

CITY OF BRAMPTON

CULTURAL HERITAGE ASSESSMENT REPORT

MAJOR TRANSIT STATION AREAS

July 11, 2022





CULTURAL HERITAGE ASSESSMENT REPORT

MAJOR TRANSIT STATION AREAS

CITY OF BRAMPTON

ORIGINAL REPORT

DRAFT

PROJECT NO.: 221-02456-00

DATE: JULY 11, 2022

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EXECUTIVE SUMMARY

WSP Canada Inc. (WSP) was retained by the City of Brampton (the Client), to conduct a Cultural Heritage Assessment Report (CHAR) for three Study Areas (Study Area 1, 2A and 2B), as part of the Major Transit Station Areas (MTSA) project. The MTSA include lands within a 500-800 metre radius of a transit station or stop. They are located primarily along existing or planned transit corridors (e.g. GO Train, Light Rail Transit, Bus Rapid Transit). MTSA are typically higher density, mixed-use, transit-supportive neighbourhoods that provide easy access to local amenities, jobs, housing, and recreation opportunities.

This CHAR was undertaken to identify municipally, provincially, and federally recognized properties within the Study Areas 1, 2A, and 2B. This study includes the proactive identification of significant built heritage resources and cultural heritage landscapes (BHRs and CHLs) to help the City of Brampton identify BHRs and CHLs worthy of inclusion on the City of Brampton's Municipal Register of Cultural Heritage Resources.

As such, this CHAR identifies existing and potential BHRs and CHLs within Study Areas 1, 2A, and 2B. Further, the report includes a review of the background history of the Study Areas, the results of a field review undertaken to confirm existing conditions and provide recommendations for properties to be added to the City of Brampton's Municipal Register of Cultural Heritage Resources.

The cultural heritage identification and evaluation documented in this Cultural Heritage Report follows the process set out in the *Draft Existing Conditions and Preliminary Impact Assessment Report Guidelines* provided by the MHSTCI (2019). In addition, best practice in heritage identification and assessment has been used, as outlined in the *Standards and Guidelines for the Conservation of Provincial Heritage Properties* (MHSTCI, 2010), *Identification and Evaluation Process* (2014), and the *Ontario Heritage Toolkit* (2006a).

This CHAR was prepared by Joel Konrad, PhD, CAHP, Cultural Heritage Lead, Ontario, and Emily Game, BA., Cultural Heritage Specialist. The report was carried out for Study Areas 1, 2A, and 2B. Field reviews were conducted on March 18 and March 22, 2022, by Emily Game, which confirmed a total of 329 BHRs and 10 CHLs in the Study Areas 1, 2A, and 2B (Tables 7-1, 7-2, and 7-3, Appendix B).

Therefore, based on the results of the CHAR, the following preliminary recommendations have been developed:

- 1** A total of 104 BHRs within Study Area 1, 65 BHRs within Study Area 2A, and 12 BHRs within Study Area 2B are recommended for immediate listing on the City of Brampton's Municipal Heritage Register.
- 2** A total of 77 BHRs within Study Area 1 and four BHRs within Study Area 2A were found to not currently contribute to their historic context, these properties are not recommended for immediate inclusion on the City of Brampton's Municipal Heritage Register.
- 3** A total of 25 BHRs within Study Area 1, six BHRs within Study Area 2A, and one BHR within Study Area 2B were found to have been heavily modified to the point that their heritage value may have

been lost, these properties are not recommended for immediate inclusion on the City of Brampton's Municipal Heritage Register.

- 4 A total of seven CHLs were identified within Study Area 1, they include CHL-1 to CHL-8. Three CHLs (CHL-3, CHL-5 and CHL-8) are listed on the City of Brampton's Municipal Heritage Register. CHL-9 and CHL-10 were identified during the field review within Study Area 2A and 2B, respectively. The following is recommended:

- The Downtown Brampton, Brampton Flowertown, and the Queen Street Corridor Secondary Plans should be updated to incorporate policies that ensure the long-term viability and presence of significant built heritage resources and cultural heritage landscapes, including the significant heritage character areas.
- As noted in Sections 6.1.1, 6.2.1 and 6.3.1, properties within the identified CHLs should be immediately listed on the City of Brampton's Municipal Heritage Register.
- Consider CHL 1, CHL-2, CHL-4, CHL-6, CHL-7, CHL-9 and CHL-10 as candidates for study for designation or recognition as a Cultural Heritage Conservation District, under Part V of the Ontario Heritage Act, or through Official Plan amendment.

PROJECT PERSONNEL

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TABLE OF CONTENTS

1	INTRODUCTION.....	1
1.1	STUDY PURPOSE AND OBJECTIVES.....	1
1.2	PROJECT DESCRIPTION AND STUDY AREA	2
2	LEGISLATIVE FRAMEWORK.....	5
2.1	United Nations Declaration on the Rights of Indigenous peoples.....	5
2.2	Provincial Policy Statement	6
2.3	Ontario Heritage Act	7
2.3.1	Ontario Regulation 9/06	7
2.4	City of Brampton Official Plan	8
3	METHODOLOGY	11
3.1	Agency Data Requests	13
4	HISTORICAL CONTEXT.....	14
4.1	Historical Context Overview.....	14
4.1.1	Pre-Contact.....	14
4.1.2	Post-Contact.....	20
4.1.3	Historical Mapping Review	23
5	EXISTING CONDITIONS	26
5.1	Field Review	26
5.2	Description of Existing Conditions	26
5.2.1	Study Area 1	26
5.2.2	Study Area 2A	36
5.2.3	Study Area 2B	39
5.3	Previous Cultural Heritage Assessments	40
5.4	Identified Built Heritage Resources and Cultural Heritage Landscapes	41



5.5	Conclusions	42
6	RECOMMENDATIONS	44
6.1	Built Heritage Resources: Study Area 1	44
6.1.1	Properties Recommended for Immediate INCLUSION on the Heritage Register.....	44
6.1.2	Properties Not Recommended for Immediate Inclusion on the Municipal Heritage Register Within Study Area 1	46
6.1.3	Candidates for Designation under Part IV of the Ontario Heritage ACT within Study Area 1	47
6.2	Built Heritage Resources: Study Area 2A.....	48
6.2.1	Properties Recommended for Immediate Inclusion on the Municipal Heritage Register within Study Area 2A	48
6.2.2	Properties Not Recommended for Immediate Inclusion on the Municipal Heritage Register Within Study Area 2A	49
6.2.3	Candidates for Designation Under Part IV of the Ontario Heritage ACT within Study Area 2A.....	49
6.3	Built Heritage Resources: Study Area 2B.....	50
6.3.1	Properties Recommended for Immediate Inclusion on the MUNICIPAL Heritage Register within Study Area 2B	50
6.3.2	Candidates for Designation Under Part IV of the Ontario Heritage ACT within Study Area 2B.....	51
6.4	Cultural Heritage Landscapes: Study Area 1, 2A, and 2B	51
7	REFERENCES	53

TABLES

TABLE 3-1: AGENCY DATA REQUESTS	13
---------------------------------------	----



TABLE 6-1: PROPERTIES RECOMMENDED FOR IMMEDIATE INCLUSION ON THE CITY OF BRAMPTON'S MUNICIPAL HERITAGE REGISTER IN STUDY AREA 144

TABLE 6-2: PROPERTIES NOT RECOMMENDED FOR IMMEDIATE INCLUSION ON THE MUNICIPAL HERITAGE REGISTER WITHIN STUDY AREA 146

TABLE 6-3: CANDIDATES FOR DESIGNATION UNDER PART IV OF THE *ONTARIO HERITAGE ACT* WITHIN STUDY AREA 148

TABLE 6-4: PROPERTIES RECOMMENDED FOR INCLUSION ON THE CITY OF BRAMPTON'S MUNICIPAL HERITAGE REGISTER IN STUDY AREA 2A.....48

TABLE 6-5: PROPERTIES NOT RECOMMENDED FOR IMMEDIATE INCLUSION ON THE MUNICIPAL HERITAGE REGISTER WITHIN STUDY AREA 2A....49

TABLE 6-4: CANDIDATES FOR DESIGNATION UNDER PART IV OF THE *ONTARIO HERITAGE ACT* WITHIN STUDY AREA 2A.....50

TABLE 6-6: PROPERTIES RECOMMENDED FOR INCLUSION ON THE CITY OF BRAMPTON'S MUNICIPAL HERITAGE REGISTER IN STUDY AREA 2B.....50

TABLE 6-7: CANDIDATES FOR DESIGNATION UNDER PART IV OF THE *ONTARIO HERITAGE ACT* WITHIN STUDY AREA 2B.....51

TABLE 7-1: IDENTIFIED BUILT HERITAGE RESOURCES AND CULTURAL HERITAGE LANDSCAPES WITH KNOWN OR POTENTIAL CULTURAL HERITAGE VALUE OR INTEREST WITHIN STUDY AREA 172

TABLE 7-2: IDENTIFIED BUILT HERITAGE RESOURCES AND CULTURAL HERITAGE

LANDSCAPES WITH KNOWN OR POTENTIAL CULTURAL HERITAGE VALUE OR INTEREST WITHIN STUDY AREA 2A.....130

TABLE 7-3: IDENTIFIED BUILT HERITAGE RESOURCES AND CULTURAL HERITAGE LANDSCAPES WITH KNOWN OR POTENTIAL CULTURAL HERITAGE VALUE OR INTEREST WITHIN STUDY AREA 2B.....153

FIGURES

FIGURE 1: LOCATION OF STUDY AREAS ON AERIAL PHOTOGRAPH IN THE CITY OF BRAMPTON, ONTARIO3

FIGURE 2: LOCATION OF STUDY AREAS IN THE CITY OF BRAMPTON, ONTARIO.....4

FIGURE 3: LOCATION OF STUDY AREAS IN THE FORMER PEEL COUNTY, 1859.....57

FIGURE 4: LOCATION OF STUDY AREAS IN THE FORMER PEEL COUNTY, 187758

FIGURE 5: STUDY AREA 2B IN RELATION TO THE 1894 (REVISED 1911) FIRE INSURANCE PLAN.....59

FIGURE 6: LOCATION OF STUDY AREAS ON THE 1909 NTS MAP60

FIGURE 7: STUDY AREA 1 IN RELATION TO THE 1921 (REVISED 1924) FIRE INSURANCE PLAN.....61

FIGURE 8: STUDY AREA 2A IN RELATION TO THE 1921 (REVISED 1924) FIRE INSURANCE PLAN.....62

FIGURE 9: STUDY AREA 2B IN RELATION TO THE 1921 (REVISED 1924) FIRE INSURANCE PLAN.....63

FIGURE 10: STUDY AREAS IN RELATION TO THE 1938 NTS MAP	64
FIGURE 11: STUDY AREA 1 ON 1954 AERIAL PHOTOGRAPHY	65
FIGURE 12: STUDY AREA 2A ON 1954 AERIAL PHOTOGRAPHY	66
FIGURE 13: STUDY AREA 2B ON 1954 AERIAL PHOTOGRAPHY	67
FIGURE 14: STUDY AREA 1 ON 1968 AERIAL PHOTOGRAPHY	68
FIGURE 15: STUDY AREA 2A ON 1968 AERIAL PHOTOGRAPHY	69
FIGURE 16: STUDY AREA 2B ON 1968 AERIAL PHOTOGRAPHY	70
FIGURE 18: BUILT HERITAGE RESOURCES WITHIN STUDY AREA 1	160
FIGURE 19: BUILT HERITAGE RESOURCES WITHIN STUDY AREA 1	161
FIGURE 20: BUILT HERITAGE RESOURCES WITHIN STUDY AREA 1	162
FIGURE 21: BUILT HERITAGE RESOURCES WITHIN STUDY AREA 2A	163
FIGURE 22: BUILT HERITAGE RESOURCES WITHIN STUDY AREA 2B	164
FIGURE 23: ARCHITECTURAL STYLES WITHIN STUDY AREA 1	165
FIGURE 24: ARCHITECTURAL STYLES WITHIN STUDY AREA 1	166

FIGURE 25: ARCHITECTURAL STYLES WITHIN STUDY AREA 1167

FIGURE 26: ARCHITECTURAL STYLES WITHIN STUDY AREA 2A168

FIGURE 27: ARCHITECTURAL STYLES WITHIN STUDY AREA 2B169

FIGURE 28: CULTURAL HERITAGE LANDSCAPES WITHIN STUDY AREA 1170

FIGURE 29: CULTURAL HERITAGE LANDSCAPES WITHIN STUDY AREA 2A.....171

FIGURE 30: CULTURAL HERITAGE LANDSCAPES WITHIN STUDY AREA 2B.....172

FIGURE 31: PROPERTIES RECOMMENDED FOR LISTING WITHIN STUDY AREA 1173

FIGURE 32: PROPERTIES RECOMMENDED FOR LISTING WITHIN STUDY AREA 1174

FIGURE 33: PROPERTIES RECOMMENDED FOR LISTING WITHIN STUDY AREA 1175

FIGURE 34: PROPERTIES RECOMMENDED FOR LISTING WITHIN STUDY AREA 2A.....176

FIGURE 35: PROPERTIES RECOMMENDED FOR LISTING WITHIN STUDY AREA 2B.....177

LIST OF APPENDICES

APPENDIX A: HISTORICAL MAPPING.....56

APPENDIX B: IDENTIFIED BUILT HERITAGE RESOURCES AND CULTURAL HERITAGE LANDSCAPES WITH KNOWN OR POTENTIAL



CULTURAL HERITAGE VALUE OR INTEREST WITHIN
STUDY AREAS 1, 2A, AND 2B.....71

APPENDIX C: CULTURAL HERITAGE RESOURCE
MAPPING159

1 INTRODUCTION

1.1 STUDY PURPOSE AND OBJECTIVES

WSP Canada Inc. (WSP) was retained by the City of Brampton (the Client), to conduct a Cultural Heritage Assessment Report (CHAR) for three Study Areas (Study Area 1, 2A and 2B), as part of the Major Transit Station Areas (MTSA) project. The MTSA include lands within 500-800 metre radius of a transit station or stop. They are located primarily along existing or planned transit corridors (e.g. GO Train, Light Rail Transit, Bus Rapid Transit). MTSA are higher density, mixed-use, transit-supportive neighbourhoods that provide easy access to local amenities, jobs, housing, and recreation opportunities

This CHAR was undertaken to identify municipally, provincially, and federally recognized properties within the Study Areas 1, 2A, and 2B. This study includes the proactive identification of significant built heritage resources and cultural heritage landscapes (BHRs and CHLs) to help the City of Brampton identify BHRs and CHLs worthy of inclusion on the City of Brampton's Municipal Register of Cultural Heritage Resources.

This CHAR identifies existing and potential BHRs and CHLs; reviews the background history of the Study Area; outlines results of a site visit to confirm existing conditions; and provides recommendations on BHRs and CHLs worthy of inclusion on the City of Brampton's Municipal Heritage Register.

To meet these objectives, the report will:

- Introduce the study including the purpose and methodology used to undertake the work.
- Review background studies to complete a summary history of the Study Areas using local histories, historical mapping and aerial photographs. This work will trace the evolution of the Study Areas and aid in the identification of existing and potential BHRs and CHLs.
- Contact Heritage Planners at the City of Brampton regarding heritage recognitions and identification of listed and/or designated heritage properties within the Study Areas.
- Confirm the presence of previously recognized built heritage resources and cultural heritage landscapes. This process will aid in the identification of built heritage resources and cultural heritage landscapes that may be impacted by the undertaking. This task will include a review of municipal, provincial, and federal heritage registers and inventories, including the City of Brampton's Municipal Register of Cultural Heritage Resources and Municipal Register of Cultural Heritage Resources Designated under the *Ontario Heritage Act* (OHA) (2005).
- Identify properties for inclusion on the City of Brampton's Municipal Heritage Register.

This work will be conducted in accordance with the OHA, the *Provincial Policy Statement (2020)*, the *Environmental Assessment Act (1990)* and the City of Brampton *Official Plan*.

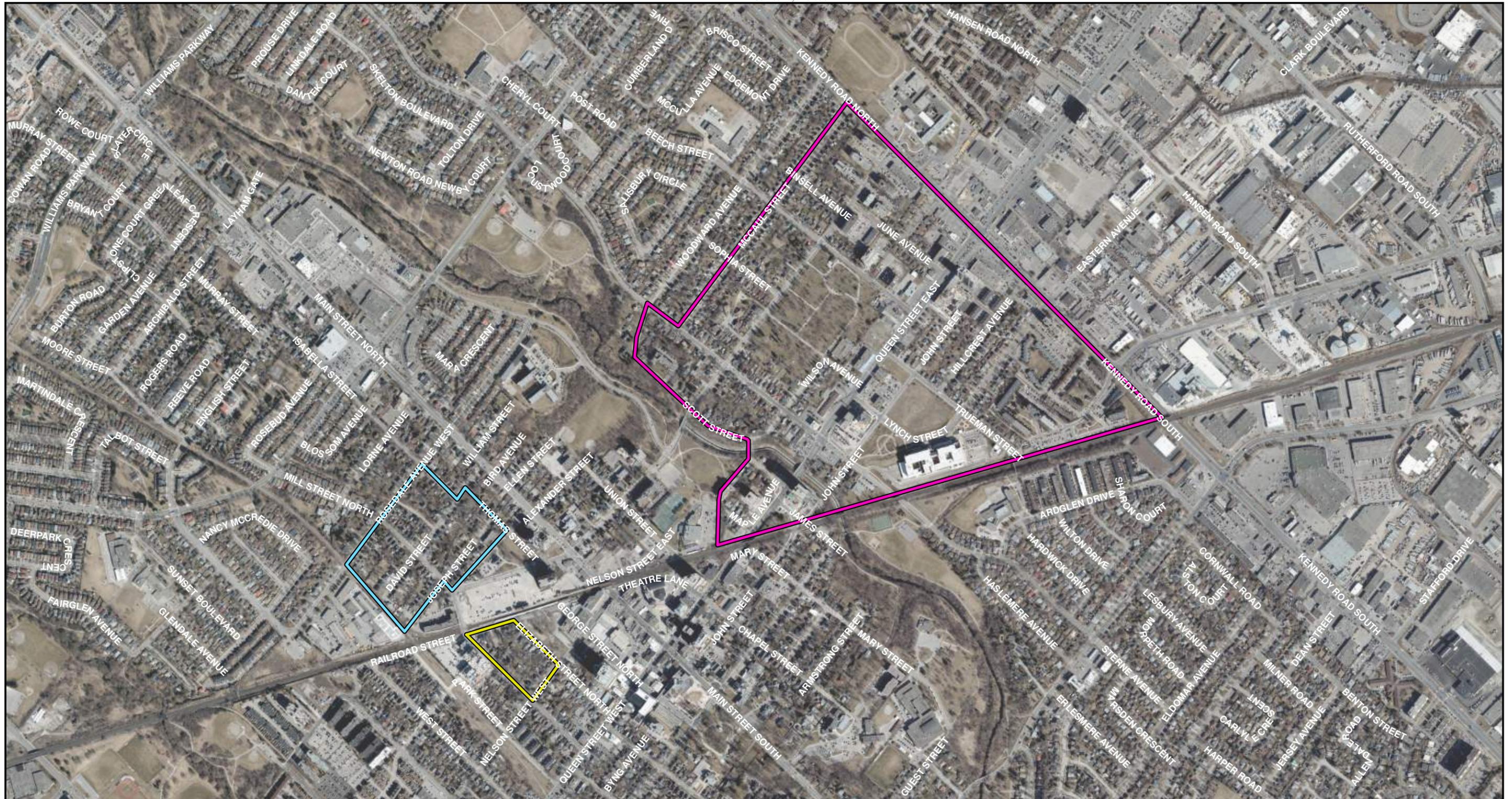
1.2 PROJECT DESCRIPTION AND STUDY AREA

MTSAs form significant anchors within the City of Brampton. The MTSAs will be designed and developed into complete mixed-use communities that include a range of housing and recreational options to attract talent and employment, in line with Brampton 2040 Vision and Term of Council Priorities. The MTSAs will prioritise open space and pedestrian linkages allowing seamless movement of pedestrians, cyclists, motorists, and transits and facilitate a healthy, safe and green city.

Study Area 1 is bounded to the north by McCaul Street, to the east by Kennedy Road, to the south by the former Grand Trunk Railway (GTR) and to the west by Scott Street. Kennedy Road North runs approximately northwest to southeast, for ease of description it will be described as having a north-south orientation.

Study Area 2A is bounded to the north by Rosedale Avenue West, Main Street North to the east, Market Street to the south and the former Grand Trunk Railway to the west. Rosedale Avenue West runs approximately northeast to southwest, for ease of description it will be described as having an east-west orientation.

Study Area 2B is bounded by Railroad Street to the north, Elizabeth Street North to the east, Nelson Street West to the south and Mill Street North to the west. Railroad Street runs approximately northwest to southeast, for ease of description it will be described as having an east-west orientation.



LEGEND

- Study Area 1
- Study Area 2A
- Study Area 2B



TITLE:
FIGURE 1: LOCATION OF STUDY AREAS

PROJECT:
CULTURAL HERITAGE ASSESSMENT REPORT: MAJOR TRANSIT STATION AREAS



SCALE:
1:10,000

PROJECT NO:
221-02456-00

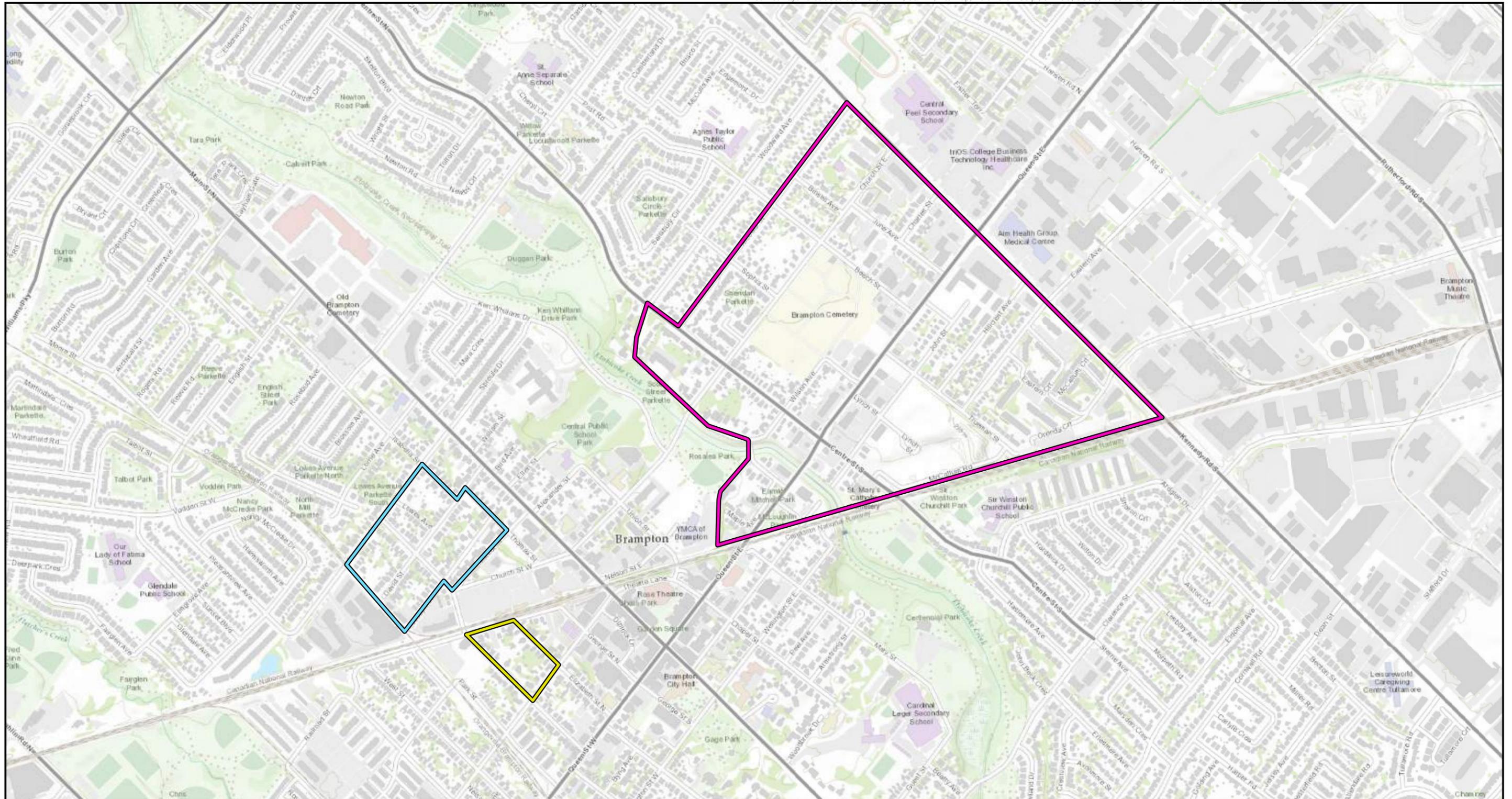
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MARCH 2022

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LEGEND

- Study Area 1
- Study Area 2A
- Study Area 2B

TITLE:
FIGURE 2: LOCATION OF STUDY AREAS

PROJECT:
CULTURAL HERITAGE ASSESSMENT REPORT: MAJOR TRANSIT STATION AREAS



SCALE:
1:10,000

PROJECT NO:
221-02456-00

DATE:
MARCH 2022

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ESRI TOROPGRAPHIC BASEMAP



2 LEGISLATIVE FRAMEWORK

This report reviews BHRs and CHLs within the Project Areas to ensure that the requirements under the Ontario *Environmental Assessment Act* (1990) are satisfied. This section outlines the various legislative frameworks and policies relevant to the report.

2.1 UNITED NATIONS DECLARATION ON THE RIGHTS OF INDIGENOUS PEOPLES

On June 21st, 2021, the Canadian federal government enacted *United Nations Declaration on the Rights of Indigenous Peoples Act* and confirmed that the *United Nations Declaration on the Rights of Indigenous Peoples* (Declaration - 2007) “must be implemented in Canada.” As a result, Indigenous peoples in Canada are recognized as having unique rights, including those that pertain to the conservation of Indigenous heritage. As per Articles 11 and 31 of the Declaration:

11. 1) Indigenous peoples have the right to practice and revitalize their cultural traditions and customs. This includes the right to maintain, protect and develop the past, present and future manifestations of their cultures, such as archaeological and historical sites, artefacts, designs, ceremonies, technologies and visual and performing arts and literature.

31. 1) Indigenous peoples have the right to maintain, control, protect and develop their cultural heritage, traditional knowledge and traditional cultural expressions, as well as the manifestations of their sciences, technologies and cultures, including human and genetic resources, seeds, medicines, knowledge of the properties of fauna and flora, oral traditions, literatures, designs, sports and traditional games and visual and performing arts. They also have the right to maintain, control, protect and develop their intellectual property over such cultural heritage, traditional knowledge, and traditional cultural expressions.

- 2) In conjunction with Indigenous peoples, States shall take effective measures to recognize and protect the exercise of these rights.

These rights to historical sites, ceremonies, cultural traditions, etc. (collectively understood as Indigenous heritage) are pertinent to the Environmental Assessment process through Articles 25 and 26 of the Declaration, which state that:

25. Indigenous peoples have the right to maintain and strengthen their distinctive spiritual relationship with their traditionally owned or otherwise occupied and used lands, territories, waters and coastal seas and other resources and to uphold their responsibilities to future generations in this regard.

26. 1) Indigenous peoples have the right to the lands, territories and resources which they have traditionally owned, occupied or otherwise used or acquired.

2) Indigenous peoples have the right to own, use, develop and control the lands, territories and resources that they possess by reason of traditional ownership or other traditional occupation or use, as well as those which they have otherwise acquired.

3) States shall give legal recognition and protection to these lands, territories and resources.

Such recognition shall be conducted with due respect to the customs, traditions, and land tenure systems of the Indigenous peoples concerned.

2.2 PROVINCIAL POLICY STATEMENT

The *Provincial Policy Statement (PPS)* (2020) outlines provincial “policy direction on matters of provincial interest related to land use planning and development” (Part I: Preamble PPS 2020). The intent is to provide for appropriate development that protects resources of public interest, public health and safety and the quality of the natural and built environment. The PPS 2020 identifies the conservation of significant built heritage resources and cultural heritage landscapes as a provincial interest in Section 2.6.1.

Relevant definitions from the PPS 2020 include:

Built Heritage Resources (BHR): means a building, structure, monument, installation or any manufactured or constructed part or remnant that contributes to a property’s cultural heritage value or interest as identified by a community, including an Indigenous community. *Built heritage resources* are located on property that may be designated under Parts IV or V of the OHA, or that may be included on local, provincial, federal and/or international registers.

Cultural Heritage Landscapes (CHL): means a defined geographical area that may have been modified by human activity and is identified as having cultural heritage value or interest by a community, including an Indigenous community. The area may include features such as buildings, structures, spaces, views, archaeological sites or natural elements that are valued together for their interrelationship, meaning or association. *Cultural heritage landscapes* may be properties that have been determined to have cultural heritage value or interest under the OHA, or have been included on federal and/or international registers, and/or protected through official plan, zoning by-law, or other land use planning mechanisms.

Conserved: means the identification, protection, management and use of built heritage resources, *cultural heritage landscapes* and *archaeological resources* in a manner that ensures their cultural heritage value or interest is retained. This may be achieved by the implementation of recommendations set out in a conservation plan, archaeological assessment, and/or heritage impact assessment that has been approved, accepted or adopted by the relevant planning authority and/or decision- maker. Mitigative measures and/or alternative development approaches can be included in these plans and assessments.

2.3 ONTARIO HERITAGE ACT

The OHA (2005) gives municipalities and the provincial government powers to preserve the heritage of Ontario, with a primary focus on protecting heritage properties and archaeological sites. The OHA grants the authority to municipalities and to the province to identify and designate properties of heritage significance, provide standards and guidelines for the preservation of heritage properties and enhance protection of heritage conservation districts, marine heritage sites and archaeological resources.

Designation ensures the conservation of important places and can take the form of individual designations (Part IV of the OHA) or as part of a larger group of properties, known as a Heritage Conservation District (Part V of the OHA). An evaluation using the criteria outlined in Ontario Regulation (O. Reg) 9/06 is used to determine whether a property possesses cultural heritage value or interest and may be worthy of designation under the OHA. Designation offers protection for properties under Sections 33, 34 and 42 of the OHA, prohibiting the owner of a designated property from altering, demolishing or removing a building or structure on the property unless the owner applies to the council of the municipality and receives written consent to proceed with the alteration, demolition or removal.

In addition to designated properties, the OHA allows municipalities to list properties that are considered to have cultural heritage value or interest on their Municipal Heritage Register. Under Part IV, Section 27 of the OHA, municipalities must maintain a Register of properties situated in the municipality that are of cultural heritage value or interest. Section 27 (1.1) states that the register shall be kept by the clerk and that it must list all designated properties (Part IV and V). Under Section 27 (1.2), the Register may include property that has not been designated, but that council believes to be of cultural heritage value or interest. Listed properties, although recognized as having cultural heritage value or interest, are not protected under the OHA to the same extent as designated properties, but are acknowledged under Section 2 of the PPS 2020 under the *Planning Act*. An owner of a listed heritage property must provide the municipality with 60 days' notice of their intention to demolish a building or structure on the property.

The OHA also allows for the designation of provincial heritage properties (PHP). Part III.1 of the OHA enables the preparation of standards and guidelines that set out the criteria and process for identifying the cultural heritage value or interest of PHPs (Part II of the OHA) and cultural heritage value or interest of provincial heritage properties of provincial significance (PHPPS) (Ontario Regulation (O. Reg.) 10/06 of the OHA) and to set standards for their protection, maintenance, use, and disposal.

2.3.1 ONTARIO REGULATION 9/06

The criteria for determining cultural heritage value or interest is defined in O. Reg. 9/06. This regulation was created to ensure a consistent approach to the designation of heritage properties under the OHA. All designations under the OHA made after 2006 must meet the criteria outlined in the regulation.

A property may be designated under Section 29 of the OHA if it meets one or more of the following criteria for determining whether it is of cultural heritage value or interest:

- 1 The property has design value or physical value because it,
 - i. is a rare, unique, representative or early example of a style, type, expression, material or construction method,
 - ii. displays a high degree of craftsmanship or artistic merit, or
 - iii. demonstrates a high degree of technical or scientific achievement.
 - 2 The property has historical value or associative value because it,
 - i. has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community,
 - ii. yields, or has the potential to yield, information that contributes to an understanding of a community or culture, or
 - iii. demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.
 - 3 The property has contextual value because it,
 - i. is important in defining, maintaining or supporting the character of an area,
 - ii. is physically, functionally, visually or historically linked to its surroundings, or,
 - iii. is a landmark.
-

2.4 CITY OF BRAMPTON OFFICIAL PLAN

The City of Brampton's *Official Plan* (2006, Office Consolidation September 2020) addresses cultural heritage in Section 4.10. Policies relevant to heritage include:

4.10.1 Built Heritage

4.10.1.1 The City shall compile a Cultural Heritage Resources Register to include designated heritage resources as well as those listed as being of significant cultural heritage value or interest including built heritage resources, cultural heritage landscapes, heritage conservation districts, areas with cultural heritage character and heritage cemeteries.

4.10.1.2 The Register shall contain documentation for these resources including legal description, owner information, and description of the heritage attributes for each designated and listed heritage resources to ensure effective protection and to maintain its currency, the Register shall be updated regularly and be accessible to the public.

4.10.1.3 All significant heritage resources shall be designated as being of cultural heritage value or interest in accordance with the *Ontario Heritage Act* to help ensure effective protection and their continuing maintenance, conservation and restoration.

4.10.1.4 Criteria for assessing the heritage significance of cultural heritage resources shall be developed. Heritage significance refers to the aesthetic, historic, scientific, cultural, social or spiritual importance or significance of a resource for past, present or future generations. The

significance of a cultural heritage resource is embodied in its heritage attributes and other character defining elements including: materials, forms, location, spatial configurations, uses and cultural associations or meanings. Assessment criteria may include one or more of the following core values:

- Aesthetic, Design or Physical Value;
- Historical or Associative Value; and/or,
- Contextual Value.

4.10.1.8 Heritage resources will be protected and conserved in accordance with the Standards and Guidelines for the Conservation of Historic Places in Canada, the Appleton Charter for the Protection and Enhancement of the Built Environment and other recognized heritage protocols and standards. Protection, maintenance and stabilization of existing cultural heritage attributes and features over removal or replacement will be adopted as the core principles for all conservation projects.

4.10.1.17 The City shall modify its property standards and by-laws as appropriate to meet the needs of preserving heritage structures.

4.10.2 Cultural Heritage Landscape

4.10.2.1 The City shall identify and maintain an inventory of cultural heritage landscapes as part of the City's Cultural Heritage Register to ensure that they are accorded with the same attention and protection as the other types of cultural heritage resources.

4.10.2.2 Significant cultural heritage landscapes shall be designated under either Part IV or Part V of the *Ontario Heritage Act*, or established as Areas of Cultural Heritage Character as appropriate.

4.10.2.3 Owing to the spatial characteristics of some cultural heritage landscapes that they may span across several geographical and political jurisdictions, the City shall cooperate with neighbouring municipalities, other levels of government, conservation authorities and the private sector in managing and conserving these resources.

4.10.4 Areas with Cultural Heritage Character

4.10.4.1 Areas with Cultural Heritage Character shall be established through secondary plan, block plan or zoning by-law.

4.10.4.2 Land use and development design guidelines shall be prepared for each zoned area to ensure that the heritage conservation objectives are met.

4.10.4.3 Cultural Heritage Character Area Impact Assessment shall be required for any development, redevelopment and alteration works proposed within the area.

4.10.5 Heritage Cemeteries

4.10.5.1 All cemeteries of cultural heritage significance shall be designated under Part IV or V of the *Ontario Heritage Act*, including vegetation and landscape of historic, aesthetic and contextual values to ensure effective protection and preservation.

4.10.5.3 Standards and design guidelines for heritage cemetery preservation shall be developed including the design of appropriate fencing, signage and commemorative plating.

4.10.5.4 The heritage integrity of cemeteries shall be given careful consideration at all times. Impacts and encroachments shall be assessed and mitigated and the relocation of human remains shall be avoided.

4.10.8 City-owned Heritage Resources

4.10.8.1 The City shall designate all city-owned heritage resources of merits under the *Ontario Heritage Act* and shall prepare strategies for their care, management, and stewardship.

4.10.8.2 The City shall protect and maintain all city-owned heritage resources to a good standard to set a model for high standard heritage conservation.

4.10.8.3 City-owned heritage resources shall be integrated into the community and put to adaptive reuse, where feasible.

4.10.9 Implementation

4.10.9.4 The City shall acquire heritage easements, and enter into development agreements, as appropriate, for the preservation of heritage resources and landscapes.

4.10.9.5 Landowner cost share agreement should be used wherever possible to spread the cost of heritage preservation over a block plan or a secondary plan area on the basis that such preservation constitutes a community benefit that contributes significantly to the sense of place and recreational and cultural amenities that will be enjoyed by area residents.

4.10.9.11 The relevant public agencies shall be advised of the existing and potential heritage and archaeological resources, Heritage Conservation District Studies and Plans at the early planning stage to ensure that the objectives of heritage conservation are given due consideration in the public work project concerned.

4.10.9.13 Lost historical sites and resources shall be commemorated with the appropriate form of interpretation.

4.10.9.14 The City will undertake to develop a signage and plaquing system for cultural heritage resources in the City.

3 METHODOLOGY

The scope of this study was defined by guidance set out in the *Draft Existing Conditions and Preliminary Impact Assessment Report Guidelines* provided by the MHSTCI (2019), as well as best practice in heritage identification and assessment outlined in the *Standards and Guidelines for the Conservation of Provincial Heritage Properties* (MHSTCI, 2010), *Identification and Evaluation Process* (2014), *MHSTCI Criteria for Evaluating Potential for Built Heritage Resources and Cultural Heritage Landscapes: A Checklist for the Non-Specialist* (2016; the MSTCI Checklist) and the *Ontario Heritage Tool Kit: Heritage Resources in the Land Use Planning Process* (MHSTCI, 2006). The MHSTCI Checklist provides a screening tool to identify all known or recognized BHRs and CHLs in the Study Areas, as well as commemorative plaques, cemeteries, Canadian Heritage River watersheds, properties with buildings or structures 40 or more years old, or potential CHLs.

With this scope, WSP completed the following tasks:

- researched archival and published sources relevant to the historical and geographic context of the Study Areas;
- reviewed federal, provincial, and municipal heritage registers, inventories and databases to identify known BHRs and CHLs in the Study Areas, including:
 - Canadian Register of Historic Places;
 - Parks Canada Directory of Federal Heritage Designations and Directory of Heritage Railway Stations;
 - Canadian Heritage Rivers System list of designated heritage river systems;
 - Ontario Heritage Trust (OHT) Places of Worship Inventory, Plaque Database, web mapping tool showing OHT Buildings and Easements, and OHA Register;
 - Ontario Historical County Maps Project nineteenth century map collection (University of Toronto);
 - The Canadian County Atlas Digital Project nineteenth century map collection (McGill University);
 - Historical Topographic Map Digitization Project twentieth century map collection (Ontario Council of University Libraries);

- Air Photos of Southern Ontario twentieth century aerial imagery collection (University of Toronto Map and Data Library); and
- Google Street View©.
- engaged with Heritage Planning Staff at the City of Brampton and obtained the following information containing heritage resource data for the MTSA Study Areas (exported into mapping shapefiles and Excel lists by the City for ease of reference):
 - List of inventoried, registered non-designated, and designated heritage properties;
 - List of CHLs;
 - List of properties included on the City's Inventory of Cemeteries and Burials;
 - List of properties included on the City's Inventory of Places of Worship;
 - List of properties included on the City's Inventory of Places of Education;
 - List of cultural heritage assessment reports prepared within the boundaries of the three Study Areas. Six reports were provided by the City.
- conducted a field investigation from the public right-of-way (ROW) to record all known and potential BHRs and CHLs located within the Study Areas, and to understand the wider built heritage and cultural landscape context;
- completed screening-level evaluations of properties with buildings or structures 40 or more years old and evaluated their potential CHVI using the criteria prescribed in O. Reg. 9/06. This report does not provide a comprehensive evaluation of a property according to O. Reg. 9/06 and does not satisfy the requirement for a Cultural Heritage Evaluation Report (CHER); and

Field investigations were conducted by Emily Game, Cultural Heritage Specialist, on March 18 and March 22, 2022. This included taking digital photographs of streetscapes and properties in the Study Areas from the public ROW.

