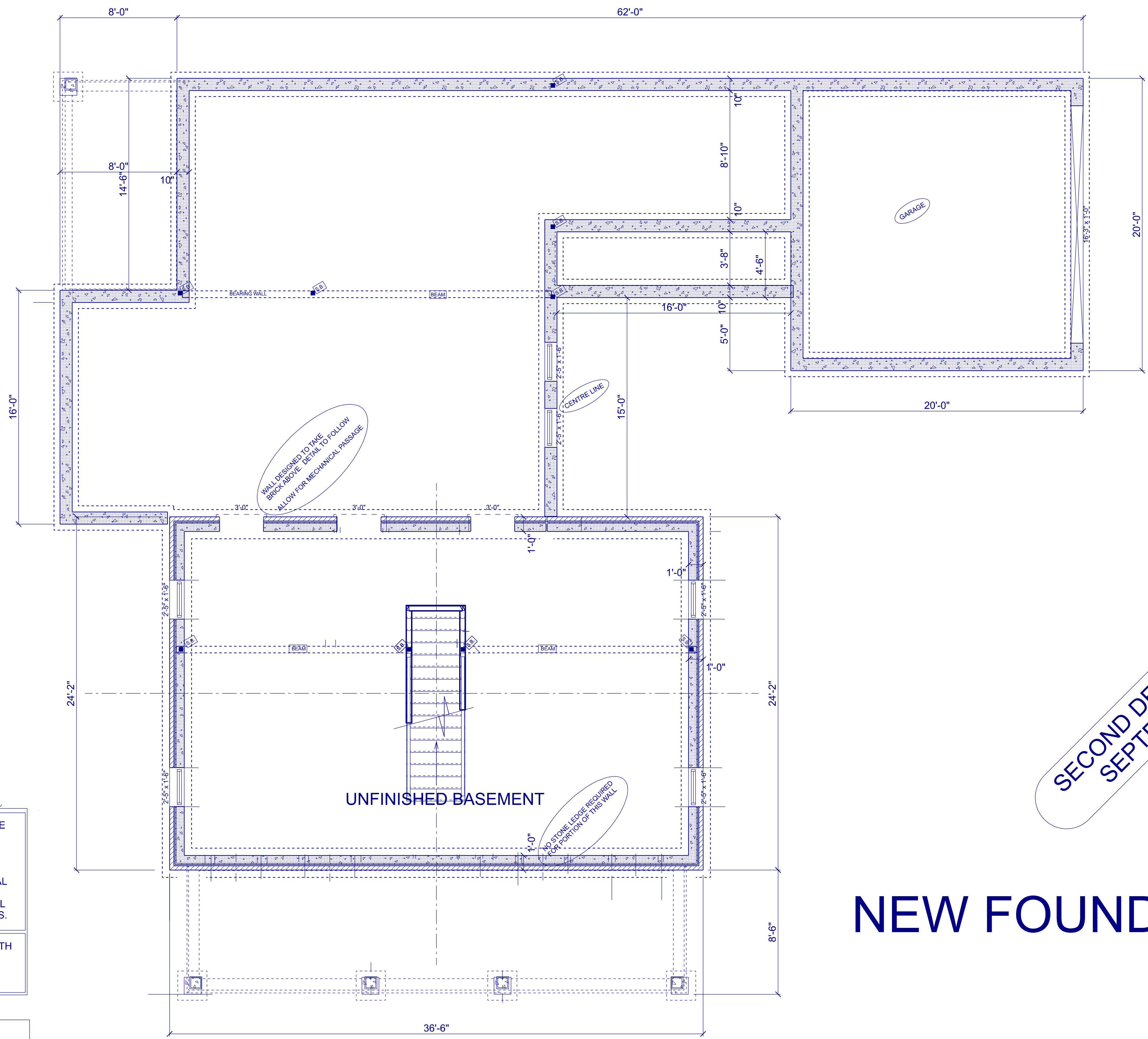
ORIGINAL MAIN FLOOR 883 SQ. FT.
ADDITIONAL MAIN FLOOR 1098 SQ. FT.
TOTAL MAIN FLOOR 1981 SQ. FT.

TOTAL PROPOSED SQUARE FOOTAGE 3608 SQ.FT.

TOTAL LOT COVERAGE OF HOUSE
INCLUDES GARAGE AND VERANDAS 2726

PROPOSED AUGUST 16, 2022

SECOND DESIGN DRAFT
SEPTEMBER 6, 2022



SECOND DESIGN DRAFT
SEPTEMBER 6, 2022

NEW FOUNDATION

SITE VIEW AND MEASURE WAS ACCOMPLISHED BY THIS OFFICE ON MARCH 24, 2022 AT WHICH TIME THE HOUSE WAS FOUND IN CONSIDERABLE STATE OF VANDAL AND DISREPAIR AS WELL AS BEING PARTIALLY BOARDED AND TARPED AS PER PICTURES TAKEN THAT DAY CLEARLY SHOW. DESPITE THIS A FAIRLY ACCURATE DECEPTION OF THE ORIGINAL HOUSE WAS ABLE TO BE ACCOMPLISHED BUT ALL DIMENSIONS ARE VARIABLE AND ALL MATERIAL SAMPLES SHALL BE SAVED FOR ACCURATE REPLACEMENT OR REPRODUCTIONS.

P.A.F. APRIL 21, 2022 DRAWINGS TO BE READ IN CONJUNCTION WITH PARSLow HERITAGE CONSULTANCY INC. PROJECT # 2022-003 MARCH 2022 SCOPED HERITAGE BUILDING PROTECTION PLAN

NOTE 3D CONDITIONS ARE NOT PERFECTLY ACCURATE BUT ARE INTENDED FOR AN OVER ALL PRESENTATION OF INTENT THIS INCLUDES BRICK DETAIL, TRIM DETAIL, GABLE WINDOW AND FRONT ENTRANCE AMONG THEM. THESE ITEMS WILL BE ACCURATELY DETAILED IN THE WORKING DRAWINGS

THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH THE AS BUILT PLANS PREPARED BY THIS OFFICE PRESENTED APRIL 21, 2022

GENERAL NOTES

These plans have been prepared for the clients SEDGWICK MARSHALL HERITAGE HOMES by Pamela Farrow Architectural Technologist and shall not be reproduced with out consent of one of the above noted, for any purpose, and are not transferable to other projects by anyone.

Where signature drawings are e-filed, any discrepancies in content of plans must be verified with the original set in office.

Any alterations to signed e-filed drawings by parties other than this office shall have signed and dated indicators. Such changes are not bound by the signature of these drawings unless approved by the Designer.

These plans shall be used for the execution of the building or renovation of the home or addition by a qualified General Contractor/Builder and no responsibility for quality of workmanship or selection of material shall bear on the Designer.

The General Contractor/Builder and all trades shall have a good working knowledge of the Ontario Building Code and inform the Designer if plans are in contravention.

These plans shall be read as a set.

In many cases the specifications on these plans exceed that required by the O.B.C. in interest of building quality & efficiency.

All dimensions may vary according to final material selection.

The location of the building as noted on the title block shall be used in referencing climatic data where required for materials and system design.

Any plumbing, mechanical, or electrical details included on this plan are for Architectural reference only and not to be interpreted as the design in any of these fields of expertise.

Where noted on plans or as otherwise required, an Engineer shall be engaged by the Contractor to provide any design or calculation required to meet design beyond Part 9 of the Ontario Building Code.

Where engineered products are used, ie trusses and floor systems etc. they shall be designed for the building as a whole and shall be accompanied with engineered stamped shop drawings. Where clarification of design intent is required in the engineering of such elements it shall be confirmed with this office.

Where design of these elements requires a change in other elements, ie, sheathing and or attachment such shall be noted as part of the shop drawings.

The General Contractor/Builder and all trades involved in the execution of this project shall confirm all site envelope, soil and grading conditions and shall confirm all dimensions and details as drawn and report any discrepancies to the General Contractor/Builder or Designer.

All Trades must comply with all Bylaws and applicable codes.

Where site visits are made by the designer they shall not be deemed as site inspections which are the responsibility of the O.B.C. and where required the Professional Engineer.