Descriptions of architectural styles and elements used in this CHAR employ terms provided in Blumenson (1990), Ricketts et al. (2004), Hubka (2013), and the Canadian Inventory of Historic Buildings (Parks Canada, 1980). Landscape analysis and landform and vegetation description relies on terms and concepts presented in the Historic Scotland Historic Landuse Assessment (1999) and Australian Soil and Land Survey Field Handbook, Third Edition (2017).

For the purposes of this study, any property previously identified by a municipality, municipal staff, provincial or federal agencies, or cultural heritage assessment reporting as containing, or having the potential to contain, CHVI will be determined to be a BHR or CHL, and if applicable, will be discussed in Section 5.4.

3.1 AGENCY DATA REQUESTS

As part of this study, the City of Brampton's Planning Viewer website was reviewed to determine if properties and structures have been previously identified and/or have been designated under the OHA. Additionally, the City of Brampton provided Shapefiles with the location of properties included on the City of Brampton's Municipal Register of Cultural Heritage Resources and Municipal Register of Cultural Heritage Resources Designated under the *Ontario Heritage Act*.

A request was sent to the OHT on March 20, 2022, to obtain information related to OHT easements and owned properties. No response has been received to date, however, a review of the OHT's online database of easement properties did not identify any properties within the three Study Areas.

A request was sent to the MHSTCI on March 30, 2022, to confirm if any provincial heritage properties (PHPs) were located within the Study Areas. A response was received on March 31, 2022, confirming there are no Provincial Heritage Properties and/or Provincial Heritage Properties of Provincial Significance within the Study Areas. A summary of data requested through consultation with the agencies noted above is provided in Table 3-1.

Table 3-1: Agency Data Requests

Contact Name / Position	Organization	Contact Information	Dates of Communication	Description of Information Received
Harsh Padhya, Heritage Planner	City of Brampton	Harsh.Padhya@brampton.ca	March 7, March 21, and March 31, 2022	Mr. Padhya provided Shapefiles with the locations of listed and designated properties. He also provided a list of Properties of Interest for Study Areas 1, 2A, and 2B.
Kevin De Mille, Natural Heritage Coordinator	OHT	Email: Kevin.DeMille@heritagetrust.on.ca	March 30, 2022	To date, no response has been received.
Karla Barboza, Heritage Planner	MHSTCI	Email: karla.barboza@ontario.ca	March 30, 2022 and March 31, 2022	Ms. Barboza confirmed there are no Provincial Heritage Properties and/or Provincial Heritage Properties of

				Provincial Significance within the three Study Areas.
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4 HISTORICAL CONTEXT

4.1 HISTORICAL CONTEXT OVERVIEW

This section provides a brief outline of the pre-contact and post-contact periods of Southern Ontario, Peel County, the Township of Chinguacousy the City of Brampton and the Study Areas, specifically, to provide a generalized historical framework for the CHAR.

4.1.1 PRE-CONTACT

The pre-contact period in Ontario has been reconstructed, primarily, from the archaeological record and interpretations made by archaeologists through an examination of material culture and site settlement patterns. Technological and temporal divisions of the pre-contact period have been defined by archaeologists based on changes to natural, cultural, and political environments that are observable in the archaeological record. It is pertinent to state that although these divisions provide a generalized framework for understanding the broader events of the pre-contact period, they are not an accurate reflection of the fluidity and intricacies of cultural practices that spanned thousands of years. The following sections present a sequence of Indigenous land-use during periods defined by archaeologists from the earliest human occupation of Ontario following deglaciation to the period when Europeans began to settle the land. These periods are:

- The Paleo Period
- The Archaic Period
- The Woodland Period
- The Post-Contact Period

PALEO PERIOD

Paleo period populations were the first to occupy what is now Southern Ontario, moving into the region following the retreat of the Laurentide Ice Sheet approximately 11,000 years before present (BP). The first Paleo period populations to occupy Southern Ontario are referred to by archaeologists as Early Paleo (Ellis & Deller, 1990).

Early Paleo period groups are identified by their distinctive projectile point morphological types, exhibiting long grooves, or 'flutes', that likely functioned as a hafting mechanism (method of attaching the point to a wooden shaft). These Early Paleo group projectile point types include Gainey (ca. 10,900 BP), Barnes (ca. 10,700), and Crowfield (ca. 10,500) (Ellis & Deller, 1990). By approximately 10,400 BP, Paleo projectile points transitioned to various unfluted varieties, such as Holcombe (ca. 10,300 BP), Hi Lo (ca. 10,100 BP), and Unstemmed and Stemmed Lanceolate (ca. 10,400 to 9,500 BP). These tool types were used by Late Paleo period groups (Ellis & Deller, 1990). Both Early and Late Paleo period populations were highly mobile, participating in the hunting of large game animals. Paleo period sites often functioned as small campsites where stone tool production and maintenance occurred (Ellis & Deller, 1990).

ARCHAIC PERIOD

Climatic warming, approximately 8,000 BP, was accompanied by the arrival of the deciduous forest in southern Ontario. With this shift in flora came new faunal resources, resulting in a change in cultural adaptations in the region. This change is reflected in new tool-kits and associated subsistence strategies referred to archaeologically as the Archaic period. The Archaic period in southern Ontario is divided into three phases: the Early Archaic (ca. 10,000 to 8,000 BP), the Middle Archaic (ca. 8,000 to 4,500 BP), and the Late Archaic (ca. 4,500 to 2,800 BP) (Ellis et al. 1990). Generally, in North America, the Archaic period represents a transition from big game hunting to broader, more generalized subsistence strategies dependent on local environmental parameters. This period is characterized by the following traits:

- An increase in stone tool variation and reliance on local stone sources,
- The emergence of notched and stemmed projectile point types,
- A reduction in extensively flaked tools,
- The use of native copper,
- The use of bone tools for hooks, gorges, and harpoons,
- An increase in extensive trade networks, and
- The production of ground stone tools and an increase in larger, less portable tools

The Archaic period is also marked by population growth. Archaeological evidence suggests that by the end of the Middle Archaic period (ca. 4,500 BP) populations were steadily increasing in size (Ellis et al., 1990). Over the course of the Archaic period, populations began to rely on more localized hunting and gathering territories. By the end of the Archaic period, populations were utilizing more encampments that are seasonal. From spring to fall, the archaeological record shows populations were shifting their settlement patterns on a regular, seasonal basis. From spring to fall, settlements would exploit lakeshore/riverine locations where a broad-based subsistence strategy could be employed, while the late fall and winter months would be spent at interior site where deer hunting was likely a primary focus with some wild edibles likely being collected (Ellis et al. 1990, p. 114). This steady increase in population size and adoption of a more localized seasonal subsistence strategy eventually evolved into what is termed the Woodland period.

EARLY AND MIDDLE WOODLAND PERIODS

The beginning of the Woodland period is defined by the emergence of ceramic technology. Similar to the Archaic period, the Woodland period is separated into three timeframes: the Early Woodland (ca. 2,800 to 2,000 BP), the Middle Woodland (ca. 2,000 to 1,200 BP), and the Late Woodland (ca. 1,200 to 350 BP) (Spence et al., 1990; Fox, 1990).

The Early Woodland period is represented in southern Ontario by two cultural complexes: the Meadowood Complex (ca. 2,900 to 2,500 BP), and the Middlesex Complex (ca. 2,500 to 2,000 BP). During this period, the life ways of Early Woodland populations differed little from that of the Late Archaic with hunting and gathering representing the primary subsistence strategies. The pottery of this period is characterized by its relatively crude construction and lack of decoration. These early ceramics exhibit cord impressions, which are likely the result of the techniques used during manufacture rather than decoration (Spence et al., 1990).

The Middle Woodland period has been differentiated from the Early Woodland period by changes in lithic tool forms (e.g. projectile points, expedient tools), and the increased decorative elaboration of ceramic vessels (Spence et al., 1990). Additionally, archaeological evidence suggests the rudimentary use of maize (corn) horticulture by the end of the Middle Woodland Period (Warrick, 2000).

In southern Ontario, the Middle Woodland has been divided into three different complexes based on regional cultural traditions: the Point Peninsula Complex, the Saugeen Complex, and the Couture Complex,. These groups are differentiated by sets of characteristics that are unique to regions within the province, specifically regarding ceramic decorations. The Couture Complex is found in southwestern Ontario and outside of the scope of the Study Area.

The Point Peninsula Complex extends from south-central and eastern Ontario into southern Quebec. The northernmost borders of the complex can be found along the Mattawa and French Rivers. Ceramics are coil constructed with conical bases, outflaring rims, and flat, rounded, or pointed lips. The interior surfaces of vessels are often channelled with a comb-like implement, creating horizontal striations throughout. The exterior is smoothed, or brushed, and decoration generally includes pseudo-scallop stamps or dentate impressions. Occasionally, ceramics will have been treated with a red ochre wash (Spence et al, 1990).

The Saugeen Complex is found generally in south-central Ontario and along the eastern shores of Lake Huron. The Saugeen Complex ceramics are similar in style to Point Peninsula Complex; however, the vessels tended to be cruder than their Point Peninsula counterparts. They were characterized by coil construction with thick walls, wide necks, and poorly defined shoulders. Usually, the majority of the vessel was decorated with pseudo-scallop stamps or dentate impressions, with the latter occurring more frequently at later dates (Spence et al., 1990).

LATE WOODLAND PERIOD

There is much debate as to whether a transitional phase between the Middle and Late Woodland Periods is present in Ontario, but it is generally agreed that the Late Woodland period of occupation begins around 1,100 BP. The Late Woodland period in southern Ontario can be divided into three cultural sub-

phases: The early, middle, and late Woodland periods. The early Late Woodland is characterized by the Glen Meyer and Pickering cultures and the middle Late Woodland is characterized by the Uren and Middleport cultures. These groups are ancestral to the Iroquoian-speaking Neutral-Erie (Neutral), the Huron-Wendat (Huron), and Petun Nations that inhabited southern Ontario during the late Woodland period (Smith, 1990, p. 285).

The Pickering and Glen Meyer cultures co-existed within Southern Ontario during the early Late Woodland period (ca. 1250-700 BP). Pickering territory is understood to encompass the area north of Lake Ontario to Georgian Bay and Lake Nipissing (Williamson, 1990). Glen Meyer is centred around Oxford and Norfolk counties, but also includes the southeastern Huron basin and the western extent is demarcated by the Ekfrid Clay Plain southwest of London, Ontario (Noble, 1975). Villages of either tradition were generally smaller in size (~1 ha) and composed of smaller oval structures, which were later replaced by larger structures in the Late Woodland period. Archaeological evidence suggested a mixed economy where hunting and gathering played an important role, but small-scale horticulture was present, indicating a gradual shift from hunting-gathering to a horticultural economy (Williamson, 1990).

The first half of the middle Late Woodland period is represented by the Uren culture (700-650 BP) and the second half by the Middleport (650-600 BP). Uren and Middleport sites of the middle Late Woodland share a similar distribution pattern across much of southwestern and south-central Ontario. (Dodd et al., 1990). Significant changes in material culture and settlement-subsistence patterns are noted during this short time. Iroquois Linear, Ontario Horizontal, and Ontario Oblique pottery types are the most well-represented ceramic assemblages of the middle Late Woodland period (Dodd et al., 1990). At Middleport sites, material culture changes included an increase in the manufacture and use of clay pipes as well as bone tools and adornments (Dodd et al., 1990; Ferris & Spence, 1995).

The appearance of evidence of small year-round villages, secondary ossuary burials, and what are thought to be semi-subterranean sweat lodges suggest a marked increase in sedentism in southern Ontario during the Uren and Middleport cultures (Ferris & Spence, 1995). The increasing permanency of settlements resulted in the development of small-scale cultivation and a subsequent increased reliance on staple crops such as maize, beans, and squash (Dodd et al., 1990; Warrick, 2000; Ferris & Spence, 1995).

Archaeological evidence from the middle Late Woodland sites also documents increases in population size, community organization and village fissioning, and the expansion of trade networks. The development of trade networks with northern Algonquian peoples has also been inferred from findings at Middleport sites along the northern parts of southwestern and south-central Ontario. These changes resulted in the more organized and complex social structures observed in the Late Woodland period.

During the Late Woodland period, village size significantly increased as did the complexity of community and political systems. Villages were often fortified with palisade walls and ranged in size from a few longhouses to over 100 longhouses observed in large villages. Larger longhouses oriented differently than others in the village have been associated with primary familial groups and it has been suggested that longhouses that were located outside of palisade walls may have been for visiting groups for the purposes of trade or social gatherings (Ramsden, 1990). More recent research has indicated that smaller, temporary camp or cabin sites were often used seasonally for the tending of agricultural fields or as

fishing camps (Ramsden, 1990). By this time, large-scale agriculture had taken hold, making year-round villages even more practical as a result of the ability to store large crop yields over winter.

The villages in the vicinity of the Study Areas were typically associated with the Huron-Wendat nations who occupied areas as far east as the Trent River and as far west as the Niagara Escarpment. They typically inhabited each village for several decades until the agricultural land was exhausted and communities moved to more fertile areas. Throughout the fifteenth and sixteenth century, community movement often included northern migrations and the incorporation of multiple smaller villages into larger coalescent villages.

The Huron-Wendat eventually dispersed from the Toronto area in the 17th century, during the period of French contact, to settle in their historic homeland of Wendake, which included territory in present-day Simcoe and Grey Counties. Today, “Wendake” is the name of the Huron-Wendat reserve located in Quebec, Ontario, which was formerly known as the village of Huronia. This coalescence and subsequent movement northward was thought to be the result of a number of socio-political factors, including increased conflict with the Five Nations Iroquois, an increased complexity in political organization, stronger trade relations with northern Algonquian groups, and interactions with early European traders (Ramsden, 1990; Birch, 2012; Ferris & Spence, 1995).

Oral histories of the Michi Saagiig (Mississauga Anishinaabeg) reflect increasing levels of inter-community relationships, integration, and trade between different groups. For example, these oral histories speak to the arrival of, and relationships with, the Huron “corn growers” (Migizi & Kapyrka, 2015, pp. 127-136). In addition to archaeological interpretations, oral histories also provide a valuable contribution to our understanding of the occupation and movement of Indigenous peoples in Ontario. The following oral history, provided by Michi Saagiig elder Gitiga Migizi, speaks to the occupation of this area of Southern Ontario by the Anishinaabeg throughout the pre-contact and post-contact periods:

The traditional homelands of the Michi Saagiig (Mississauga Anishinaabeg) encompass a vast area of what is now known as southern Ontario. The Michi Saagiig occupied and fished the north shore of Lake Ontario where the various tributaries emptied into the lake. Their territories extended north into and beyond the Kawarthas as winter hunting grounds on which they would break off into smaller social groups for the season, hunting and trapping on these lands, then returning to the lakeshore in spring for the summer months.

The Michi Saagiig were a highly mobile people, travelling vast distances to procure subsistence for their people. They were also known as the “Peacekeepers” among Indigenous nations. The Michi Saagiig homelands were located directly between two very powerful Confederacies: The Three Fires Confederacy to the north and the Haudenosaunee Confederacy to the south. The Michi Saagiig were the negotiators, the messengers, the diplomats, and they successfully mediated peace throughout this area of Ontario for countless generations.

Michi Saagiig oral histories speak to their people being in this area of Ontario for thousands of years. These stories recount the “Old Ones” who spoke an ancient

Algonquian dialect. The histories explain that the current Ojibwa phonology is the 5th transformation of this language, demonstrating a linguistic connection that spans back into deep time. The Michi Saagiig of today are the descendants of the ancient peoples who lived in Ontario during the Archaic and Paleo periods. They are the original inhabitants of southern Ontario, and they are still here today.

The traditional territories of the Michi Saagiig span from Gananoque in the east, all along the north shore of Lake Ontario, west to the north shore of Lake Erie at Long Point. The territory spreads as far north as the tributaries that flow into these lakes, from Bancroft and north of the Haliburton highlands. This also includes all the tributaries that flow from the height of land north of Toronto like the Oak Ridges Moraine, and all of the rivers that flow into Lake Ontario (the Rideau, the Salmon, the Ganaraska, the Moira, the Trent, the Don, the Rouge, the Etobicoke, the Humber, and the Credit, as well as Wilmot and 16 Mile Creeks) through Burlington Bay and the Niagara region including the Welland and Niagara Rivers, and beyond. The western side of the Michi Saagiig Nation was located around the Grand River which was used as a portage route as the Niagara portage was too dangerous. The Michi Saagiig would portage from present-day Burlington to the Grand River and travel south to the open water on Lake Erie.

Michi Saagiig oral histories also speak to the occurrence of people coming into their territories sometime between 500-1000 A.D. seeking to establish villages and a corn growing economy – these newcomers included peoples that would later be known as the Huron-Wendat, Neutral, Petun/Tobacco Nations. The Michi Saagiig made Treaties with these newcomers and granted them permission to stay with the understanding that they were visitors in these lands. Wampum was made to record these contracts, ceremonies would have bound each nation to their respective responsibilities within the political relationship, and these contracts would have been renewed annually (see Gitiga Migizi and Kapyrka, 2015). These visitors were extremely successful as their corn economy grew as well as their populations. However, it was understood by all nations involved that this area of Ontario were the homeland territories of the Michi Saagiig.

The Odawa Nation worked with the Michi Saagiig to meet with the Huron-Wendat, the Petun, and Neutral Nations to continue the amicable political and economic relationship that existed – a symbiotic relationship that was mainly policed and enforced by the Odawa people.

Problems arose for the Michi Saagiig in the 1600s when the European way of life was introduced into southern Ontario. Also, around the same time, the Haudenosaunee were given firearms by the colonial governments in New York and Albany which ultimately made an expansion possible for them into Michi Saagiig territories. There began skirmishes with the various nations living in Ontario at the time. The Haudenosaunee engaged in fighting with the Huron-Wendat and between that and the

onslaught of European diseases, the Iroquoian speaking peoples in Ontario were decimated.

The onset of colonial settlement and missionary involvement severely disrupted the original relationships between these Indigenous nations. Disease and warfare had a devastating impact upon the Indigenous peoples of Ontario, especially the large sedentary villages, which mostly included Iroquoian speaking peoples. The Michi Saagiig were largely able to avoid the devastation caused by these processes by retreating to their wintering grounds to the north, essentially waiting for the smoke to clear.

Often times, southern Ontario is described as being “vacant” after the dispersal of the Huron-Wendat peoples in 1649 (who fled east to Quebec and south to the United States). This is misleading as these territories remained the homelands of the Michi Saagiig Nation.

The Michi Saagiig participated in eighteen treaties from 1781 to 1923 to allow the growing number of European settlers to establish in Ontario. Pressures from increased settlement forced the Michi Saagiig to slowly move into small family groups around the present-day communities: Curve Lake First Nation, Hiawatha First Nation, Alderville First Nation, Scugog Island First Nation, New Credit First Nation, and Mississauga First Nation. The Michi Saagiig have been in Ontario for thousands of years, and they remain here to this day.

Migizi and Kapyrka pp. 127-136 (2015)

Early contact with European settlers at the end of the Late Woodland period resulted in extensive changes to the traditional lifestyles of most populations inhabiting Ontario including settlement size, population distribution, and material culture. The introduction of European-borne diseases significantly increased mortality rates, resulting in a drastic drop in population size (Warrick, 2000).

4.1.2 POST-CONTACT

Early European presence within the Study Area began as early as 1615 with the travels of the French explorer Etienne Brulé who travelled with the Huron along the major portage route known as the Toronto Carrying Place Trail, which connected Lake Ontario with Lake Simcoe to the north by way of the Humber River and the Holland Marsh. By the 1650s, the Neutral had been dispersed as a result of increasing conflicts with the Haudenosaunee, and the warfare and disease that had arrived with European colonization. A significant number of the Neutral had also been adopted into Haudenosaunee populations. The large-scale population dispersals gave way for the Haudenosaunee to occupy the territory along the north shore of Lake Ontario where they settled along inland-running trade routes. Due to increased military pressure from the French in the late 1600s, and the return of the Anishinaabe Nations (Ojibwa, Odawa, Potawatomi, and Mississauga) who had previously retreated to the north, the Haudenosaunee abandoned their villages along the north shore of Lake Ontario.

The Study Area situated within the boundaries of Treaty No. 19, also known as the Ajetance Purchase. This treaty was signed on October 28, 1818, between representatives of the Crown and Anishinaabe peoples. The treaty covers approximately 6,500 km². The Ajetance Purchase is named for the Chief of the Credit River Mississaugas. Some signatories of this Treaty also signed Treaty 18, such as James Givins, who worked with Reverend Peter Jones at the Credit Mission (Government of Ontario, 2022).

PEEL COUNTY

Originally formed in 1788, as part of the “Nassau District,” an extensive area later known as the “Home District,” Peel extended “so far westerly as to a north and south line intersecting the extreme projection of Long Point into Lake Erie” (Walker and Miles 1877:84). Prior to European settlement, this area was occupied by the Mississauga First Nation. In 1797, Governor Simcoe purchased land (3,450 acres) at the head of Lake Ontario from the Mississauga that Chief Joseph Brant had chosen in payment for his service to the Crown during the American Revolutionary War, but it proved more difficult to negotiate a price for the Mississauga Tract. This was finally accomplished in 1805-06 with the Toronto Purchase and the Head of the Lake Purchase, securing the townships of Nelson, Trafalgar, Toronto, Etobicoke and York (Surtees 1994:109). The County was largely occupied by 1819, populated primarily by migrants from New Brunswick, the United States and parts of Upper Canada who settled in the front of Toronto Township, otherwise known as the ‘Old Survey’ (Walker and Miles 1877:85). In the New Survey portion of the Toronto Township, a large colony of ethnic Irish peoples from New York settled in 1819, while Chinguacousy was primarily settled by United Empire Loyalists (those loyal to the British crown after the American Revolutionary War).

Formed in 1852 from portions of York County after the abolishment of Districts alongside the Counties of York and Ontario, Peel County did not become separate until 1865. With a population of 12,993 in 1841, the number of inhabitants had increased to 25,011 by 1871. By 1877, several Townships were found within the County, including Albion, Caledon, Chinguacousy, Gore of Toronto, Toronto, as well as the incorporated Town of Brampton and Villages of Streetsville and Bolton. Found on the shore of Lake Ontario, Port Credit was the harbour. Several major waterways are located within the County, including the Credit and Humber, which allowed the development of many mills.

CHINGUACOUSY COUNTY

The largest Township in Peel, Chinguacousy is located south of Caledon Township, north of Toronto Township, east of Halton and west of Albion and Toronto Gore (Walker and Miles 1877:90). First settled by part of the same group of Irish that arrived from New York to settle in the New Survey of Toronto in 1819, others came from areas of New Brunswick, the United States and parts of Upper Canada. In 1821, only 230 acres (93 hectares) had been cultivated and the population was low at 412. By 1871, the number of inhabitants had increased to 6,129. The Credit River flows only through the southwest portion of the Township, although the Etobicoke Creek runs through the center, as well as several small streams and branches of the Humber and Mimico. There are several small villages and towns, including Brampton, Cheltenham, Edmonton, Sand Hill, Huttonville, Campbell’s. Cross, Springbrook, Claude, Boston Mills, Tulamore, Mayfield, and Salmonville. Brampton, incorporated as a village in 1852, and a town in 1873, had a population of 1,288 in 1871. Brampton grew rapidly, due to its location on the

Etobicoke River, and the presence of both the Grand Trunk and Credit Valley Railway, (Loverseed 1987:40).

CITY OF BRAMPTON

Prior to the 1830s, the area surrounding the present-day City of Brampton remained sparsely populated. The land comprising what is now the downtown core of the city was originally owned by Samuel Kenney. In the early-1820s, Kenney's property was purchased by John Elliott, who began clearing the land and laying out village lots (Kirkwood 1967: 278).

In 1822, Martin Salisbury opened a tavern on Main Street (then part of Hurontario Street) near the present "Four Corners" intersection at Queen Street. Salisbury's tavern served as the business and social center of Chinguacousy Township and Toronto Gore Township. Ten years later, William Buffey opened a second tavern at the intersection and the crossroads community became known as "Buffey's Corners" (Kirkwood 1967: 278).

Between 1834 and 1835, John Elliott further subdivided his property and named the settlement Brampton, after his hometown in Cumberland, England. Three years later, George Walton's City of Toronto and Home District Commercial Directory identified eighteen residents (Walker and Miles 1877: 87). The first commercial establishments in the settlement were constructed by John Scott, who operated a store, grist-mill and potash refinery. By 1846, Brampton consisted of two stores, a tannery, a cabinetmaker, and two blacksmiths. The settlement grew from 150 residents in 1846, to over 500 by 1853, at which point it was incorporated as the Village of Brampton (Brampton History, n.d.).

The Grand Trunk Railway (GTR) arrived in Brampton in 1856, creating further economic opportunities. Among the new industries established in the Village was a flower nursery operated by Edward Dale. Dale's Nursery became the largest employer in Brampton and earned the Village its nineteenth-century nickname "Flowertown of Canada" Brampton History 2020.

In 1867, Brampton was chosen as the county seat of Peel County when it was separated from York County. The county courthouse and jail were constructed that year on the south side of Wellington Street, east of Main Street (Brampton History, n.d.). In 1873, the village was incorporated as the Town of Brampton. That same year, a water supply and fire hydrant system was installed, drawing water from Heart Lake (then known as Snell's Lake). Telephone service and electricity both arrived in 1885, and the first electric streetlights were installed (Kirkwood 1967: 282).

Economic prosperity continued into the early-twentieth century. Industrial facilities were at this time mostly situated along the railway; these included the Williams Shoe Factory and the Copeland-Chatterson Loose-Leaf Binder Company. A public library was constructed in 1907, financed by American industrialist Andrew Carnegie, and by 1910 the population had grown to over 4,000. The Great Depression and the Second World War slowed Brampton's development considerably, however the postwar boom caused unprecedented growth in the area (Brampton History, n.d.). This postwar boom is evident within Study Area 1, and particularly on McCaul Street, Binsell Avenue, June Avenue, Charles Street and a portion of Trueman Street. The uniform massing, scale and setback of the structures on these streets creates a cohesive landscape and conveys significance as a planned neighbourhood of affordable housing.

During the 1950s and 1960s, large commercial and residential developments were constructed in the area surrounding the Town of Brampton, the most notable of these being Bramalea. Constructed between 1959 and 1967 and promoted as Canada's first "Satellite City", Bramalea was a planned community of 50,000 people, integrating residential communities, office space, shopping centres, and industry. Several large-scale manufacturing plants were constructed in Brampton at this time, employing more than 13,000 people. These included Northern Telecom, and American Motors of Canada (Fix 1967: 63).

When Peel County was reorganised as the Regional Municipality of Peel in 1974, the Town of Brampton merged with Chinguacousy Township, Toronto Gore Township, and part of the Town of Mississauga to become the new City of Brampton (Brampton History, n.d.).

4.1.3 HISTORICAL MAPPING REVIEW

The 1859 Tremaine historical map for Peel County and the 1877 Historical Atlas of the County of Peel (Walker & Miles. 1877) were consulted to determine the presence of BHRs and CHLs within the Study Areas during the nineteenth-century. Additionally, a review of available Fire Insurance Plans and Department of National Defence topographic maps from 1909 and 1938, as well as the 1954 and 1968 aerial photographs, was undertaken to understand development within the three Study Areas.

STUDY AREA 1

Study Area 1 is located within part of Lots 5 and 6, Concession I, East of Centre Street. Mrs. Elizabeth Trueman is indicated as owning the eastern part of Lot 5, Concession I, East of Centre Street on the 1859 Tremaine Map of Peel County. Given a portion of the Study Area is located within the boundaries of the previous Town of Brampton, ownership has not been illustrated on the map, but rather each block comprising the core of the town has been defined. Several of the town blocks, however, are not shaded black, indicating that the area has not yet been developed. One structure is illustrated within the lot owned by Trueman. Original concession roads including Queen Street East and Kennedy Road North as well as the Grand Trunk Railway are identified on the map and the settlement of "Brampton" was established by 1859 (Figure 3, Appendix A).

Similar to the 1859 Tremaine Map, ownership is not illustrated on the 1877 Historical Atlas of the County of Peel (Walker & Miles. 1877, Figure 4, Appendix A). As Study Area 1 is located within the limits of the Town of Brampton, the area is shaded black, though much of the present-day road network is depicted.

The 1894, Revised 1911, Goad's Fire Insurance Plan of Brampton, does not cover the entirety of Study Area 1, rather, only the intersection of John Street and James Street is depicted. The Grand Trunk Railway corridor and several brick, frame and stone structures, ranging in height from one to two storeys are illustrated on the Fire Insurance Plan.

Twentieth century development of Study Area 1 is recorded in the National Defence's collection of topographic maps. The 1909 topographic map depicts the developing road network in the area, with settlement centred around the intersections of Queen Street East and Centre Street North / South. (Figure 6, Appendix A). Predominantly frame dwellings are noted, with some masonry structures. St.

Mary's Cemetery and the Brampton Cemetery are identified on the 1909 topographic map, as is the original course of the Etobicoke Creek, west of Study Area 1.

The 1921, Revised 1924, Goad's Fire Insurance Plan of Brampton (Figure 7, Appendix A) and the 1938 topographic map (Figure 10, Appendix A) depict little change within Study Area 1. Aside from the introduction of additional residences, particularly along present-day Centre Street North and Church Street East, there is little development within the area. By 1938, John Street is extended east, beyond Torrome Road. Etobicoke Creek is shown south and west of Study Area 1.

The 1954 aerial photograph (Figure 11, Appendix A) demonstrates increased development within Study Area 1. By 1954, several streets are visible, including McCaul Street, Beech Street, Binsell Avenue, Hillcrest Street and Eastern Avenue. The area east of Centre Street North and south of Eastern Avenue, the block east of Beech Street between Church Street East and Queen Street East and the block west of Sophia Street between McCaul Street and Church Street East remain undeveloped. The 1954 aerial photograph shows the realignment of the creek after the construction of the diversion channel.

The 1968 aerial photograph depicts the present-day road network in the area. With the exception of a small area east of Trueman Street and south of Eastern Avenue, the entirety of Study Area 1 is developed (Figure 14, Appendix A).

STUDY AREA 2A

Study Area 2A is historically comprised of Lots 6 and 7, Concession I, West of Centre Road, located north and west of the boundaries of the Town of Brampton. The 1859 Tremaine Map of Peel County indicates Lot 7, Concession I was owned by Robert Lowes and no owner is identified for Lot 6, Concession I. No structures are identified within Study Area 2A (Figure 3, Appendix A).

Similar to the 1859 Tremaine Map, ownership is not illustrated on the 1877 Historical Atlas of the County of Peel (Walker & Miles. 1877, Figure 3, Appendix A). As Study Area 1 is now located within the limits of the Town of Brampton, the area is shaded black. Segments of Joseph Street, David Street and Rosedale Avenue West are depicted on the 1877 atlas (Figure 4, Appendix A).

Twentieth century development of the Study Area is recorded in the National Defence's collection of topographic maps. The 1909 topographic map depicts the developing road network in the area, including the construction of Market Street, Thomas Street, Joseph Street, Isabella Street as well as portions of Rosedale Avenue West, Mill Street North and David Street. Predominantly frame dwellings are noted, with some masonry structures. A tributary of Etobicoke Creek and several bridge crossings are illustrated within Study Area 2A (Figure 6, Appendix A).

The 1921, Revised 1924, Goad's Fire Insurance Plan of Brampton, depicts the present-day road network in Study Area 2A, including the construction of Lowes Avenue. The map also shows the extension of Rosedale Avenue West and David Street to the west and Mill Street North, north towards Rosedale Avenue West. The structures within Study Area 2A are predominately of frame construction, with several brick and two stone dwellings noted. Brick and stone buildings associated with the Brampton Milling

Company are depicted on the Fire Insurance Plan, they are located east of the Canadian Pacific Railway (CNR) corridor (formerly the GTR) between David Street and Joseph Street (Figure 8, Appendix A).

The 1938 topographic map show little change within Study Area 2A. The tributary of Etobicoke Creek and several bridge crossings and the Brampton Milling Company continue to be illustrated (Figure 10, Appendix A).

The quality of the 1954 aerial imagery makes it challenging to discern the absence or presence of structures within Study Area 2A, however, it appears largely developed with residential structures. Etobicoke Creek and the CNR corridor are visible on the 1954 aerial photograph (Figure 12, Appendix A)

With the exception of a modern townhouse development on Joseph Street and several contemporary structures on Market Street, the 1968 aerial photograph largely represents the present-day conditions of Study Area 2A (Figure 15, Appendix A).

STUDY AREA 2B

Study Area 2B is historically comprised of Lot 6, Concession I, West of Centre Road. The 1859 Tremaine Map of Peel County indicates a portion of the subject property is located within the boundaries of the Town of Brampton, as such, ownership has not been illustrated on the map, but rather each block comprising the core of the town has been defined. The northern portion of Study Area 2B, however, is not shaded black, indicating that the area has not yet been developed (Figure 3, Appendix A). By 1859, the streets that border Study Area 2B (Railroad Street, Elizabeth Street North, Nelson Street West, Mill Street North) are depicted.

Similar to the 1859 Tremaine Map, ownership is not illustrated on the 1877 Historical Atlas of the County of Peel (Walker & Miles. 1877, Figure 3, Appendix A). As Study Area 2B is located within the limits of the Town of Brampton, the area is shaded black (Figure 4, Appendix A).

With the exception of a demolished house at 27 Railroad Street, and 40 Mill Street North, all of the resources identified in Study Area 2B are present on the 1894, Revised 1911, Goad's Fire Insurance of Brampton (Figure 5, Appendix A). The 1921, Revised 1924, Goad's Fire Insurance Plan of Brampton (Figure 9, Appendix A) illustrates the construction of the Hewetson-Prairie Style House at 40 Mill Street North.

Additionally, there are no visible changes within Study Area 2B on the 1938 topographic map (Figure 10, Appendix A) and the 1954 or 1968 aerial photographs (Figures 13 and 16, Appendix A).

5 EXISTING CONDITIONS

5.1 FIELD REVIEW

Field reviews were conducted via publicly accessible lands on March 18 and March 22, 2022, by Emily Game, Cultural Heritage Specialist, to record the existing conditions of the Study Areas. The field review was preceded by a review of available historical and current aerial photographs and maps. These photographs and maps, as well as the inventory information provided by the City of Brampton related to BHRs and CHLs, were reviewed for any potential heritage resources that may be extant in the Study Areas. The existing conditions of the Study Areas are described below. A total of 329 BHRs and 10 CHLs were identified and are presented in Tables 7-1, 7-2, and 7-3 in Appendix B. Mapping of these BHRs and CHLs, including their location, heritage recognition and architectural styles are presented in Figures 17 to 29 in Appendix C.

5.2 DESCRIPTION OF EXISTING CONDITIONS

5.2.1 STUDY AREA 1

With the exception of Queen Street East and Kennedy Road North, Study Area 1 is comprised of primarily residential land uses, ranging from single-family homes to high-density apartment buildings. The Study Area also contains the Brampton Cemetery and St. Mary's Cemetery. The road network in the Study Area is largely unchanged since the mid-nineteenth century.

BEECH STREET

Beech Street is oriented in an approximately northwest to southeast direction; it is a two-lane paved arterial road with sidewalks and boulevards north and south of the road right of way. Within the Study Area, Beech Street is lined with early twentieth century, post-war and contemporary residences, including examples of Arts and Crafts and Victory Houses. Beech Street also acts as the eastern boundary for the Brampton Cemetery. Mature trees are evident on several properties within the streetscape (Photograph 1).

BINSELL AVENUE

Binsell Avenue is oriented approximately northwest to southeast, the two-lane residential thoroughfare does not have sidewalks. The post-war suburban houses have a uniform massing, scale, setback and material pallet, each with slight variations; they are all one-storey. The houses are sited on flat lots, all uniform in size, the lack of sidewalks creating a soft transition from the road right of way to the front yards. The residences were constructed in the post-war boom and are directly related to of the development of

the area as it transitioned from rural properties and farm complexes to an urban landscape. The Mature trees line the street and are present on several properties (Photograph 2).

CHARLES STREET

Charles Street is oriented approximately northeast to southwest and is located between Kennedy Road North and June Avenue. Charles Street consists of two-lane residential with no sidewalks. The post-war suburban houses have a uniform massing, scale, setback and material pallet, each with slight variations. The houses are sited on flat lots, all uniform in size, the lack of sidewalks creating a soft transition from the road right of way to the front yards. The residences, all one-storey in height, were constructed in the post-war boom and are directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape. The Mature trees line the street and are present on several properties (Photograph 3).

CENTRE STREET SOUTH

Centre Street South consists of two-lane arterial road, with an approximately northwest to southeast orientation. The lands on the east side of Centre Street South consist primarily of a park associated with the William Osler Health System building. Centre Street South is lined with a combination of late nineteenth, early twentieth century, contemporary structures as well as some commercial uses. The former Grand Trunk Railway (now Canadian National Railway) and the St. Mary's Roman Catholic Cemetery mark the southern boundary of Study Area 1 (Photograph 4).

CENTRE STREET NORTH

Centre Street North is oriented in an approximately northwest to southeast direction, consisting of a two-lane paved arterial road with sidewalks on either side of the road right of way. Within the Study Area, Centre Street North is lined primarily with early twentieth century, post-war and contemporary residences. A small commercial area is present on Centre Street North between Nelson Avenue East / Wilson Avenue and Queen Street East. Mature trees are evident on several properties (Photographs 5 and 6).

CHURCH STREET EAST

Church Street East is oriented in an approximately northeast to southwest direction; it is a two-lane paved arterial road with sidewalks and boulevards north and south of the road right of way. Within the Study Area, Church Street East is lined with early twentieth century, post-war and contemporary residences; Church Street East also acts as the northern boundary for the Brampton Cemetery. Mature trees are evident on several properties (Photographs 7 to 9).

EASTERN AVENUE

Eastern Avenue is oriented in an approximately northeast to southwest direction and is a two-lane paved residential street with sidewalks on either side of the road right of way. Eastern Avenue is lined with early twentieth century, post-war and contemporary residences. The structures range in height from one to two

storeys. Mature trees are present on several of the properties as well as within the grassed verges (Photographs 10 and 11).

EASTERN COURT, MCCALLUM COURT AND ORENDA COURT

Eastern Court, McCallum Court and Orenda Court consist of post-war and contemporary mid-rise apartment buildings and townhouse developments. Some mature trees are present on several of the properties as well as within the grassed boulevard (Photographs 12 and 13).