I review and take responsibility for the design work, according to the above noted conditions and am qualified in the appropriate category as a "DESIGNER" under the Ontario Building Code.

Individual BCIN 20727
Firm BCIN 26773

PAMELA FARROW MAATO

ISSUE DATE

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Pamela Farrow
ARCHITECTURAL TECHNOLOGIST
519 334 3456
pfarrow@pamhouse.ca

SEDGWICK MARSHALL
HERITAGE HOMES
CLARK-MCCLURE
RECONSTRUCTION
AND ADDITION
CITY OF BRAMPTON

FOUNDATION

Scale
1/4"=1'-0"
3/16"=1'-0"
1/8"=1'-0"
1"=10'-0"
1:50 metric
N.T.S.

PROJECT NUMBER 2217

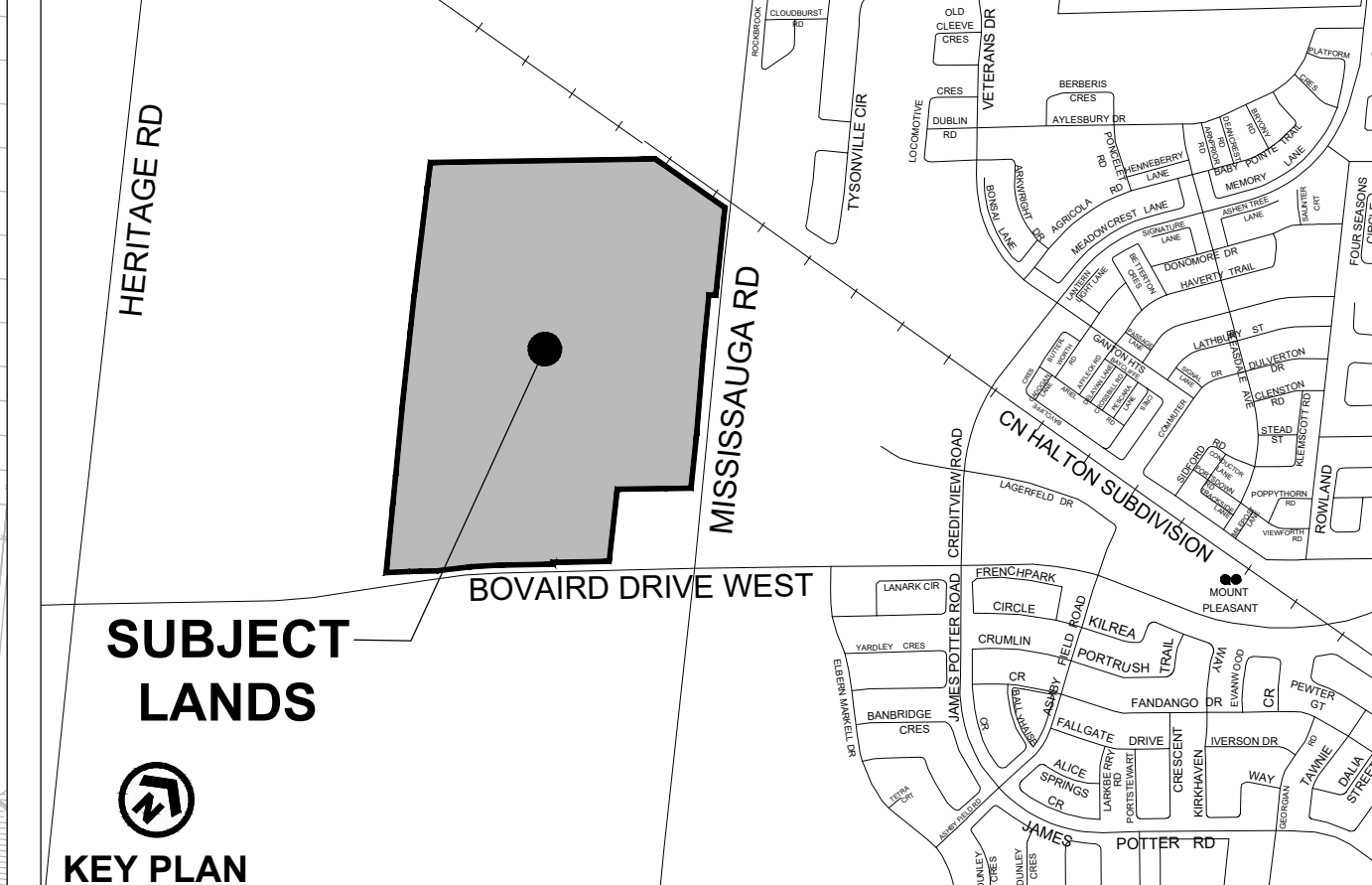
ISSUE

3/3

DESIGN DATE
MARCH 2022

Appendix C





DRAFT PLAN OF SUBDIVISION MT PLEASANT HEIGHTS ARGO TFP BRAMPTON LIMITED & ARGO TFP BRAMPTON II LIMITED FILE # 21T-21022B

PART OF LOT 11 AND 12, CONCESSION 5, W.H.S.,
(GEOGRAPHIC TOWNSHIP OF CHINGUACOUSY)
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEL

OWNERS CERTIFICATE
I HEREBY AUTHORIZE GLEN SCHNARR & ASSOCIATES INC. TO PREPARE AND SUBMIT
THIS DRAFT PLAN OF SUBDIVISION TO THE CITY OF BRAMPTON FOR APPROVAL.

SIGNED:
GOREN BUCK, A.S.O.
ARGO TFP BRAMPTON LIMITED & ARGO TFP BRAMPTON II LIMITED

DATE: OCT. 6, 2021

SURVEYORS CERTIFICATE
I HEREBY CERTIFY THAT THE BOUNDARIES OF THE LANDS TO BE SUBDIVIDED AS
SHOWN ON THIS PLAN AND THEIR RELATIONSHIP TO ADJACENT LANDS ARE
CORRECTLY AND ACCURATELY SHOWN.