HILLCREST AVENUE

Hillcrest Avenue is oriented in an approximately northeast to southwest direction; it is a two-lane paved residential street with sidewalks and boulevards on either side of the road right of way. Hillcrest Avenue is lined with early twentieth century, post-war and contemporary residences, including a modern townhouse development at the eastern end of Hillcrest Avenue. The structures range in height from one to one-and-a-half storeys. Mature trees are present on several of the properties as well as within the grassed boulevard (Photographs 15 to 16).

JOHN STREET

John Street is oriented approximately southwest to northeast and extends east from Etobicoke Creek and terminates west of Kennedy Road North. John Street west of Centre Street South and east of Trueman Street is lined with one and one-and-a-half storey residential structures ranging in age from the early twentieth century to the post-war period. The south side of John Street between Centre Street South and Trueman Street consists of vacant and park lands associated with the William Osler Health System; the lands on the north side of John Street consists of mixed-use commercial / office buildings with a new condominium development under construction. A new condominium building is also located at the eastern end of John Street (Photographs 17 to 19).

JUNE AVENUE

The June Avenue CHL is an example of a post-war suburban development, with no modern infill. The houses on June Avenue all have a rectangular or square footprint and are one storey in height. The area also contains several low-rise apartment buildings. The houses have a uniform massing, scale, setback and material pallet, each with slight variations. The houses within the CHL are sited on flat lots, all uniform in size, mature trees are present on the majority of the front yards (Photograph 20).

KENNEDY ROAD NORTH

Kennedy Road North is a four-lane paved arterial road that travels roughly northwest-southeast, marking the east boundary of the Study Area. Within the Study Area Kennedy Road North Study Area is lined with commercial land, and their associated surface parking lots. The commercial properties along Kennedy Road North were constructed post-1950 (Photograph 21).

MAPLE AVENUE

Maple Avenue is an L-shaped residential street north of Queen Street East and west of Scott Street that terminates east of Rosalea Park. The street is an isolated pocket of late-nineteenth and early-twentieth century houses, many of them highly altered (Photograph 22). A high-rise apartment building is located near the intersection of Maple Avenue and Scott Street.

MCCAUL STREET

McCaul Street is a paved, two-lane residential street that travels roughly east to west, marking the north boundary of Study Area 1. Between Sophia Street and Kennedy Road North, the south side of McCaul Street is lined with a series of Victory Houses, constructed between 1942 and 1954. The houses, all with a uniform setback, have steep roofs, shallow eaves, small sash windows and are clad in a combination of brick and horizontal siding. Intentional tree plantings are present on every lot, between the sidewalk and road right of way (Photograph 23). The uniform massing, scale and setback of the structures creates a cohesive landscape and conveys significance as a planned affordable housing neighbourhood.

NELSON STREET EAST

Nelson Street East is a paved, two-lane residential street located between Scott Street and Centre Street North. Sidewalks are present on both sides of the street. The properties on Nelson Street East display a range of architectural styles which were popular in the late nineteenth century. Mature trees are present on several properties (Photograph 24).

QUEEN STREET EAST

Queen Street East is a main arterial road, oriented in a northeast-southwest alignment, and has four lanes of vehicular traffic with sidewalks to the north and south of the road. Within the Study Area, Queen Street East is comprised of mixed-use buildings, including medical, offices and commercial buildings. The structures along Queen Street East are comprised mainly of buildings constructed post-1950 (Photographs 25 and 26).

SCOTT STREET

Scott Street is a two-lane paved residential street, sidewalks are present on the east side of the street. Within the Study Area, the properties along Scott Street display a range of architectural styles which were popular in the late nineteenth and early twentieth centuries. The street follows the curve of Etobicoke Creek and features rolling topography and mature trees present on several properties (Photograph 27).

SOPHIA STREET

Sophia Street is oriented approximately southwest to northeast. Within the Study Area it consists of a two-lane residential street with a sidewalk present on the east side of the street. The residences on the west side of the street have a uniform setback and consist of two-storey structures constructed in the

1970s while the structures on the east side have an irregular setback. The houses are predominately one-storey in height and are sited on substantial lots (Photograph 28).

WILSON AVENUE

Wilson Avenue is an L-shaped road with connections to Centre Street North and Queen Street East; it is a two-lane paved residential Street with sidewalks and grass verges on either side of the road right of way. Wilson Avenue is lined with mid-to-late nineteenth century, early twentieth century and post-war residences. The main entrance to the Brampton Cemetery is located at 10 Wilson Avenue. Mature trees are present on many of the properties on Wilson Avenue, as well as within the Brampton Cemetery (Photographs 29 and 30).

TRUEMAN STREET

Trueman Street extends roughly southeast from Queen Street East and terminates at the CNR corridor. The west side of Trueman Street between Queen Street East and Lynch Street consists of vacant lands and a park associated with the William Osler Health System. The west side of Trueman Street between Lynch Street and the rail corridor is dominated by the William Osler Health System building. The structures on the east side of Trueman Street between Queen Street East and Eastern Avenue consist of a combination of modern structures, and Victory Houses, many of them in poor condition. The residences south of Eastern Avenue consist of a cohesive landscape of post-war suburban residences. The structures are all one storey in height and have a uniform setback and material pallet. Mature trees are present on many of the lots (Photograph 31). The residences on Trueman Street south of Eastern Avenue are representative examples of postwar contemporary designs. These houses reflect the optimism shared by architects during the building boom and economic recovery. This section of Trueman Street retains its overall layout, landscape features, and circulation patterns, and includes a collection of buildings that convey their original character.



Photograph 1: Example of post-war, suburban structures on Beech Street



Photograph 2: Post-war, suburban residences along Binsell Avenue



Photograph 3: Post-war, suburban residences along Charles Street



Photograph 4: Example of late nineteenth century structures on Centre Street South



Photograph 5: Example of contemporary residences on Centre Street North



Photograph 6: Example of late-nineteenth and early twentieth century residences on Centre Street North



Photograph 7: Example of early twentieth century residences of varying styles along Church Street East



Photograph 8: Example of contemporary residences along Church Street East



Photograph 9: View along Church Street East to the Brampton Cemetery



Photograph 10: Examples of highly modified early twentieth century structures on Eastern Avenue



Photograph 11: Post-war and contemporary structures along Eastern Avenue



Photograph 12: Example of townhouse complex of McCallum Court



Photograph 13: Example of mid-rise apartment building on Orenda Court



Photograph 14: Row of three early twentieth century structures on Hillcrest Avenue



Photograph 15: View of Hillcrest Avenue - early twentieth century houses with modern infill



Photograph 16: Modern townhouse development on Hillcrest Avenue



Photograph 17: John Street West of Centre Street South



Photograph 18: View to west along John Street showing post-war houses



Photograph 19: View to the William Osler Health System building and associated park lands



Photograph 20: Example of a post-war suburban house on June Avenue



Photograph 21: Commercial properties along Kennedy Road North



Photograph 22: Example of a highly altered Edwardian house at 4 Maple Avenue



Photograph 23: View along McCaul Street of Victory Houses with uniform massing, setback and material pallet



Photograph 24: View to northeast along Nelson Street East



Photograph 25: View to commercial properties on Queen Street East



Photograph 26: Commercial and office buildings on Queen Street East



Photograph 27: Late-nineteenth and early twentieth century residences along Scott Street



Photograph 28: Example of 1970s residences on Sophia Street



Photograph 29: View to northeast along Wilson Avenue



Photograph 30: Main entrance to the Brampton Cemetery on Wilson Avenue



Photograph 31: Post-war suburban residences along Trueman Street

5.2.2 STUDY AREA 2A

The Study Area is partially located within an area known as the Washington Block and Area neighbourhood, also known as the BR-32 Plan. The block plan was registered by Robert Lowes and surveyed by C.J. Wheelock in 1879 (City of Brampton, 2012). The Washington Block is one of Brampton's oldest residential neighbourhoods and is characterized by homes ranging from modest to substantial from the nineteenth and early twentieth centuries (Robb, 2009). The neighbourhood that developed from the BR-32 block plan has retained much of its original character.

DAVID STREET

David Street is a paved, two-lane residential street with an approximate southwest to northeast orientation, it extends east from the former Grand Trunk Railway (now Canadian National) and terminates at Main Street North. Within Study Area 2A, David Street is lined with late-nineteenth and early twentieth century residences, including examples of Edwardian, Ontario Cottages, Italianate, Regency, and Period Revivals. Mature trees are present on several properties (Photograph 32).

ISABELLA STREET

Isabella Street is a paved, two-lane residential street, with an approximate northwest to southeast orientation, terminating at David Street. Within Study Area 2A, Isabella is lined with early twentieth century residences, including examples of Regency Cottages, Georgian, Edwardian and Gothic Revival structures. Mature trees are present on several of the properties on Isabella Street (Photograph 33).

JOSEPH STREET

Joseph Street is a paved, two-lane residential street with an approximate southwest to northeast orientation, it extends east from the former Grand Trunk Railway (now Canadian National) and terminates at Thomas Street. Joseph Street is lined with late-nineteenth and early twentieth century residences, including examples of Edwardian, Ontario Cottages, vernacular Gothic Revival and Regency styles. Mature trees are present on several properties. A two-storey townhouse development is present, just west of Thomas Street. The western-most properties on Joseph constitute commercial and industrial uses (Photograph 34 to 36).

LOWES AVENUE

Lowes Avenue is a paved, two-lane residential street, with an approximate northwest to southeast orientation, it is located between Rosedale Avenue West and David Street. Within Study Area 2A, Lowes Avenue is lined with early twentieth century residences, including two examples of the Colonial Revival style. Mature trees are present on Lowes Avenue (Photograph 37).

MARKET STREET

Market Street is a paved, two-lane residential street with an approximate southwest to northeast orientation, it extends east from the Church Street West and terminates at Main Street North. Market Street is lined with late-nineteenth and early twentieth century residences, post-war and contemporary. Mature trees are present on several properties, a sidewalk extends the length of the street on the north side (Photograph 38).

MILL STREET NORTH

Mill Street North is a paved, two-lane residential street, with an approximate northwest to southeast orientation. Within Study Area 2A, Mill Street North is lined with late-nineteenth and early twentieth century and post-war residences including Edwardian, Gothic and Period Revivals and Arts and Crafts styles. A sidewalk is present on both sides of the street; it is lined with mature trees (Photograph 39).

ROSEDALE AVENUE WEST

Rosedale Avenue West is a paved, two-lane residential street that travels roughly east to west, marking the north boundary of Study Area 2A. Within the Study Area, the south side of Rosedale Avenue West is lined with residential structures, ranging in height from one to two-and-a-half storeys in height, they are predominately Arts and Crafts and Edwardian styles (Photograph 40).



Photograph 32: Varied architectural styles along David Street



Photograph 33: Examples of Gothic Revival, Georgian and Regency styles along Isabella Street



Photograph 34: Examples of Edwardian and Gothic Revival residences on Joseph Street



Photograph 35: Modern townhouse development on Joseph Street



Photograph 36: Industrial lands at the west end of Joseph Street



Photograph 37: Examples of early twentieth century residences on Lowes Avenue



Photograph 38: Contemporary and post-war structures on Market Street



Photograph 39: Examples of Edwardian and Arts and Crafts style residences on Mill Street North



Photograph 40: Examples of Edwardian and Arts and Crafts style residences on Rosedale Avenue West

5.2.3 STUDY AREA 2B

The neighbourhood contains a diverse collection of single-detached houses and the occasional semi-detached house from the mid-and late-nineteenth century and early twentieth century, ranging in size from cottages to mansions (Robb, 2009).

ELIZABETH STREET NORTH

Elizabeth Street North is a two-lane residential street that travels roughly north to south, marking the east boundary of Study Area 2B. The properties along Elizabeth Street properties display a range of architectural styles which were popular in the mid-to-late nineteenth and early twentieth centuries, including Italianate, Regency and several residences with vernacular styles. The residences have a shallow setback from the road right of way and are sites on lots of varying sizes. Several of the structures are in poor condition (Photograph 41).

MILL STREET NORTH

Mill Street North represents the western boundary of Study Area 2A. The residences are situated on a flat landscape. The resources on the northern portion of Mill Street North on small parcels, with a relatively shallow set back. The properties in the southern portion of Mill Street North are sited on large lots and are generally landscaped, with a combination of formal landscaping and maintenance of natural/mature vegetation; the houses have deep setbacks. This creates a visually interesting and aesthetically pleasing streetscape that is dominated by mature trees with large canopies that extend over the sidewalk and road (Photograph 42).

NELSON STREET WEST

Nelson Street West represents the southern boundary of Study Area 2A. The properties along Nelson Street West display a range of architectural styles which were popular in the late nineteenth and early

twentieth centuries, including Italianate and Edwardian. The residences have a varied setback from the road right of way and are sites on lots of varying sizes. Mature trees are evident of many of the Nelson Street West properties (Photograph 42).

RAILROAD STREET

Railroad Street represents the northern boundary of Study Area 2A. Within Study Area 2B, the residences on Railroad Street have a shallow setback and the CNR corridor runs parallel to the road right of way. And are sited on lots of varying sizes. The residences on Railroad Street display a range of architectural styles which were popular in the mid to late nineteenth and early twentieth centuries, including Ontario Cottages and vernacular Edwardian structures. Several of the dwellings on Railroad Street are in poor condition (Photograph 44).



Photograph 41: View along Elizabeth Street of various architectural styles



Photograph 42: View along Mill Street North



Photograph 43: View of varying architectural styles along Nelson Street West



Photograph 44: View to east along Railroad Street

5.3 PREVIOUS CULTURAL HERITAGE ASSESSMENTS

A number of cultural heritage assessments have been completed for portions of the Study Areas, identifying and evaluating BHRs or CHLs with known or potential CHVI. These reports are summarized

below (it should be noted that this list is not exhaustive and other cultural heritage reporting may exist for the Study Areas):

- Heritage Conservation District Feasibility Study for the Establishment of Heritage Conservation Districts in Downtown Brampton, George Robb Architect team, 2009.
- Cultural Heritage Assessment Report, Built Heritage Resources and Cultural Heritage Landscapes, Existing Conditions – Assessment of Impacts: Hurontario-Main Light Rail Transit Preliminary Design and Transit Project Assessment Process, City of Mississauga and Brampton, May 2014.
- Cultural Heritage Resources within the Riverwalk Study Boundary, City of Brampton, March 2018.
- Cultural Heritage Resource Assessment: Built Heritage Resources and Cultural Heritage Landscapes, Existing Conditions and Preliminary Impact Assessment, Denison Road MCEA, ASI, May 2019.
- Cultural Heritage Assessment Report Downtown Brampton Flood Protection Environmental Assessment, AECOM, July 2020.
- Cultural Heritage Report: Existing Conditions, Ken Whillans Drive Extension, MCEA, ASI, 2021.

5.4 IDENTIFIED BUILT HERITAGE RESOURCES AND CULTURAL HERITAGE LANDSCAPES

As described in Section 3.0, known and potential BHRs and CHLs were identified based on a review of the City's Municipal Heritage Register and Inventories, previously completed cultural heritage assessments in the Study Area, the MHSTCI checklist, and historical research and field investigations. Properties with a construction date 40 or more years old were field documented, and then evaluated as having potential CHVI based on whether they met one or more of the criteria prescribed in O. Reg. 9/06. Available mid-nineteenth to late-twentieth century maps and photographs, as well as current satellite imagery, were consulted to assist with determining the age of buildings or structures within the Study Area.

The properties located within the three Study Areas were assessed for this Cultural Heritage Report and 329 BHRs and 10 CHLs have been identified. These BHRs and CHLs are described and numbered in detail in the inventory presented in Tables 7-1, 7-2, and 7-3 in Appendix B and are mapped in Appendix C.

5.5 CONCLUSIONS

The results of the background historical research and review of the secondary source materials, including historic mapping, revealed that the Study Area consists of lands that have been shaped by early urban settlement dating from the nineteenth and early twentieth centuries, as well as the post-war development.

The following provides a summary of the assessment results:

Study Area 1

- A total of 219 BHRs and eight CHLs were identified in Study Area 1.
- Of the BHRs identified in Study Area 1:
 - Thirteen (13) are listed non-designated properties included on the City of Brampton's Municipal Heritage Register;
 - No properties are designated under Part IV of the OHA.;
 - Twenty (20) have been identified by the City of Brampton as a Property of Interest; and
 - One-hundred-and-eighty-six (186) were identified during the field review.
- Of the CHLs identified in Study Area 1:
 - Three (3) are listed non-designated properties included on the City of Brampton's Municipal Heritage Register (including two cemeteries); and
 - Five (5) were identified during the field review.

Study Area 2A

- A total of 88 BHRs and one CHL was identified in Study Area 2A.
- Of the BHRs identified in Study Area 2A:
 - Ten (10) are listed non-designated properties included on the City of Brampton's Municipal Heritage Register;
 - Two (2) are designated under Part IV of the OHA;
 - Forty-six (46) have been identified by the City of Brampton as Properties of Interest; and
 - Thirty (30) were identified during the field review.

- Of the CHLs identified in Study Area 1:
 - One (1) was identified during the field review.

Study Area 2B

- A total of 21 BHRs and one CHL was identified in Study Area 2B.
- Of the BHRs identified in Study Area 2B:
 - Eight (8) are listed non-designated properties included on the City of Brampton's Municipal Heritage Register
 - One (1) is designated under Part IV of the OHA;
 - Three (3) have been identified by the City of Brampton as Properties of Interest, and
 - Nine (9) were identified during the field review.
- Of the CHLs identified in Study Area 1:
 - One (1) was identified during the field review.

6 RECOMMENDATIONS

Based on the results of the background historical research and review of the secondary source materials, including historic mapping, this Cultural Heritage Assessment Report has resulted in the following recommendations:

6.1 BUILT HERITAGE RESOURCES: STUDY AREA 1

6.1.1 PROPERTIES RECOMMENDED FOR IMMEDIATE INCLUSION ON THE HERITAGE REGISTER

A total of 104 built heritage resources are recommended for immediate listing on the City of Brampton's Municipal Heritage Register, of these 104 resources, 10 are located with the Binsell Avenue CHL (CHL-1), 25 are located within the Charles Street / June Avenue CHL (CHL-2), 26 are located within the McCaul Street CHL (CHL-4), 11 are located within the Scott Street East/ Neilson Avenue East CHL (CHL-6) and eight are listed within the Trueman Street CHL (CHL-7). The remaining 24 resources were identified as rare, early or representative examples of a type and should also be considered for immediate inclusion on the City of Brampton's Municipal Heritage Register. These resources are outlined in Table 6-1 below and illustrated on Figures 30 to 32, Appendix C.

Table 6-1: Properties Recommended for Immediate Inclusion on the City Of Brampton's Municipal Heritage Register In Study Area 1

Properties within the boundaries of the Binsell Avenue CHL (CHL-1) recommended for immediate listing						
BHR-15	BHR-17	BHR-19	BHR-21	BHR-23	--	
BHR-16	BHR-18	BHR-20	BHR-22	BHR-24		
Properties within the boundaries of the Charles Street / June Avenue CHL (CHL-2) recommended for immediate listing						
BHR-25	BHR-29	BHR-33	BHR-69	BHR-137	BHR-141	BHR-145

BHR-26	BHR-30	BHR-34	BHR-134	BHR-138	BHR-142	--
BHR-27	BHR-31	BHR-35	BHR-135	BHR-139	BHR-143	
BHR-28	BHR-32	BHR-36	BHR-136	BHR-140	BHR-144	
Properties within the boundaries of the McCaul Street (CHL-4) recommended for immediate listing						
BHR-153	BHR-157	BHR-161	BHR-165	BHR-169	BHR-173	BHR-177
BHR-154	BHR-158	BHR-162	BHR-166	BHR-170	BHR-174	BHR-178
BHR-155	BHR-159	BHR-163	BHR-167	BHR-171	BHR-175	--
BHR-156	BHR-160	BHR-164	BHR-168	BHR-172	BHR-176	
Properties within the boundaries of the Scott Street / Neilson Avenue East CHL (CHL-6) recommended for immediate listing						
BHR-179	BHR-181	BHR-183	BHR-187	BHR-189	BHR-195	
BHR-180	BHR-182	BHR-186	BHR-188	BHR-190		
Properties within the boundaries of the Trueman Street CHL (CHL-7) recommended for immediate listing						
BHR-203	BHR-205	BHR-207	BHR-209	--		
BHR-204	BHR-206	BHR-208	BHR-210			

Individual properties recommended for immediate listing within Study Area 1						
BHR-37	BHR-43	BHR-59	BHR-63	BHR-105	BHR-147	--
BHR-39	BHR-44	BHR-60	BHR-68	BHR-113	BHR-184	
BHR-41	BHR-46	BHR-61	BHR-103	BHR-118	BHR-185	
BHR-42	BHR-58	BHR-62	BHR-104	BHR-146	BHR-211	

6.1.2 PROPERTIES NOT RECOMMENDED FOR IMMEDIATE INCLUSION ON THE MUNICIPAL HERITAGE REGISTER WITHIN STUDY AREA 1

A total of 77 properties were found to not currently contribute to their historic context but could acquire value in the future. A total of 25 properties were found to have been heavily modified to the point that their heritage value may have been lost. These properties are not recommended for immediate inclusion on the City of Brampton's Municipal Heritage Register and are outlined in Table 6-2 below.

Table 6-2: Properties not Recommended for Immediate Inclusion on the Municipal Heritage Register within Study Area 1

Properties that do not contribute to their historic context						
BHR-1	BHR-45	BHR-80	BHR-92	BHR-110	BHR-123	BHR-149
BHR-2	BHR-71	BHR-82	BHR-93	BHR-111	BHR-124	BHR-150
BHR-3	BHR-72	BHR-83	BHR-94	BHR-112	BHR-125	BHR-151
BHR-4	BHR-73	BHR-84	BHR-96	BHR-115	BHR-126	BHR-152
BHR-5	BHR-74	BHR-85	BHR-97	BHR-116	BHR-127	BHR-198

BHR-6	BHR-75	BHR-86	BHR-98	BHR-117	BHR-128	BHR-199
BHR-7	BHR-76	BHR-87	BHR-100	BHR-118	BHR-129	BHR-201
BHR-8	BHR-77	BHR-88	BHR-106	BHR-119	BHR-130	BHR-202
BHR-10	BHR-78	BHR-89	BHR-107	BHR-120	BHR-131	BHR-217
BHR-11	BHR-79	BHR-90	BHR-108	BHR-121	BHR-132	BHR-218
BHR-14	BHR-80	BHR-91	BHR-109	BHR-122	BHR-133	BHR-219
Heavily modified properties						
BHR-40	BHR-50	BHR-54	BHR-65	BHR-99	BHR-148	BHR-213
BHR-47	BHR-51	BHR-55	BHR-66	BHR-101	BHR-196	--
BHR-48	BHR-52	BHR-56	BHR-70	BHR-102	BHR-200	
BHR-49	BHR-53	BHR-64	BHR-95	BHR-114	BHR-212	

6.1.3 CANDIDATES FOR DESIGNATION UNDER PART IV OF THE ONTARIO HERITAGE ACT WITHIN STUDY AREA 1

Within Study Area 1, there are 13 listed non-designated properties included on the City of Brampton’s Municipal Heritage Register, of these resources, 12 are considered candidates for designation under Part IV of the OHA. It is recommended the following resources are evaluated using Ontario Regulation 9/06 of the OHA. These properties are outlined in Table 6-3 below.

Table 6-3: Candidates for Designation Under Part IV of the Ontario Heritage Act within Study Area 1

Candidates for Designation Under Part IV of the Ontario Heritage Act					
BHR-9	BHR-13	BHR-57	BHR-191	BHR-193	BHR-197
BHR-12	BHR-38	BHR-67	BHR-192	BHR-194	BHR-216

6.2 BUILT HERITAGE RESOURCES: STUDY AREA 2A

6.2.1 PROPERTIES RECOMMENDED FOR IMMEDIATE INCLUSION ON THE MUNICIPAL HERITAGE REGISTER WITHIN STUDY AREA 2A

A total of 65 built heritage resources within CHL-9 are recommended for immediate listing on the City of Brampton’s Municipal Heritage Register, as outlined in Table 6-4 below and illustrated on Figure 33, Appendix C.

Table 6-4: Properties recommended for inclusion on the City of Brampton’s Municipal Heritage Register in Study Area 2A

Properties within the boundaries of CHL-9 recommended for immediate listing						
BHR-221	BHR-231	BHR-241	BHR-259	BHR-276	BHR-288	BHR-299
BHR-222	BHR-232	BHR-242	BHR-261	BHR-278	BHR-290	BHR-301
BHR-223	BHR-233	BHR-243	BHR-263	BHR-279	BHR-291	BHR-302
BHR-224	BHR-234	BHR-244	BHR-264	BHR-280	BHR-292	BHR-303
BHR-225	BHR-235	BHR-245	BHR-267	BHR-281	BHR-293	BHR-304

BHR-226	BHR-236	BHR-248	BHR-268	BHR-282	BHR-294	--
BHR-227	BHR-237	BHR-249	BHR-269	BHR-283	BHR-295	
BHR-228	BHR-238	BHR-253	BHR-270	BHR-284	BHR-296	
BHR-229	BHR-239	BHR-257	BHR-271	BHR-285	BHR-297	
BHR-230	BHR-240	BHR-258	BHR-272	BHR-286	BHR-298	

6.2.2 PROPERTIES NOT RECOMMENDED FOR IMMEDIATE INCLUSION ON THE MUNICIPAL HERITAGE REGISTER WITHIN STUDY AREA 2A

A total of four properties were found to not currently contribute to their historic context but could acquire value in the future. Seven properties were found to have been heavily modified to the point that their heritage value may have been lost. These properties are not recommended for immediate inclusion on the City of Brampton's Municipal Heritage Register. These properties are outlined in Table 6-5 below.

Table 6-5: Properties not Recommended for Immediate Inclusion on the Municipal Heritage Register within Study Area 2A

Properties that do not contribute to their historic context						
BHR-286	BHR-305	BHR-307	BHR-306	--		
Heavily modified properties						
BHR-265	BHR-266	BHR-273	BHR-274	BHR-275	BHR-287	BHR-289

6.2.3 CANDIDATES FOR DESIGNATION UNDER PART IV OF THE ONTARIO HERITAGE ACT WITHIN STUDY AREA 2A

Within Study Area 2A, there are a total of 10 listed non-designated properties included on the City of Brampton's Municipal Heritage Register, nine of the resources are considered candidates for designation

under Part IV of the OHA. It is recommended the following resources are evaluated using Ontario Regulation 9/06 of the OHA. These properties are outlined in Table 6-4 below.

Table 6-6: Candidates for Designation Under Part IV of the *Ontario Heritage Act* within Study Area 2A

Candidates for Designation Under Part IV of the <i>Ontario Heritage Act</i>				
BHR-220	BHR-250	BHR-252	BHR-255	BHR-262
BHR-247	BHR-251	BHR-254	BHR-260	--

6.3 BUILT HERITAGE RESOURCES: STUDY AREA 2B

6.3.1 PROPERTIES RECOMMENDED FOR IMMEDIATE INCLUSION ON THE MUNICIPAL HERITAGE REGISTER WITHIN STUDY AREA 2B

A total of 12 built heritage resources are recommended for immediate listing on the City of Brampton's Municipal Heritage Register, as outlined in Table 6-6 below and illustrated on Figure 34, Appendix C.

Table 6-7: Properties recommended for inclusion on the City of Brampton's Municipal Heritage Register in Study Area 2B

Properties within the boundaries of CHL-10 recommended for immediate listing					
BHR-309	BHR-314	BHR-319	BHR-321	BHR-323	BHR-326
BHR-310	BHR-318	BHR-320	BHR-322	BHR-325	BHR-328

6.3.2 PROPERTIES NOT RECOMMENDED FOR IMMEDIATE INCLUSION ON THE MUNICIPAL HERITAGE REGISTER WITHIN STUDY AREA 2B

One property within Study Area 2B was found to have been heavily modified to the point that its heritage value may have been lost. 23 Railroad Street (BHR-329) is not recommended for immediate inclusion on the City of Brampton’s Municipal Heritage Register.

6.3.3 CANDIDATES FOR DESIGNATION UNDER PART IV OF THE ONTARIO HERITAGE ACT WITHIN STUDY AREA 2B

Within Study Area 2B, there are a total of eight listed non-designated properties included on the City of Brampton’s Municipal Heritage Register, all eight of the resources are considered candidates for designation under Part IV of the OHA. It is recommended the following resources are evaluated using Ontario Regulation 9/06 of the OHA.

Table 6-8: Candidates for Designation Under Part IV of the Ontario Heritage Act within Study Area 2B

Candidates for Designation Under Part IV of the Ontario Heritage Act within Study Area 2B			
BHR-308	BHR-312	BHR-315	BHR-324
BHR-311	BHR-313	BHR-316	BHR-327

6.4 CULTURAL HERITAGE LANDSCAPES: STUDY AREA 1, 2A, AND 2B

A total of seven CHLs were identified within Study Area 1, they include CHL-1 to CHL-8. Three CHLs (CHL-3, CHL-5 and CHL-8) are listed on the City of Brampton’s Municipal Heritage Register. CHL-9 and CHL-10 were identified during the field review within Study Area 2A and 2B, respectively. The following is recommended for the CHLs identified during the field review:

- The Downtown Brampton, Brampton Flowertown, and the Queen Street Corridor Secondary Plans should be updated to incorporate policies that ensure the long-term viability and presence of significant built heritage resources and cultural heritage landscapes, including the significant heritage character areas.

- As noted in Sections 6.1.1, 6.2.1 and 6.3.1, properties within the identified CHLs should be immediately listed on the City of Brampton’s Municipal Heritage Register.
- Consider CHL 1, CHL-2, CHL-4, CHL-6, CHL-7, CHL-9 and CHL-10 as candidates for study for designation or recognition as a Cultural Heritage Conservation District, under Part V of the *Ontario Heritage Act*, or through Official Plan amendment.

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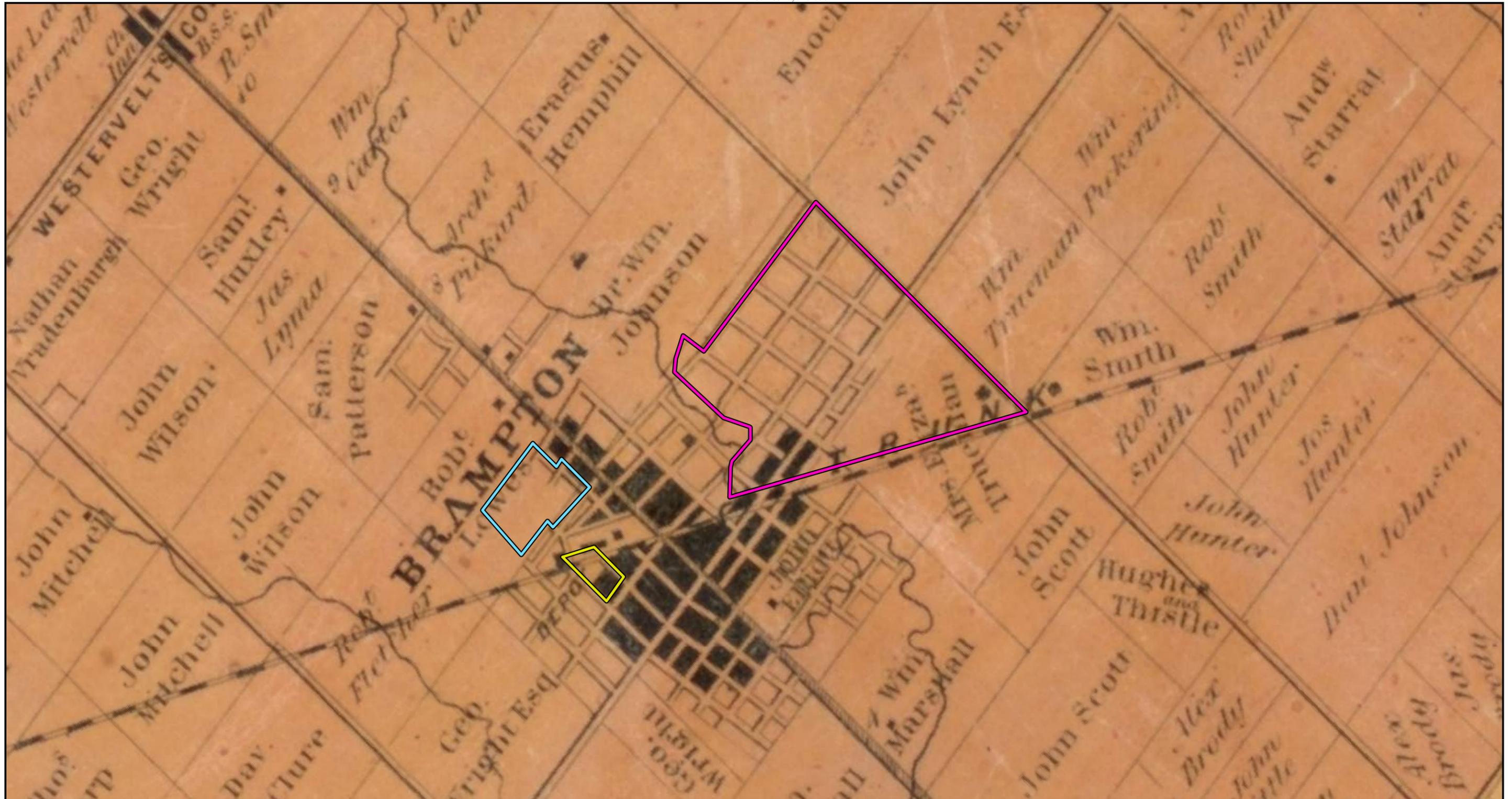
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Appendix A: Historical Mapping



LEGEND

- Study Area 1
- Study Area 2A
- Study Area 2B

TITLE:
FIGURE 3: STUDY AREAS IN RELATION TO THE 1859 TREMAINE'S MAP OF THE COUNTY OF PEEL

PROJECT:
CULTURAL HERITAGE ASSESSMENT REPORT: MAJOR TRANSIT STATION AREAS

0 300 600 m

N

SCALE: 1:15,000	PROJECT NO: 221-02456-00	DATE: MARCH 2022
DRAWN BY: TP	CLIENT: CITY OF BRAMPTON	
CREDITS: TREMAINE, 1859		



LEGEND

- Study Area 1
- Study Area 2A
- Study Area 2B

TITLE:
 FIGURE 4: STUDY AREAS IN RELATION TO THE 1877 ILLUSTRATED HISTORICAL ATLAS OF THE COUNTY OF PEEL

PROJECT:
 CULTURAL HERITAGE ASSESSMENT REPORT: MAJOR TRANSIT STATION AREAS



SCALE:
 1:15,000

PROJECT NO:
 221-02456-00

DATE:
 MARCH 2022

DRAWN BY:
 TP

CLIENT:
 CITY OF BRAMPTON

CREDITS:
 COUNTY ATLAS, 1877





LEGEND

Study Area 2B

TITLE:
**FIGURE 5: STUDY AREA 2B IN RELATION TO THE 1894 (REVISED 1911)
 FIRE INSURANCE PLAN**

PROJECT:
 CULTURAL HERITAGE ASSESSMENT REPORT: MAJOR TRANSIT STATION AREAS



SCALE:
 1:1,250

PROJECT NO:
 221-02456-00

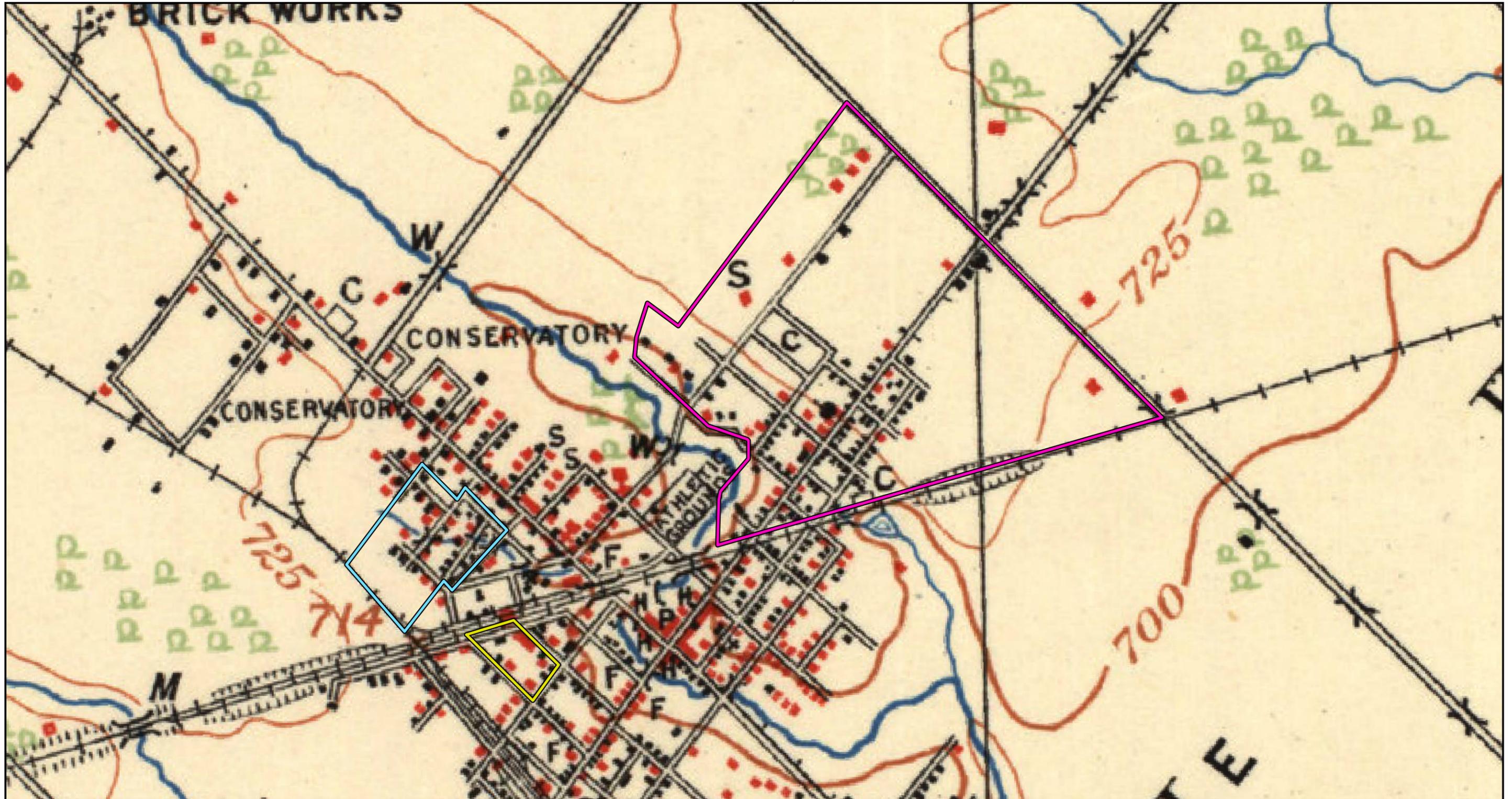
DATE:
 APRIL 2022

DRAWN BY:
 TP

CLIENT:
 CITY OF BRAMPTON

CREDITS:
 PEEL REGION





LEGEND

- Study Area 1
- Study Area 2A
- Study Area 2B

TITLE:

FIGURE 6: STUDY AREAS IN RELATION TO THE 1909 NTS MAP

PROJECT:

CULTURAL HERITAGE ASSESSMENT REPORT: MAJOR TRANSIT STATION AREAS

SCALE:
1:10,000

PROJECT NO:
221-02456-00

DATE:
APRIL 2022

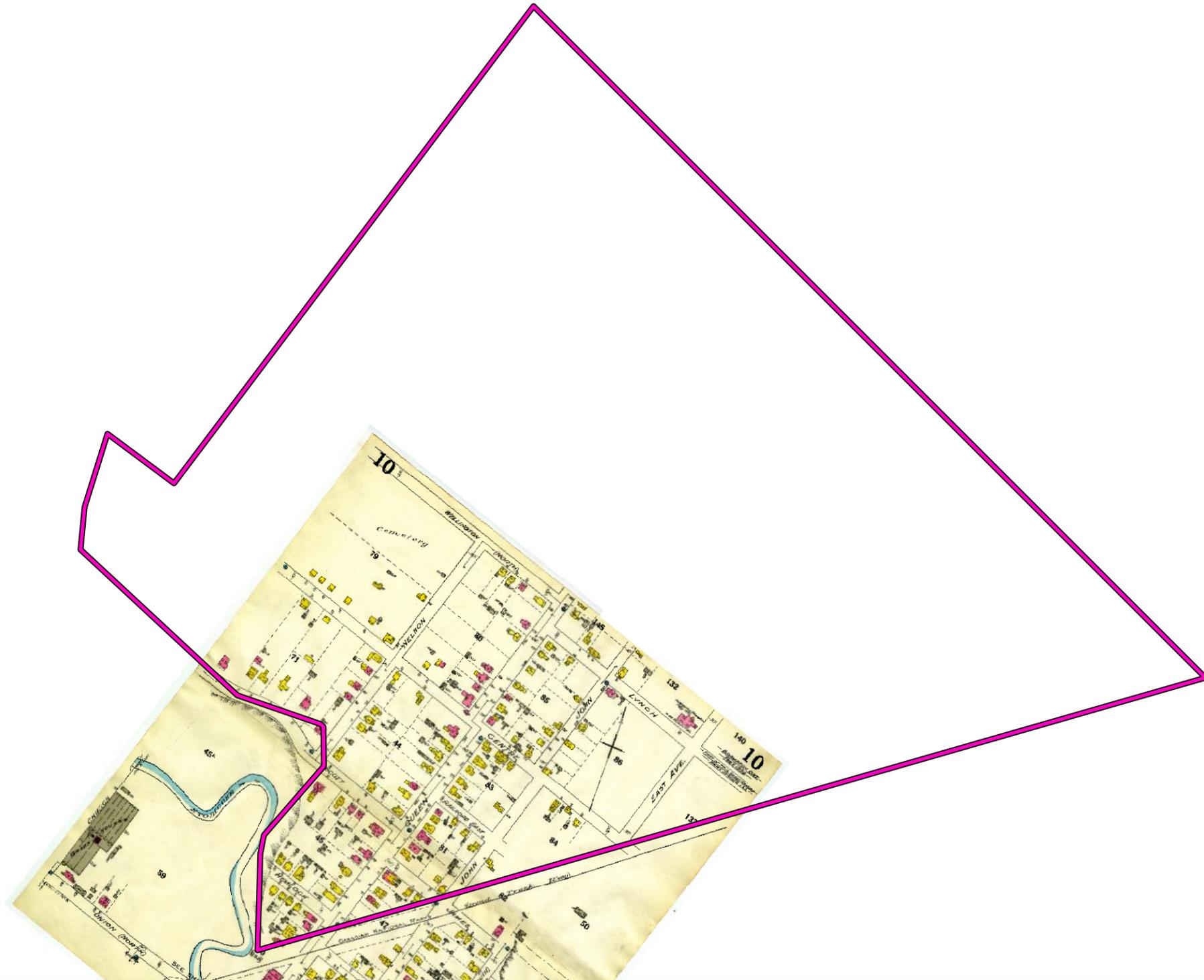
DRAWN BY:
TP

CLIENT:
CITY OF BRAMPTON

CREDITS:

DEPARTMENT OF MILITIA
AND DEFENCE, 1909





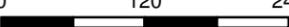
LEGEND

 Study Area 1

TITLE:
**FIGURE 7: STUDY AREA 1 IN RELATION TO THE 1921 (REVISED 1924)
 FIRE INSURANCE PLAN**

PROJECT:
 CULTURAL HERITAGE ASSESSMENT REPORT: MAJOR TRANSIT STATION AREAS

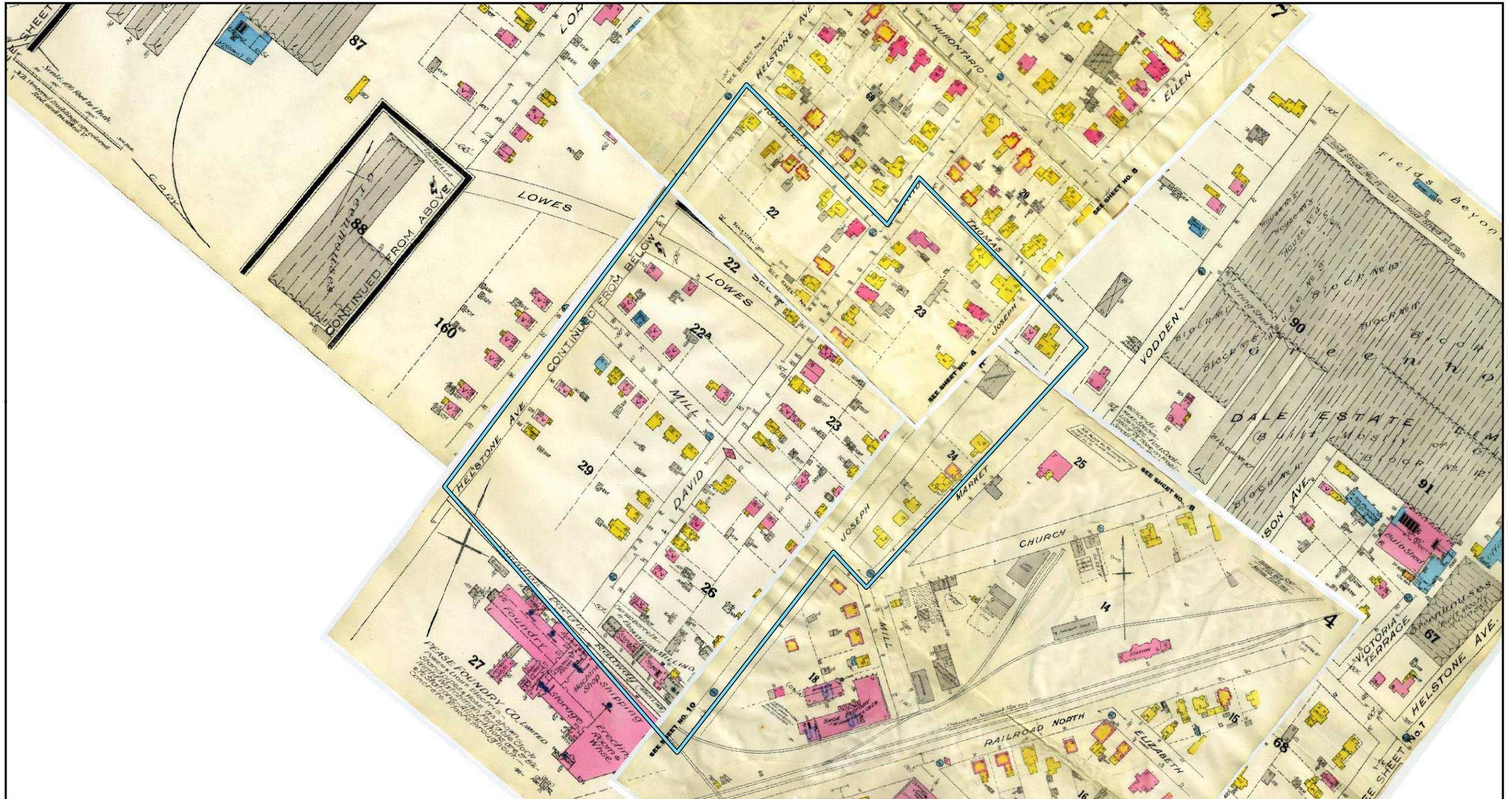
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SCALE: 1:6,000	PROJECT NO: 221-02456-00	DATE: APRIL 2022
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DRAWN BY: TP	CLIENT: CITY OF BRAMPTON
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CREDITS:
 PEEL REGION



LEGEND

 Study Area 2A

TITLE:
**FIGURE 8: STUDY AREA 2A IN RELATION TO THE 1921 (REVISED 1924)
 FIRE INSURANCE PLAN**

PROJECT:
 CULTURAL HERITAGE ASSESSMENT REPORT: MAJOR TRANSIT STATION AREAS



SCALE:
 1:2,500

PROJECT NO:
 221-02456-00

DATE:
 APRIL 2022

DRAWN BY:
 TP

CLIENT:
 CITY OF BRAMPTON

CREDITS:
 PEEL REGION





LEGEND

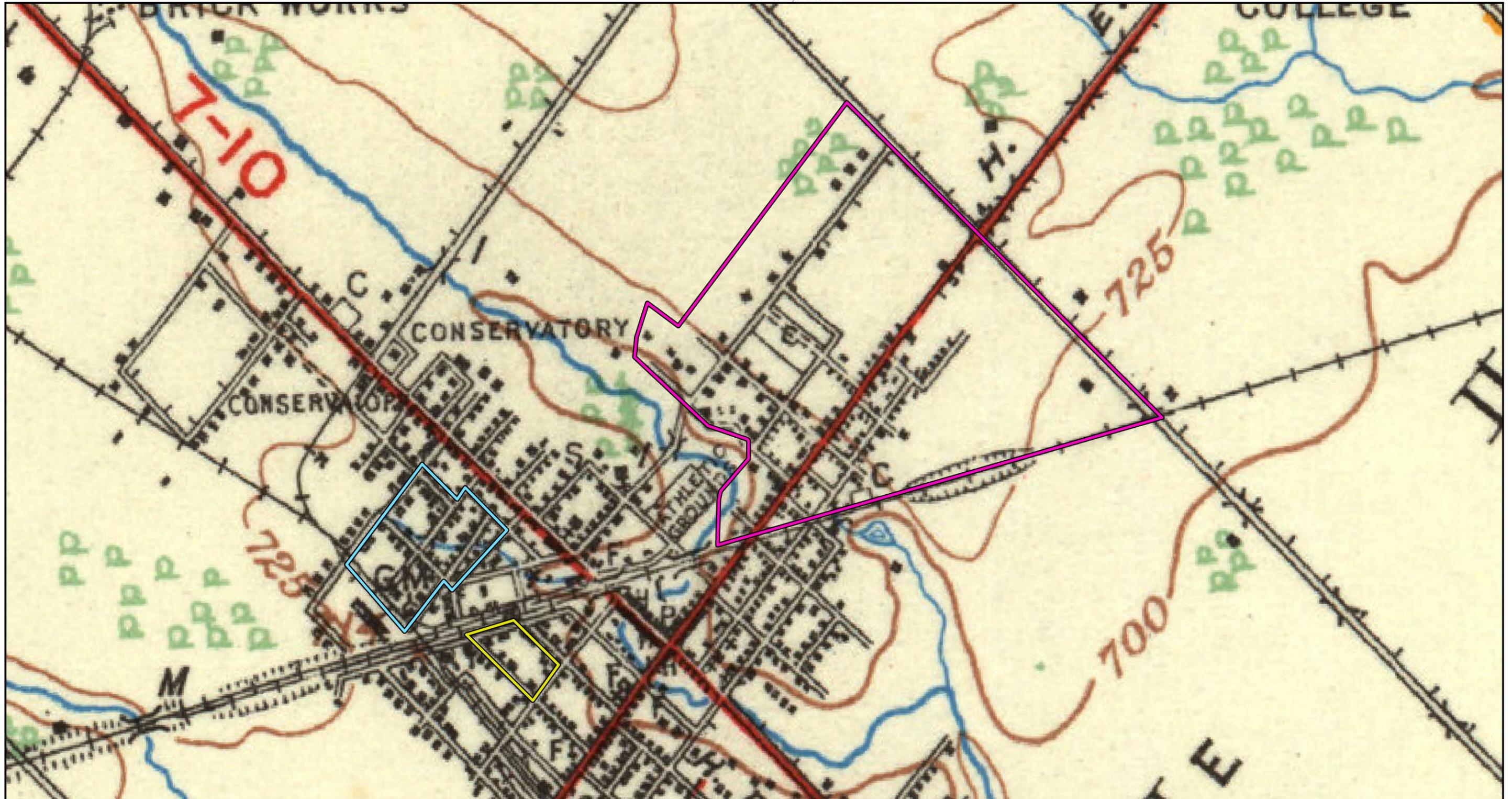
Study Area 2B

TITLE:
FIGURE 9: STUDY AREA 2B IN RELATION TO THE 1921 (REVISED 1924) FIRE INSURANCE PLAN

PROJECT:
 CULTURAL HERITAGE ASSESSMENT REPORT: MAJOR TRANSIT STATION AREAS

0 25 50 m

SCALE: 1:1,250	PROJECT NO: 221-02456-00	DATE: APRIL 2022
DRAWN BY: TP	CLIENT: CITY OF BRAMPTON	
CREDITS: PEEL REGION		



LEGEND

- Study Area 1
- Study Area 2A
- Study Area 2B

TITLE:

FIGURE 10: STUDY AREAS IN RELATION TO THE 1938 NTS MAP

PROJECT:

CULTURAL HERITAGE ASSESSMENT REPORT: MAJOR TRANSIT STATION AREAS

SCALE:
1:10,000

PROJECT NO:
221-02456-00

DATE:
APRIL 2022

DRAWN BY:
TP

CLIENT:
CITY OF BRAMPTON

CREDITS:

DEPARTMENT OF NATIONAL
DEFENCE, 1938





LEGEND

 Study Area 1

TITLE:

FIGURE 11: STUDY AREA 1 ON 1954 AERIAL PHOTOGRAPHY

PROJECT:

CULTURAL HERITAGE ASSESSMENT REPORT: MAJOR TRANSIT STATION AREAS

SCALE:
1:6,000

PROJECT NO:
221-02456-00

DATE:
APRIL 2022

DRAWN BY:
TP

CLIENT:
CITY OF BRAMPTON

CREDITS:

UNIVERSITY OF TORONTO





BRAMPTON



LEGEND

 Study Area 2A

TITLE:

FIGURE 12: STUDY AREA 2A ON 1954 AERIAL PHOTOGRAPHY

PROJECT:

CULTURAL HERITAGE ASSESSMENT REPORT: MAJOR TRANSIT STATION AREAS

SCALE:
1:5,000

PROJECT NO:
221-02456-00

DATE:
APRIL 2022

DRAWN BY:
TP

CLIENT:
CITY OF BRAMPTON

CREDITS:

UNIVERSITY OF TORONTO





LEGEND

 Study Area 2B

TITLE:

FIGURE 13: STUDY AREA 2B ON 1954 AERIAL PHOTOGRAPHY

PROJECT:

CULTURAL HERITAGE ASSESSMENT REPORT: MAJOR TRANSIT STATION AREAS

SCALE:
1:5,000

PROJECT NO:
221-02456-00

DATE:
APRIL 2022

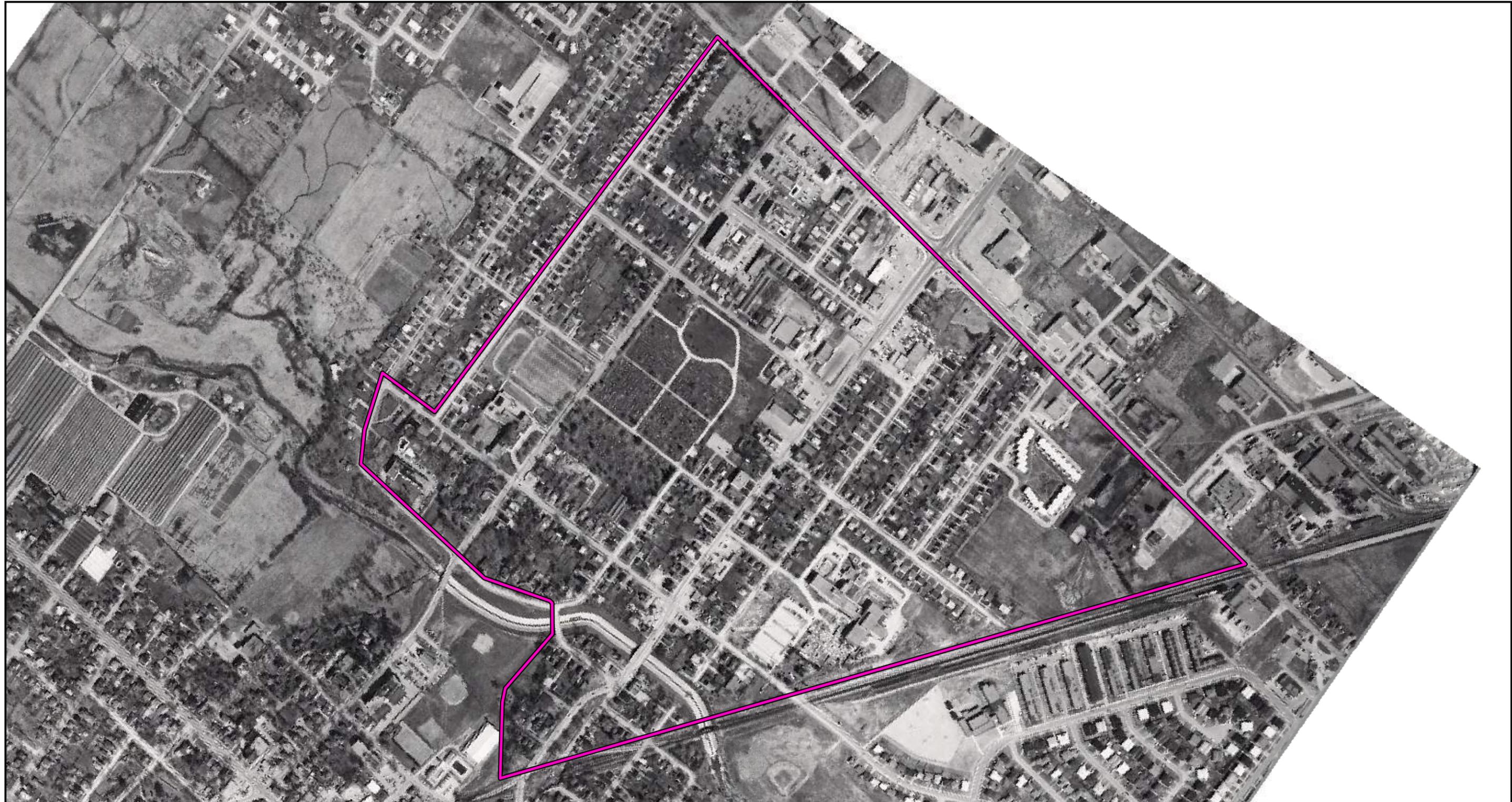
DRAWN BY:
TP

CLIENT:
CITY OF BRAMPTON

CREDITS:

UNIVERSITY OF TORONTO





LEGEND

 Study Area 1

TITLE:

FIGURE 14: STUDY AREA 1 ON 1968 AERIAL PHOTOGRAPHY

PROJECT:

CULTURAL HERITAGE ASSESSMENT REPORT: MAJOR TRANSIT STATION AREAS

SCALE:
1:6,000

PROJECT NO:
221-02456-00

DATE:
APRIL 2022

DRAWN BY:
TP

CLIENT:
CITY OF BRAMPTON

CREDITS:

CITY OF TORONTO

0 120 240 m





LEGEND

Study Area 2A

TITLE:
FIGURE 15: STUDY AREA 2A ON 1968 AERIAL PHOTOGRAPHY

PROJECT:
 CULTURAL HERITAGE ASSESSMENT REPORT: MAJOR TRANSIT STATION AREAS

0 50 100 m

N

SCALE: 1:2,500	PROJECT NO: 221-02456-00	DATE: APRIL 2022
DRAWN BY: TP	CLIENT: CITY OF BRAMPTON	
CREDITS: CITY OF TORONTO		



LEGEND

 Study Area 2B

TITLE:

FIGURE 16: STUDY AREA 2B ON 1968 AERIAL PHOTOGRAPHY

PROJECT:

CULTURAL HERITAGE ASSESSMENT REPORT: MAJOR TRANSIT STATION AREAS

SCALE:
1:1,250

PROJECT NO:
221-02456-00

DATE:
APRIL 2022

DRAWN BY:
TP

CLIENT:
CITY OF BRAMPTON

CREDITS:

CITY OF TORONTO

0 25 50 m



Appendix B: Identified Built Heritage Resources and Cultural Heritage Landscapes with Known or Potential Cultural Heritage Value or Interest within Study Areas 1, 2A, and 2B

Table 7-1: Identified Built Heritage Resources and Cultural Heritage Landscapes with Known or Potential Cultural Heritage Value or Interest within Study Area 1

Study Area	BHR or CHL	Resource Type	Location	Heritage Recognition	Description of Known or Potential CHVI	Photograph	Recommended for Listing
1	BHR-1	Commercial (formerly residential)	11 Beech Street	Identified during field review	<p>The residence on the property is an example of a post-war Suburban dwelling. The house has a square footprint, a hip roof and is one storey in height. The exterior is clad in brick and the building is sited on a parged foundation. The façade is asymmetrical and features a large front-facing window.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p> <p>Suburban style houses in Ontario generally date from 1950 to 2003 (Kyles, 2016a).</p>		<p>The property is not currently considered to contribute to its historic context but could acquire value in the future.</p> <p>The property is not currently recommended for listing on the Municipal Heritage Register.</p>
1	BHR-2	Residential	18 Beech Street	Identified during field review	<p>The residence on the property is an example of a post-war Suburban dwelling. The house has an irregular footprint, an intersecting hip roof and is one storey in height. The exterior is clad in siding and is sited on parged foundation. The façade is asymmetrical and features projecting bay with a front-facing gable. The building corners and window opening have cast stone quoins. The property contains a number of mature trees.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p> <p>Suburban style houses in Ontario generally date from 1950 to 2003 (Kyles, 2016a).</p>		<p>The property is not currently considered to contribute to its historic context but could acquire value in the future.</p> <p>The property is not currently recommended for listing on the Municipal Heritage Register.</p>
1	BHR-3	Residential	32 Beech Street	Identified during field review	<p>Constructed between 1942 and 1954, the residence on the property is a one-and-a-half storey dwelling Victory House that is stylistically reminiscent of a simplified Cape Cod Colonial. The house, clad in horizontal siding has a rectangular plan and a medium pitched gable roof. The house has a symmetrical façade with a central front door flanked by a horizontally oriented and vertically oriented rectangular window. The windows and doors on the structure appear to be modern replacements.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p> <p>The property, located on the east side of Beech Street contains a number of mature trees.</p>		<p>The property is not currently considered to contribute to its historic context but could acquire value in the future.</p> <p>The property is not currently recommended for listing on the Municipal Heritage Register.</p>
1	BHR-4	Residential	34 Beech Street	Identified during field review	<p>Constructed between 1942 and 1954, the residence on the property is a one storey dwelling Victory House. The house, clad in horizontal siding has a rectangular plan and a medium pitched cross-gable roof. The house has an asymmetrical façade with a central front door flanked by a bay window and small rectangular window. The windows and doors on the structure appear to be modern replacements.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p>		<p>The property is not currently considered to contribute to its historic context but could acquire value in the future.</p> <p>The property is not currently recommended for listing on the Municipal Heritage Register.</p>

Study Area	BHR or CHL	Resource Type	Location	Heritage Recognition	Description of Known or Potential CHVI	Photograph	Recommended for Listing
1	BHR-5	Residential	36 Beech Street	Identified during field review	<p>Constructed between 1942 and 1954, the residence on the property is a one-and-a-half storey Victory House. The house, clad in horizontal siding has a rectangular plan and a medium pitched gable roof. The house has an asymmetrical façade with a central front door. The facade includes a slightly projecting gable peak with a double window. The windows and doors on the structure appear to be modern replacements. The property contains a number of mature trees.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p> <p>The property, located on the east side of Beech Street contains a number of mature trees.</p>		<p>The property is not currently considered to contribute to its historic context but could acquire value in the future.</p> <p>The property is not currently recommended for listing on the Municipal Heritage Register.</p>
1	BHR-6	Residential	38 Beech Street	Identified during field review	<p>The residence on the property is an example of a post-war Suburban dwelling. The house has a square footprint, a hip roof and is one storey in height. The exterior is clad in brick and stone and the building is sited on a parged foundation. The façade is asymmetrical and features a large front-facing window located in a projecting bay. The property contains a number of mature trees.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p> <p>Suburban style houses in Ontario generally date from 1950 to 2003 (Kyles, 2016a).</p>		<p>The property is not currently considered to contribute to its historic context but could acquire value in the future.</p> <p>The property is not currently recommended for listing on the Municipal Heritage Register.</p>
1	BHR-7	Residential	40 Beech Street	Identified during field review	<p>The residence on the property is an example of a post-war Suburban dwelling. The house has a square footprint, a hip roof and is one storey in height. The exterior is clad in brick and the building is sited on a parged foundation. The façade is asymmetrical and features two large front-facing windows.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p> <p>Suburban style houses in Ontario generally date from 1950 to 2003 (Kyles, 2016a).</p>		<p>The property is not currently considered to contribute to its historic context but could acquire value in the future.</p> <p>The property is not currently recommended for listing on the Municipal Heritage Register.</p>
1	BHR-8	Residential	54 Beech Street	Identified during field review	<p>The property contains a one-and-a-half storey red-brick vernacular dwelling with a cross-gable roof. It has been modified with a front addition. The segmentally arched window openings, masonry sill and centrally placed gable on the south façade suggests the dwelling could be older than the neighboring dwellings that predominantly date to the 1950s.</p>		<p>The property is not currently considered to contribute to its historic context but could acquire value in the future.</p> <p>The property is not currently recommended for listing on the Municipal Heritage Register.</p>

Study Area	BHR or CHL	Resource Type	Location	Heritage Recognition	Description of Known or Potential CHVI	Photograph	Recommended for Listing
1	BHR-9	Residential	55 Beech Street	Listed on the City of Brampton's Municipal Heritage Register	<p>The property contains a one-and-a-half storey residence and is a vernacular example of a dwelling inspired by the Prairie style. The building has a hipped roof, broad eaves, a central dormer and two side dormers, a central, recessed arched entranceway, large windows with wood trim, dormer windows on each façade and a red brick chimney on the south façade.</p> <p>The property, located on the west side of Beech Street contains a number of mature trees.</p>		<p>The house on the subject property is a representative and notable expression of the Prairie style. The property is identified as a candidate for designation under the OHA; it is recommended that a 9/06 Evaluation be completed.*</p> <p>*This property is subject to an Official Plan and Zoning By-law Amendment that includes demolition of the dwelling to facilitate a development consisting of 76 stacked townhouse units in four townhouse blocks and 197 units in a ten-storey building.</p>
1	BHR-10	Residential	56 Beech Street	Identified during field review	<p>The residence on the property is an example of a post-war Suburban dwelling. The house has a rectangular footprint and is one-and-a-half storeys in height. The end gable roof has a steep pitch, the roof is punctuated by a front-facing projecting bay. The exterior is clad in brick and horizontal siding and the building is sited on a parged foundation. The property contains a number of mature trees.</p> <p>The residence was constructed in the post-war boom. It is directly related to the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p> <p>Suburban style houses in Ontario generally date from 1950 to 2003 (Kyles, 2016a).</p>		<p>The property is not currently considered to contribute to its historic context but could acquire value in the future.</p> <p>The property is not currently recommended for listing on the Municipal Heritage Register.</p>
1	BHR-11	Residential	58 Beech Street	Identified during field review	<p>The residence on the property is an example of a post-war Suburban dwelling. The house has a rectangular footprint and is one-and-a-half storeys in height. The end gable roof has a steep pitch, the roof is punctuated by a front-facing projecting bay. The exterior is clad in brick and horizontal siding and the building is sited on a parged foundation. The property contains a number of mature trees.</p> <p>The residence was constructed in the post-war boom. It is directly related to the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p> <p>Suburban style houses in Ontario generally date from 1950 to 2003 (Kyles, 2016a).</p>		<p>The property is not currently considered to contribute to its historic context but could acquire value in the future.</p> <p>The property is not currently recommended for listing on the Municipal Heritage Register.</p>
1	BHR-12	Residential	59 Beech Street	Listed on the City of Brampton's Municipal Heritage Register	<p>The residence on the property is a representative example of the Arts and Crafts style. The house has a side gable roof, protruding central entranceway, large windows, and a tall single stack, red brick chimney on the south façade. It was built by George Gowland c. 1934.</p> <p>The property, located on the west side of Beech Street contains a number of mature trees.</p>		<p>The house on the subject property is a representative and notable expression of the Arts and Crafts style. The property is identified as a candidate for designation under the OHA; it is recommended that a 9/06 Evaluation be completed.*</p> <p>*This property is subject to an Official Plan and Zoning By-law Amendment that includes demolition of the dwelling to facilitate a development consisting of 76 stacked townhouse units in four townhouse blocks and 197 units in a ten-storey building.</p>

Study Area	BHR or CHL	Resource Type	Location	Heritage Recognition	Description of Known or Potential CHVI	Photograph	Recommended for Listing
1	BHR-13	Residential	61 Beech Street	Listed on the City of Brampton's Municipal Heritage Register	<p>The property has historical/associative value through its connection with George Gowland. Gowland was a carpenter by trade and also owned the first trucking company in Brampton, Brampton Transport. Many of the houses he built were influenced by Frank Lloyd Wright (Jasinski, 2018). Along with 55 and 59 Beech Street it forms a grouping of houses which were constructed by the same builder in similar styles in the 1930s (Jasinski, 2018). The residence on the property demonstrates a vernacular example with influences from Arts and Craft with its complex geometrically shaped hipped roofline, its geometrically shaped footprint and stucco rendering. The windows and doors on the structure appear to be modern replacements.</p> <p>The property, located on the west side of Beech Street contains a number of mature trees.</p>		<p>The house on the subject property is a representative and notable expression of the Arts and Crafts style. The property is identified as a candidate for designation under the OHA; it is recommended that a 9/06 Evaluation be completed.*</p> <p>*This property is subject to an Official Plan and Zoning By-law Amendment that includes demolition of the dwelling to facilitate a new development, but will include reconstruction of the front portion of the dwelling and incorporation into a new building.</p>
1	BHR-14	Residential	62 Beech Street	Identified during field review	<p>The residence on the property is a vernacular example of the suburban style. The structure, clad in red and brown brick, has a front-facing gable, reminiscent of an A-frame house. The façade has a centrally placed door, flanked by rectangular windows of varying sizes. The house is sited on a rusticated concrete block foundation.</p>		<p>The property is not currently considered to contribute to its historic context but could acquire value in the future</p> <p>The property is not currently recommended for listing on the Municipal Heritage Register.</p>
1	BHR-15	Residential	1 Binsell Avenue	Identified during field review	<p>Constructed between 1942 and 1954, the residence on the property is a one-and-a-half storey Victory House that is stylistically reminiscent of a simplified Cape Cod Colonial. The house, clad in red-brick, has a rectangular plan and a medium pitched gable roof. The house has an asymmetrical façade with a slightly off-center front door flanked by two rectangular windows with masonry sills. The windows and doors on the structure appear to be modern replacements. The property contains a number of mature trees.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p>		<p>The property strongly reinforces the character and context of the post-war development of Binsell Avenue.</p> <p>It is recommended that the City of Brampton add 1 Binsell Avenue to the Municipal Register of Cultural Heritage Resources</p>
1	BHR-16	Residential	3 Binsell Avenue	Identified during field review	<p>Constructed between 1942 and 1954, the residence on the property is a one-and-a-half storey Victory House that is stylistically reminiscent of a simplified Cape Cod Colonial. The house, clad in horizontal siding has a rectangular plan and a highly pitched gable roof. The house has a symmetrical façade with a central front door flanked by two horizontally oriented windows. The attached garage is a later addition. The windows and doors on the structure appear to be modern replacements. The property contains a number of mature trees.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p>		<p>The property strongly reinforces the character and context of the post-war development of Binsell Avenue.</p> <p>It is recommended that the City of Brampton add 3 Binsell Avenue to the Municipal Register of Cultural Heritage Resources.</p>

Study Area	BHR or CHL	Resource Type	Location	Heritage Recognition	Description of Known or Potential CHVI	Photograph	Recommended for Listing
1	BHR-17	Residential	5 Binsell Avenue	Identified during field review	<p>The residence on the property is an example of a post-war Suburban dwelling. The house has an irregular footprint, an intersecting hip roof and is one storey in height. The exterior is clad in brick; the building is sited on a parged foundation. The façade is asymmetrical and features a projecting bay. The property contains a number of mature trees.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p> <p>Suburban style houses in Ontario generally date from 1950 to 2003 (Kyles, 2016a).</p>		<p>The property strongly reinforces the character and context of the post-war development of Binsell Avenue.</p> <p>It is recommended that the City of Brampton add 5 Binsell Avenue to the Municipal Register of Cultural Heritage Resources.</p>
1	BHR-18	Residential	5 Binsell Avenue	Identified during field review	<p>Constructed between 1942 and 1954, the residence on the property is a one-and-a-half storey Victory House that is stylistically reminiscent of a simplified Cape Cod Colonial. The house, clad in red-brick has a rectangular plan and a highly pitched gable roof. The house has a symmetrical façade with a central front door flanked by two horizontally oriented segmentally arched windows. The property contains a number of mature trees.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p>		<p>The property strongly reinforces the character and context of the post-war development of Binsell Avenue.</p> <p>It is recommended that the City of Brampton add 5 Binsell Avenue to the Municipal Register of Cultural Heritage Resources.</p>
1	BHR-19	Residential	6 Binsell Avenue	Identified during field review	<p>Constructed between 1942 and 1954, the residence on the property is a one-and-a-half storey Victory House that is stylistically reminiscent of a simplified Cape Cod Colonial. The house, clad in red-brick, has a rectangular plan and a medium pitched gable roof. The house has a symmetrical façade with a projecting front entrance, it is flanked by two rectangular windows with masonry sills. The windows and doors on the structure appear to be modern replacements. The property contains a number of mature trees.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p>		<p>The property strongly reinforces the character and context of the post-war development of Binsell Avenue.</p> <p>It is recommended that the City of Brampton add 6 Binsell Avenue to the Municipal Register of Cultural Heritage Resources.</p>
1	BHR-20	Residential	7 Binsell Avenue	Identified during field review	<p>The residence on the property is an example of a post-war Suburban dwelling. The house has a rectangular footprint and is one storey in height. The end gable roof has a steep pitch, the roof is punctuated by a front-facing projecting bay. The exterior is clad in brick and horizontal siding and the building is sited on a parged foundation. The property contains a number of mature trees.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p> <p>Suburban style houses in Ontario generally date from 1950 to 2003 (Kyles, 2016a).</p>		<p>The property strongly reinforces the character and context of the post-war development of Binsell Avenue.</p> <p>It is recommended that the City of Brampton add 7 Binsell Avenue to the Municipal Register of Cultural Heritage Resources.</p>

Study Area	BHR or CHL	Resource Type	Location	Heritage Recognition	Description of Known or Potential CHVI	Photograph	Recommended for Listing
1	BHR-21	Residential	8 Binsell Avenue	Identified during field review	<p>Constructed between 1942 and 1954, the residence on the property is a one-and-a-half storey Victory House that is stylistically reminiscent of a simplified Cape Cod Colonial. The house, clad in horizontal siding has a rectangular plan and a highly pitched gable roof. The house has an asymmetrical façade with a central front door flanked by a horizontally oriented rectangular window and a vertically oriented rectangular window. The windows and doors on the structure appear to be modern replacements. The property contains a number of mature trees.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p>		<p>The property strongly reinforces the character and context of the post-war development of Binsell Avenue.</p> <p>It is recommended that the City of Brampton add 8 Binsell Avenue to the Municipal Register of Cultural Heritage Resources.</p>
1	BHR-22	Residential	10 Binsell Avenue	Identified during field review	<p>The residence on the property is an example of a post-war Suburban dwelling. The house has a rectangular footprint and is one storey in height. The end gable roof has a steep pitch, the roof is punctuated by a front-facing projecting bay. The exterior is clad in brick and horizontal siding and the building is sited on a parged foundation. The property contains a number of mature trees.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p> <p>Suburban style houses in Ontario generally date from 1950 to 2003 (Kyles, 2016a).</p>		<p>The property strongly reinforces the character and context of the post-war development of Binsell Avenue.</p> <p>It is recommended that the City of Brampton add 10 Binsell Avenue to the Municipal Register of Cultural Heritage Resources.</p>
1	BHR-23	Residential	11 Binsell Avenue	Identified during field review	<p>The property contains a dwelling with Period Revival influences. It is one-storey in height and consists of painted brick and horizontal siding in the front gable end. The Period Revival influence is evidenced by the roofline of the projecting gable on the front facade.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p>		<p>The property strongly reinforces the character and context of the post-war development of Binsell Avenue.</p> <p>It is recommended that the City of Brampton add 11 Binsell Avenue to the Municipal Register of Cultural Heritage Resources.</p>
1	BHR-24	Residential	12 Binsell Avenue	Identified during field review	<p>The residence on the property is an example of a post-war Suburban dwelling. The house has a rectangular footprint and is one storey in height. The end gable roof has a steep pitch, the roof is punctuated by a front-facing projecting bay. The exterior is clad in brick, stone and horizontal siding and the building is sited on a parged foundation. The property contains a number of mature trees.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p> <p>Suburban style houses in Ontario generally date from 1950 to 2003 (Kyles, 2016a).</p>		<p>The property strongly reinforces the character and context of the post-war development of Binsell Avenue.</p> <p>It is recommended that the City of Brampton add 12 Binsell Avenue to the Municipal Register of Cultural Heritage Resources.</p>

Study Area	BHR or CHL	Resource Type	Location	Heritage Recognition	Description of Known or Potential CHVI	Photograph	Recommended for Listing
1	BHR-25	Residential	7 Charles Street	Identified during field review	<p>The residence on the property is an example of a post-war Suburban dwelling. The house has an irregular footprint, an intersecting hip roof and is one storey in height. The exterior is clad in brick and is sited on a parged foundation. The façade is symmetrical and features a large front-facing window, the main entrance is located on projecting bay on the side of the house.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p> <p>Suburban style houses in Ontario generally date from 1950 to 2003 (Kyles, 2016a).</p>		<p>The property strongly reinforces the character and context of the post-war development of Charles Street.</p> <p>It is recommended that the City of Brampton add 7 Charles Street to the Municipal Register of Cultural Heritage Resources.</p>
1	BHR-26	Residential	8 Charles Street	Identified during field review	<p>The residence on the property is an example of a post-war Suburban dwelling. The house has an irregular footprint, an intersecting hip roof and is one storey in height. The exterior is clad in brick and stone, the building is sited on a parged foundation. The façade is symmetrical and features a large front-facing window, the main entrance is located on projecting bay on the side of the house.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p> <p>Suburban style houses in Ontario generally date from 1950 to 2003 (Kyles, 2016a).</p>		<p>The property strongly reinforces the character and context of the post-war development of Charles Street.</p> <p>It is recommended that the City of Brampton add 8 Charles Street to the Municipal Register of Cultural Heritage Resources.</p>
1	BHR-27	Residential	9 Charles Street	Identified during field review	<p>The residence on the property is an example of a post-war Suburban dwelling. The house has a square footprint, a front-facing gable roof and is one storey in height. The exterior is clad in brick and horizontal siding, the building is sited on a parged foundation. The façade is symmetrical and features a large front-facing window, the entrance is recessed from the façade.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p> <p>Suburban style houses in Ontario generally date from 1950 to 2003 (Kyles, 2016a).</p>		<p>The property strongly reinforces the character and context of the post-war development of Charles Street.</p> <p>It is recommended that the City of Brampton add 9 Charles Street to the Municipal Register of Cultural Heritage Resources.</p>
1	BHR-28	Residential	10 Charles Street	Identified during field review	<p>The residence on the property is an example of a post-war Suburban dwelling. The house has a square footprint, a front-facing gable roof and is one storey in height. The exterior is clad in brick and horizontal siding, the building is sited on a parged foundation. The façade is symmetrical and features a large front-facing window and a carport.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p> <p>Suburban style houses in Ontario generally date from 1950 to 2003 (Kyles, 2016a).</p>		<p>The property strongly reinforces the character and context of the post-war development of Charles Street.</p> <p>It is recommended that the City of Brampton add 10 Charles Street to the Municipal Register of Cultural Heritage Resources.</p>

Study Area	BHR or CHL	Resource Type	Location	Heritage Recognition	Description of Known or Potential CHVI	Photograph	Recommended for Listing
1	BHR-29	Residential	11 Charles Street	Identified during field review	<p>The residence on the property is an example of a post-war Suburban dwelling. The house has an irregular footprint, an intersecting hip roof and is one storey in height. The exterior is clad in brick and is sited on a parged foundation. The façade is symmetrical and features a large front-facing window, the main entrance is located on projecting bay on the side of the house.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p> <p>Suburban style houses in Ontario generally date from 1950 to 2003 (Kyles, 2016a).</p>		<p>The property strongly reinforces the character and context of the post-war development of Charles Street.</p> <p>It is recommended that the City of Brampton add 1 Charles Street to the Municipal Register of Cultural Heritage Resources.</p>
1	BHR-30	Residential	12 Charles Street	Identified during field review	<p>The residence on the property is an example of a post-war Suburban dwelling. The house has an irregular footprint, an intersecting hip roof and is one storey in height. The exterior is clad in brick and is sited on a parged foundation. The façade is symmetrical and features a large front-facing window, the main entrance is located on projecting bay on the side of the house. The property contains a number of mature trees.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p> <p>Suburban style houses in Ontario generally date from 1950 to 2003 (Kyles, 2016a).</p>		<p>The property strongly reinforces the character and context of the post-war development of Charles Street.</p> <p>It is recommended that the City of Brampton add 12 Charles Street to the Municipal Register of Cultural Heritage Resources.</p>
1	BHR-31	Residential	13 Charles Street	Identified during field review	<p>The residence on the property is an example of a post-war Suburban dwelling. The house has a square footprint, a front-facing gable roof and is one storey in height. The exterior is clad in brick and the building is sited on a parged foundation. The façade is symmetrical and features a large front-facing window, the entrance is recessed from the façade.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p> <p>Suburban style houses in Ontario generally date from 1950 to 2003 (Kyles, 2016a).</p>		<p>The property strongly reinforces the character and context of the post-war development of Charles Street.</p> <p>It is recommended that the City of Brampton add 13 Charles Street to the Municipal Register of Cultural Heritage Resources.</p>
1	BHR-32	Residential	14 Charles Street	Identified during field review	<p>The residence on the property is an example of a post-war Suburban dwelling. The house has a square footprint, a hip roof and is one storey in height. The exterior is clad in brick and stone and the building is sited on a parged foundation. The façade is symmetrical and features a large front-facing window, the main entrance recessed from the front façade.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p> <p>Suburban style houses in Ontario generally date from 1950 to 2003 (Kyles, 2016a).</p>		<p>The property strongly reinforces the character and context of the post-war development of Charles Street.</p> <p>It is recommended that the City of Brampton add 14 Charles Street to the Municipal Register of Cultural Heritage Resources.</p>

Study Area	BHR or CHL	Resource Type	Location	Heritage Recognition	Description of Known or Potential CHVI	Photograph	Recommended for Listing
1	BHR-33	Residential	15 Charles Street	Identified during field review	<p>The residence on the property is an example of a post-war Suburban dwelling. The house has an irregular footprint, an intersecting hip roof and is one storey in height. The exterior is clad in brick and is sited on a parged foundation. The façade is symmetrical and features a large front-facing window, the main entrance is located on projecting bay on the side of the house.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p> <p>Suburban style houses in Ontario generally date from 1950 to 2003 (Kyles, 2016a).</p>		<p>The property strongly reinforces the character and context of the post-war development of Charles Street.</p> <p>It is recommended that the City of Brampton add 15 Charles Street to the Municipal Register of Cultural Heritage Resources.</p>
1	BHR-34	Residential	16 Charles Street	Identified during field review	<p>The residence on the property is an example of a post-war Suburban dwelling. The house has a square footprint, a hip roof and is one storey in height. The exterior is clad in brick and is sited on a parged foundation. The façade is symmetrical and features a large front-facing window, the main entrance recessed from the front façade.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p> <p>Suburban style houses in Ontario generally date from 1950 to 2003 (Kyles, 2016a).</p>		<p>The property strongly reinforces the character and context of the post-war development of Charles Street.</p> <p>It is recommended that the City of Brampton add 16 Charles Street to the Municipal Register of Cultural Heritage Resources.</p>
1	BHR-35	Residential	17 Charles Street	Identified during field review	<p>The residence on the property is an example of a post-war Suburban dwelling. The house has a square footprint, a front-facing gable roof and is one storey in height. The exterior is clad in brick and the building is sited on a parged foundation. The façade is symmetrical and features a large front-facing window and a carport.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p> <p>Suburban style houses in Ontario generally date from 1950 to 2003 (Kyles, 2016a).</p>		<p>The property strongly reinforces the character and context of the post-war development of Charles Street.</p> <p>It is recommended that the City of Brampton add 17 Charles Street to the Municipal Register of Cultural Heritage Resources.</p>
1	BHR-36	Residential	18 Charles Street	Identified during field review	<p>The residence on the property is an example of a post-war Suburban dwelling. The house has a square footprint, a front-facing gable roof and is one storey in height. The exterior is clad in brick and the building is sited on a parged foundation. The façade is symmetrical and features a large front-facing window and a carport.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p> <p>Suburban style houses in Ontario generally date from 1950 to 2003 (Kyles, 2016a).</p>		<p>The property strongly reinforces the character and context of the post-war development of Charles Street.</p> <p>It is recommended that the City of Brampton add 18 Charles Street to the Municipal Register of Cultural Heritage Resources.</p>

Study Area	BHR or CHL	Resource Type	Location	Heritage Recognition	Description of Known or Potential CHVI	Photograph	Recommended for Listing
1	BHR-37	Residential	21 Centre Street South	Identified during field review	<p>The property contains a vernacular adaptation of Gothic Revival dwelling. The Gothic Revival style is apparent by the gable roofline with a peak on the north façade containing a segmentally arched window, bay windows on the east and north façades and arched window openings. A one-story garage has been added to rear of the structure. While the windows and doors appear to be modern replacements, the structure has undergone few alterations.</p> <p>The property is located in a predominantly commercial area, north of the Grand Trunk Railway (now Canadian National) corridor.</p>		<p>The residence is a well-preserved and well-constructed example of late nineteenth century architecture and has physical / design value as a representative example of the Gothic Revival style.</p> <p>It is recommended that the City of Brampton add 21 Centre Street South to the Municipal Register of Cultural Heritage Resources.</p>
1	BHR-38	Residential	23 Centre Street South	Listed on the City of Brampton's Municipal Heritage Register	<p>Constructed c. 1880, the property is historically associated with Kilpatrick Family, an early working class family in Brampton. The modified Ontario Gothic Cottage is one-and-a-half storeys with a hip roof and projecting centre gable on the façade. The front gable has a lance arch window and decorative bargeboard. Other decorative elements include segmentally arched two-over-two arched windows with moldings and a transom over the main entrance.</p> <p>The property is located in a predominantly commercial area, north of the Grand Trunk Railway (now Canadian National) corridor.</p> <p>The residence is a well-preserved and well-constructed example of late-nineteenth century architecture.</p>		<p>The house on the subject property is a representative and notable expression of an Ontario Gothic Cottage. The property is identified as a candidate for designation under the OHA; it is recommended that a 9/06 Evaluation be completed.*</p> <p>*This property is currently in the process of being designated under Part IV of the <i>Ontario Heritage Act</i>.</p>
1	BHR-39	Residential	11 Centre Street North	Identified by the City of Brampton as a Property of Interest	<p>The property contains a two-storey former dwelling. While the dwelling has been modified, it was originally constructed in the Suburban Farmhouse style of the Gothic Revival style. The suburban farmhouse style is evidenced by the two-storey height, cross gable roof, L-shaped plan and segmentally arched window openings.</p>		<p>The residence is a well-preserved and well-constructed example of Gothic Revival architecture that is important in maintaining the former character of the neighbourhood, which is generally defined by a compatible blend of late-nineteenth and early to mid-twentieth century detached, single family homes on large, heavily treed lots.</p> <p>It is recommended that the City of Brampton add 11 Centre Street North to the Municipal Register of Cultural Heritage Resources.</p>
1	BHR-40	Residential	14 Centre Street North	Identified during field review	<p>The residence on the property is a modified example of a vernacular expression of Edwardian architectural style common to this area of Brampton. This vernacular expression of Edwardian architecture is distinguished by two-storey height, front facing gable roof, symmetrical front facade with two windows on the second storey, segmentally arched or rectangular windows, and a front porch. The residence on this property is clad in horizontal siding and the front porch has been enclosed. All of the windows and doors on the structure are modern replacements. The property contains a number of mature trees.</p> <p>Edwardian style houses in Ontario generally date from 1900 to 1930 (Blumenson, 1990).</p>		<p>The property has been heavily modified to the point that its heritage value may have been lost. Cultural heritage value may be identified through further research or detailed field investigation.</p> <p>The property is not currently recommended for listing on the Municipal Heritage Register.</p>

Study Area	BHR or CHL	Resource Type	Location	Heritage Recognition	Description of Known or Potential CHVI	Photograph	Recommended for Listing
1	BHR-41	Residential	15 Centre Street North	Identified by the City of Brampton as a Property of Interest	<p>The residence on the property is an expression of the Edwardian architectural style. The two-and-a-half storey red brick structure features a front-facing gable roof, the gable end is clad in horizontal siding with a paired window. The main façade features a small front porch with a gable roof supported by wood columns. Rectangular windows on the house have masonry lintels and sills. The property contains a number of mature trees.</p> <p>Edwardian style houses in Ontario generally date from 1900 to 1930 (Blumenson, 1990).</p>		<p>The residence is a well-preserved and well-constructed example of Edwardian architecture that is important in maintaining and defining the character of the neighbourhood.</p> <p>It is recommended that the City of Brampton add 15 Centre Street North to the Municipal Register of Cultural Heritage Resources.</p>
1	BHR-42	Residential	17 Centre Street North	Identified by the City of Brampton as a Property of Interest	<p>The property contains a representative example of a two-storey Gothic Revival dwelling. The Gothic Revival style is evidenced by the steeply pitched gable roof with a central peak on the north side of the roof, bay windows with wood brackets under the eaves and decorative wood carvings above the windows, and the rectangular windows and one lancet window. The bay windows on the street-facing facades feature elaborately carved fascia with fretwork and a keystone. The dwelling is clad in horizontal wood siding and appears to have original two-over two double-hung sash windows. The property contains a number of mature trees.</p>		<p>The residence is a well-preserved and well-constructed example of Gothic Revival architecture that is important in maintaining and defining the character of the neighbourhood.</p> <p>It is recommended that the City of Brampton add 17 Centre Street North to the Municipal Register of Cultural Heritage Resources.</p>
1	BHR-43	Residential	23 Centre Street North	Identified during field review	<p>The property includes a two storey example of an Edwardian foursquare dwelling. Foursquare dwellings are typically two or three-bays in width, two-storeys in height with a hipped roof, rectangular or segmentally arched windows and front porch. This dwelling is constructed of red/brown-brick the front porch is supported by brick columns and is enclosed with windows.</p> <p>Edwardian style houses in Ontario generally date from 1900 to 1930 (Blumenson, 1990).</p>		<p>The residence is a well-preserved and well-constructed example of Edwardian architecture that is important in maintaining and defining the character of the neighbourhood.</p> <p>It is recommended that the City of Brampton add 23 Centre Street North to the Municipal Register of Cultural Heritage Resources.</p>
1	BHR-44	Residential	25 Centre Street North	Identified during field review	<p>The property includes a two storey example of an Edwardian foursquare dwelling, it is constructed of red/brown-brick, the hip roof includes a central dormer. The front porch extends along the width of the front facade and has a hipped roof with a gable portico supported by brick columns. The windows on the main façade have radiating brick voussoirs and lintels of an unknown material.</p> <p>Edwardian style houses in Ontario generally date from 1900 to 1930 (Blumenson, 1990).</p>		<p>The residence is a well-preserved and well-constructed example of Edwardian architecture that is important in maintaining and defining the character of the neighbourhood.</p> <p>It is recommended that the City of Brampton add 25 Centre Street North to the Municipal Register of Cultural Heritage Resources.</p>

Study Area	BHR or CHL	Resource Type	Location	Heritage Recognition	Description of Known or Potential CHVI	Photograph	Recommended for Listing
1	BHR-45	Residential	27 Centre Street North	Identified during field review	<p>The property includes a two storey example of an Edwardian foursquare dwelling. The structure is sited on a rusticated block foundation and has an asymmetrical façade, it has a bellcast hip roof and rectangular windows. This dwelling is clad in red-brick and the roof includes dormers on the side elevations. The front porch, characteristic of foursquares, is not present on the dwelling. The property contains a number of mature trees.</p> <p>Edwardian style houses in Ontario generally date from 1900 to 1930 (Blumenson, 1990).</p>		<p>The property is not currently considered to contribute to its historic context but could acquire value in the future.</p> <p>The property is not currently recommended for listing on the Municipal Heritage Register.</p>
1	BHR-46	Residential	28 Centre Street North	Identified during field review	<p>The property includes a good example of a Regency Revival dwelling. The one-storey house has a hip roofed with a front facing dormer. This dwelling is constructed of red-brick and has masonry lintels and sills. A small enclosed front porch is accessed by a set of concrete steps.</p> <p>Period Revivals were popular in Ontario from 1900 to present (Blumenson, 1990).</p>		<p>The residence is a well-preserved and well-constructed example of Edwardian architecture that is important in maintaining and defining the character of the neighbourhood.</p> <p>It is recommended that the City of Brampton add 28 Centre Street North to the Municipal Register of Cultural Heritage Resources.</p>
1	BHR-47	Residential	29 Centre Street North	Identified during field review	<p>The property contains a modified Arts and Crafts bungalow. One-and-a-half storeys in height, the dwelling's gable roof extends over the front porch which has been enclosed with windows on either side of a central front door. The dwelling is also clad in horizontal siding and has a central dormer. The windows and doors on the structure appear to be modern replacements.</p>		<p>The property has been heavily modified to the point that its heritage value may have been lost. Cultural heritage value may be identified through further research or detailed field investigation.</p> <p>The property is not currently recommended for listing on the Municipal Heritage Register.</p>
1	BHR-48	Residential	31 Centre Street North	Identified during field review	<p>The property contains a one-and-a-half storey Dutch Colonial Revival style dwelling. The house has a front-facing gambrel roof. The building has a parged foundation and is clad in a combination of painted brick and faux half-timbering with stucco. The main façade is asymmetrical, with concrete front stairs. The windows and doors on the structure appear to be modern replacements. The residence is likely a late example of Dutch Colonial Revival style constructed between 1942 and 1954.</p> <p>The property contains a number of mature trees.</p>		<p>The property has been heavily modified to the point that its heritage value may have been lost. Cultural heritage value may be identified through further research or detailed field investigation.</p> <p>The property is not currently recommended for listing on the Municipal Heritage Register.</p>

Study Area	BHR or CHL	Resource Type	Location	Heritage Recognition	Description of Known or Potential CHVI	Photograph	Recommended for Listing
1	BHR-49	Residential	33 Centre Street North	Identified during field review	This may be the earliest dwelling constructed on this street (between 1915 and 1918) or it may have been one of a few built in the 1920s. The two-storey semi-detached had a side gable roof with exterior chimneys on both gable ends, and the front facade is symmetrically arranged with an enclosed front porch, and rectangular window openings. The exterior is clad in modern horizontal siding and all of the windows and doors appear to be modern replacements.		<p>The property has been heavily modified to the point that its heritage value may have been lost. Cultural heritage value may be identified through further research or detailed field investigation.</p> <p>The property is not currently recommended for listing on the Municipal Heritage Register.</p>
1	BHR-50	Residential	34 Centre Street North	Identified during field review	<p>The residence on the property is a vernacular expression of Edwardian architectural style common to this area of Brampton. This highly altered dwelling is two-storeys height, has front facing gable roof and a symmetrical front facade with two rectangular windows on the second storey. The residence is clad in modern horizontal siding; the façade is covered with a porch supported by wood columns. The windows and doors are modern replacements.</p> <p>Edwardian style houses in Ontario generally date from 1900 to 1930 (Blumenson, 1990).</p>		<p>The property has been heavily modified to the point that its heritage value may have been lost. Cultural heritage value may be identified through further research or detailed field investigation.</p> <p>The property is not currently recommended for listing on the Municipal Heritage Register.</p>
1	BHR-51	Residential	35 Centre Street North	Identified during field review	This may be the earliest dwelling constructed on this street (between 1915 and 1918) or it may have been on of a few built in the 1920s. The two-storey semi-detached had a side gable roof with chimneys on both ends, and the front facade is symmetrically arranged with an enclosed front porch, and rectangular window openings. The exterior is clad in modern horizontal siding and all of the windows and doors appear to be modern replacements.		<p>The property has been heavily modified to the point that its heritage value may have been lost. Cultural heritage value may be identified through further research or detailed field investigation.</p> <p>The property is not currently recommended for listing on the Municipal Heritage Register.</p>
1	BHR-52	Residential	36 Centre Street North	Identified during field review	<p>The residence on the property is a vernacular expression of Edwardian architectural style common to this area of Brampton. This highly altered dwelling is two-storeys height, has front facing gable roof and an asymmetrical front facade with two rectangular windows on the second storey. The residence is clad in modern horizontal siding; the windows and doors are modern replacements.</p> <p>Edwardian style houses in Ontario generally date from 1900 to 1930 (Blumenson, 1990).</p>		<p>The property has been heavily modified to the point that its heritage value may have been lost. Cultural heritage value may be identified through further research or detailed field investigation.</p> <p>The property is not currently recommended for listing on the Municipal Heritage Register.</p>

Study Area	BHR or CHL	Resource Type	Location	Heritage Recognition	Description of Known or Potential CHVI	Photograph	Recommended for Listing
1	BHR-53	Residential	38 Centre Street North	Identified during field review	<p>The property includes a two-storey example of a vernacular Edwardian foursquare dwelling. Foursquare dwellings are typically two or three-bays in width, two-storeys in height with a hipped roof, rectangular or segmentally arched windows and front porch. This dwelling is clad in horizontal siding and includes a bay window on the ground floor. A small front porch has a shed roof.</p> <p>Edwardian style houses in Ontario generally date from 1900 to 1930 (Blumenson, 1990).</p>		<p>The property has been heavily modified to the point that its heritage value may have been lost. Cultural heritage value may be identified through further research or detailed field investigation.</p> <p>The property is not currently recommended for listing on the Municipal Heritage Register.</p>
1	BHR-54	Residential	40 Centre Street North	Identified during field review	<p>The residence on the property is a vernacular expression of the Edwardian architectural style. This highly altered, two storey house is clad in modern vinyl siding and has a front-facing gable roof. The front porch has been enclosed, it has modern windows and is clad in faux stone. The property contains a number of mature trees.</p> <p>Edwardian style houses in Ontario generally date from 1900 to 1930 (Blumenson, 1990).</p>		<p>The property has been heavily modified to the point that its heritage value may have been lost. Cultural heritage value may be identified through further research or detailed field investigation.</p> <p>The property is not currently recommended for listing on the Municipal Heritage Register.</p>
1	BHR-55	Residential	59 Centre Street North	Identified during field review	<p>The residence on the property consists of a modified Period Revival dwelling. The Period Revival style is evidenced by the gable roof, the dormers, and the distinct shape of the projecting gable roof on the front facade. Clad in horizontal wood siding, this dwelling second storey above the garage is not original to the dwelling.</p>		<p>The property has been heavily modified to the point that its heritage value may have been lost. Cultural heritage value may be identified through further research or detailed field investigation.</p> <p>The property is not currently recommended for listing on the Municipal Heritage Register.</p>
1	BHR-56	Residential	64 Centre Street North	Identified during field review	<p>The residence on the property is a vernacular expression of the Edwardian architectural style. This highly altered, two storey house is clad in modern vinyl siding and has a front-facing gable roof. The front porch has been enclosed, it has modern windows and is clad in faux stone. The property contains a number of mature trees.</p> <p>Edwardian style houses in Ontario generally date from 1900 to 1930 (Blumenson, 1990).</p>		<p>The property has been heavily modified to the point that its heritage value may have been lost. Cultural heritage value may be identified through further research or detailed field investigation.</p> <p>The property is not currently recommended for listing on the Municipal Heritage Register.</p>

Study Area	BHR or CHL	Resource Type	Location	Heritage Recognition	Description of Known or Potential CHVI	Photograph	Recommended for Listing
1	BHR-57	Residential	80 Church Street East	Listed on the City of Brampton's Municipal Heritage Register	Residence on the property consists of a two-storey house with a square plan with a one-and-a-half storey addition on the east façade. The main portion of the building has an asymmetrical façade with an enclosed porch. The porch has a series of six-over-one double-hung sash. The one-and-a-half storey addition is symmetrical with one centrally placed window on the first floor and a central gable with a lancet window. The property contains a number of mature trees.		The house on the subject property is a representative and notable expression of vernacular architecture. The property is identified as a candidate for designation under the OHA; it is recommended that a 9/06 Evaluation be completed.
1	BHR-58	Residential	81 Church Street East	Identified during field review	The property consists of a simple yet representative example of a Period Revival dwelling. The Period Revival style is evidenced by the gable roof, the distinct shape of the projecting gable roof on the front facade, the curve of the chimney, the arched front door opening and leaded windows. Clad in red-brown brick, stone steps lead to the front entrance that has a contrasting red-brick surround. The property contains a number of mature trees. Period Revivals were popular in Ontario from 1900 to present (Blumenson, 1990).		The residence is a well-preserved and well-constructed example of a Period Revival house, that is important in maintaining and defining the character of the neighbourhood. It is recommended that the City of Brampton add 81 Church Street East to the Municipal Register of Cultural Heritage Resources.
1	BHR-59	Residential	83 Church Street East	Identified by the City of Brampton as a Property of Interest	The property contains a representative example of an Ontario Gothic Cottage. Covered in a stucco rendering, this one-and-a-half-storey dwelling has a lancet window in the gable peak and a front porch with a bell-cast roof. The centrally placed entrance has sidelights. While the windows and doors are modern replacements, sills and decorative moldings are presents on the side elevations. Ontario Gothic Cottages generally date from 1750 to 1900 (Kyles, 2016).		The residence is an example of an Ontario Gothic Cottage that is important in maintaining and defining the character of the neighbourhood. It is recommended that the City of Brampton add 83 Church Street East to the Municipal Register of Cultural Heritage Resources.
1	BHR-60	Residential	87 Church Street East	Identified by the City of Brampton as a Property of Interest	The residence on the property is a vernacular expression of the Edwardian architectural style. The two storey red brick structure features a front-facing gable roof. The main façade is asymmetrical, it has an open porch with a hip roof, supported by a series of brick columns. The windows have rusticated jack arches and brick sills. Edwardian style houses in Ontario generally date from 1900 to 1930 (Blumenson, 1990).		The residence is a well-preserved and well-constructed example of Edwardian architecture that is important in maintaining and defining the character of the neighbourhood. It is recommended that the City of Brampton add 87 Church Street East to the Municipal Register of Cultural Heritage Resources.

Study Area	BHR or CHL	Resource Type	Location	Heritage Recognition	Description of Known or Potential CHVI	Photograph	Recommended for Listing
1	BHR-61	Residential	88 Church Street East	Identified by the City of Brampton as a Property of Interest	<p>The residence on the property is a vernacular expression of the Edwardian architectural style. The two storey red brick structure features a front-facing gable roof. The porch on the main façade has been enclosed and is clad in modern vining siding. The windows have rusticated jack arches and brick sills. The property contains a number of mature trees.</p> <p>Edwardian style houses in Ontario generally date from 1900 to 1930 (Blumenson, 1990).</p>		<p>The residence is a well-preserved and well-constructed example of Edwardian architecture that is important in maintaining and defining the character of the neighbourhood.</p> <p>It is recommended that the City of Brampton add 88 Church Street East to the Municipal Register of Cultural Heritage Resources.</p>
1	BHR-62	Residential	89 Church Street East	Identified by the City of Brampton as a Property of Interest	<p>The residence on the property is an expression of the Edwardian architectural style. The two-and-a-half storey red brick structure features a front-facing gable roof, the gable end is clad in siding and has a rectangular window opening. The main façade features an enclosed front porch with a hip roof supported by brick columns and two rectangular windows on the second storey.</p> <p>Edwardian style houses in Ontario generally date from 1900 to 1930 (Blumenson, 1990).</p>		<p>The residence is a well-preserved and well-constructed example of Edwardian architecture that is important in maintaining and defining the character of the neighbourhood.</p> <p>It is recommended that the City of Brampton add 89 Church Street East to the Municipal Register of Cultural Heritage Resources.</p>
1	BHR-63	Residential	92 Church Street East	Identified by the City of Brampton as a Property of Interest	<p>The residence on the property is a vernacular expression of Edwardian architectural style. This vernacular expression of Edwardian architecture is distinguished by its red and brown brick cladding, two-storey height, front facing gable roof and symmetrical front facade with two windows on the second storey. The windows on the upper storey of the main façade feature cast stone sills and brick voussoirs. The porch has been modified and enclosed. The property contains a number of mature trees.</p> <p>Edwardian style houses in Ontario generally date from 1900 to 1930 (Blumenson, 1990).</p>		<p>The residence is a well-preserved and well-constructed example of Edwardian architecture that is important in maintaining and defining the character of the neighbourhood.</p> <p>It is recommended that the City of Brampton add 92 Church Street East to the Municipal Register of Cultural Heritage Resources.</p>
1	BHR-64	Residential	93 Church Street East	Identified during field review	<p>Topographic mapping suggests a dwelling on this property was constructed between before 1909. Given the Georgian Revival style of this semi-detached, this may be a much older dwelling. The Georgian revival influence are evidenced by the four-bay symmetrical facade, the equal arrangement of rectangular windows, the two-over-two wood windows and the hipped roof with red-brick chimney. The property contains a number of mature trees and is separated from the sidewalk by chain-link fence and a cedar rail fence.</p>		<p>The property has been heavily modified to the point that its heritage value may have been lost. Cultural heritage value may be identified through further research or detailed field investigation.</p> <p>The property is not currently recommended for listing on the Municipal Heritage Register.</p>

Study Area	BHR or CHL	Resource Type	Location	Heritage Recognition	Description of Known or Potential CHVI	Photograph	Recommended for Listing
1	BHR-65	Residential	95 Church Street East	Identified during field review	Topographic mapping suggests a dwelling on this property was constructed between before 1909. Given the Georgian Revival style of this semi-detached, this may be a much older dwelling. The Georgian revival influence are evidenced by the four-bay symmetrical facade, the equal arrangement of rectangular windows, the two-over-two wood windows and the hipped roof. The property contains a number of mature trees and is separated from the sidewalk by chain-link fence and a cedar rail fence.		<p>The property has been heavily modified to the point that its heritage value may have been lost. Cultural heritage value may be identified through further research or detailed field investigation.</p> <p>The property is not currently recommended for listing on the Municipal Heritage Register.</p>
1	BHR-66	Residential	128 Church Street East	Identified during field review	Constructed between 1942 and 1954, the residence on the property is a one-and-a-half storey Victory House that is stylistically reminiscent of a simplified Cape Cod Colonial. The house, clad in horizontal siding has a rectangular plan and a medium pitched gable roof with a central front dormer. The house has an asymmetrical façade with a central front door flanked by two differently sized vertically oriented windows.		<p>The property has been heavily modified to the point that its heritage value may have been lost. Cultural heritage value may be identified through further research or detailed field investigation.</p> <p>The property is not currently recommended for listing on the Municipal Heritage Register.</p>
1	BHR-67	Residential	136 Church Street East	Listed on the City of Brampton's Municipal Heritage Register	The residence at 136 Church Street is unique and early example of one storey, red brick vernacular dwelling with a low pitched hip roof and Italianate influences. The one-storey house has a bay window on the main façade, buff brick quoins and voussoirs, and a field stone foundation. The property is located on the north side of Church Street East across from the Brampton Cemetery, east of Sophia Street and west of Beech Street. The property contains a number of mature trees.		<p>The house on the subject property is a representative and notable expression of vernacular dwelling with Italianate influences. The property is identified as a candidate for designation under the OHA; it is recommended that a 9/06 Evaluation be completed. *</p> <p>*This property is subject to an Official Plan and Zoning By-law Amendment that includes relocation of the building to 132 Church Street East.</p>
1	BHR-68	Residential	140 Church Street East	Identified during field review	<p>The dwelling on the property is a representative example of an Arts and Crafts style bungalow. One-and-a-half storeys in height, the red-brick dwelling includes segmentally arched window and door openings, a concrete block foundation and a gable roof that extends over the front porch and is supported by brick and wood columns. The main façade is symmetrical with three bays and a centrally placed main entrance. The property contains a number of mature trees.</p> <p>Bungalows in Ontario generally date from 1900 to 1945 (Blumenson, 1990).</p>		<p>The residence is a well-preserved and well-constructed example of Arts and Crafts architecture that is important in maintaining and defining the character of the neighbourhood.</p> <p>It is recommended that the City of Brampton add 140 Church Street East to the Municipal Register of Cultural Heritage Resources.</p>

Study Area	BHR or CHL	Resource Type	Location	Heritage Recognition	Description of Known or Potential CHVI	Photograph	Recommended for Listing
1	BHR-69	Mid-rise apartment building	176 Church Street East	Identified during field review	Constructed between 1954 and 1968, the building on the property consists of a mid-rise apartment building, clad in red brick and stone. The building features an asymmetrical balance of windows against a square form. The lightness of the exterior balcony material and interior staircase stands in contrast to the exterior brick wall.		<p>The residence is a well-preserved example of Mid-Century Modern architecture that is important in maintaining and defining the character of the neighbourhood.</p> <p>It is recommended that the City of Brampton add 176 Church Street East to the Municipal Register of Cultural Heritage Resources.</p>
1	BHR-70	Residential	4 Eastern Avenue	Identified during field review	<p>The residence on the property is a vernacular expression of Edwardian architectural style common to this area of Brampton. This vernacular expression of Edwardian architecture is distinguished by its two-storey height, front facing gable roof, asymmetrical front facade with two windows on the second storey, rectangular windows, and a front porch. The residence on this property is clad in horizontal siding and a small front porch with a gable roof supported by metal columns is accessed by concrete steps.</p> <p>Edwardian style houses in Ontario generally date from 1900 to 1930 (Blumenson, 1990).</p>		<p>The property has been heavily modified to the point that its heritage value may have been lost. Cultural heritage value may be identified through further research or detailed field investigation.</p> <p>The property is not currently recommended for listing on the Municipal Heritage Register.</p>
1	BHR-71	Residential	5 Eastern Avenue	Identified during field review	<p>Constructed between 1954 and 1968, the residence on the property is a one-and-a-half storey house that is stylistically reminiscent of a simplified Cape Cod Colonial. The house, clad in horizontal siding has a rectangular plan and a steeply pitched gable roof. The house has an asymmetrical façade featuring a large plate glass window. The main entrance is sheltered by a metal awning.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p>		<p>The property is not currently considered to contribute to its historic context but could acquire value in the future.</p> <p>The property is not currently recommended for listing on the Municipal Heritage Register.</p>
1	BHR-72	Residential	6 Eastern Avenue	Identified during field review	<p>Constructed between 1954 and 1968, the residence on the property is a one-and-a-half storey Victory House. The house, clad in horizontal siding has a rectangular plan and a front facing pitched gable roof with generous cornice returns. The house has an asymmetrical façade with a slightly off-centre front door set accessed by concrete steps and protected by a covered porch flanked by two horizontally oriented rectangular windows and a rectangular window in the gable end.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p>		<p>The property is not currently considered to contribute to its historic context but could acquire value in the future.</p> <p>The property is not currently recommended for listing on the Municipal Heritage Register.</p>

Study Area	BHR or CHL	Resource Type	Location	Heritage Recognition	Description of Known or Potential CHVI	Photograph	Recommended for Listing
1	BHR-73	Residential	7 Eastern Avenue	Identified during field review	<p>Constructed between 1954 and 1968, the residence on the property is a one-and-a-half storey Victory House that is stylistically reminiscent of a simplified Cape Cod Colonial. The house, clad in horizontal siding has a rectangular plan and a highly pitched gable roof. The house has an asymmetrical façade featuring a large window.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p>		<p>The property is not currently considered to contribute to its historic context but could acquire value in the future.</p> <p>The property is not currently recommended for listing on the Municipal Heritage Register.</p>
1	BHR-74	Residential	9 Eastern Avenue	Identified during field review	<p>Constructed between 1954 and 1968, the residence on the property is a one-and-a-half storey Victory House that is stylistically reminiscent of a simplified Cape Cod Colonial. The house, clad in horizontal siding has a rectangular plan and a highly pitched gable roof. The house has an asymmetrical façade featuring a large window.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p>		<p>The property is not currently considered to contribute to its historic context but could acquire value in the future.</p> <p>The property is not currently recommended for listing on the Municipal Heritage Register.</p>
1	BHR-75	Residential	10 Eastern Avenue	Identified during field review	<p>The vernacular dwelling on the property consists of a single storey frame structure with a front facing gable roof and is clad in horizontal wood siding. A single window opening with a wood surround is present on the south facade. The active entrance to the structure appears to be on the west side of the residence.</p>		<p>The property is not currently considered to contribute to its historic context but could acquire value in the future.</p> <p>The property is not currently recommended for listing on the Municipal Heritage Register.</p>
1	BHR-76	Residential	14 Eastern Avenue	Identified during field review	<p>Constructed between 1954 and 1968, the residence on the property may be an example of a Victory House, but its finishes of red-brick, masonry sills and masonry detailing around the front door suggest a higher degree of design than typical for Victory Housing. The house, clad in red-brick siding has a rectangular plan and a medium pitched gable roof. The façade is asymmetrical with a central front door with flanked by a horizontally oriented window and a vertically oriented window. The property contains a number of mature trees.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p>		<p>The property is not currently considered to contribute to its historic context but could acquire value in the future.</p> <p>The property is not currently recommended for listing on the Municipal Heritage Register.</p>

Study Area	BHR or CHL	Resource Type	Location	Heritage Recognition	Description of Known or Potential CHVI	Photograph	Recommended for Listing
1	BHR-77	Residential	15 Eastern Avenue	Identified during field review	<p>Constructed between 1954 and 1968, the residence on the property is a one-and-a-half storey Victory House that is stylistically reminiscent of a simplified Cape Cod Colonial. The house, clad in horizontal siding has a rectangular plan and a medium pitched gable roof. The house has an asymmetrical façade with an off-centre front door set accessed by a concrete ramp and two rectangular windows.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p>		<p>The property is not currently considered to contribute to its historic context but could acquire value in the future.</p> <p>The property is not currently recommended for listing on the Municipal Heritage Register.</p>
1	BHR-78	Residential	16 Eastern Ave	Identified during field review	<p>The residence on the property is an example of a post-war Suburban dwelling. The house has a rectangular footprint and is one storey in height. The end gable roof has a steep pitch, the roof is punctuated by a front-facing projecting bay. The exterior is clad in brick and horizontal siding and the building is sited on a parged foundation. The property contains a number of mature trees.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p> <p>Suburban style houses in Ontario generally date from 1950 to 2003 (Kyles, 2016a).</p>		<p>The property is not currently considered to contribute to its historic context but could acquire value in the future.</p> <p>The property is not currently recommended for listing on the Municipal Heritage Register.</p>
1	BHR-79	Residential	17 Eastern Avenue	Identified during field review	<p>Constructed between 1954 and 1968, the residence on the property is a one-and-a-half storey Victory House that is stylistically reminiscent of a simplified Cape Cod Colonial. The house, clad in horizontal siding has a rectangular plan and a medium pitched gable roof. The house has an asymmetrical façade with an off-centre front door a bay window and a vertically oriented rectangular window.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p>		<p>The property is not currently considered to contribute to its historic context but could acquire value in the future.</p> <p>The property is not currently recommended for listing on the Municipal Heritage Register.</p>
1	BHR-80	Residential	18 Eastern Avenue	Identified during field review	<p>The residence on the property is an example of a post-war Suburban dwelling. The house has a rectangular footprint, a front-facing gable roof and is one storey in height. The exterior is clad in brick and horizontal siding, the building is sited on a parged foundation. The façade is a symmetrical and features a large front-facing window. The property contains a number of mature trees.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p> <p>Suburban style houses in Ontario generally date from 1950 to 2003 (Kyles, 2016a).</p>		<p>The property is not currently considered to contribute to its historic context but could acquire value in the future.</p> <p>The property is not currently recommended for listing on the Municipal Heritage Register.</p>

Study Area	BHR or CHL	Resource Type	Location	Heritage Recognition	Description of Known or Potential CHVI	Photograph	Recommended for Listing
1	BHR-81	Residential	20 Eastern Avenue	Identified during field review	<p>The residence on the property is an example of a post-war Suburban dwelling. The house has a square footprint, a hip roof and is one storey in height. The exterior is clad in brick, and the building is sited on a parged foundation. The façade is asymmetrical and features a large front-facing window. The property contains a number of mature trees.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p> <p>Suburban style houses in Ontario generally date from 1950 to 2003 (Kyles, 2016a).</p>		<p>The property is not currently considered to contribute to its historic context but could acquire value in the future.</p> <p>The property is not currently recommended for listing on the Municipal Heritage Register.</p>
1	BHR-82	Residential	21 Eastern Avenue	Identified during field review	<p>Constructed between 1954 and 1968 the residence on the property is a one storey Victory House that is stylistically reminiscent of a simplified Cape Cod Colonial. The house, clad in horizontal siding has a rectangular plan and a medium pitched gable roof. The house has an asymmetrical façade with an off-centre front door set accessed by wood steps with two rectangular windows. The property contains a number of mature trees.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p>		<p>The property is not currently considered to contribute to its historic context but could acquire value in the future.</p> <p>The property is not currently recommended for listing on the Municipal Heritage Register.</p>
1	BHR-83	Residential	22 Eastern Avenue	Identified during field review	<p>The residence on the property is an example of a post-war Suburban dwelling. The house has a rectangular footprint, a front-facing gable roof and is one storey in height. The exterior is clad in brick and horizontal siding, the building is sited on a parged foundation. The façade is a symmetrical and features a large front-facing window.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p>		<p>The property is not currently considered to contribute to its historic context but could acquire value in the future.</p> <p>The property is not currently recommended for listing on the Municipal Heritage Register.</p>
1	BHR-84	Residential	23 Eastern Avenue	Identified during field review	<p>Constructed between 1954 and 1968, the residence on the property is a one-and-a-half storey Victory House that is stylistically reminiscent of a simplified Cape Cod Colonial. The house, clad in horizontal siding and red-brick, has a rectangular plan and a highly pitched gable roof. The pitched roof extends to cover a front porch that extends along the width of the front facade. The front facade is asymmetrically arranged façade with an off-centre front door set and two rectangular windows.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p>		<p>The property is not currently considered to contribute to its historic context but could acquire value in the future.</p> <p>The property is not currently recommended for listing on the Municipal Heritage Register.</p>