SIGNED:
ROSS DENBROEDER, O.L.S.
R-PE SURVEYING LTD.
643 CHRISLEA ROAD, SUITE 7
WOODBIDGE ON, L4L 8A3

DATE: OCT. 6, 2021

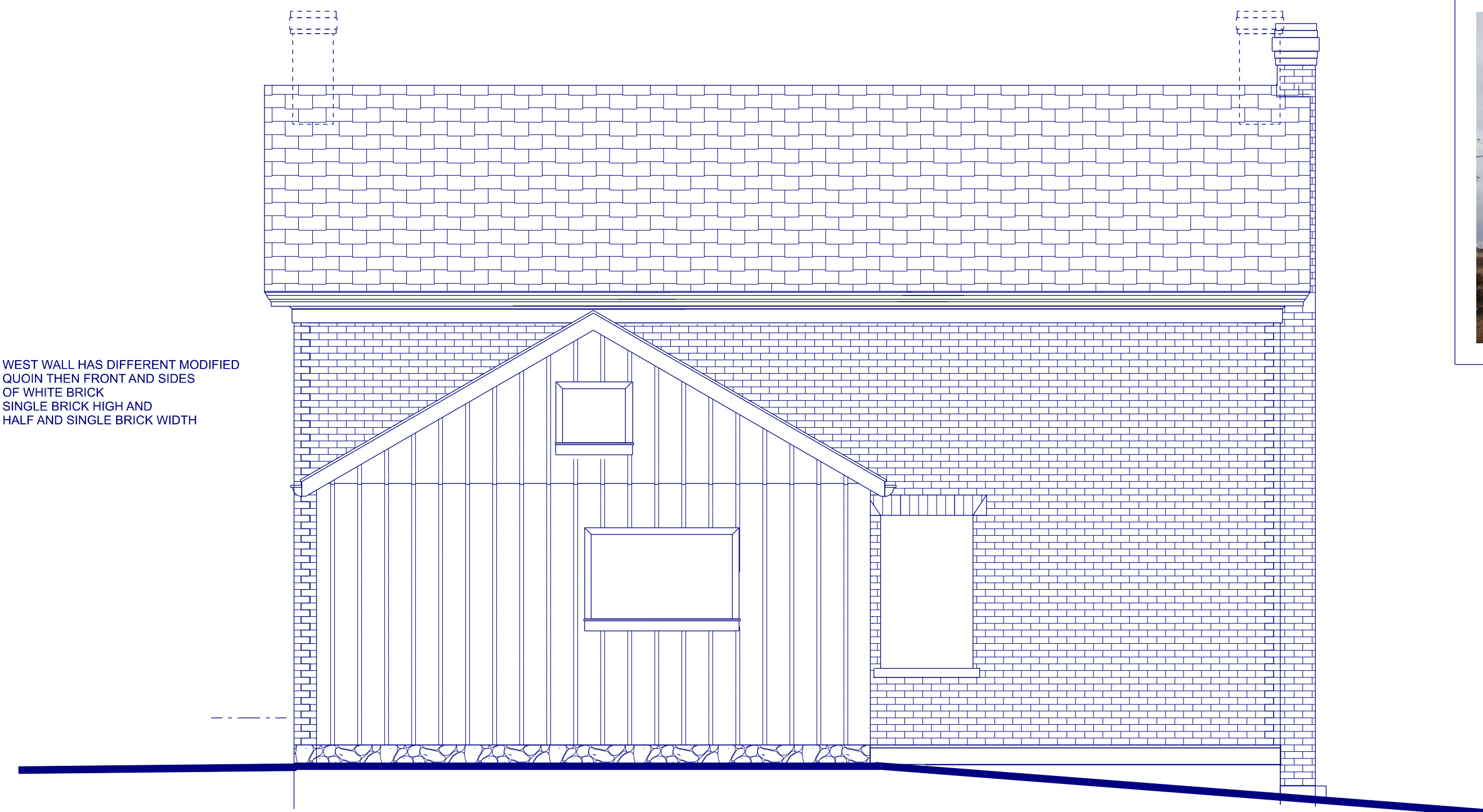
ADDITIONAL INFORMATION
(UNDER SECTION 51(17) OF THE PLANNING ACT) INFORMATION REQUIRED BY
CLAUSES A,B,C,D,E,F,G,J & L ARE SHOWN ON THE DRAFT AND KEY PLANS.

- H) MUNICIPAL AND PIPED WATER TO BE PROVIDED
I) SANDY LOAM AND CLAY LOAM
K) SANITARY AND STORM SEWERS TO BE PROVIDED

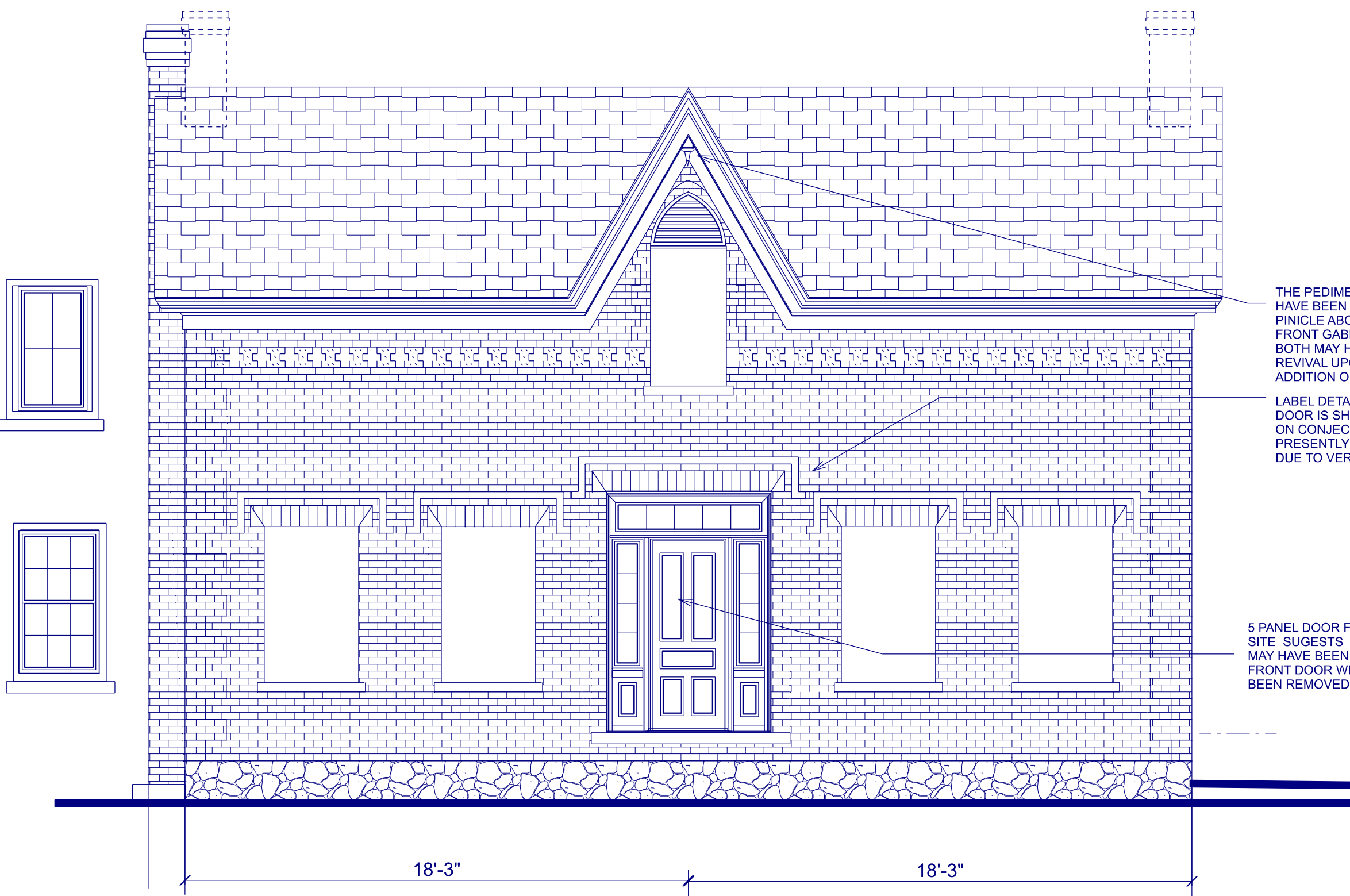
LAND USE		LOTS / BLOCKS	AREA (ha)	AREA (ac)	UNITS
DETACHED - 9.15m (30')	1-212,338		1.63	4.03	58
DETACHED - 9.45m (31')			0.16	0.40	7
DETACHED - 11.60m (38')			2.96	7.31	83
DETACHED - 12.12m (40')			0.28	0.69	9
DETACHED - 12.80m (42')			1.25	3.09	37
DETACHED - 15.24m (50')			0.72	1.78	18
HERITAGE HOUSE			0.11	0.27	1
STREET TOWNHOUSES - 6.10m (20')	213-216,339-346	1.38	3.41	62	
DUAL FRONTAGE TOWNHOUSES - 6.0m (20') (23m DEPTH)	217-237	1.83	4.52	100	
DUAL FRONTAGE TOWNHOUSES - 6.0m (20') (21m DEPTH)	238-240	0.17	0.42	11	
REAR LANE TOWNHOUSES - 6.05m (20')	241-265	1.58	3.90	122	
BACK-TO-BACK TOWNHOUSES - 5.60m (18')	266-267	0.28	0.69	32	
BACK-TO-BACK TOWNHOUSES - 6.40m (21')	268-288	2.45	6.05	251	
HIGH DENSITY RESIDENTIAL	289-290,347	3.41	8.43		
MEDIUM DENSITY RESIDENTIAL	291-293	2.68	6.62		
INSTITUTIONAL / MEDIUM DENSITY RESIDENTIAL	294	2.01	4.97		
PUBLIC ELEMENTARY SCHOOL	295	2.73	6.75		
NATURAL HERITAGE SYSTEM (NHS)	296-300,348	10.43	25.77		
NHS BUFFER	301	0.66	1.63		
NHS COMPENSATION	302-309	1.28	3.16		
OPEN SPACE / NHS LINKAGE	310,311	0.16	0.40		
SERVICING BLOCK	312	0.34	0.84		
PARK	313	1.07	2.64		
WALKWAY BLOCK	314-322,349	0.26	0.64		
SWM POND / SWM SERVICING BLOCK	323-324	2.84	7.02		
ROAD WIDENING	325-327	0.59	1.46		
0.3m RESERVE	328-336,350	0.04	0.10		
RESERVE BLOCK	337	0.00	0.00		
36.0m R.O.W. - (695m LENGTH)		2.52	6.23		
24.5m R.O.W. - (47m LENGTH)		0.14	0.35		
24.0m R.O.W. - (525m LENGTH)		1.30	3.21		
21.5m R.O.W. - (563m LENGTH)		1.30	3.21		
16.0m R.O.W. - (4,253m LENGTH)		7.19	17.77		
6.0m LANEWAY - (432m LENGTH)		0.35	0.86		
TOTAL	250	100.00	248.86	700	