Study Area	BHR or CHL	Resource Type	Location	Heritage Recognition	Description of Known or Potential CHVI	Photograph	Recommended for Listing
1	BHR-85	Residential	25 Eastern Avenue	Identified during field review	<p>Constructed between 1954 and 1968, the residence on the property is a one-and-a-half storey Victory House that is stylistically reminiscent of a simplified Cape Cod Colonial. The house, clad in horizontal siding and red-brick, has a rectangular plan and a highly pitched gable roof. The pitched roof extends to cover a front porch that extends along the width of the front facade. The front facade is asymmetrically arranged façade with an off-centre front door set and two rectangular windows. The property contains a number of mature trees.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p>		<p>The property is not currently considered to contribute to its historic context but could acquire value in the future.</p> <p>The property is not currently recommended for listing on the Municipal Heritage Register.</p>
1	BHR-86	Residential	27 Eastern Avenue	Identified during field review	<p>Constructed between 1954 and 1968, the residence on the property is a one-and-a-half storey Victory House that is stylistically reminiscent of a simplified Cape Cod Colonial. The house, clad in horizontal siding and angle stone, has a rectangular plan and a highly pitched gable roof. The house has an asymmetrical façade with an off-centre front door set accessed by set of concrete steps and covered porch and a large horizontally oriented rectangular window. The property contains a number of mature trees.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p>		<p>The property is not currently considered to contribute to its historic context but could acquire value in the future.</p> <p>The property is not currently recommended for listing on the Municipal Heritage Register.</p>
1	BHR-87	Residential	28 Eastern Avenue	Identified during field review	<p>The residence on the property is an example of a post-war Suburban dwelling. The house has a rectangular footprint and is one storey in height. The end gable roof has a steep pitch, the roof is punctuated by a front-facing projecting bay. The exterior is clad in brick and horizontal siding and the building is sited on a parged foundation. The property contains a number of mature trees.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p> <p>Suburban style houses in Ontario generally date from 1950 to 2003 (Kyles, 2016a).</p>		<p>The property is not currently considered to contribute to its historic context but could acquire value in the future.</p> <p>The property is not currently recommended for listing on the Municipal Heritage Register.</p>
1	BHR-88	Residential	29 Eastern Avenue	Identified during field review	<p>Constructed between 1954 and 1968, the residence on the property is a one-and-a-half storey Victory House that is stylistically reminiscent of a simplified Cape Cod Colonial. The house, clad in horizontal siding has a rectangular plan and a highly pitched gable roof. The house has an asymmetrical façade with an off-centre front door set accessed by set of concrete steps and covered porch and a large horizontally oriented rectangular window.</p> <p>The property contains a number of mature trees. The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p>		<p>The property is not currently considered to contribute to its historic context but could acquire value in the future.</p> <p>The property is not currently recommended for listing on the Municipal Heritage Register.</p>

Study Area	BHR or CHL	Resource Type	Location	Heritage Recognition	Description of Known or Potential CHVI	Photograph	Recommended for Listing
1	BHR-89	Residential	32 Eastern Avenue	Identified during field review	<p>The residence on the property is an example of a post-war Suburban dwelling. The house has a square footprint, a hip roof and is one storey in height. The exterior is clad in brick and is sited on a parged foundation. The façade is symmetrical and features a centrally placed door flanked by large front-facing windows.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p> <p>Suburban style houses in Ontario generally date from 1950 to 2003 (Kyles, 2016a).</p>		<p>The property is not currently considered to contribute to its historic context but could acquire value in the future.</p> <p>The property is not currently recommended for listing on the Municipal Heritage Register.</p>
1	BHR-90	Residential	34 Eastern Ave Avenue	Identified during field review	<p>The residence on the property is an example of a post-war Suburban dwelling. The house has a rectangular footprint and is one storey in height. The end gable roof has a steep pitch, the roof is punctuated by a front-facing projecting bay. The exterior is clad in brick and horizontal siding and the building is sited on a parged foundation. The property contains a number of mature trees.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p> <p>Suburban style houses in Ontario generally date from 1950 to 2003 (Kyles, 2016a).</p>		<p>The property is not currently considered to contribute to its historic context but could acquire value in the future.</p> <p>The property is not currently recommended for listing on the Municipal Heritage Register.</p>
1	BHR-91	Residential	36 Eastern Avenue	Identified during field review	<p>The residence on the property is an example of a post-war Suburban dwelling. The house has a square footprint, a truncated hip roof and is one storey in height. The exterior is horizontal siding and is sited on a parged foundation. The façade is asymmetrical and features a centrally placed door flanked by large front-facing windows.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p> <p>Suburban style houses in Ontario generally date from 1950 to 2003 (Kyles, 2016a).</p>		<p>The property is not currently considered to contribute to its historic context but could acquire value in the future.</p> <p>The property is not currently recommended for listing on the Municipal Heritage Register.</p>
1	BHR-92	Residential	38 Eastern Avenue	Identified during field review	<p>The residence on the property is an example of a post-war Suburban dwelling. The house has a rectangular footprint and is one storey in height. The end gable roof has a steep pitch, the roof is punctuated by a front-facing projecting bay. The exterior is clad horizontal siding and the building is sited on a parged foundation. The property contains a number of mature trees.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p> <p>Suburban style houses in Ontario generally date from 1950 to 2003 (Kyles, 2016a).</p>		<p>The property is not currently considered to contribute to its historic context but could acquire value in the future.</p> <p>The property is not currently recommended for listing on the Municipal Heritage Register.</p>

Study Area	BHR or CHL	Resource Type	Location	Heritage Recognition	Description of Known or Potential CHVI	Photograph	Recommended for Listing
1	BHR-93	Residential	40 Eastern Avenue	Identified during field review	<p>The residence on the property is an example of a post-war Suburban dwelling. The house has a rectangular footprint and is one storey in height. The end gable roof has a steep pitch, the roof is punctuated by a front-facing projecting bay. The exterior is clad in horizontal siding and the building is sited on a parged foundation. The property contains a number of mature trees.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p> <p>Suburban style houses in Ontario generally date from 1950 to 2003 (Kyles, 2016a).</p>		<p>The property is not currently considered to contribute to its historic context but could acquire value in the future.</p> <p>The property is not currently recommended for listing on the Municipal Heritage Register.</p>
1	BHR-94	Residential	42 Eastern Avenue	Identified during field review	<p>The residence on the property is an example of a post-war Suburban dwelling. The house has a rectangular footprint and is one storey in height. The end gable roof has a steep pitch, the roof is punctuated by a front-facing projecting bay. The exterior is clad in horizontal siding and the building is sited on a parged foundation. The property contains a number of mature trees.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p> <p>Suburban style houses in Ontario generally date from 1950 to 2003 (Kyles, 2016a).</p>		<p>The property is not currently considered to contribute to its historic context but could acquire value in the future.</p> <p>The property is not currently recommended for listing on the Municipal Heritage Register.</p>
1	BHR-95	Residential	3 Hillcrest Avenue	Identified during field review	<p>The residence on the property is a vernacular expression of Edwardian architectural style common to this area of Brampton. This vernacular expression of Edwardian architecture is distinguished by two-storey height, front facing gable roof, symmetrical front facade with two windows on the second storey, rectangular windows, and a front porch. The residence on this property is clad in horizontal siding and a small front porch with a gable roof is supported by brick and wood columns accessed by concrete steps.</p> <p>Edwardian style houses in Ontario generally date from 1900 to 1930 (Blumenson, 1990).</p>		<p>The property has been heavily modified to the point that its heritage value may have been lost. Cultural heritage value may be identified through further research or detailed field investigation.</p> <p>The property is not currently recommended for listing on the Municipal Heritage Register.</p>
1	BHR-96	Residential	6 Hillcrest Avenue	Identified during field review	<p>The residence on the property is an example of a post-war Suburban dwelling. The house has a square footprint, a hip roof and is one storey in height. The exterior is clad in brick and the building is sited on a parged foundation. The façade is asymmetrical and features a large front-facing garage and a recessed entrance.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p> <p>Suburban style houses in Ontario generally date from 1950 to 2003 (Kyles, 2016a).</p>		<p>The property is not currently considered to contribute to its historic context but could acquire value in the future.</p> <p>The property is not currently recommended for listing on the Municipal Heritage Register.</p>

Study Area	BHR or CHL	Resource Type	Location	Heritage Recognition	Description of Known or Potential CHVI	Photograph	Recommended for Listing
1	BHR-97	Residential	8 Hillcrest Avenue	Identified during field review	<p>Constructed between 1942 and 1954, the residence on the property is a one-and-a-half storey Victory House. The house, clad in horizontal siding, has a rectangular plan and a medium pitched front facing gable roof. The house has an asymmetrical façade with small one-storey front addition that may be an enclosed former porch and rectangular windows.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p>		<p>The property is not currently considered to contribute to its historic context but could acquire value in the future.</p> <p>The property is not currently recommended for listing on the Municipal Heritage Register.</p>
1	BHR-98	Residential	8a Hillcrest Avenue	Identified during field review	<p>Constructed between 1942 and 1954, the residence on the property is a one-and-a-half storey Victory House. The house, clad in horizontal siding, has a rectangular plan and a medium pitched front facing gable roof. The house has an asymmetrical façade with a central front door flanked by rectangular windows and an off-centre front porch with a gable roof supported by metal columns.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p>		<p>The property is not currently considered to contribute to its historic context but could acquire value in the future.</p> <p>The property is not currently recommended for listing on the Municipal Heritage Register.</p>
1	BHR-99	Residential	10 Hillcrest Avenue	Identified during field review	<p>The subject property contains a one-and-a-half storey Colonial Revival style dwelling. The house has a side-facing gambrel roof with a long dormer on the front façade. The main façade is symmetrical, with an enclosed front porch with a central door flanked on each side by rows of rectangular windows. The windows and doors appear to be modern replacements, and the exterior is clad in modern siding.</p> <p>Period Revivals were popular in Ontario from 1900 to present (Blumenson, 1990).</p>		<p>The property has been heavily modified to the point that its heritage value may have been lost. Cultural heritage value may be identified through further research or detailed field investigation.</p> <p>The property is not currently recommended for listing on the Municipal Heritage Register.</p>
1	BHR-100	Residential	11 Hillcrest Avenue	Identified during field review	<p>The residence on the property contains a one-storey vernacular structure with a side gable roof, it is constructed of rusticated concrete blocks. The building has a symmetrical three-bay façade which has been partially covered with an enclosed porch. A one-car garage has been added to the east façade.</p>		<p>The property is not currently considered to contribute to its historic context but could acquire value in the future.</p> <p>The property is not currently recommended for listing on the Municipal Heritage Register.</p>

Study Area	BHR or CHL	Resource Type	Location	Heritage Recognition	Description of Known or Potential CHVI	Photograph	Recommended for Listing
1	BHR-101	Residential	18 Hillcrest Avenue	Identified during field review	<p>The residence on the property is a modified example of a vernacular expression of Edwardian architectural style common to this area of Brampton. This vernacular expression of Edwardian architecture is distinguished by its two-storey height, front facing gable roof, asymmetrical front façade with two windows on the second storey, rectangular windows, and a front porch. The residence on this property is clad in horizontal siding and the front porch has been enclosed. All windows and doors are modern replacements. The property contains a number of mature trees.</p> <p>Edwardian style houses in Ontario generally date from 1900 to 1930 (Blumenson, 1990).</p>		<p>The property has been heavily modified to the point that its heritage value may have been lost. Cultural heritage value may be identified through further research or detailed field investigation.</p> <p>The property is not currently recommended for listing on the Municipal Heritage Register.</p>
1	BHR-102	Residential	22 Hillcrest Avenue	Identified during field review	<p>The property contains a one-and-a-half storey Dutch Colonial Revival style dwelling. The house has a front-facing gambrel roof and is clad in horizontal siding. The front facade is asymmetrical with an off-centre front door flanked by rectangular windows and a slightly off-centre rectangular window in the gambrel end. The windows and doors on the building are modern replacements. The property contains a number of mature trees.</p> <p>Period Revivals were popular in Ontario from 1900 to present (Blumenson, 1990).</p>		<p>The property has been heavily modified to the point that its heritage value may have been lost. Cultural heritage value may be identified through further research or detailed field investigation.</p> <p>The property is not currently recommended for listing on the Municipal Heritage Register.</p>
1	BHR-103	Residential	24 Hillcrest Avenue	Identified during field review	<p>The residence on the property is an expression of the Edwardian architectural style. The two-and-a-half storey concrete brick structure features a front-facing gable roof, the gable end is clad in horizontal siding. An open porch spans the front façade. The rectangular windows have masonry sills and lintels. The property contains a number of mature trees.</p> <p>Edwardian style houses in Ontario generally date from 1900 to 1930 (Blumenson, 1990).</p>		<p>The residence is a well-preserved and well-constructed example of Edwardian architecture that is important in maintaining and defining the character of the neighbourhood.</p> <p>It is recommended that the City of Brampton add 24 Hillcrest Avenue to the Municipal Register of Cultural Heritage Resources.</p>
1	BHR-104	Residential	26 Hillcrest Avenue	Identified during field review	<p>The dwelling on the subject property demonstrate Dutch Revival style as evidenced by the gambrel roof shape. It is very unusual to find a two-storey Dutch Revival dwelling, as most are one-and-a-half storeys. Also of note, the building consists of painted brick and the rectangular windows have masonry sills and brick lintels. The front door also has a transom and sidelights. The property contains a number of mature trees.</p> <p>Period Revivals were popular in Ontario from 1900 to present (Blumenson, 1990).</p>		<p>The residence is an example of Dutch Revival architecture that is important in maintaining and defining the character of the neighbourhood.</p> <p>It is recommended that the City of Brampton add 26 Hillcrest Avenue to the Municipal Register of Cultural Heritage Resources.</p>

Study Area	BHR or CHL	Resource Type	Location	Heritage Recognition	Description of Known or Potential CHVI	Photograph	Recommended for Listing
1	BHR-105	Residential	27 Hillcrest Avenue	Identified during field review	<p>The residence on the property is a vernacular expression Edwardian architectural style common to this area of Brampton. This vernacular expression of Edwardian architecture is distinguished by two-storey height, front facing gable roof, symmetrical front facade with two windows on the second storey, segmentally arched windows, and a front porch. The residence on this property is also of red-brick construction and the front porch has been enclosed.</p> <p>Edwardian style houses in Ontario generally date from 1900 to 1930 (Blumenson, 1990).</p>		<p>The residence is a well-preserved and well-constructed example of Edwardian architecture that is important in maintaining and defining the character of the neighbourhood.</p> <p>It is recommended that the City of Brampton add 27 Hillcrest Avenue to the Municipal Register of Cultural Heritage Resources.</p>
1	BHR-106	Residential	29 Hillcrest Ave	Identified during field review	<p>The residence on the property is an example of a post-war Suburban dwelling. The house has an irregular footprint, an intersecting hip roof and is one storey in height. The exterior is clad in brick and horizontal siding. The building is sited on a parged foundation. The façade is asymmetrical and features a large front-facing window, an enclosed porch and an attached garage.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p> <p>Suburban style houses in Ontario generally date from 1950 to 2003 (Kyles, 2016a).</p>		<p>The property is not currently considered to contribute to its historic context but could acquire value in the future.</p> <p>The property is not currently recommended for listing on the Municipal Heritage Register.</p>
1	BHR-107	Residential	33 Hillcrest Avenue	Identified during field review	<p>The residence on the property is an example of a post-war Suburban dwelling. The house has a square footprint, a hip roof and is one storey in height. The exterior is clad in modern horizontal siding, the building sited on a parged foundation. The façade is asymmetrical and features two large front-facing window. The property contains a number of mature trees and a hedge row.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p> <p>Suburban style houses in Ontario generally date from 1950 to 2003 (Kyles, 2016a).</p>		<p>The property is not currently considered to contribute to its historic context but could acquire value in the future.</p> <p>The property is not currently recommended for listing on the Municipal Heritage Register.</p>
1	BHR-108	Residential	35 Hillcrest Avenue	Identified during field review	<p>The residence on the property is an example of a post-war Suburban dwelling. The house has a square footprint, a hip roof and is one storey in height. The exterior is clad in modern horizontal siding, the building sited on a parged foundation. The façade is asymmetrical and features two large front-facing window. The property contains a number of mature trees.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p> <p>Suburban style houses in Ontario generally date from 1950 to 2003 (Kyles, 2016a).</p>		<p>The property is not currently considered to contribute to its historic context but could acquire value in the future.</p> <p>The property is not currently recommended for listing on the Municipal Heritage Register.</p>

Study Area	BHR or CHL	Resource Type	Location	Heritage Recognition	Description of Known or Potential CHVI	Photograph	Recommended for Listing
1	BHR-109	Residential	37 Hillcrest Avenue	Identified during field review	<p>Constructed between 1942 and 1954, the residence on the property is a one-and-a-half storey Victory House that is stylistically reminiscent of a simplified Cape Cod Colonial. The house, clad in angel stone and red-brick. The house has an asymmetrical façade with an off-centre front door set accessed by set of concrete steps and covered porch and two windows. The angel stone and red-brick cladding are not original to the dwelling as the side addition is also clad in these materials. The property contains a number of mature trees.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p>		<p>The property is not currently considered to contribute to its historic context but could acquire value in the future.</p> <p>The property is not currently recommended for listing on the Municipal Heritage Register.</p>
1	BHR-110	Residential	39 Hillcrest Avenue	Identified during field review	<p>The residence on the property is an example of a post-war Suburban dwelling. The house has a rectangular footprint, a truncated hip roof and is one storey in height. The exterior is clad in brick, the building sited on a parged foundation. The façade is asymmetrical and features two large front-facing window. The property contains a number of mature trees.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p> <p>Suburban style houses in Ontario generally date from 1950 to 2003 (Kyles, 2016a).</p>		<p>The property is not currently considered to contribute to its historic context but could acquire value in the future.</p> <p>The property is not currently recommended for listing on the Municipal Heritage Register.</p>
1	BHR-111	Residential	41 Hillcrest Avenue	Identified during field review	<p>The residence on the property is an example of a post-war Suburban dwelling. The house has a rectangular footprint, a truncated hip roof and is one storey in height. The exterior is clad in brick, the building sited on a parged foundation. The façade is asymmetrical and features two large front-facing window. The property contains a number of mature trees.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p> <p>Suburban style houses in Ontario generally date from 1950 to 2003 (Kyles, 2016a).</p>		<p>The property is not currently considered to contribute to its historic context but could acquire value in the future.</p> <p>The property is not currently recommended for listing on the Municipal Heritage Register.</p>
1	BHR-112	Residential	134 John Street	Identified during field review	<p>The residence on the property is a one-and-a-half storey vernacular house with a front-facing gable and a three-bay façade. The house is clad in modern vinyl siding and all of the windows and doors appear to be modern replacements. The house is sited on high parged foundation of an unknown material. The property contains a number of mature trees.</p>		<p>The property is not currently considered to contribute to its historic context but could acquire value in the future.</p> <p>The property is not currently recommended for listing on the Municipal Heritage Register.</p>

Study Area	BHR or CHL	Resource Type	Location	Heritage Recognition	Description of Known or Potential CHVI	Photograph	Recommended for Listing
1	BHR-113	Residential	135 John Street	Identified during field review	<p>The residence on the property is a vernacular expression of the Edwardian architectural style. The one-and-a-half storey red brick structure features a front-facing gable roof. The main façade is asymmetrical, it has open porch, supported by a series of brick columns capped with rusticated stone. The windows have rusticated stone sills and lintels. The house is sited on a large, treed lot adjacent to the Etobicoke Creek.</p> <p>Edwardian style houses in Ontario generally date from 1900 to 1930 (Blumenson, 1990).</p>		<p>The residence is a well-preserved and well-constructed example of Edwardian architecture that is important in maintaining and defining the character of the neighbourhood.</p> <p>It is recommended that the City of Brampton add 135 John Street to the Municipal Register of Cultural Heritage Resources.</p>
1	BHR-114	Residential	136 John Street	Identified during field review	<p>The residence on the property is a highly altered One-and-a-half story house with a medium-pitched gable roof. The porch on the main façade has been modified, but the bell-cast roof is still extant.</p>		<p>The property has been heavily modified to the point that its heritage value may have been lost. Cultural heritage value may be identified through further research or detailed field investigation.</p> <p>The property is not currently recommended for listing on the Municipal Heritage Register.</p>
1	BHR-115	Residential	138 John Street	Identified during field review	<p>The residence on the property is an example of a post-war Suburban dwelling. The house has an irregular footprint, an intersecting hip roof and is one storey in height, on a raised basement. The façade punctuated by a front-facing projecting bay. The exterior is clad in brick and siding and the building is sited on parged foundation. The property contains a number of mature trees.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p> <p>Suburban style houses in Ontario generally date from 1950 to 2003 (Kyles, 2016a).</p>		<p>The property is not currently considered to contribute to its historic context but could acquire value in the future.</p> <p>The property is not currently recommended for listing on the Municipal Heritage Register.</p>
1	BHR-116	Residential	139 John Street	Identified during field review	<p>The residence on the property is an example of a post-war Suburban dwelling. The house has a rectangular footprint, a front-facing gable roof and is one storey in height, with a raised basement. The exterior is clad in brick and stone. The façade is asymmetrical and features a large front-facing window. The property contains a number of mature trees.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p> <p>Suburban style houses in Ontario generally date from 1950 to 2003 (Kyles, 2016a).</p>		<p>The property is not currently considered to contribute to its historic context but could acquire value in the future.</p> <p>The property is not currently recommended for listing on the Municipal Heritage Register.</p>

Study Area	BHR or CHL	Resource Type	Location	Heritage Recognition	Description of Known or Potential CHVI	Photograph	Recommended for Listing
1	BHR-117	Residential	142 John Street	Identified during field review	<p>Constructed between 1942 and 1954, the residence on the property is a one-and-a-half storey Victory House that is stylistically reminiscent of a simplified Cape Cod Colonial. The house, clad in painted brick, has a rectangular plan and a medium pitched gable roof. The house has an asymmetrical façade with an off-centre projecting front entrance accessed by set of concrete steps and a large horizontally oriented rectangular window.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p>		<p>The property is not currently considered to contribute to its historic context but could acquire value in the future.</p> <p>The property is not currently recommended for listing on the Municipal Heritage Register.</p>
1	BHR-118	Commercial	178 John Street	Identified during field review	<p>The building on the property is an example of the International style. The mid-rise commercial building, devoid of ornamentation is clad in concrete, it has a square footprint and features mullions acting as ribs supporting alternating glass and concrete panels.</p> <p>International style buildings in Ontario generally date from 1930 to 1965 (Blumenson, 1990).</p>		<p>The building is a well-preserved and well-constructed example of the International style of architecture that is relatively rare in the City of Brampton.</p> <p>It is recommended that the City of Brampton add 178 John Street to the Municipal Register of Cultural Heritage Resources.</p>
1	BHR-119	Residential	203 John Street	Identified during field review	<p>The residence on the property is an example of a post-war Suburban dwelling. The house has a square footprint, a hip roof and is one storey in height. The exterior is clad in brick and is sited on parged foundation. The façade is asymmetrical and features a recessed entrance and a projecting bay with a large window.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p> <p>Suburban style houses in Ontario generally date from 1950 to 2003 (Kyles, 2016a).</p>		<p>The property is not currently considered to contribute to its historic context but could acquire value in the future.</p> <p>The property is not currently recommended for listing on the Municipal Heritage Register.</p>
1	BHR-120	Residential	204 John Street	Identified during field review	<p>The residence on the property is an example of a post-war Suburban dwelling. The house has a square footprint, a hip roof and is one storey in height. The exterior is clad in siding and is sited on parged foundation. The façade is asymmetrical and features projecting bay with a large window.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p> <p>Suburban style houses in Ontario generally date from 1950 to 2003 (Kyles, 2016a).</p>		<p>The property is not currently considered to contribute to its historic context but could acquire value in the future.</p> <p>The property is not currently recommended for listing on the Municipal Heritage Register.</p>

Study Area	BHR or CHL	Resource Type	Location	Heritage Recognition	Description of Known or Potential CHVI	Photograph	Recommended for Listing
1	BHR-121	Residential	205 John Street	Identified during field review	<p>The residence on the property is an example of a post-war Suburban dwelling. The house has a square footprint, a hip roof and is one storey in height. The exterior is clad in brick and is sited on parged foundation. The façade is asymmetrical and features a recessed entrance and a projecting bay with a large window.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p> <p>Suburban style houses in Ontario generally date from 1950 to 2003 (Kyles, 2016a).</p>		<p>The property is not currently considered to contribute to its historic context but could acquire value in the future.</p> <p>The property is not currently recommended for listing on the Municipal Heritage Register.</p>
1	BHR-122	Residential	206 John Street	Identified during field review	<p>Constructed between 1942 and 1954, the residence on the property is a one-and-a-half storey Victory House that is stylistically reminiscent of a simplified Cape Cod Colonial. The house, clad in horizontal siding, has a rectangular plan and a medium pitched gable roof, punctuated by two dormers. The house has a symmetrical façade; the entrance is flanked by two rectangular windows.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p>		<p>The property is not currently considered to contribute to its historic context but could acquire value in the future.</p> <p>The property is not currently recommended for listing on the Municipal Heritage Register.</p>
1	BHR-123	Residential	207 John Street	Identified during field review	<p>The residence on the property is an example of a post-war Suburban dwelling. The house has a rectangular footprint, a hip roof and is one storey in height. The exterior is clad in brick and is sited on parged foundation. The façade is asymmetrical and features a large window.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p> <p>Suburban style houses in Ontario generally date from 1950 to 2003 (Kyles, 2016a).</p>		<p>The property is not currently considered to contribute to its historic context but could acquire value in the future.</p> <p>The property is not currently recommended for listing on the Municipal Heritage Register.</p>
1	BHR-124	Residential	208 John Street	Identified during field review	<p>The residence on the property is an example of a post-war Suburban dwelling. The house has a rectangular footprint and is one storey in height. The hip roof, the roof is punctuated by a front-facing projecting bay. The exterior is clad in brick and horizontal siding and the building is sited on parged foundation. The property contains a number of mature trees.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p> <p>Suburban style houses in Ontario generally date from 1950 to 2003 (Kyles, 2016a).</p>		<p>The property is not currently considered to contribute to its historic context but could acquire value in the future.</p> <p>The property is not currently recommended for listing on the Municipal Heritage Register.</p>

Study Area	BHR or CHL	Resource Type	Location	Heritage Recognition	Description of Known or Potential CHVI	Photograph	Recommended for Listing
1	BHR-125	Residential	209 John Street	Identified during field review	<p>The residence on the property is an example of a post-war Suburban dwelling. The house has a rectangular footprint and is one storey in height. The end gable roof has a steep pitch, the roof is punctuated by a front-facing projecting bay. The exterior is clad in brick, stone and horizontal siding and the building is sited on parged foundation; the house also has an attached garage.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p> <p>Suburban style houses in Ontario generally date from 1950 to 2003 (Kyles, 2016a).</p>		<p>The property is not currently considered to contribute to its historic context but could acquire value in the future.</p> <p>The property is not currently recommended for listing on the Municipal Heritage Register.</p>
1	BHR-126	Residential	210 John Street	Identified during field review	<p>The residence on the property is an example of a post-war Suburban dwelling. The house has a square footprint, a hip roof and is one storey in height. The exterior is clad in brick and is sited on parged foundation. The façade is asymmetrical and features a recessed entrance and a projecting bay with a large window.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p> <p>Suburban style houses in Ontario generally date from 1950 to 2003 (Kyles, 2016a).</p>		<p>The property is not currently considered to contribute to its historic context but could acquire value in the future.</p> <p>The property is not currently recommended for listing on the Municipal Heritage Register.</p>
1	BHR-127	Residential	211 John Street	Identified during field review	<p>The residence on the property is an example of a post-war Suburban dwelling. The house has a square footprint, a hip roof and is one storey in height. The exterior is clad in siding and is sited on parged foundation. The façade is asymmetrical and features projecting bay with a large window.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p> <p>Suburban style houses in Ontario generally date from 1950 to 2003 (Kyles, 2016a).</p>		<p>The property is not currently considered to contribute to its historic context but could acquire value in the future.</p> <p>The property is not currently recommended for listing on the Municipal Heritage Register.</p>
1	BHR-128	Residential	212 John Street	Identified during field review	<p>The residence on the property is an example of a post-war Suburban dwelling. The house has a square footprint, a hip roof and is one storey in height. The exterior is clad in brick and is sited on parged foundation. The façade is asymmetrical and features a recessed entrance and a projecting bay with a large window.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p> <p>Suburban style houses in Ontario generally date from 1950 to 2003 (Kyles, 2016a).</p>		<p>The property is not currently considered to contribute to its historic context but could acquire value in the future.</p> <p>The property is not currently recommended for listing on the Municipal Heritage Register.</p>

Study Area	BHR or CHL	Resource Type	Location	Heritage Recognition	Description of Known or Potential CHVI	Photograph	Recommended for Listing
1	BHR-129	Residential	213 John Street	Identified during field review	<p>The residence on the property is an example of a post-war Suburban dwelling. The house has a square footprint, a hip roof and is one storey in height. The exterior is clad in brick and is sited on parged foundation. The façade is asymmetrical and features a recessed entrance and a projecting bay with a large window.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p> <p>Suburban style houses in Ontario generally date from 1950 to 2003 (Kyles, 2016a).</p>		<p>The property is not currently considered to contribute to its historic context but could acquire value in the future.</p> <p>The property is not currently recommended for listing on the Municipal Heritage Register</p>
1	BHR-130	Residential	214 John Street	Identified during field review	<p>The residence on the property is an example of a post-war Suburban dwelling. The house has a square footprint, a hip roof and is one storey in height. The exterior is clad in siding and is sited on parged foundation. The façade is asymmetrical and features a projecting bay with a large window.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p> <p>Suburban style houses in Ontario generally date from 1950 to 2003 (Kyles, 2016a).</p>		<p>The property is not currently considered to contribute to its historic context but could acquire value in the future.</p> <p>The property is not currently recommended for listing on the Municipal Heritage Register</p>
1	BHR-131	Residential	215 John Street	Identified during field review	<p>The residence on the property is an example of a post-war Suburban dwelling. The house has a square footprint, a hip roof and is one storey in height. The exterior is clad in brick and is sited on parged foundation. The façade is asymmetrical and features a projecting bay with a gable peak.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p> <p>Suburban style houses in Ontario generally date from 1950 to 2003 (Kyles, 2016a).</p>		<p>The property is not currently considered to contribute to its historic context but could acquire value in the future.</p> <p>The property is not currently recommended for listing on the Municipal Heritage Register</p>
1	BHR-132	Residential	216 John Street	Identified during field review	<p>The residence on the property is an example of a post-war Suburban dwelling. The house has an irregular footprint, an intersecting hip roof and is one storey in height. The exterior is clad in brick and is sited on a parged foundation. The façade is symmetrical and features a large front-facing window, the main entrance is located on projecting bay on the side of the house, the roof of the front façade has been extended to cover the porch.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p> <p>Suburban style houses in Ontario generally date from 1950 to 2003 (Kyles, 2016a).</p>		<p>The property is not currently considered to contribute to its historic context but could acquire value in the future.</p> <p>The property is not currently recommended for listing on the Municipal Heritage Register</p>

Study Area	BHR or CHL	Resource Type	Location	Heritage Recognition	Description of Known or Potential CHVI	Photograph	Recommended for Listing
1	BHR-133	Residential	217 John Street	Identified during field review	<p>The residence on the property is an example of a post-war Suburban dwelling. The house has a square footprint, a hip roof and is one storey in height. The exterior is clad in siding and is sited on parged foundation. The façade is asymmetrical and features a projecting bay with a gable peak.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p> <p>Suburban style houses in Ontario generally date from 1950 to 2003 (Kyles, 2016a).</p>		<p>The property is not currently considered to contribute to its historic context but could acquire value in the future.</p> <p>The property is not currently recommended for listing on the Municipal Heritage Register</p>
1	BHR-134	Residential	5 June Avenue	Identified during field review	<p>The residence on the property is an example of a post-war Suburban dwelling. The house has an irregular footprint, an intersecting hip roof and is one storey in height. The exterior is clad in brick and is sited on a parged foundation. The façade is symmetrical and features a large front-facing window, the main entrance is located on projecting bay on the side of the house. The property contains a number of mature trees.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p> <p>Suburban style houses in Ontario generally date from 1950 to 2003 (Kyles, 2016a).</p>		<p>The property strongly reinforces the characater and context of the post-war development of June Avenue.</p> <p>It is recommended that the City of Brampton add 5 June Avenue to the Municipal Register of Cultural Heritage Resources</p>
1	BHR-135	Residential	7 June Avenue	Identified during field review	<p>The residence on the property is an example of a post-war Suburban dwelling. The house has a rectangular footprint, a front-facing gable roof, a car port and is one storey in height. The exterior is clad in brick and the building is sited on parged foundation. The façade is symmetrical and features a large front-facing window, the entrance is recessed from the façade.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p> <p>Suburban style houses in Ontario generally date from 1950 to 2003 (Kyles, 2016a).</p>		<p>The property strongly reinforces the characater and context of the post-war development of June Avenue.</p> <p>It is recommended that the City of Brampton add 7 June Avenue to the Municipal Register of Cultural Heritage Resources</p>
1	BHR-136	Residential	9 June Avenue	Identified during field review	<p>The residence on the property is an example of a post-war Suburban dwelling. The house has an irregular footprint, an intersecting hip roof and is one storey in height. The exterior is clad in brick and is sited on a parged foundation. The façade is symmetrical and features a large front-facing window, the main entrance is located on projecting bay on the side of the house. The property contains a number of mature trees.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p> <p>Suburban style houses in Ontario generally date from 1950 to 2003 (Kyles, 2016a).</p>		<p>The property strongly reinforces the characater and context of the post-war development of June Avenue.</p> <p>It is recommended that the City of Brampton add 9 June Avenue to the Municipal Register of Cultural Heritage Resources</p>

Study Area	BHR or CHL	Resource Type	Location	Heritage Recognition	Description of Known or Potential CHVI	Photograph	Recommended for Listing
1	BHR-137	Residential	10 June Avenue	Identified during field review	<p>The residence on the property is an example of a post-war Suburban dwelling. The house has a rectangular footprint, a side gable roof and is one storey in height. The exterior is clad in brick and is sited on a parged foundation. The façade is symmetrical and features an off-centred entrance flanked by rectangular windows.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p> <p>Suburban style houses in Ontario generally date from 1950 to 2003 (Kyles, 2016a).</p>		<p>The property strongly reinforces the character and context of the post-war development of June Avenue.</p> <p>It is recommended that the City of Brampton add 10 June Avenue to the Municipal Register of Cultural Heritage Resources</p>
1	BHR-138	Residential	11 June Avenue	Identified during field review	<p>The residence on the property is an example of a post-war Suburban dwelling. The house has a square footprint, a hip roof and is one storey in height. The exterior is clad in brick and is sited on a parged foundation. The façade is asymmetrical and features a large front-facing window. The property contains a number of mature trees.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p> <p>Suburban style houses in Ontario generally date from 1950 to 2003 (Kyles, 2016a).</p>		<p>The property strongly reinforces the character and context of the post-war development of June Avenue.</p> <p>It is recommended that the City of Brampton add 11 June Avenue to the Municipal Register of Cultural Heritage Resources</p>
1	BHR-139	Residential	12 June Avenue	Identified during field review	<p>The residence on the property is an example of a post-war Suburban dwelling. The house has an irregular footprint, an intersecting hip roof and is one storey in height. The exterior is clad in brick and is sited on a parged foundation. The façade is symmetrical and features a large front-facing window, the main entrance is located on projecting bay on the side of the house. The property contains a number of mature trees.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p> <p>Suburban style houses in Ontario generally date from 1950 to 2003 (Kyles, 2016a).</p>		<p>The property strongly reinforces the character and context of the post-war development of June Avenue.</p> <p>It is recommended that the City of Brampton add 12 June Avenue to the Municipal Register of Cultural Heritage Resources</p>
1	BHR-140	Residential	13 June Avenue	Identified during field review	<p>The residence on the property is an example of a post-war Suburban dwelling. The house has a rectangular footprint, a front-facing gable roof, a car port and is one storey in height. The exterior is clad in brick and the building is sited on parged foundation. The façade is asymmetrical and features a large front-facing window, the entrance is recessed from the façade.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p> <p>Suburban style houses in Ontario generally date from 1950 to 2003 (Kyles, 2016a).</p>		<p>The property strongly reinforces the character and context of the post-war development of June Avenue.</p> <p>It is recommended that the City of Brampton add 13 June Avenue to the Municipal Register of Cultural Heritage Resources</p>

Study Area	BHR or CHL	Resource Type	Location	Heritage Recognition	Description of Known or Potential CHVI	Photograph	Recommended for Listing
1	BHR-141	Residential	15 June Avenue	Identified during field review	<p>The residence on the property is an example of a post-war Suburban dwelling. The house has a rectangular footprint, a front-facing gable roof, and is one storey in height. The exterior is clad in brick and the building is sited on a parged foundation. The façade is asymmetrical and features a large front-facing window, the entrance located in a projecting bay.</p> <p>The residence was constructed in the post-war boom. It is directly related to the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p> <p>Suburban style houses in Ontario generally date from 1950 to 2003 (Kyles, 2016a).</p>		<p>The property strongly reinforces the character and context of the post-war development of June Avenue.</p> <p>It is recommended that the City of Brampton add 15 June Avenue to the Municipal Register of Cultural Heritage Resources</p>
1	BHR-142	Residential	17 June Avenue	Identified during field review	<p>The residence on the property is an example of a post-war Suburban dwelling. The house has an irregular footprint, an intersecting hip roof and is one storey in height. The exterior is clad in brick and is sited on a parged foundation. The façade is symmetrical and features a large front-facing window, the main entrance is located on projecting bay on the side of the house. The property contains a number of mature trees.</p> <p>The residence was constructed in the post-war boom. It is directly related to the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p> <p>Suburban style houses in Ontario generally date from 1950 to 2003 (Kyles, 2016a).</p>		<p>The property strongly reinforces the character and context of the post-war development of June Avenue.</p> <p>It is recommended that the City of Brampton add 17 June Avenue to the Municipal Register of Cultural Heritage Resources</p>
1	BHR-143	Residential	22 June Avenue	Identified during field review	<p>The residence on the property is an example of a post-war Suburban dwelling. The house has an irregular footprint, an intersecting hip roof and is one storey in height. The exterior is clad in brick and is sited on a parged foundation. The façade is symmetrical and features a large front-facing window, the main entrance is located on projecting bay on the side of the house. The property contains a number of mature trees.</p> <p>The residence was constructed in the post-war boom. It is directly related to the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p> <p>Suburban style houses in Ontario generally date from 1950 to 2003 (Kyles, 2016a).</p>		<p>The property strongly reinforces the character and context of the post-war development of June Avenue.</p> <p>It is recommended that the City of Brampton add 22 June Avenue to the Municipal Register of Cultural Heritage Resources</p>
1	BHR-144	Mid-rise apartment	25 June Avenue	Identified during field review	<p>Constructed between 1954 and 1968, the building on the property consists of a mid-rise apartment building, clad in red brick. The building features an asymmetrical balance of windows against a square form. The lightness of the exterior balcony material stands in contrast to the exterior brick wall.</p>		<p>The property strongly reinforces the character and context of the post-war development of June Avenue.</p> <p>It is recommended that the City of Brampton add 25 June Avenue to the Municipal Register of Cultural Heritage Resources</p>

Study Area	BHR or CHL	Resource Type	Location	Heritage Recognition	Description of Known or Potential CHVI	Photograph	Recommended for Listing
1	BHR-145	Mid-rise apartment	26 June Avenue	Identified during field review	Constructed between 1954 and 1968, the building on the property consists of a mid-rise apartment building, clad in red brick and stone. The building features an asymmetrical balance of windows against a square form. The lightness of the exterior balcony material and interior staircase stands in contrast to the exterior brick wall.		The property strongly reinforces the character and context of the post-war development of June Avenue. It is recommended that the City of Brampton add 26 June Avenue to the Municipal Register of Cultural Heritage Resources
1	BHR-146	Residential	3 Maple Avenue	Identified by the City of Brampton as a Property of Interest	The residence on the property is an expression of the Edwardian Classisim style. The two-and-a-half storey red brick structure features a front-facing gable roof, the gable end is clad in horizontal siding. The main façade features an enclosed front porch, constructed of brick with modern windows, the porch has a pedimented roof. The windows have rusticated stone sills and are topped with simple cast stone lintels. The property contains a number of mature trees. Edwardian style houses in Ontario generally date from 1900 to 1930 (Blumenson, 1990). The residence is a well-preserved and well-constructed examples of pre-First World War architecture that is important in maintaining and defining the character of the neighbourhood.		The residence is a well-preserved and well-constructed example of Edwardian architecture that is important in maintaining and defining the character of the neighbourhood, which is generally defined by a compatible blend of late-nineteenth and early to mid-twentieth century detached, single family homes heavily treed lots. It is recommended that the City of Brampton add 3 Maple Avenue to the Municipal Register of Cultural Heritage Resources.
1	BHR-147	Residential	5 Maple Avenue	Identified during field review	The property contains a representative example of an Ontario Gothic Cottage. Ontario Gothic Cottages are distinguished by their one-and-a-half-storey height, side facing gable roof with central peak, lancet, or arched windows in the central gable peak, rectangular or segmentally arched windows, and front porches. Clad in horizontal siding, this dwelling has a rectangular window in the gable peak and an enclosed front porch with a hipped roof. The property contains a number of mature trees. Ontario Gothic Cottages generally date from 1750 to 1900 (Kyles, 2016).		The residence is an example of an Ontario Gothic Cottage that is important in maintaining and defining the character of the neighbourhood, which is generally defined by a compatible blend of late-nineteenth and early to mid-twentieth century detached, single family homes heavily treed lots. It is recommended that the City of Brampton add 5 Maple Avenue to the Municipal Register of Cultural Heritage Resources.
1	BHR-148	Residential	7 Maple Avenue	Identified during field review	The property includes a two-storey adaptation of an Edwardian foursquare dwelling. This dwelling has a symmetrical façade and is clad in horizontal siding. The centrally placed entrance is sheltered by a modern portico. The property contains several mature trees. All windows and doors are modern replacements.		The property has been heavily modified to the point that its heritage value may have been lost. Cultural heritage value may be identified through further research or detailed field investigation. The property is not currently recommended for listing on the Municipal Heritage Register.