Appendix D

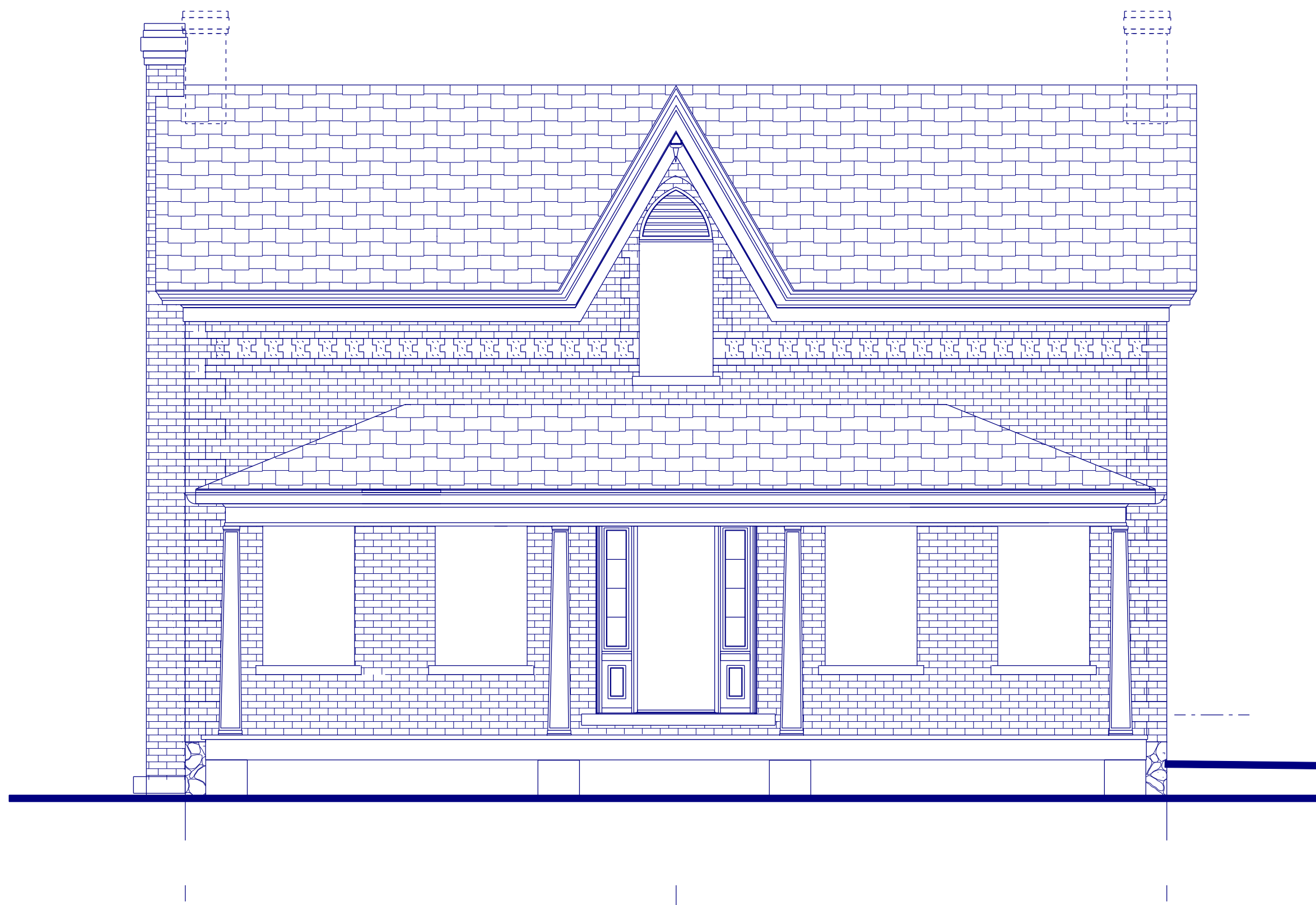




WEST FACE AS FOUND



EAST FACE
PREDICTED WITHOUT VERANDA



EAST FACE AS FOUND

GENERAL NOTES

SEDGWICK MARSHALL HERITAGE HOMES

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Pamela Farrow
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SEDGWICK MARSHALL
HERITAGE HOMES
CLARK/MCCLURE
AS FOUND
10244 MISSISSAUGA ROAD
CITY OF BRAMPTON

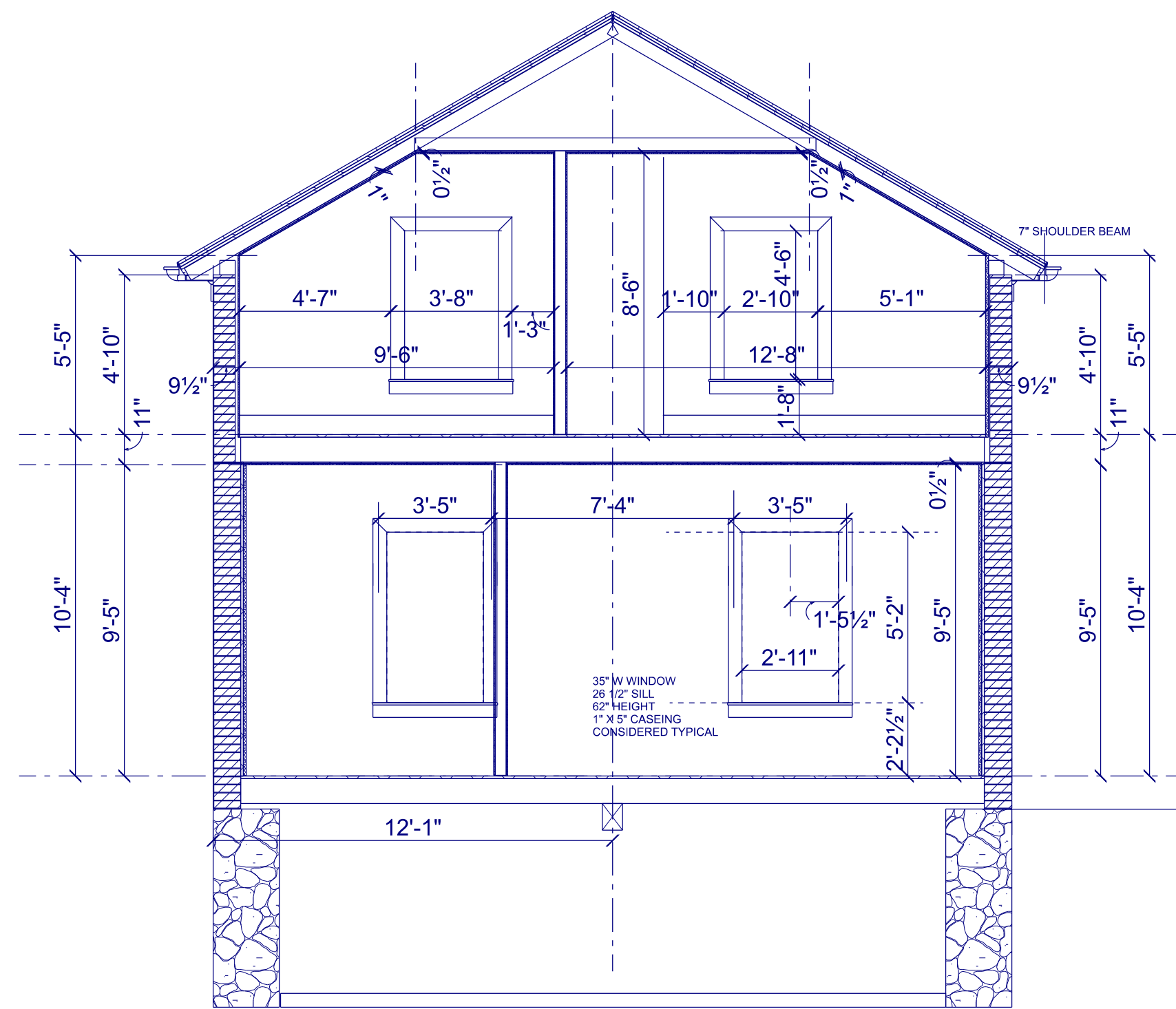
ELEVATIONS

Scale
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3/16"=1'-0"
1/8"=1'-0"
1"=10'-0"
1:50 metric
N.T.S.

1/3

DESIGN DATE
MARCH 2022

PROJECT NUMBER
2216



SECTION OF AS FOUND

THERE WOULD BE HISTORICALLY A CHIMNEY AT EACH GABLE END THAT ARE NOT PRESENT BUT INSIDE BREASTS ARE VISIBLE THESE CHIMNEYS SHOULD BE REINSTATED.

30 DEGREE ROOF LINE
7/12 PITCH OR -

CLASSICAL EAVE RETURN IN GOOD TO FAIR CONDITION

STANDARD WHITE BRICK SOLDIER COARSES EXCEPT NORTH AND EAST FACE OF MAIN LEVEL HAVE ADDITIONAL WHITE BRICK LABEL DETAIL

EACH BRICK APROX. 8 1/2" LONG

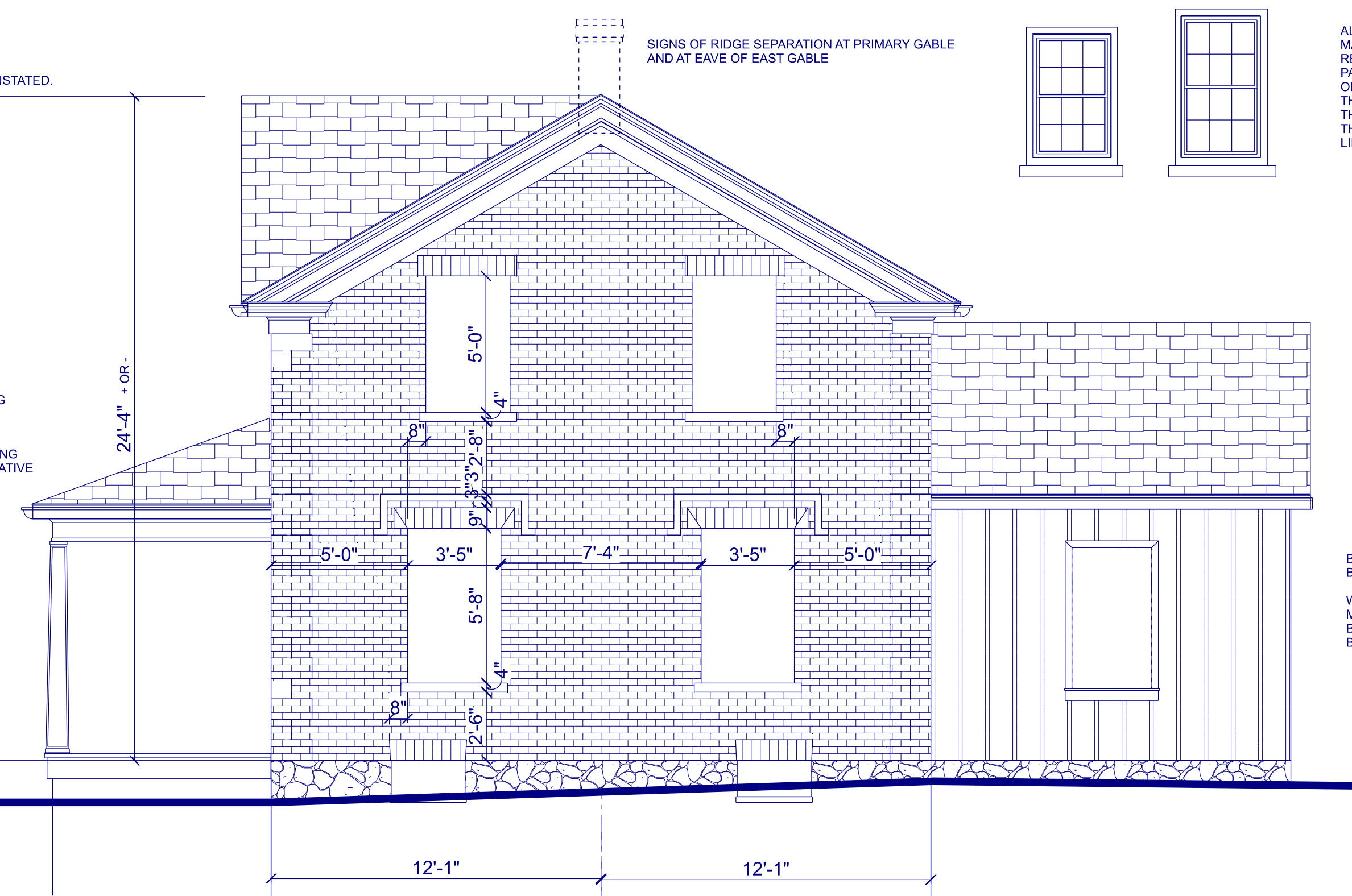
VERANDA ASSUME CIRCA 1910 ALTHOUGH CLASSICAL IN DETAIL IS SET TOO LOW AND FLUSH CEILING OBSCURES MUCH OF THE DECORATIVE BRICK DETAIL APPARANT ON THE FRONT OF THE HOUSE