Study Area	BHR or CHL	Resource Type	Location	Heritage Recognition	Description of Known or Potential CHVI	Photograph	Recommended for Listing
1	BHR-149	Residential	3 McCaul Street	Identified during field review	<p>The residence on the property is an example of a post-war Suburban dwelling. The house has a square footprint, a hip roof and is one storey in height. The exterior is clad in brick and stone and the building is sited on parged foundation. The façade is asymmetrical and features a large front-facing window and a front-facing gable.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p> <p>Suburban style houses in Ontario generally date from 1950 to 2003 (Kyles, 2016a).</p>		<p>The property is not currently considered to contribute to its historic context but could acquire value in the future.</p> <p>The property is not currently recommended for listing on the Municipal Heritage Register.</p>
1	BHR-150	Residential	5 McCaul Street	Identified during field review	<p>The residence on the property is an example of a post-war Suburban dwelling. The house has a square footprint, a hip roof and is one storey in height. The exterior is clad in siding and is sited on parged foundation. The façade is asymmetrical. A one-storey addition has been constructed on the rear of the building.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p> <p>Suburban style houses in Ontario generally date from 1950 to 2003 (Kyles, 2016a).</p>		<p>The property is not currently considered to contribute to its historic context but could acquire value in the future.</p> <p>The property is not currently recommended for listing on the Municipal Heritage Register.</p>
1	BHR-151	Residential	7 McCaul Street	Identified during field review	<p>The residence on the property is an example of a post-war Suburban dwelling. The house has a square footprint, a hip roof and is one storey in height. The exterior is clad in siding and is sited on parged foundation. The façade is asymmetrical.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p> <p>Suburban style houses in Ontario generally date from 1950 to 2003 (Kyles, 2016a).</p>		<p>The property is not currently considered to contribute to its historic context but could acquire value in the future.</p> <p>The property is not currently recommended for listing on the Municipal Heritage Register.</p>
1	BHR-152	Residential	9 McCaul Street	Identified during field review	<p>Constructed between 1942 and 1954, the residence on the property is a one-and-a-half storey Victory House that is stylistically reminiscent of a simplified Cape Cod Colonial. The house, clad in a combination of brick and horizontal siding has a rectangular plan and a steeply pitched gable end roof. The house has an asymmetrical façade and a large front-facing shed-roof dormer. The property contains a number of mature trees.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p>		<p>The property is not currently considered to contribute to its historic context but could acquire value in the future.</p> <p>The property is not currently recommended for listing on the Municipal Heritage Register.</p>

Study Area	BHR or CHL	Resource Type	Location	Heritage Recognition	Description of Known or Potential CHVI	Photograph	Recommended for Listing
1	BHR-153	Residential	35 McCaul Street	Identified during field review	<p>Constructed between 1942 and 1954, the residence on the property is a one-and-a-half storey Victory House that is stylistically reminiscent of a simplified Cape Cod Colonial. The house, clad in a combination of brick and horizontal siding has a rectangular plan and a steeply pitched gable end roof. The house has an asymmetrical façade and a large front-facing shed-roof dormer.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p>		<p>The residence is a well-preserved and well-constructed example of a Victory House that is important in maintaining and defining the character of the neighbourhood, which is generally by mid-twentieth century detached, single family homes with uniform lot sizes, setback and material pallet.</p> <p>It is recommended that the City of Brampton add 35 McCaul Street to the Municipal Register of Cultural Heritage Resources.</p>
1	BHR-154	Residential	37 McCaul Street	Identified during field review	<p>Constructed between 1942 and 1954, the residence on the property is a one-and-a-half storey Victory House that is stylistically reminiscent of a simplified Cape Cod Colonial. The house, clad in a combination of brick and horizontal siding has a rectangular plan and a steeply pitched gable end roof. The house has an asymmetrical façade and a two front-facing dormers.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p>		<p>The residence is a well-preserved and well-constructed example of a Victory House that is important in maintaining and defining the character of the neighbourhood, which is generally by mid-twentieth century detached, single family homes with uniform lot sizes, setback and material pallet.</p> <p>It is recommended that the City of Brampton add 37 McCaul Street to the Municipal Register of Cultural Heritage Resources.</p>
1	BHR-155	Residential	39 McCaul Street	Identified during field review	<p>Constructed between 1942 and 1954, the residence on the property is a one-and-a-half storey Victory House that is stylistically reminiscent of a simplified Cape Cod Colonial. The house, clad in a combination in brick has a rectangular plan and a steeply pitched gable end roof. The front facade is largely blocked by foliage, but it appears that a front porch has been enclosed.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p>		<p>The residence is a well-preserved and well-constructed example of a Victory House that is important in maintaining and defining the character of the neighbourhood, which is generally by mid-twentieth century detached, single family homes with uniform lot sizes, setback and material pallet.</p> <p>It is recommended that the City of Brampton add 39 McCaul Street to the Municipal Register of Cultural Heritage Resources.</p>
1	BHR-156	Residential	41 McCaul Street	Identified during field review	<p>Constructed between 1942 and 1954, the residence on the property is a one-and-a-half storey Victory House that is stylistically reminiscent of a simplified Cape Cod Colonial. The house, clad in a combination of brick and horizontal siding has a rectangular plan and a steeply pitched gable end roof. The house has an asymmetrical façade.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p>		<p>The residence is a well-preserved and well-constructed example of a Victory House that is important in maintaining and defining the character of the neighbourhood, which is generally by mid-twentieth century detached, single family homes with uniform lot sizes, setback and material pallet.</p> <p>It is recommended that the City of Brampton add 41 McCaul Street to the Municipal Register of Cultural Heritage Resources.</p>

Study Area	BHR or CHL	Resource Type	Location	Heritage Recognition	Description of Known or Potential CHVI	Photograph	Recommended for Listing
1	BHR-157	Residential	43 McCaul Street	Identified during field review	<p>Constructed between 1942 and 1954, the residence on the property is a one-and-a-half storey Victory House that is stylistically reminiscent of a simplified Cape Cod Colonial. The house, clad in a combination of brick and horizontal siding has a rectangular plan and a steeply pitched gable end roof. The house has an asymmetrical façade.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p>		<p>The residence is a well-preserved and well-constructed example of a Victory House that is important in maintaining and defining the character of the neighbourhood, which is generally by mid-twentieth century detached, single family homes with uniform lot sizes, setback and material pallet.</p> <p>It is recommended that the City of Brampton add 43 McCaul Street to the Municipal Register of Cultural Heritage Resources.</p>
1	BHR-158	Residential	45 McCaul Street	Identified during field review	<p>Constructed between 1942 and 1954, the residence on the property is a one-and-a-half storey Victory House that is stylistically reminiscent of a simplified Cape Cod Colonial. The house, clad in a combination of brick and horizontal siding has a rectangular plan and a steeply pitched gable end roof. The house has an asymmetrical façade with a front-facing gable over a plate glass window.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p>		<p>The residence is a well-preserved and well-constructed example of a Victory House that is important in maintaining and defining the character of the neighbourhood, which is generally by mid-twentieth century detached, single family homes with uniform lot sizes, setback and material pallet.</p> <p>It is recommended that the City of Brampton add 45 McCaul Street to the Municipal Register of Cultural Heritage Resources.</p>
1	BHR-159	Residential	47 McCaul Street	Identified during field review	<p>Constructed between 1942 and 1954, the residence on the property is a one-and-a-half storey Victory House that is stylistically reminiscent of a simplified Cape Cod Colonial. The house, clad in a combination of brick and horizontal siding has a rectangular plan and a steeply pitched gable end roof. The house has an asymmetrical façade and a two front-facing dormers.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p>		<p>The residence is a well-preserved and well-constructed example of a Victory House that is important in maintaining and defining the character of the neighbourhood, which is generally by mid-twentieth century detached, single family homes with uniform lot sizes, setback and material pallet.</p> <p>It is recommended that the City of Brampton add 47 McCaul Street to the Municipal Register of Cultural Heritage Resources.</p>
1	BHR-160	Residential	49 McCaul Street	Identified during field review	<p>Constructed between 1942 and 1954, the residence on the property is a one-and-a-half storey Victory House that is stylistically reminiscent of a simplified Cape Cod Colonial. The house, clad in a combination of brick and horizontal siding has a rectangular plan and a steeply pitched gable end roof. The house has an asymmetrical façade.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p>		<p>The residence is a well-preserved and well-constructed example of a Victory House that is important in maintaining and defining the character of the neighbourhood, which is generally by mid-twentieth century detached, single family homes with uniform lot sizes, setback and material pallet.</p> <p>It is recommended that the City of Brampton add 49 McCaul Street to the Municipal Register of Cultural Heritage Resources.</p>

Study Area	BHR or CHL	Resource Type	Location	Heritage Recognition	Description of Known or Potential CHVI	Photograph	Recommended for Listing
1	BHR-161	Residential	51 McCaul Street	Identified during field review	<p>Constructed between 1942 and 1954, the residence on the property is a one-and-a-half storey Victory House that is stylistically reminiscent of a simplified Cape Cod Colonial. The house, clad in a combination of brick and horizontal siding has a rectangular plan and a steeply pitched gable end roof. The house has an asymmetrical façade with a front-facing gable over a plate glass window.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p>		<p>The residence is a well-preserved and well-constructed example of a Victory House that is important in maintaining and defining the character of the neighbourhood, which is generally by mid-twentieth century detached, single family homes with uniform lot sizes, setback and material pallet.</p> <p>It is recommended that the City of Brampton add 51 McCaul Street to the Municipal Register of Cultural Heritage Resources.</p>
1	BHR-162	Residential	61 McCaul Street	Identified during field review	<p>Constructed between 1942 and 1954, the residence on the property is a one-and-a-half storey Victory House that is stylistically reminiscent of a simplified Cape Cod Colonial. The house, clad in a combination of brick and horizontal siding has a rectangular plan and a steeply pitched gable end roof. The house has an asymmetrical façade and a two front-facing dormers.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p>		<p>The residence is a well-preserved and well-constructed example of a Victory House that is important in maintaining and defining the character of the neighbourhood, which is generally by mid-twentieth century detached, single family homes with uniform lot sizes, setback and material pallet.</p> <p>It is recommended that the City of Brampton add 61 McCaul Street to the Municipal Register of Cultural Heritage Resources.</p>
1	BHR-163	Residential	63 McCaul Street	Identified during field review	<p>Constructed between 1942 and 1954, the residence on the property is a one-and-a-half storey Victory House that is stylistically reminiscent of a simplified Cape Cod Colonial. The house, clad in a combination of brick and horizontal siding has a rectangular plan and a steeply pitched gable end roof. The house has an asymmetrical façade and a large front-facing shed-roof dormer.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p>		<p>The residence is a well-preserved and well-constructed example of a Victory House that is important in maintaining and defining the character of the neighbourhood, which is generally by mid-twentieth century detached, single family homes with uniform lot sizes, setback and material pallet.</p> <p>It is recommended that the City of Brampton add 63 McCaul Street to the Municipal Register of Cultural Heritage Resources.</p>
1	BHR-164	Residential	65 McCaul Street	Identified during field review	<p>Constructed between 1942 and 1954, the residence on the property is a one-and-a-half storey Victory House that is stylistically reminiscent of a simplified Cape Cod Colonial. The house, clad in a combination of brick and horizontal siding has a rectangular plan and a steeply pitched gable end roof. The house has an asymmetrical façade with a front-facing gable over a plate glass window.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p>		<p>The residence is a well-preserved and well-constructed example of a Victory House that is important in maintaining and defining the character of the neighbourhood, which is generally by mid-twentieth century detached, single family homes with uniform lot sizes, setback and material pallet.</p> <p>It is recommended that the City of Brampton add 65 McCaul Street to the Municipal Register of Cultural Heritage Resources.</p>

Study Area	BHR or CHL	Resource Type	Location	Heritage Recognition	Description of Known or Potential CHVI	Photograph	Recommended for Listing
1	BHR-165	Residential	67 McCaul Street	Identified during field review	<p>Constructed between 1942 and 1954, the residence on the property is a one-and-a-half storey Victory House that is stylistically reminiscent of a simplified Cape Cod Colonial. The house, clad in a combination of brick and horizontal siding has a rectangular plan and a steeply pitched gable end roof. The house has an asymmetrical façade. A porch has been added to the front façade.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p>		<p>The residence is a well-preserved and well-constructed example of a Victory House that is important in maintaining and defining the character of the neighbourhood, which is generally by mid-twentieth century detached, single family homes with uniform lot sizes, setback and material pallet.</p> <p>It is recommended that the City of Brampton add 67 McCaul Street to the Municipal Register of Cultural Heritage Resources.</p>
1	BHR-166	Residential	73 McCaul Street	Identified during field review	<p>Constructed between 1942 and 1954, the residence on the property is a one-and-a-half storey Victory House that is stylistically reminiscent of a simplified Cape Cod Colonial. The house, clad in a combination of brick and horizontal siding has a rectangular plan and a steeply pitched gable end roof. The house has an asymmetrical façade.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p>		<p>The residence is a well-preserved and well-constructed example of a Victory House that is important in maintaining and defining the character of the neighbourhood, which is generally by mid-twentieth century detached, single family homes with uniform lot sizes, setback and material pallet.</p> <p>It is recommended that the City of Brampton add 73 McCaul Street to the Municipal Register of Cultural Heritage Resources.</p>
1	BHR-167	Residential	75 McCaul Street	Identified during field review	<p>Constructed between 1942 and 1954, the residence on the property is a one-and-a-half storey Victory House that is stylistically reminiscent of a simplified Cape Cod Colonial. The house, clad in a combination of brick and horizontal siding has a rectangular plan and a steeply pitched gable end roof. The house has an asymmetrical façade with a front-facing gable over a plate glass window.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p>		<p>The residence is a well-preserved and well-constructed example of a Victory House that is important in maintaining and defining the character of the neighbourhood, which is generally by mid-twentieth century detached, single family homes with uniform lot sizes, setback and material pallet.</p> <p>It is recommended that the City of Brampton add 75 McCaul Street to the Municipal Register of Cultural Heritage Resources.</p>
1	BHR-168	Residential	77 McCaul Street	Identified during field review	<p>Constructed between 1942 and 1954, the residence on the property is a one-and-a-half storey Victory House that is stylistically reminiscent of a simplified Cape Cod Colonial. The house, clad in a combination of brick and horizontal siding has a rectangular plan and a steeply pitched gable end roof. The house has an asymmetrical façade and a large front-facing shed-roof dormer.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p>		<p>The residence is a well-preserved and well-constructed example of a Victory House that is important in maintaining and defining the character of the neighbourhood, which is generally by mid-twentieth century detached, single family homes with uniform lot sizes, setback and material pallet.</p> <p>It is recommended that the City of Brampton add 77 McCaul Street to the Municipal Register of Cultural Heritage Resources.</p>

Study Area	BHR or CHL	Resource Type	Location	Heritage Recognition	Description of Known or Potential CHVI	Photograph	Recommended for Listing
1	BHR-169	Residential	79 McCaul Street	Identified during field review	<p>Constructed between 1942 and 1954, the residence on the property is a one-and-a-half storey Victory House that is stylistically reminiscent of a simplified Cape Cod Colonial. The house, clad in a combination of brick and horizontal siding has a rectangular plan and a steeply pitched gable end roof. The house has an asymmetrical façade and a large front-facing shed-roof dormer.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p>		<p>The residence is a well-preserved and well-constructed example of a Victory House that is important in maintaining and defining the character of the neighbourhood, which is generally by mid-twentieth century detached, single family homes with uniform lot sizes, setback and material pallet.</p> <p>It is recommended that the City of Brampton add 79 McCaul Street to the Municipal Register of Cultural Heritage Resources.</p>
1	BHR-170	Residential	81 McCaul Street	Identified during field review	<p>Constructed between 1942 and 1954, the residence on the property is a one-and-a-half storey Victory House that is stylistically reminiscent of a simplified Cape Cod Colonial. The house, clad in a combination of brick and horizontal siding has a rectangular plan and a steeply pitched gable end roof. The house has an asymmetrical façade and a two front-facing dormers.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p>		<p>The residence is a well-preserved and well-constructed example of a Victory House that is important in maintaining and defining the character of the neighbourhood, which is generally by mid-twentieth century detached, single family homes with uniform lot sizes, setback and material pallet.</p> <p>It is recommended that the City of Brampton add 81 McCaul Street to the Municipal Register of Cultural Heritage Resources.</p>
1	BHR-171	Residential	83 McCaul Street	Identified during field review	<p>Constructed between 1942 and 1954, the residence on the property is a one-and-a-half storey Victory House that is stylistically reminiscent of a simplified Cape Cod Colonial. The house, clad in a combination of brick and horizontal siding has a rectangular plan and a steeply pitched gable end roof. The house has an asymmetrical façade.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p>		<p>The residence is a well-preserved and well-constructed example of a Victory House that is important in maintaining and defining the character of the neighbourhood, which is generally by mid-twentieth century detached, single family homes with uniform lot sizes, setback and material pallet.</p> <p>It is recommended that the City of Brampton add 83 McCaul Street to the Municipal Register of Cultural Heritage Resources.</p>
1	BHR-172	Residential	85 McCaul Street	Identified during field review	<p>Constructed between 1942 and 1954, the residence on the property is a one-and-a-half storey Victory House that is stylistically reminiscent of a simplified Cape Cod Colonial. The house, clad in a combination of brick and horizontal siding has a rectangular plan and a steeply pitched gable end roof. The house has an asymmetrical façade and a large front-facing shed-roof dormer.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p>		<p>The residence is a well-preserved and well-constructed example of a Victory House that is important in maintaining and defining the character of the neighbourhood, which is generally by mid-twentieth century detached, single family homes with uniform lot sizes, setback and material pallet.</p> <p>It is recommended that the City of Brampton add 85 McCaul Street to the Municipal Register of Cultural Heritage Resources.</p>

Study Area	BHR or CHL	Resource Type	Location	Heritage Recognition	Description of Known or Potential CHVI	Photograph	Recommended for Listing
1	BHR-173	Residential	87 McCaul Street	Identified during field review	<p>Constructed between 1942 and 1954, the residence on the property is a one-and-a-half storey Victory House that is stylistically reminiscent of a simplified Cape Cod Colonial. The house, clad in a combination of brick and horizontal siding has a rectangular plan and a steeply pitched gable end roof. The house has an asymmetrical façade.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p>		<p>The residence is a well-preserved and well-constructed example of a Victory House that is important in maintaining and defining the character of the neighbourhood, which is generally by mid-twentieth century detached, single family homes with uniform lot sizes, setback and material pallet.</p> <p>It is recommended that the City of Brampton add 87 McCaul Street to the Municipal Register of Cultural Heritage Resources.</p>
1	BHR-174	Residential	89 McCaul Street	Identified during field review	<p>Constructed between 1942 and 1954, the residence on the property is a one-and-a-half storey Victory House that is stylistically reminiscent of a simplified Cape Cod Colonial. The house, clad in a combination of brick and horizontal siding has a rectangular plan and a steeply pitched gable end roof. The house has an asymmetrical façade and a large front-facing shed-roof dormer.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p>		<p>The residence is a well-preserved and well-constructed example of a Victory House that is important in maintaining and defining the character of the neighbourhood, which is generally by mid-twentieth century detached, single family homes with uniform lot sizes, setback and material pallet.</p> <p>It is recommended that the City of Brampton add 89 McCaul Street to the Municipal Register of Cultural Heritage Resources.</p>
1	BHR-175	Residential	91 McCaul Street	Identified during field review	<p>Constructed between 1942 and 1954, the residence on the property is a one-and-a-half storey Victory House that is stylistically reminiscent of a simplified Cape Cod Colonial. The house, clad in a combination of brick and horizontal siding has a rectangular plan and a steeply pitched gable end roof. The house has an asymmetrical façade and a large front-facing shed-roof dormer.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p>		<p>The residence is a well-preserved and well-constructed example of a Victory House that is important in maintaining and defining the character of the neighbourhood, which is generally by mid-twentieth century detached, single family homes with uniform lot sizes, setback and material pallet.</p> <p>It is recommended that the City of Brampton add 91 McCaul Street to the Municipal Register of Cultural Heritage Resources.</p>
1	BHR-176	Residential	93 McCaul Street	Identified during field review	<p>Constructed between 1942 and 1954, the residence on the property is a one-and-a-half storey Victory House that is stylistically reminiscent of a simplified Cape Cod Colonial. The house, clad in a combination of brick and horizontal siding has a rectangular plan and a steeply pitched gable end roof. The house has an asymmetrical façade and two front-facing dormers.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p>		<p>The residence is a well-preserved and well-constructed example of a Victory House that is important in maintaining and defining the character of the neighbourhood, which is generally by mid-twentieth century detached, single family homes with uniform lot sizes, setback and material pallet.</p> <p>It is recommended that the City of Brampton add 93 McCaul Street to the Municipal Register of Cultural Heritage Resources.</p>

Study Area	BHR or CHL	Resource Type	Location	Heritage Recognition	Description of Known or Potential CHVI	Photograph	Recommended for Listing
1	BHR-177	Residential	95 McCaul Street	Identified during field review	<p>Constructed between 1942 and 1954, the residence on the property is a one-and-a-half storey Victory House that is stylistically reminiscent of a simplified Cape Cod Colonial. The house, clad in a combination of brick and horizontal siding has a rectangular plan and a steeply pitched gable end roof. The house has an asymmetrical façade.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p>		<p>The residence is a well-preserved and well-constructed example of a Victory House that is important in maintaining and defining the character of the neighbourhood, which is generally by mid-twentieth century detached, single family homes with uniform lot sizes, setback and material pallet.</p> <p>It is recommended that the City of Brampton add 95 McCaul Street to the Municipal Register of Cultural Heritage Resources.</p>
1	BHR-178	Residential	97 McCaul Street	Identified during field review	<p>Constructed between 1942 and 1954, the residence on the property is a one-and-a-half storey Victory House that is stylistically reminiscent of a simplified Cape Cod Colonial. The house, clad in a combination of brick and horizontal siding has a rectangular plan and a steeply pitched gable end roof. The house has an asymmetrical façade with a front-facing gable over a plate glass window.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p>		<p>The residence is a well-preserved and well-constructed example of a Victory House that is important in maintaining and defining the character of the neighbourhood, which is generally by mid-twentieth century detached, single family homes with uniform lot sizes, setback and material pallet.</p> <p>It is recommended that the City of Brampton add 97 McCaul Street to the Municipal Register of Cultural Heritage Resources.</p>
1	BHR-179	Residential	63 Nelson Street East	Identified by the City of Brampton as a Property of Interest	<p>The one-and-a-half storey dwelling on the subject property demonstrates influences of Gothic Revival style. The L-shaped plans and cross-gable roof reflects the subset of Suburban Farmhouses under the Gothic Revival style. Supporting the Gothic Revival style, the facade has a lancet and a bay window.</p> <p>Gothic Revival styles dwellings in Ontario generally range in date from 1830 to 1900 (Blumenson, 1990).</p>		<p>The residence is an example of Gothic Revival architecture that is important in maintaining and defining the character of the neighbourhood.</p> <p>It is recommended that the City of Brampton add 63 Nelson Street East to the Municipal Register of Cultural Heritage Resources.</p>
1	BHR-180	Residential	64 Nelson Street East	Identified by the City of Brampton as a Property of Interest	<p>The property includes a two-storey Edwardian foursquare of brick construction. Typical of four-square dwellings, the house has a two-bay façade with a side entrance. The main entrance is covered with a shed-roof porch supported by half columns on brick piers. The rectangular windows have stone sills and lintels. The property contains a number of mature trees.</p> <p>Edwardian style houses in Ontario generally date from 1900 to 1930 (Blumenson, 1990).</p>		<p>The residence is a well-preserved and well-constructed example of Edwardian architecture that is important in maintaining and defining the character of the neighbourhood.</p> <p>It is recommended that the City of Brampton add 64 Nelson Street East to the Municipal Register of Cultural Heritage Resources.</p>

Study Area	BHR or CHL	Resource Type	Location	Heritage Recognition	Description of Known or Potential CHVI	Photograph	Recommended for Listing
1	BHR-181	Residential	68 Nelson Street East	Identified by the City of Brampton as a Property of Interest	The subject property contains a variation of an Ontario Gothic Cottage. This one-and-a-half story residence has a hipped roof and a lancet roof vent in the gable peak. The front door also has a segmental arch with a transom window. The façade has been modified through the introduction of a bay window and a modern portico.		The residence is an example of an Ontario Gothic Cottage that is important in maintaining and defining the character of the neighbourhood. It is recommended that the City of Brampton add 68 Nelson Street East to the Municipal Register of Cultural Heritage Resources.
1	BHR-182	Residential	72 Nelson Street East	Identified by the City of Brampton as a Property of Interest	The one-storey dwelling on the property demonstrates Regency Revival influences. Constructed of red-brick with a hipped roof, the front facade is symmetrically arranged. The central front door is accessed by masonry steps part of which is covered by a cantilevered bell-cast shaped roof supported by wood brackets. The front door is also flanked by segmentally arched windows that have subtle red-brick drip moulds and masonry sills. The property contains a number of mature trees.		The residence is a well-preserved and well-constructed example of Regency Revival that is important in maintaining and defining the character of the neighbourhood. It is recommended that the City of Brampton add 72 Nelson Street East to the Municipal Register of Cultural Heritage Resources.
1	BHR-183	Residential	74 Nelson Street East	Identified during field review	The property contains a two-storey Gothic Revival dwelling. The Gothic Revival style is evidenced by the steeply pitched gable roof with a central peak on the north side of the roof, bay window with wood brackets and ornamentation, and the rectangular windows, one segmentally arched window and one lancet window. The dwelling is clad in horizontal siding and the front door has a transom window with a segmental arch. Several of the main floor windows appear to be original to the structure, they are comprised of two-over-two double-hung sash windows. Gothic Revival styles dwellings in Ontario generally range in date from 1830 to 1900 (Blumenson, 1990).		The residence is an example of the Gothic Revival style that is important in maintaining and defining the character of the neighbourhood. It is recommended that the City of Brampton add 74 Nelson Street East to the Municipal Register of Cultural Heritage Resources.
1	BHR-184	Commercial	134 Queen Street East	Identified during field review	The building on the property is an example of the International style. The mid-rise commercial building, devoid of ornamentation is clad in brick, it has a square footprint and features mullions acting as ribs supporting alternating glass and brick panels. International style buildings in Ontario generally date from 1930 to 1965 (Blumenson, 1990).		The building is a well-preserved and well-constructed example of the International style of architecture that is relatively rare in the City of Brampton. It is recommended that the City of Brampton add 134 Queen Street East to the Municipal Register of Cultural Heritage Resources.

Study Area	BHR or CHL	Resource Type	Location	Heritage Recognition	Description of Known or Potential CHVI	Photograph	Recommended for Listing
1	BHR-185	Commercial (former residential)	158 Queen Street East	Identified during field review	<p>The property contains a modified two-storey Gothic Revival dwelling. The Gothic Revival style is evidenced by the steeply pitched gable roof with a central peak on the north side of the roof, bay window with wood brackets and decorative woodwork and rectangular windows. The dwelling is clad in horizontal siding. The front addition is not original to the construction of the former dwelling.</p> <p>Gothic Revival styles dwellings in Ontario generally range in date from 1830 to 1900 (Blumenson, 1990).</p>		<p>The residence is a well-preserved and well-constructed example of late nineteenth century architecture and has physical / design value as a representative example of the Gothic Revival style.</p> <p>It is recommended that the City of Brampton add 158 Queen Street East to the Municipal Register of Cultural Heritage Resources.</p>
1	BHR-186	Residential	5 Scott Street	Identified by the City of Brampton as a Property of Interest	<p>The property includes a two-and-a-half storey example of an Edwardian foursquare dwelling. The two- storey structure features a hipped roof and a central dormer; it is clad in smooth red brick. The front porch extends along the width of the front facade and has a hipped roof supported by brick columns. The windows and doors on the residence appear to be modern; the openings have cast stone sills and brick voussairs.</p> <p>Edwardian style houses in Ontario generally date from 1900 to 1930 (Blumenson, 1990).</p>		<p>The residence is a well-preserved and well-constructed example of Edwardian architecture that is important in maintaining and defining the character of the neighbourhood.</p> <p>It is recommended that the City of Brampton add 5 Scott Street to the Municipal Register of Cultural Heritage Resources.</p>
1	BHR-187	Residential	7 Scott Street	Identified by the City of Brampton as a Property of Interest	<p>The property features a two -storey red brick house in the Edwardian Classicism style, which was popular in the early twentieth century. The house features horizontal siding in the gable end, symmetrical fenestration, a hipped roofed front porch supported by wood columns and a gable roof. A mature deciduous tree stands in the municipal right of way in front of the sidewalk.</p> <p>Edwardian style houses in Ontario generally date from 1900 to 1930 (Blumenson, 1990).</p>		<p>The residence is a well-preserved and well-constructed example of Edwardian architecture that is important in maintaining and defining the character of the neighbourhood.</p> <p>It is recommended that the City of Brampton add 5 Scott Street to the Municipal Register of Cultural Heritage Resources.</p>
1	BHR-188	Residential	8 Scott Street	Identified by the City of Brampton as a Property of Interest	<p>The residence on the property is a two-and-a half storey red brick bungalow in the Arts and Crafts style. The house has a steeply pitched side gable roof and a central shed roof dormer that extends to cover the front porch. The front porch is supported by brick columns.</p> <p>Bungalows in Ontario generally date from 1900 to 1945 (Blumenson, 1990).</p>		<p>The residence is a well-preserved and well-constructed example of Arts and Crafts architecture that is important in maintaining and defining the character of the neighbourhood which is generally defined by a compatible blend of late-nineteenth and early to mid-twentieth century detached, single family homes on large, heavily treed lots.</p> <p>It is recommended that the City of Brampton add 8 Scott Street to the Municipal Register of Cultural Heritage Resources.</p>

Study Area	BHR or CHL	Resource Type	Location	Heritage Recognition	Description of Known or Potential CHVI	Photograph	Recommended for Listing
1	BHR-189	Residential	9 Scott Street	Identified by the City of Brampton as a Property of Interest	<p>The property contains a two-storey Gothic Revival dwelling. Rendered in stucco, the Gothic Revival style is evidenced by the steeply pitched cross gable roof and segmentally arched windows. A front porch extends along the front facade and is supported by stone columns with an alternating colour pattern.</p> <p>Gothic Revival styles dwellings in Ontario generally range in date from 1830 to 1900 (Blumenson, 1990).</p>		<p>The residence is a well-preserved and well-constructed example of Gothic Revival architecture that is important in maintaining and defining the character of the neighbourhood which is generally defined by a compatible blend of late-nineteenth and early to mid-twentieth century detached, single family homes on large, heavily treed lots.</p> <p>It is recommended that the City of Brampton add 9 Scott Street to the Municipal Register of Cultural Heritage Resources.</p>
1	BHR-190	Residential	10 Scott Street	Identified by the City of Brampton as a Property of Interest	<p>The property has a two-storey red brick house with Edwardian influences. The house has a three-bay façade, a hipped, bell-cast roof and a central dormer on the front façade. Rectangular window openings include a brick lintel and masonry sill. A bell cast shaped roof is cantilevered over the masonry font steps and front door.</p>		<p>The residence is a well-preserved and well-constructed example of Period Revival architecture that is important in maintaining and defining the character of the neighbourhood which is generally defined by a compatible blend of late-nineteenth and early to mid-twentieth century detached, single family homes on large, heavily treed lots.</p> <p>It is recommended that the City of Brampton add 10 Scott Street to the Municipal Register of Cultural Heritage Resources.</p>
1	BHR-191	Residential	15 Scott Street	Listed on the City of Brampton's Municipal Heritage Register	<p>Built for the parsonage for St. Paul's Methodist Church, the two-storey house is constructed of brick with Gothic Revival and Italianate influences. The house features a side gable roof with return eaves, central triple gable dormers with decorative vergeboard and a central lancet window, a heavily bracketed cornice and two end chimneys.</p> <p>Gothic Revival styles dwellings in Ontario generally range in date from 1830 to 1900 (Blumenson, 1990).</p>		<p>The house on the subject property is a representative and notable expression of vernacular dwelling with Gothic Revival and Italianate influences. The property is identified as a candidate for designation under the OHA; it is recommended that a 9/06 Evaluation be completed.</p>
1	BHR-192	Residential	28 Scott Street	Listed on the City of Brampton's Municipal Heritage Register	<p>Two-storey brick house with Italianate influences. The house has a three-bay façade with a side entrance with a transom and sidelights. The double-hung sash windows have two-over-two sash and are topped with brick voussoirs. The building has a hipped-roof and a small shed-roof addition on the rear.</p> <p>The property is located within an area known as "The Crescent", which is characterized by residential homes on large lots, fronting the Etobicoke Creek. The area is also characterized by curving streets and mature trees.</p>		<p>The house on the subject property is a representative and notable expression of vernacular dwelling with Italianate influences. The property is identified as a candidate for designation under the OHA; it is recommended that a 9/06 Evaluation be completed.</p>

Study Area	BHR or CHL	Resource Type	Location	Heritage Recognition	Description of Known or Potential CHVI	Photograph	Recommended for Listing
1	BHR-193	Residential	32 Scott Street	Listed on the City of Brampton's Municipal Heritage Register	<p>Two-storey brick house in the Gothic Revival style with an L-shape plan. The house features a has a cross-gable roof with a gable-roof dormer and a front-facing gable. The exterior is covered in stucco and features decorative vergeboards and finials, paired brackets. The house has a deep setback and is part of a series of properties known as "The Crescent", distinguished by large lots with attractive homes situated off a curved streetscape and fronting the Etobicoke Creek. The house is known as the Grogan House. The property is located within an area known as "The Crescent", which is characterized by residential homes on large lots, fronting the Etobicoke Creek. The area is also characterized by curving streets and mature trees.</p> <p>Gothic Revival styles dwellings in Ontario generally range in date from 1830 to 1900 (Blumenson, 1990).</p>		The house on the subject property is a representative and notable expression of the Gothic Revival style. The property is identified as a candidate for designation under the OHA; it is recommended that a 9/06 Evaluation be completed.
1	BHR-194	Residential	38 Scott Street	Listed on the City of Brampton's Municipal Heritage Register	<p>Two-storey brick house in the Gothic Revival style with an L-shape plan. The house features a cross-gable roof with a gable-roof dormer and a front-facing gable. The exterior is covered in stucco and features decorative vergeboards and finials, paired brackets, and an elaborate vestibule with double doors, a stained-glass transom and ornate woodwork. The house has a deep setback and is part of a series of properties known as "The Crescent", distinguished by large lots with attractive homes situated off a curved streetscape and fronting the Etobicoke Creek. Associated with D.M. Hood, former President of Gummed Papers Ltd.</p> <p>Gothic Revival styles dwellings in Ontario generally range in date from 1830 to 1900 (Blumenson, 1990).</p>		The house on the subject property is a representative and notable expression of the Gothic Revival style. The property is identified as a candidate for designation under the OHA; it is recommended that a 9/06 Evaluation be completed.
1	BHR-195	Residential	42 Scott Street	Identified by the City of Brampton as a Property of Interest	<p>The property consists of a one-and-a-half storey bungalow of brick polychromatic construction. Demonstrating Arts and Crafts style, the house has a large central dormer with a gable roof that extends to cover the front porch. The front porch is supported by brick columns in the same polychromatic pattern. The property is located within an area known as "The Crescent", which is characterized by residential homes on large lots, fronting the Etobicoke Creek. The area is also characterized by curving streets and mature trees.</p> <p>Bungalows in Ontario generally date from 1900 to 1945 (Blumenson, 1990).</p>		<p>The residence is a well-preserved and well-constructed example of Arts and Crafts architecture that is important in maintaining and defining the character of the neighbourhood which is generally defined by a compatible blend of late-nineteenth and early to mid-twentieth century detached, single family homes on large, heavily treed lots.</p> <p>It is recommended that the City of Brampton add 42 Scott Street to the Municipal Register of Cultural Heritage Resources.</p>
1	BHR-196	Residential	50 Scott Street	Identified by the City of Brampton as a Property of Interest	<p>The residence on the property appears an example of Gothic Revival structure. The highly altered structure is two storeys in height, the side gable roof is punctuated by three steeply pitched gables. An enclosed porch, modern portico and garage have been added to the structure.</p>		<p>The property has been heavily modified to the point that its heritage value may have been lost. Cultural heritage value may be identified through further research or detailed field investigation.</p> <p>The property is not currently recommended for listing on the Municipal Heritage Register.</p>

Study Area	BHR or CHL	Resource Type	Location	Heritage Recognition	Description of Known or Potential CHVI	Photograph	Recommended for Listing
1	BHR-197	Residential	68 Scott Street	Listed on the City of Brampton's Municipal Heritage Register	The property includes a two-storey house with Italianate influences. The Italianate influences are expressed in the two-storey height, the hipped roof, the paired arched windows with wood window surrounds, the bay window and the sidelights and transom around the front door.		The house on the subject property is a representative and notable expression of the Italianate style. The property is identified as a candidate for designation under the OHA; it is recommended that a 9/06 Evaluation be completed.
1	BHR-198	Residential	18 Trueman Street	Identified during field review	Constructed between 1942 and 1954, the residence on the property is a one-and-a-half storey Victory House that is stylistically reminiscent of a simplified Cape Cod Colonial. The house, clad in a horizontal siding has a rectangular plan and a medium pitched gable roof. With a concrete foundation, the house has a symmetrical façade with a central front door and covered porch flanked by rectangular windows.		The property is not currently considered to contribute to its historic context but could acquire value in the future. The property is not currently recommended for listing on the Municipal Heritage Register.
1	BHR-199	Residential	20 Trueman Street	Identified during field review	Constructed between 1942 and 1954, the residence on the property is a one-and-a-half storey Victory House. The house, clad in a horizontal siding has a rectangular plan and a medium pitched front-oriented gable roof. The house has a symmetrical façade with a central projecting front entrance flanked by two vertically oriented rectangular windows and a small rectangular window in the gable end.		The property is not currently considered to contribute to its historic context but could acquire value in the future. The property is not currently recommended for listing on the Municipal Heritage Register.
1	BHR-200	Residential	30 Trueman Street	Identified during field review	Constructed between 1942 and 1954, the residence on the property is a one-and-a-half storey dwelling Victory House that is stylistically reminiscent of a simplified Cape Cod Colonial. The house, clad in a red-brick has a rectangular plan and a steeply pitched gable end roof. The house has an asymmetrical façade with a central front door flanked by different sized windows.		The property has been heavily modified to the point that its heritage value may have been lost. Cultural heritage value may be identified through further research or detailed field investigation. The property is not currently recommended for listing on the Municipal Heritage Register.