FLUSH QUOINS WHITE BRICK 6" HIGH 3 COARSE 9" WIDE TO 18" WIDE

4" WOODEN SILLS TYPICAL 4" PROJECTION

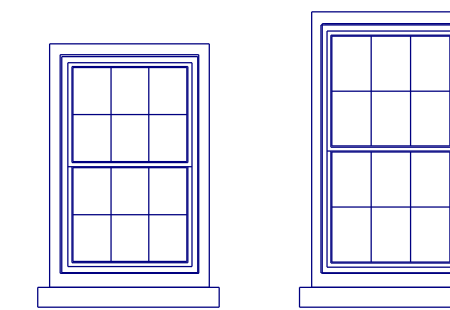
RUBBLESTONE FOUNDATION

BASEMENT WINDOW TAPERED SOLDIER ABOVE STONE (WHITE BRICK ON NORTH RED BRICK ON SOUTH) COURSING HAS SETTLED



NORTH FACADE AS FOUND

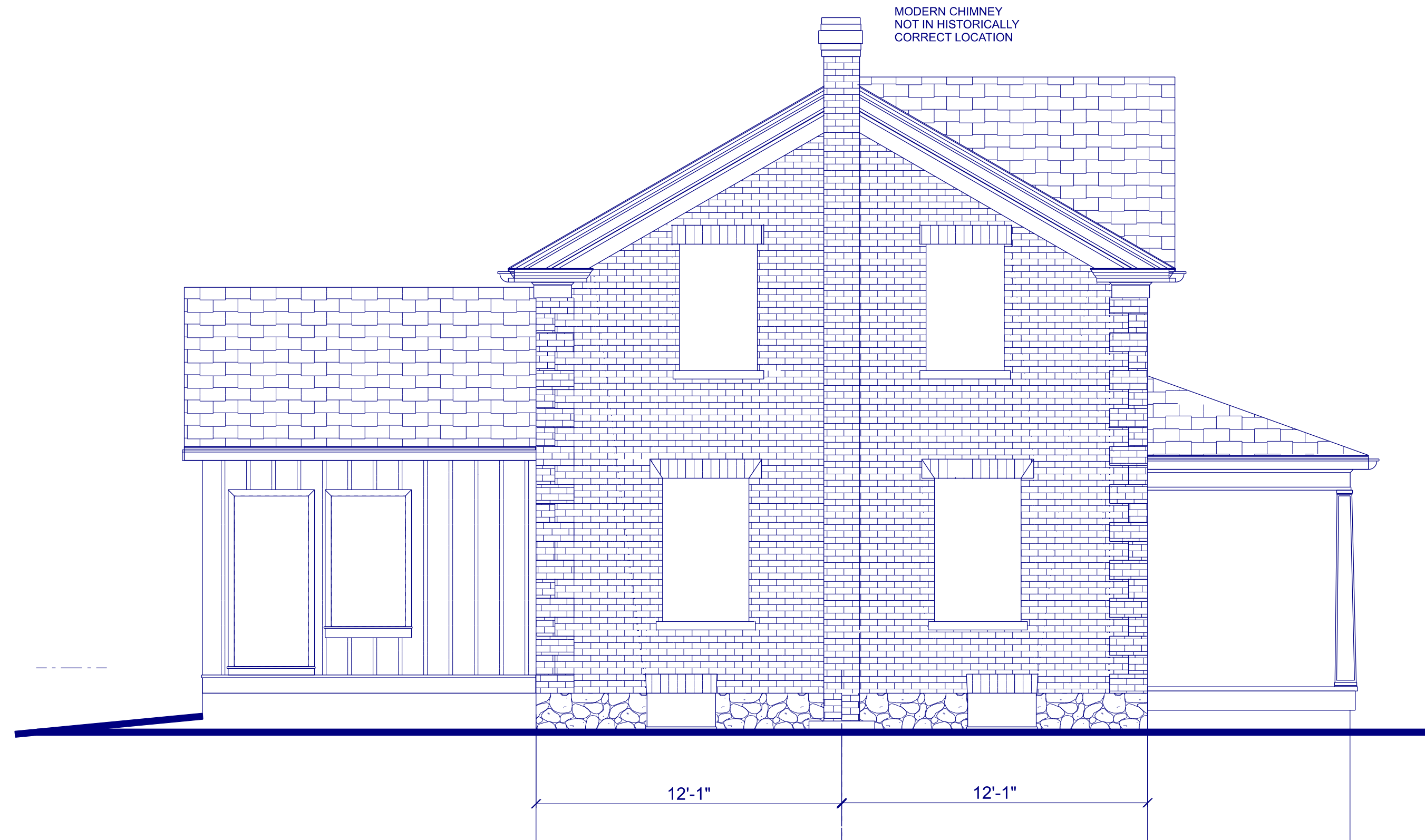
SIGNS OF RIDGE SEPARATION AT PRIMARY GABLE AND AT EAVE OF EAST GABLE



ALL EXISTING WINDOWS IN MAIN HOUSE HAVE BEEN REPLACED BUT THERE ARE PARTIALLY VISIBLE. EXAMPLES OF 6 OVER 6 WINDOWS IN THE BACK KITCHEN AND THIS SEEMS IN KEEPING WITH THE CLASSICAL REVIVAL LINES OF THE HOUSE

BOARD AND BATTEN ON BRICK FILL. ROUGH SAWN FRAME

WINDOWS AND DOORS MUCH OBSCURED WITH BOARDING AND SO INDICATED BASED ON SITE QUES



SOUTH FACADE AS FOUND

MODERN CHIMNEY NOT IN HISTORICALLY CORRECT LOCATION



GENERAL NOTES

SEDGWICK MARSHALL HERITAGE HOMES

PAMELA FARROW MAATO

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SEDGWICK MARSHALL
HERITAGE HOMES
CLARK/MCCLURE
AS FOUND
10244 MISSISSAUGA ROAD
CITY OF BRAMPTON

SECTIONS ELEVATIONS

Scale

1/4"=1'-0"

3/16"=1'-0"

1/8"=1'-0"

1"=10'-0"

1:50 metric

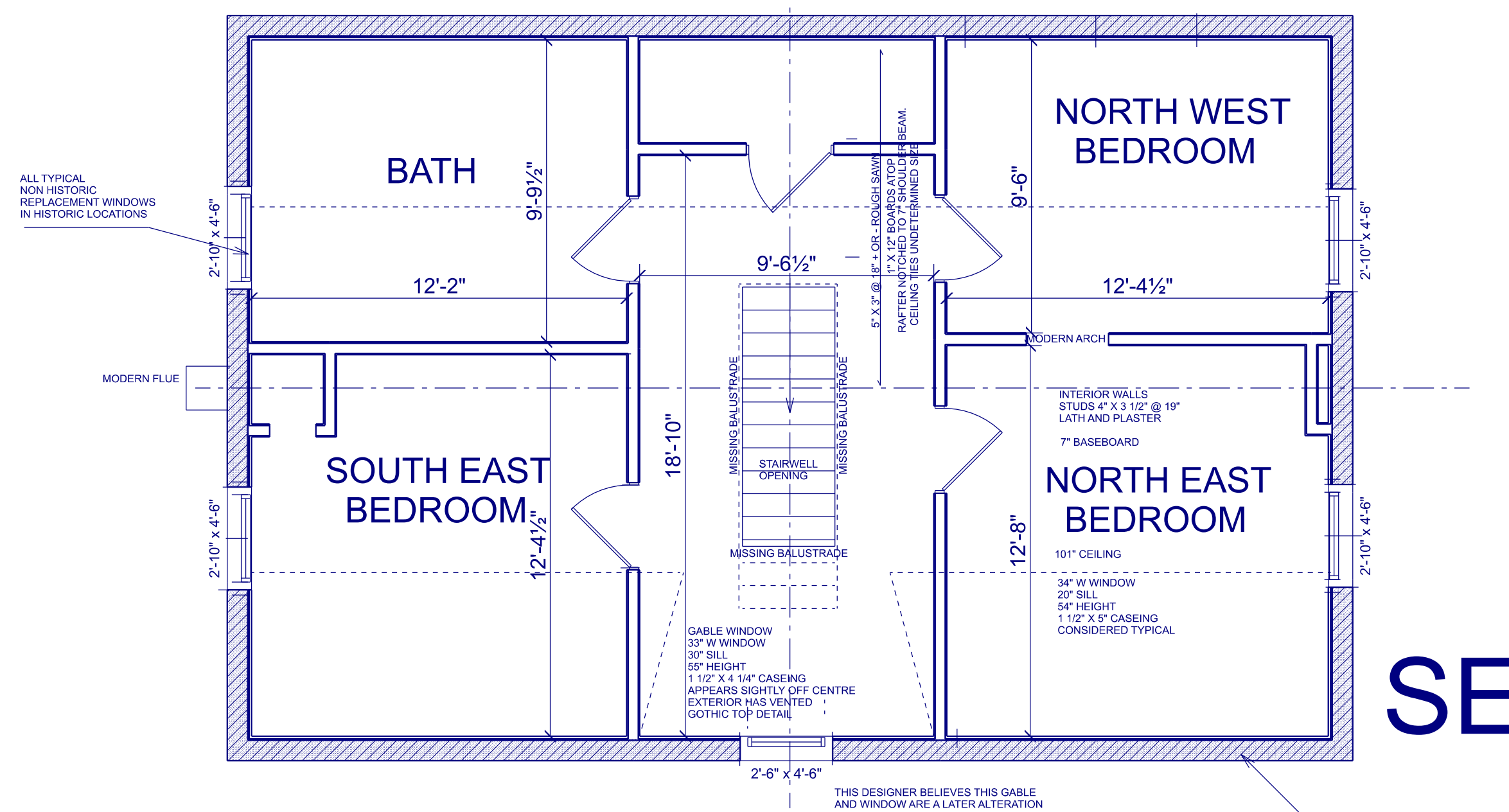
N.T.S.

PROJECT NUMBER

2216

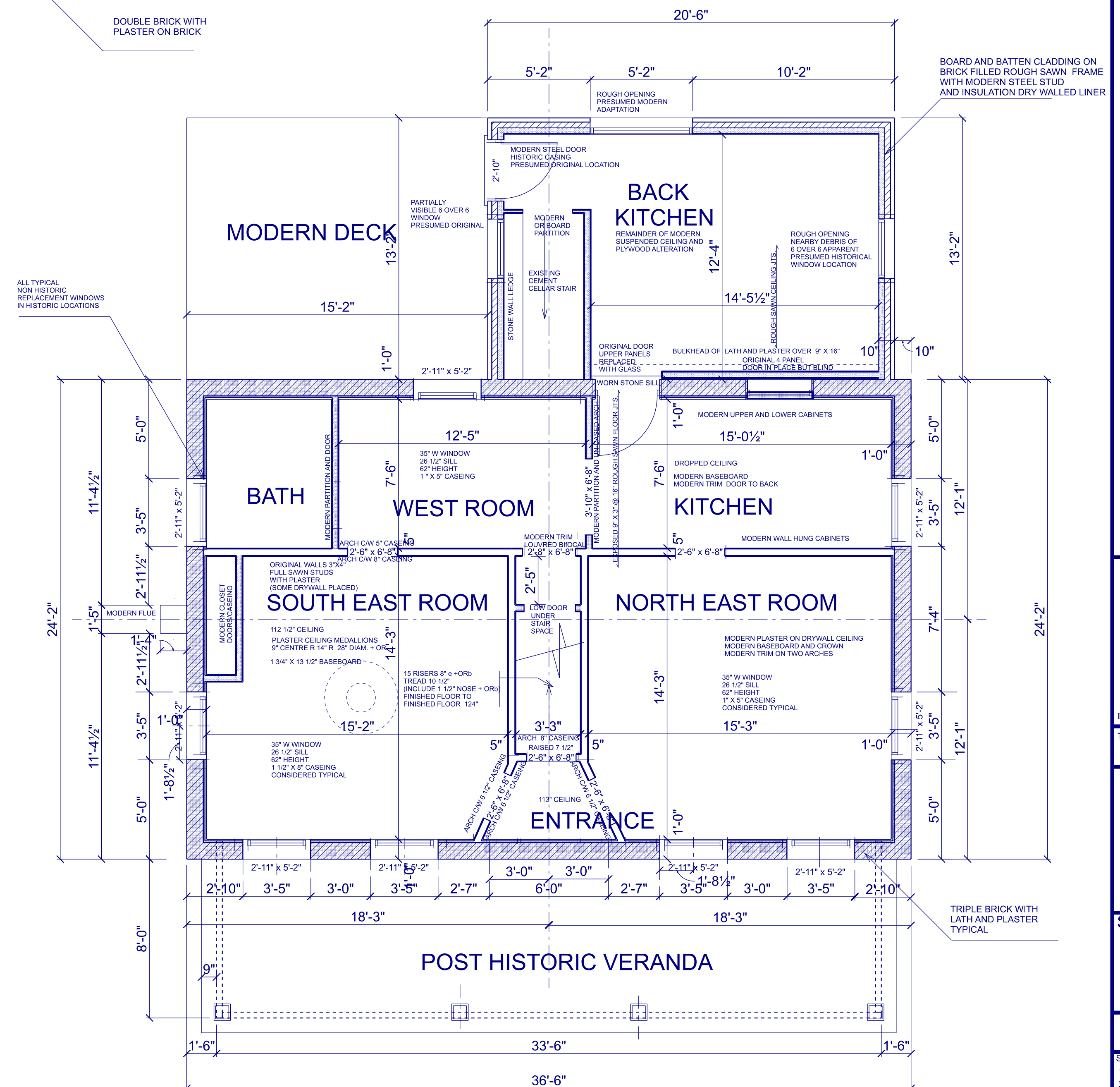
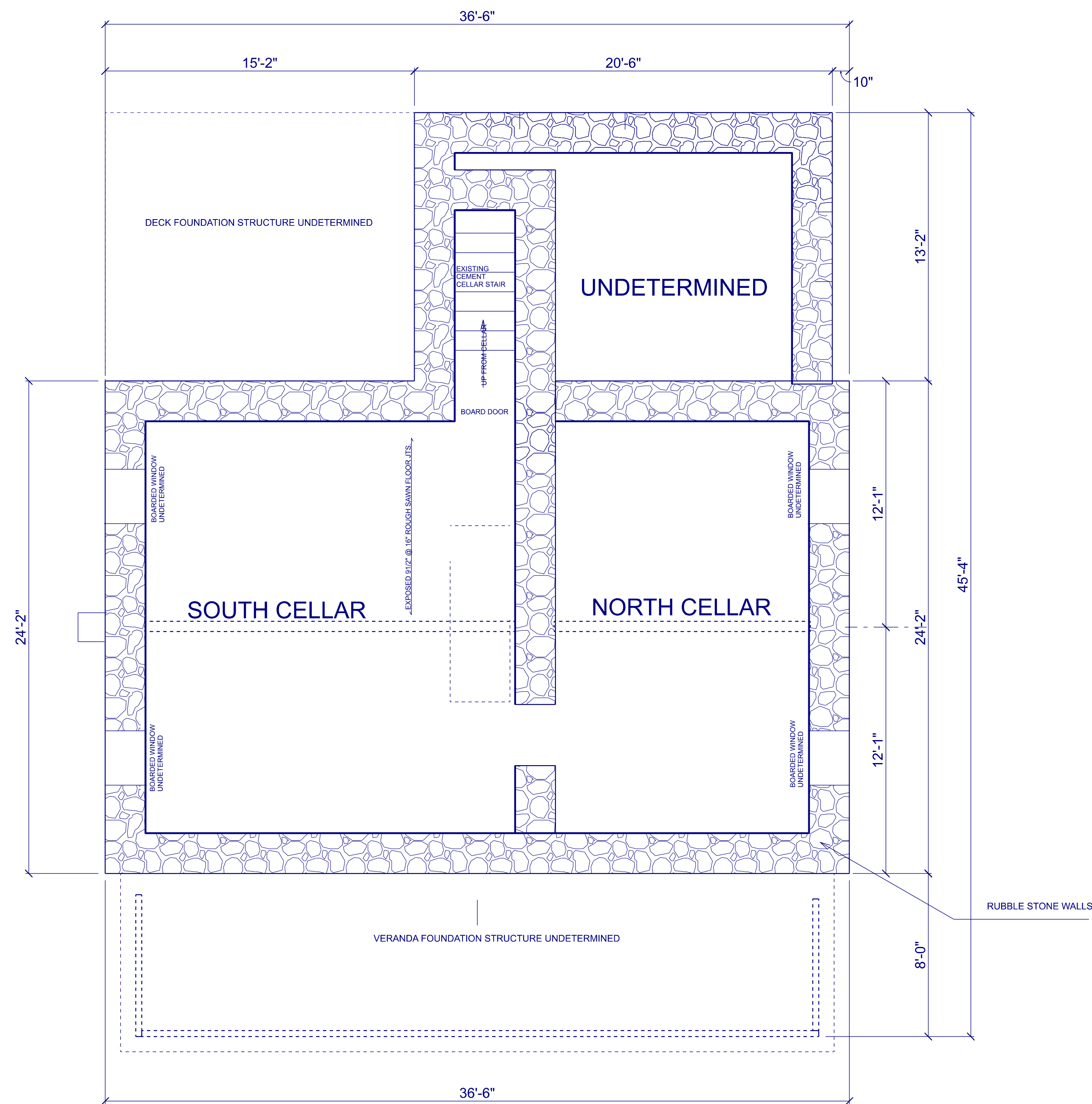
2/3

DESIGN DATE
MARCH 2022



SITE VIEW AND MEASURE WAS ACCOMPLISHED BY THIS OFFICE
ON MARCH 24, 2022 AT WHICH TIME THE HOUSE WAS
FOUND IN CONSIDERABLE STATE OF VANDAL AND DISREPAIR
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DESPITE THIS A FAIRLY ACCURATE DECEPTION OF THE ORIGINAL
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P.A.F. APRIL 21, 2022 DRAWINGS TO BE READ IN CONJUNCTION WITH
PARSLOW HERITAGE CONSULTANCY INC.
PROJECT # 2022-003 MARCH 2022
SCOPED HERITAGE BUILDING PROTECTION PLAN



GENERAL NOTES

EDGWICK MARSHALL HERITAGE HOMES

ISSUE DATE

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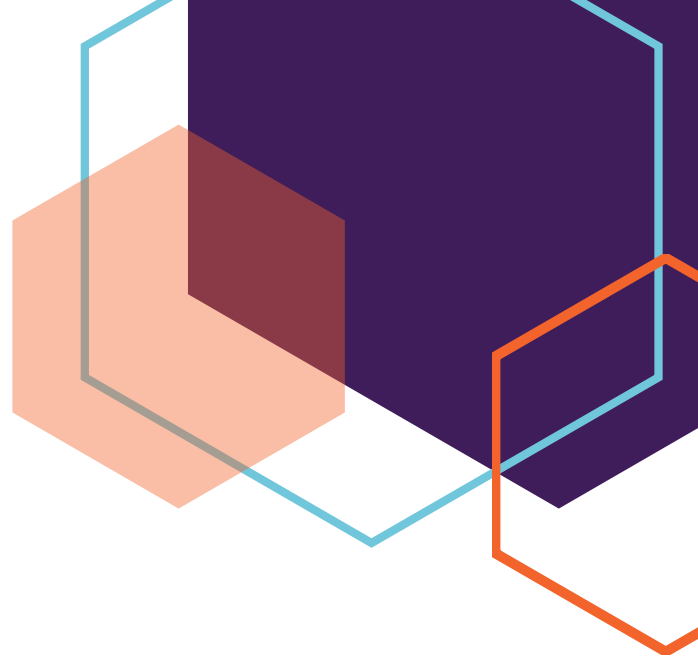
EDGWICK MARSHALL
HERITAGE HOMES
CLARK/MCCLURE
AS FOUND
10244 MISSISSAUGA ROAD
CITY OF BRAMPTON

PLANS

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1/16" = 1'-0"	<input type="checkbox"/>
1/8" = 1'-0"	<input type="checkbox"/>
1" = 10'-0"	<input type="checkbox"/>
50 metric	<input type="checkbox"/>
U.S.	<input type="checkbox"/>

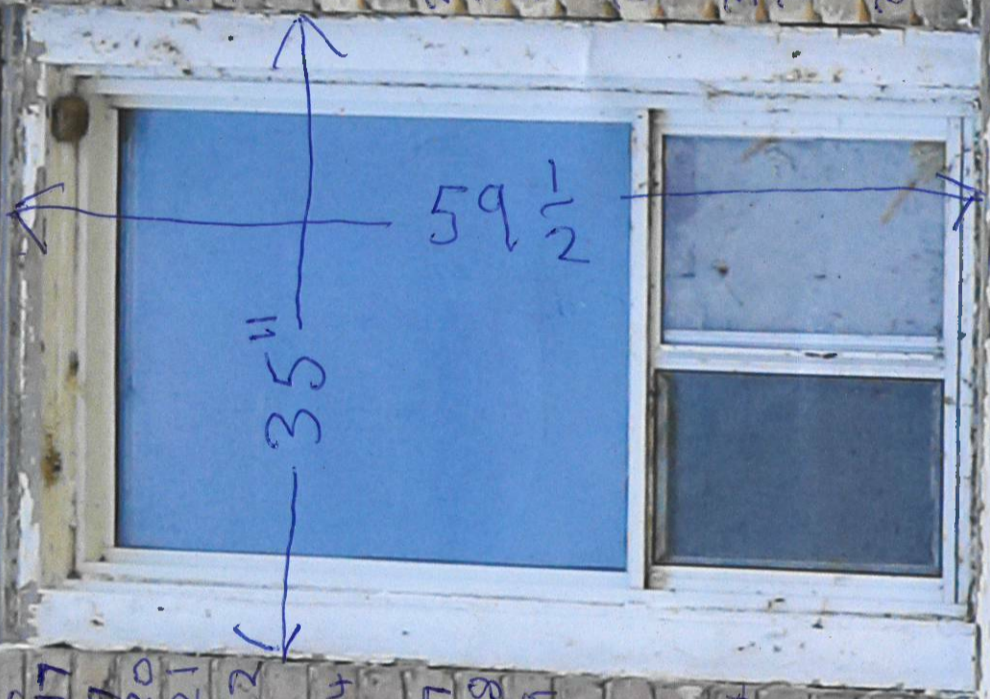
PROJECT NUMBER	
2216	

Appendix E



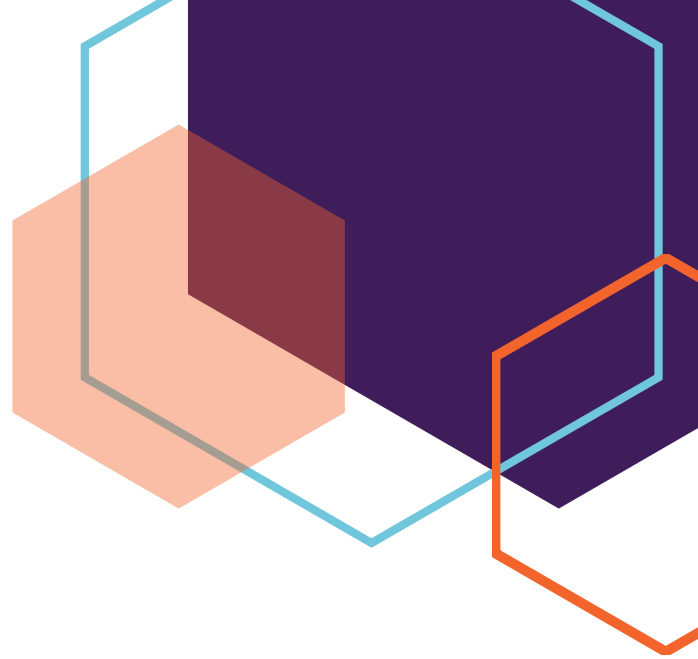


1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32 33 34 35 36 37 38 39 40



1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32 33 34 35 36 37 38 39 40

Appendix F















Appendix G

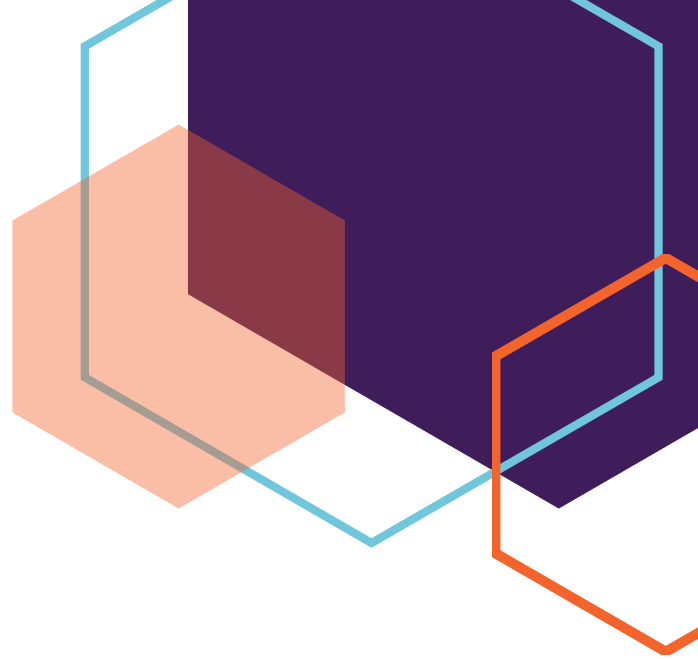




Figure 1: Salvaged bricks, August 15, 2022



Figure 2: Salvaged bricks sorted by colour and stacked on pallets, August 15, 2022



Figure 3: Salvaged foundation stone, August 15 2022



Figure 4: Front door, August 15, 2022



Figure 5: Center dormer louver, August 15, 2022



Figure 6: Sample of eave finishes for later duplication, August 15, 2022



Figure 7: Drop pendent from center dormer, August 15, 2022



Figure 8: Salvaged components, August 15, 2022

© Parslow Heritage Consultancy Inc.

883 St. Clair Avenue West, Rear, Toronto, ON, M6C 1C4

Telephone: [647-348-4887](tel:647-348-4887)

Email: admin@phcgroup.ca

Website: www.phcgroup.ca