Study Area	BHR or CHL	Resource Type	Location	Heritage Recognition	Description of Known or Potential CHVI	Photograph	Recommended for Listing
1	BHR-201	Residential	34 Trueman Street	Identified during field review	Constructed between 1942 and 1954, the residence on the property is a one-and-a-half storey dwelling Victory House with a front oriented gable roof with two side dormers. The front facade is almost symmetrically arranged with a projecting front door entrance enclosed and with a gable roof, flanked by rectangular windows with two rectangular windows in the gable end. The house, clad in a white and pink horizontal siding has a rectangular plan.		<p>The property is not currently considered to contribute to its historic context but could acquire value in the future.</p> <p>The property is not currently recommended for listing on the Municipal Heritage Register.</p>
1	BHR-202	Residential	36 Trueman Street	Identified during field review	Constructed between 1942 and 1954, the residence on the property is a one storey dwelling Victory House with a front oriented gable roof. The front facade is almost asymmetrically arranged with an off-centre projecting front door entrance enclosed and with a gable roof, flanked by rectangular windows with two rectangular windows in the gable end. The house, clad in a horizontal siding on the first storey and vertical siding in the gable ends has a rectangular plan.		<p>The property is not currently considered to contribute to its historic context but could acquire value in the future.</p> <p>The property is not currently recommended for listing on the Municipal Heritage Register.</p>
1	BHR-203	Residential	40 Trueman Street	Identified during field review	<p>The residence on the property is an example of a post-war Suburban dwelling. The house has a rectangular footprint, a side gable roof and is one storey in height. The exterior is clad in light brick and is sited on a parged foundation. The façade is asymmetrical and features a centred entrance flanked by rectangular windows of varying sizes.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p> <p>Suburban style houses in Ontario generally date from 1950 to 2003 (Kyles, 2016a).</p>		<p>The property strongly reinforces the character and context of the post-war development of Trueman Street.</p> <p>It is recommended that the City of Brampton add 40 Trueman Street to the Municipal Register of Cultural Heritage Resources</p>
1	BHR-204	Residential	42 Trueman Street	Identified during field review	<p>The residence on the property is an example of a post-war Suburban dwelling. The house has a square footprint, a hip roof and is one storey in height. The exterior is clad in brick and stone and the building is sited on parged foundation. The façade is asymmetrical and features a large front-facing window.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p> <p>Suburban style houses in Ontario generally date from 1950 to 2003 (Kyles, 2016a).</p>		<p>The property strongly reinforces the character and context of the post-war development of Trueman Street.</p> <p>It is recommended that the City of Brampton add 42 Trueman Street to the Municipal Register of Cultural Heritage Resources</p>

Study Area	BHR or CHL	Resource Type	Location	Heritage Recognition	Description of Known or Potential CHVI	Photograph	Recommended for Listing
1	BHR-205	Residential	44 Trueman Street	Identified during field review	<p>The residence on the property is an example of a post-war Suburban dwelling. The house has a square footprint, a hip roof and is one storey in height. The exterior is clad in brick and stone and the building is sited on parged foundation. The façade is asymmetrical and features a large front-facing window.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p> <p>Suburban style houses in Ontario generally date from 1950 to 2003 (Kyles, 2016a).</p>		<p>The property strongly reinforces the characater and context of the post-war development of Trueman Street.</p> <p>It is recommended that the City of Brampton add 44 Trueman Street to the Municipal Register of Cultural Heritage Resources</p>
1	BHR-206	Residential	46 Trueman Street	Identified during field review	<p>The residence on the property is an example of a post-war Suburban dwelling. The house has a rectangular footprint, a side gable roof and is one storey in height. The exterior is clad in brick and stone and the building is sited on parged foundation. The façade is asymmetrical and features a projecting bay with a large front-facing window.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p> <p>Suburban style houses in Ontario generally date from 1950 to 2003 (Kyles, 2016a).</p>		<p>The property strongly reinforces the characater and context of the post-war development of Trueman Street.</p> <p>It is recommended that the City of Brampton add 46 Trueman Street to the Municipal Register of Cultural Heritage Resources</p>
1	BHR-207	Residential	48 Trueman Street	Identified during field review	<p>The residence on the property is an example of a post-war Suburban dwelling. The house has a square footprint, a hip roof and is one storey in height. The exterior is clad in brick and stone and the building is sited on parged foundation. The façade is asymmetrical and features a large front-facing window.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p> <p>Suburban style houses in Ontario generally date from 1950 to 2003 (Kyles, 2016a).</p>		<p>The property strongly reinforces the characater and context of the post-war development of Trueman Street.</p> <p>It is recommended that the City of Brampton add 48 Trueman Street to the Municipal Register of Cultural Heritage Resources</p>
1	BHR-208	Residential	50 Trueman Street	Identified during field review	<p>The residence on the property is an example of a post-war Suburban dwelling. The house has a rectangular footprint, a side gable roof and is one storey in height. The exterior is clad in light brick and is sited on a parged foundation. The façade is asymmetrical and features a centred entrance flanked by rectangular windows of varying sizes.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p> <p>Suburban style houses in Ontario generally date from 1950 to 2003 (Kyles, 2016a).</p>		<p>The property strongly reinforces the characater and context of the post-war development of Trueman Street.</p> <p>It is recommended that the City of Brampton add 50 Trueman Street to the Municipal Register of Cultural Heritage Resources</p>

Study Area	BHR or CHL	Resource Type	Location	Heritage Recognition	Description of Known or Potential CHVI	Photograph	Recommended for Listing
1	BHR-209	Residential	52 Trueman Street	Identified during field review	<p>The residence on the property is an example of a post-war Suburban dwelling. The house has a rectangular footprint, a side gable roof and is one storey in height. The exterior is clad in brick and stone and the building is sited on parged foundation. The façade is asymmetrical and features a projecting bay with a large front-facing window.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p> <p>Suburban style houses in Ontario generally date from 1950 to 2003 (Kyles, 2016a).</p>		<p>The property strongly reinforces the character and context of the post-war development of Trueman Street.</p> <p>It is recommended that the City of Brampton add 52 Trueman Street to the Municipal Register of Cultural Heritage Resources</p>
1	BHR-210	Residential	54 Trueman Street	Identified during field review	<p>The residence on the property is an example of a post-war Suburban dwelling with Mid-Century Modern influences. The house has a rectangular footprint, a front-facing butterfly roof and is one storey in height. The exterior is clad in brick and stone and the building is sited on parged foundation. The façade is asymmetrical and features a two large windows and a carport.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p> <p>Suburban style houses in Ontario generally date from 1950 to 2003 (Kyles, 2016a).</p>		<p>The property strongly reinforces the character and context of the post-war development of Trueman Street.</p> <p>It is recommended that the City of Brampton add 54 Trueman Street to the Municipal Register of Cultural Heritage Resources</p>
1	BHR-211	Residential	3 Wilson Avenue	Identified during field review	<p>The property includes a two-and-a-half storey example of an Edwardian foursquare dwelling. Foursquare dwellings are typically two or three-bays in width, two-storeys in height with a hipped roof, rectangular or segmentally arched windows and front porch. This dwelling is constructed of red-brick. The front porch extends along the width of the front facade and has a hipped roof supported by brick and wood columns.</p> <p>Edwardian style houses in Ontario generally date from 1900 to 1930 (Blumenson, 1990).</p>		<p>The residence is a well-preserved and well-constructed example of Edwardian architecture that is important in maintaining and defining the character of the neighbourhood.</p> <p>It is recommended that the City of Brampton add 3 Wilson Avenue to the Municipal Register of Cultural Heritage Resources.</p>
1	BHR-212	Residential	7 Wilson Avenue	Identified during field review	<p>The property consists of a one-and-a-half storey Ontario Gothic Cottage. Ontario Gothic Cottages are distinguished by their one-and-a-half-storey height, side facing gable roof with central peak, lancet, or arched windows in the central gable peak, rectangular or segmentally arched windows, and front porches. Clad in horizontal siding, this dwelling has a rectangular window in the gable peak and no front porch.</p> <p>Ontario Gothic Cottages generally date from 1750 to 1900 (Kyles, 2016).</p>		<p>The property has been heavily modified to the point that its heritage value may have been lost. Cultural heritage value may be identified through further research or detailed field investigation.</p> <p>The property is not currently recommended for listing on the Municipal Heritage Register.</p>

Study Area	BHR or CHL	Resource Type	Location	Heritage Recognition	Description of Known or Potential CHVI	Photograph	Recommended for Listing
1	BHR-213	Residential	9 Wilson Avenue	Identified during field review	<p>The residence on the property is a modified example of a vernacular expression of Edwardian architectural style common to this area of Brampton. This vernacular expression of Edwardian architecture is distinguished by two-storey height, front facing gable roof, symmetrical front facade with two windows on the second storey, segmentally arched windows, and a front porch. The residence on this property is also clad in horizontal siding and the front porch has been enclosed.</p> <p>Edwardian style houses in Ontario generally date from 1900 to 1930 (Blumenson, 1990).</p>		<p>The property has been heavily modified to the point that its heritage value may have been lost. Cultural heritage value may be identified through further research or detailed field investigation.</p> <p>The property is not currently recommended for listing on the Municipal Heritage Register.</p>
1	BHR-214	Residential	11 Wilson Avenue	Identified during field review	<p>Constructed between 1942 and 1954, the residence on the property is a one-and-a-half storey dwelling Victory House that is stylistically reminiscent of a simplified Cape Cod Colonial. The house, clad in a yellow-brick has a rectangular plan and a steeply pitched gable roof. The house has an asymmetrical façade with a slightly off-centre front door and two rectangular windows.</p>		<p>The property is not currently considered to contribute to its historic context but could acquire value in the future.</p> <p>The property is not currently recommended for listing on the Municipal Heritage Register.</p>
1	BHR-215	Residential	80 Wilson Avenue	Listed on the City of Brampton's Municipal Heritage Register	<p>The modified Ontario Gothic Cottage is one-and-a-half storeys with a hip roof and projecting central gable on the façade. The front gable has a lance arch window and a transom is present over the main entrance. The windows and doors appear to be replacement and the exterior is in modern siding.</p> <p>Ontario Gothic Cottages generally date from 1750 to 1900 (Kyles, 2016).</p>		Not applicable
1	BHR-216	Residential	84 Wilson Avenue	Listed on the City of Brampton's Municipal Heritage Register	<p>The residence at 84 Wilson Avenue is a representative example of a Regency Cottage. The house consists of a one-storey structure with a hipped roof. A porch with a bellcast roof spans the main façade. The porch has carved fretwork and supported by square posts.</p> <p>Regency style cottages in Ontario generally date from 1830 to 1860 (Blumenson, 1990).</p>		<p>The house on the subject property is a rare example of a Regency Cottage. The property is identified as a candidate for designation under the OHA; it is recommended that a 9/06 Evaluation be completed.</p>

Study Area	BHR or CHL	Resource Type	Location	Heritage Recognition	Description of Known or Potential CHVI	Photograph	Recommended for Listing
1	BHR-217	Residential	87 Wilson Avenue	Identified during field review	Constructed between 1942 and 1954, the residence on the property is a one-and-a-half storey dwelling Victory House that is stylistically reminiscent of a simplified Cape Cod Colonial. The house, clad in horizontal siding has a rectangular plan and a steeply pitched gable roof. The house has a symmetrical façade with a slightly projecting front entrance that has the front door on the side and flanked by two rectangular windows.		<p>The property is not currently considered to contribute to its historic context but could acquire value in the future.</p> <p>The property is not currently recommended for listing on the Municipal Heritage Register.</p>
1	BHR-218	Residential	88 Wilson Avenue	Identified during field review	Constructed between 1942 and 1954, the residence on the property is a one-and-a-half storey dwelling Victory House that is stylistically reminiscent of a simplified Cape Cod Colonial. The house, clad in horizontal siding has a rectangular plan and a steeply pitched gable roof. The front facade includes a protruding round front entrance which is likely a later addition.		<p>The property is not currently considered to contribute to its historic context but could acquire value in the future.</p> <p>The property is not currently recommended for listing on the Municipal Heritage Register.</p>
1	BHR-219	Residential	95 Wilson Avenue	Identified during field review	Constructed between 1942 and 1954, the residence on the property is a one-and-a-half storey dwelling Victory House that is stylistically reminiscent of a simplified Cape Cod Colonial. The house, clad in horizontal siding has a rectangular plan and a steeply pitched gable roof. The house has an asymmetrical façade an off-centre front door and two rectangular windows.		<p>The property is not currently considered to contribute to its historic context but could acquire value in the future.</p> <p>The property is not currently recommended for listing on the Municipal Heritage Register.</p>
1	CHL-1	Residential	Binsell Avenue between McCaul Street and June Avenue	Identified during field review	<p>The Binsell Avenue CHL is an example of a post-war suburban development, with no modern infill. The houses on Binsell Avenue all have a rectangular or square footprint and are one to one-and-a-half storeys in height. The houses have a uniform massing, scale, setback and material pallet, each with slight variations. The houses within the CHL are sited on flat lots, all uniform in size, the lack of sidewalks created a soft transition from the road right of way to the front yards. Mature trees are present on the majority of the front yards.</p> <p>The uniform massing, scale and setback of the structures on these streets creates a cohesive landscape and conveys significance as a planned neighbourhood of affordable housing.</p>		<p>The construction of these houses is directly related to the need for low-cost accommodations for returning war veterans and defence-related employees.</p> <p>As noted in Section 6.1.1, properties within the identified CHLs should be immediately listed on the City of Brampton's Municipal Heritage Register.</p> <p>The Queen Street Secondary Plan should be updated to incorporate policies that ensure the long-term viability and presence of significant built heritage resources and cultural heritage landscapes, including the significant heritage character areas.</p> <p>Consider CHL-1 as a candidate for study for designation or recognition as a Cultural Heritage Conservation District, under Part V of the OHA, or through Official Plan amendment.</p>

Study Area	BHR or CHL	Resource Type	Location	Heritage Recognition	Description of Known or Potential CHVI	Photograph	Recommended for Listing
							The following properties are located within CHL-1:BHR-15 to BHR-24
1	CHL-2	Residential	Charles Street between Kennedy Road North and June Avenue and June Avenue between Church Street East and Queen Street East	Identified during field review	<p>The Charles Street / June Avenue CHL is an example of a post-war suburban development, with no modern infill. The houses on Charles Street and June Avenue all have a rectangular or square footprint and are one storey in height. The houses have a uniform massing, scale, setback and material pallet, each with slight variations. The houses within the CHL are sited on flat lots, all uniform in size, mature trees are present on the majority of the front yards.</p> <p>The uniform massing, scale and setback of the structures on these streets creates a cohesive landscape and conveys significance as a planned neighbourhood of affordable housing.</p>		<p>The construction of these houses is directly related to the need for low-cost accommodations for returning war veterans and defence-related employees.</p> <p>As noted in Section 6.1.1, properties within the identified CHLs should be immediately listed on the City of Brampton's Municipal Heritage Register.</p> <p>The Queen Street Secondary Plan should be updated to incorporate policies that ensure the long-term viability and presence of significant built heritage resources and cultural heritage landscapes, including the significant heritage character areas.</p> <p>Consider CHL-2 as a candidate for study for designation or recognition as a Cultural Heritage Conservation District, under Part V of the OHA, or through Official Plan amendment.</p> <p>The following properties are located within CHL-2: BHR-25, BHR-26, BHR-27, BHR-28, BHR-29, BHR-30, BHR-31, BHR-32, BHR-33, BHR-34, BHR-35, BHR-36, BHR-69, BHR-134, BHR-135, BHR-136, BHR-137, BHR-138, BHR-139, BHR-140, BHR-141, BHR-142, BHR-143, BHR-144, and BHR-145.</p>
1	CHL-3	Cemetery	39 Centre Street South	Listed on the City of Brampton's Municipal Heritage Register	<p>St. Mary's Roman Catholic Cemetery was the first Catholic cemetery in Brampton. It is the burial ground for many of Brampton's early Irish Catholic residents and more recent burials in the cemetery reflect the continental European Catholic contribution to Brampton's history.</p> <p>The property is located in a predominantly commercial area, north of the Grand Trunk Railway (now Canadian National) corridor.</p>		Not applicable
1	CHL-4	Historical Streetscape	McCaul Street between Kennedy Road North and Sophia Street	Identified during field review	<p>McCaul Street is a paved, two-lane residential street that travels roughly east to west, marking the north boundary of Study Area 1. Between Sophia Street and Kennedy Road North, the south side of McCaul is lined with a series of Victory Houses, constructed between 1942 and 1954. The houses, all with a uniform setback, have steep roofs, shallow eaves, small sash windows and are clad in a combination of brick and horizontal siding. Intentional tree plantings are present on every lot, between the sidewalk and road right of way.</p> <p>The residences on McCaul Street were constructed in the post-war boom. Residential construction was stalled during the Depression and then through the Second World War boomed as returning veterans married and had families. The development of McCaul Street is directly related to the growth of the area as it transitioned from rural properties and farm complexes to an urban landscape. The uniform massing, scale and setback of the structures on these streets creates a cohesive landscape and conveys significance as a planned neighbourhood of affordable housing.</p>		<p>The construction of these houses is directly related to the need for low-cost accommodations for returning war veterans and defence-related employees.</p> <p>As noted in Section 6.1.1, properties within the identified CHLs should be immediately listed on the City of Brampton's Municipal Heritage Register.</p> <p>The Queen Street Secondary Plan should be updated to incorporate policies that ensure the long-term viability and presence of significant built heritage resources and cultural heritage landscapes, including the significant heritage character areas.</p>

Study Area	BHR or CHL	Resource Type	Location	Heritage Recognition	Description of Known or Potential CHVI	Photograph	Recommended for Listing
							Consider CHL-6 as a candidate for study for designation or recognition as a Cultural Heritage Conservation District, under Part V of the OHA, or through Official Plan amendment. The following properties are located within CHL-4: BHR 153 to BHR 178
1	CHL-5	Transportation	120 Queen Street East	Listed on the City of Brampton's Municipal Heritage Register	This concrete diversion channel was built between 1950 and 1952 to divert the Etobicoke Creek around the downtown core to prevent annual flooding. The project required demolition of several houses and rerouting of adjacent streets. Only two years later, this channel would help to lessen the impact of Hurricane Hazel on downtown Brampton. The original alignment of the Creek can be seen meandering through the downtown core on 1909 mapping (Figure 6). The 1954 aerial photograph shows the realignment of the creek after the construction of the diversion channel (Figure 11). The Etobicoke Creek Flood Diversion Channel is associated with early planning and engineering works that shaped the layout of Downtown Brampton.		Not applicable
1	CHL-6	Historical Streetscape	Scott Street / Nelson Avenue East between Centre Street North and Church Street East	Identified during field review	<p>Scott Street and Nelson Avenue East follow the curve of Etobicoke Creek. The properties on Scott Street feature larger property parcels, often with deep set backs.</p> <p>Scott Street properties display a range of architectural styles which were popular in the late nineteenth and early twentieth centuries. The properties located in the residential neighbourhood are noted for their aesthetic/visual qualities and consistent scale.</p> <p>The landscape is noted in particular for its scenic/visual qualities and blend of natural environment with manicured landscapes. The residences on Scott Street and Nelson Avenue East display a range of architectural styles which were popular in the late nineteenth and early twentieth centuries. Gothic Revival and Edwardian Classicism style architecture dominates this section of Scott Street with mature trees evident on several properties.</p>		<p>As noted in Section 6.1.1, properties within the identified CHLs should be immediately listed on the City of Brampton's Municipal Heritage Register.</p> <p>The Queen Street Secondary Plan should be updated to incorporate policies that ensure the long-term viability and presence of significant built heritage resources and cultural heritage landscapes, including the significant heritage character areas.</p> <p>Consider CHL-6 as a candidate for study for designation or recognition as a Cultural Heritage Conservation District, under Part V of the OHA, or through Official Plan amendment.</p> <p>The following properties are located within CHL-6: BHR-179, BHR-180, BHR-181, BHR-182, BHR-183, BHR-186, BHR-187, BHR-188, BHR-189, BHR-190, BHR-191, BHR-192, BHR-193, BHR-194, and BHR-195.</p>
1	CHL-7	Historical Streetscape	East side of Trueman Street between Eastern Avenue and the CNR corridor	Identified during field review	<p>The residences within this portion of Trueman Street consist of a cohesive landscape of post-war suburban residences. The structures are all one storey in height and have a uniform setback and material pallet. Mature trees are present on many of the lots.</p> <p>The uniform massing, scale and setback of the structures on these streets creates a cohesive landscape and conveys significance as a planned neighbourhood of affordable housing.</p>		<p>As noted in Section 6.3.1, properties within the identified CHLs should be immediately listed on the City of Brampton's Municipal Heritage Register.</p> <p>The Queen Street Corridor Secondary Plan should be updated to incorporate policies that ensure the long-term viability and presence of significant built heritage resources and cultural heritage landscapes, including the significant heritage character areas.</p> <p>Consider CHL-7 as a candidate for study for designation or recognition as a Cultural Heritage Conservation District, under Part V of the OHA, or through Official Plan amendment.</p>

Study Area	BHR or CHL	Resource Type	Location	Heritage Recognition	Description of Known or Potential CHVI	Photograph	Recommended for Listing
							The following properties are located within CHL-7: BHR-203, BHR-204, BHR-205, BHR-206, BHR-207, BHR-208, BHR-209, and BHR-210
1	CHL-8	Cemetery	10 Wilson Avenue	Listed on the City of Brampton's Municipal Heritage Register	The Brampton Cemetery is bounded to the north by Church Street East, to the east by Beech Street, to the south by Wilson Avenue and to the west by residential properties. The cemetery is accessible by several points from Church Street East and from one point on Wilson Avenue. The cemetery is surrounded by a low fence of modern construction. The entrances on Church Street East are delineated with stone pillars with plaques that read: Brampton Cemetery, est. 1863.		Not applicable

Table 7-2: Identified Built Heritage Resources and Cultural Heritage Landscapes with Known or Potential Cultural Heritage Value or Interest within Study Area 2A

Study Area	BHR or CHL	Resource Type	Location	Heritage Recognition	Description of Known or Potential CHVI	Photograph	
2A	BHR-220	Residential	19 David Street	Listed on the City of Brampton's Municipal Heritage Register	Franklin Cottage, built in 1887, is an excellent representative example of the Italianate style. The house, built of red brick to a square plan has a hipped roof. The façade is asymmetrical with two bays, the main facade features a bay window and an enclosed porch that spans the main and east facades. Other notable elements of this house include buff brick quoins, cast stone windowsills and moldings, bracketed cornice and two-over-two double-hung sash windows.		The house on the subject property is a representative and notable expression of the Italianate style. The property is identified as a candidate for designation under the OHA; it is recommended that a 9/06 Evaluation be completed.
2A	BHR-221	Residential	21 David Street	Identified by the City of Brampton as a Property of Interest	The residence on the property is likely a vernacular Gothic Revival structure that has been modified to include elements of the Arts and Crafts style. The one-and-a-half storey house has an intersecting gable roof with a front-facing gable and a projecting porch with a long overhang and low pitch. The façade is asymmetrical and has a bay window with a hip roof. The roof of the porch is punctuated with an eyebrow dormer. The house is clad in a combination of scalloped wood shingles and horizontal wood siding, it is sited on a rusticated concrete block foundation. The property contains a number of mature trees.		Although the house has been modified, it represents a unique example of vernacular architecture that is important in maintaining and defining the character of the neighbourhood, which is generally defined by a compatible blend of late-nineteenth and early to mid-twentieth century detached, single family homes on large, heavily treed lots. It is recommended that the City of Brampton add 21 David Street to the Municipal Register of Cultural Heritage Resources.
2A	BHR-222	Residential	23 David Street	Identified by the City of Brampton as a Property of Interest	The residence on the property is a two-storey vernacular structure with Edwardian influences. The building has a rectangular plan and a hip roof, the façade is asymmetrical with three bays. The exterior is clad in modern horizontal siding and all windows and doors appear to be modern replacements. The property contains a number of mature trees. Edwardian style houses in Ontario generally date from 1900 to 1930 (Blumenson, 1990).		Although the house has been modified, it represents example of vernacular architecture that is important in maintaining and defining the character of the neighbourhood, which is generally defined by a compatible blend of late-nineteenth and early to mid-twentieth century detached, single family homes on large, heavily treed lots. It is recommended that the City of Brampton add 23 David Street to the Municipal Register of Cultural Heritage Resources.
2A	BHR-223	Residential	25 David Street	Identified by the City of Brampton as a Property of Interest	The subject property contains a one-and-a-half storey, L-shaped dwelling with a medium-pitched cross-gable roof. The L-shape of the dwelling and cross-gable roof suggest a Gothic Revival style influence. The exterior is clad in modern siding, and with the exception of the windows in the enclosed porch, all windows appear to be modern. Gothic Revival styles dwellings in Ontario generally range in date from 1830 to 1900 (Blumenson, 1990).		Although the house has been modified, it represents example of Gothic Revival architecture that is important in maintaining and defining the character of the neighbourhood, which is generally defined by a compatible blend of late-nineteenth and early to mid-twentieth century detached, single family homes on large, heavily treed lots. It is recommended that the City of Brampton add 25 David Street to the Municipal Register of Cultural Heritage Resources.

Study Area	BHR or CHL	Resource Type	Location	Heritage Recognition	Description of Known or Potential CHVI	Photograph	
2A	BHR-224	Residential	26 David Street	Identified during field review	<p>The one-and-a-half storey Ontario Cottage is clad in vinyl siding and faux stone features a hipped roof and a centre gable peak with a rectangular window placed above the entrance, dormers have been added to the north and south roofs. All the windows and doors appear to be modern replacements. The house has a shallow setback from the street and is sited on a small rise.</p> <p>Ontario Gothic Cottages generally date from 1750 to 1900 (Kyles, 2016).</p>		<p>Although the house has been modified, it represents example of an Ontario Cottage that is important in maintaining and defining the character of the neighbourhood, which is generally defined by a compatible blend of late-nineteenth and early to mid-twentieth century detached, single family homes on large, heavily treed lots.</p> <p>It is recommended that the City of Brampton add 26 David Street to the Municipal Register of Cultural Heritage Resources.</p>
2A	BHR-225	Residential	28 David Street	Identified by the City of Brampton as a Property of Interest	<p>The residence on the property is a two-storey vernacular structure with Edwardian influences. The building has a rectangular plan and a hip roof, the façade is asymmetrical with three bays. The exterior is clad in modern horizontal siding and all windows and doors appear to be modern replacements. The property contains a number of mature trees.</p> <p>Edwardian style houses in Ontario generally date from 1900 to 1930 (Blumenson, 1990).</p>		<p>Although the house has been modified, it represents example of vernacular architecture that is important in maintaining and defining the character of the neighbourhood, which is generally defined by a compatible blend of late-nineteenth and early to mid-twentieth century detached, single family homes on large, heavily treed lots.</p> <p>It is recommended that the City of Brampton add 28 David Street to the Municipal Register of Cultural Heritage Resources.</p>
2A	BHR-226	Residential	29 David Street	Identified by the City of Brampton as a Property of Interest	<p>The house is a vernacular one-and-a-half storey Ontario Cottage. The building as a rectangular plan with a modern side addition. The frame building is horizontal siding has a symmetrical three-bay façade a centrally placed entrance with a simple wood surround. The windows on the main façade consist of a wood frame multi-pane sash. The property contains a number of mature trees.</p>		<p>Although the house has been modified, it represents example of an Ontario Cottage that is important in maintaining and defining the character of the neighbourhood, which is generally defined by a compatible blend of late-nineteenth and early to mid-twentieth century detached, single family homes on large, heavily treed lots.</p> <p>It is recommended that the City of Brampton add 29 David Street to the Municipal Register of Cultural Heritage Resources.</p>
2A	BHR-227	Residential	30 David Street	Identified by the City of Brampton as a Property of Interest	<p>The one-storey Regency style building features a hipped roof and a single storey addition at the rear with a flat roof. The main entrance on the façade has a transom and a wood simple surround, the cornice is decorated with a row of dentils. The building's exterior is clad in modern horizontal siding and the foundation is parged in concrete; all of the windows and doors appear to be modern replacements. The property contains several mature trees.</p> <p>Regency style cottages in Ontario generally date from 1830 to 1860 (Blumenson, 1990).</p>		<p>The residence is an example of a Regency Cottage that is important in maintaining and defining the character of the neighbourhood, which is generally defined by a compatible blend of late-nineteenth and early to mid-twentieth century detached, single family homes on large, heavily treed lots.</p> <p>It is recommended that the City of Brampton add 30 David Street to the Municipal Register of Cultural Heritage Resources.</p>

Study Area	BHR or CHL	Resource Type	Location	Heritage Recognition	Description of Known or Potential CHVI	Photograph	
2A	BHR-228	Residential	31 David Street	Identified by the City of Brampton as a Property of Interest	<p>The one-and-a-half storey Ontario Cottage is clad in stucco and features a side gable roof and a centre gable peak with a window placed above the entrance. The window in the gable peak is a rectangular and is slightly arched, it appears to have a one-over-one double-hung sash windows. The centrally placed bay window on the main façade has been modified to accommodate a door and at least one window on the main floor has been enlarged. The windows retain their original stone sills. The property contains a number of mature trees.</p> <p>A one-and-a-half storey addition with a gable roof is located at the rear of building.</p> <p>Ontario Gothic Cottages generally date from 1750 to 1900 (Kyles, 2016).</p>		<p>The residence is an example of an Ontario Cottage that is important in maintaining and defining the character of the neighbourhood, which is generally defined by a compatible blend of late-nineteenth and early to mid-twentieth century detached, single family homes on large, heavily treed lots.</p> <p>It is recommended that the City of Brampton add 31 David Street to the Municipal Register of Cultural Heritage Resources.</p>
2A	BHR-229	Residential	35 David Street	Identified by the City of Brampton as a Property of Interest	<p>The residence on the property is an expression of the Edwardian architectural style. The double house is a two- storeys and features a hip roof and a front dormer with a shed roof; it is clad in red brick. The windows on the house appear to be modern replacements, but retain their original size, shape and cast stone sills. The residence has a four-bay symmetrical façade. The centrally placed entrances are covered by a porch with a bellcast roof, it is supported by square half columns on brick piers.</p> <p>Edwardian style houses in Ontario generally date from 1900 to 1930 (Blumenson, 1990)</p>		<p>The residence is a well-preserved and well-constructed example of Edwardian architecture that is important in maintaining and defining the character of the neighbourhood, which is generally defined by a compatible blend of late-nineteenth and early to mid-twentieth century detached, single family homes on large, heavily treed lots. Additionally, it is the only Edwardian double house within the Study Area.</p> <p>It is recommended that the City of Brampton add 35 David Street to the Municipal Register of Cultural Heritage Resources.</p>
2A	BHR-230	Residential	37 David Street	Identified by the City of Brampton as a Property of Interest	<p>The residence on the property is an expression of the Edwardian architectural style. The double house is a two- storeys and features a hip roof and a front dormer with a shed roof; it is clad in red brick. The windows on the house appear to be modern replacements, but retain their original size, shape and cast stone sills. The residence has a four-bay symmetrical façade. The centrally placed entrances are covered by a porch with a bellcast roof, it is supported by square half columns on brick piers.</p> <p>Edwardian style houses in Ontario generally date from 1900 to 1930 (Blumenson, 1990).</p>		<p>The residence is a well-preserved and well-constructed example of Edwardian architecture that is important in maintaining and defining the character of the neighbourhood, which is generally defined by a compatible blend of late-nineteenth and early to mid-twentieth century detached, single family homes on large, heavily treed lots. Additionally, it is the only Edwardian double house within the Study Area.</p> <p>It is recommended that the City of Brampton add 37 David Street to the Municipal Register of Cultural Heritage Resources.</p>
2A	BHR-231	Residential	39 David Street	Identified by the City of Brampton as a Property of Interest	<p>The one-and-a-half storey Ontario Cottage is clad in vinyl siding and features a side gable roof and a centre gable peak with a window placed above the entrance. A saltbox addition is located at the rear of building. The façade has been modified with the introduction of a bay window and all windows and doors appear modern.</p> <p>Ontario Gothic Cottages generally date from 1750 to 1900 (Kyles, 2016).</p>		<p>The residence is an example of an Ontario Cottage that is important in maintaining and defining the character of the neighbourhood, which is generally defined by a compatible blend of late-nineteenth and early to mid-twentieth century detached, single family homes on large, heavily treed lots.</p> <p>It is recommended that the City of Brampton add 39 David Street to the Municipal Register of Cultural Heritage Resources.</p>

Study Area	BHR or CHL	Resource Type	Location	Heritage Recognition	Description of Known or Potential CHVI	Photograph	
2A	BHR-232	Residential	40 David Street	Identified by the City of Brampton as a Property of Interest	The residence on the property is an example of a period revival structure with Edwardian influences. Likely constructed in the 1930s, the building has a rectangular plan with a one-storey rear addition, clad in brick. The front façade is asymmetrical, with a three-sides projecting bay and an off-centred entrance; the door is surrounded by stone. A bellcast roof supported by two brackets spans the façade. The property contains a number of mature trees.		<p>The residence is a well-preserved and well-constructed example of Period Revival architecture that is important in maintaining and defining the character of the neighbourhood, which is generally defined by a compatible blend of late-nineteenth and early to mid-twentieth century detached, single family homes on large, heavily treed lots.</p> <p>It is recommended that the City of Brampton add 40 David Street to the Municipal Register of Cultural Heritage Resources.</p>
2A	BHR-233	Residential	43 David Street	Identified by the City of Brampton as a Property of Interest	The vernacular residence is a two-storey, red brick structure with Gothic elements. The house has a square plan and a fieldstone foundation. An intricately designed wood verandah that spans half the length of the façade. The verandah includes wood fretwork and wood support posts. The windows on the upper storey have two-over-two double-hung sash windows. The house is prominently sited on a small rise. The property contains a number of mature trees.		<p>The residence is a well-preserved and well-constructed example of vernacular architecture that is important in maintaining and defining the character of the neighbourhood, which is generally defined by a compatible blend of late-nineteenth and early to mid-twentieth century detached, single family homes on large, heavily treed lots.</p> <p>It is recommended that the City of Brampton add 43 David Street to the Municipal Register of Cultural Heritage Resources.</p>
2A	BHR-234	Residential	44 David Street	Identified by the City of Brampton as a Property of Interest	<p>Built in 1936, the residence on the property is an example of an English Cottage with Tudor Revival influences. The two- storey structure is clad in brick and stone and features steeply pitched gable roof profiles, an unpainted wood door under a separate gable clad in stone, stone windowsills and jack arches.</p> <p>A City of Brampton Heritage plaque is affixed to the façade, it reads: Architect R.W. Hall. Tudor Revival, English Cottage. 1936.</p>		<p>The residence is a well-preserved and well-constructed example of Period Revival architecture that is important in maintaining and defining the character of the neighbourhood, which is generally defined by a compatible blend of late-nineteenth and early to mid-twentieth century detached, single family homes on large, heavily treed lots.</p> <p>It is recommended that the City of Brampton add 44 David Street to the Municipal Register of Cultural Heritage Resources.</p>
2A	BHR-235	Residential	47 David Street	Identified by the City of Brampton as a Property of Interest	<p>The one-and-a-half storey vernacular residence, built to a rectangular plan with a front-facing gable, features an asymmetrical two-bay façade with a three-sided projecting bay with hip a roof. The projecting bay has arched windows with wood surrounds. The arched surrounds are repeated on the remaining window openings and door. The main entrance has a transom light.</p> <p>The exterior is clad in modern horizontal siding and the windows and doors appear to be modern replacements. The foundation is of an unknown material; it is parged in concrete. The property contains a number of mature trees.</p>		<p>The residence is a well-preserved and well-constructed example vernacular architecture that is important in maintaining and defining the character of the neighbourhood, which is generally defined by a compatible blend of late-nineteenth and early to mid-twentieth century detached, single family homes on large, heavily treed lots.</p> <p>It is recommended that the City of Brampton add 47 David Street to the Municipal Register of Cultural Heritage Resources.</p>

Study Area	BHR or CHL	Resource Type	Location	Heritage Recognition	Description of Known or Potential CHVI	Photograph	
2A	BHR-236	Residential	48 David Street	Identified during field review	The residence on the property is a two-storey brick structure, constructed in the Edwardian style. The building has a rectangular plan and a truncated hip roof, the façade is symmetrical with three bays. The exterior is clad in modern horizontal siding and all windows and doors appear to be modern replacements. A large, two-storey rectangular addition spans the rear façade of the building, the addition is clad in brick and has a flat roof.		<p>Although the house has been modified, it represents example of Edwardian architecture that is important in maintaining and defining the character of the neighbourhood, which is generally defined by a compatible blend of late-nineteenth and early to mid-twentieth century detached, single family homes on large, heavily treed lots.</p> <p>It is recommended that the City of Brampton add 48 David Street to the Municipal Register of Cultural Heritage Resources.</p>
2A	BHR-237	Residential	51 David Street	Identified during field review	<p>The residence on the property consists of a one-and-a-half storey structure with a cross-gabled roof, with a front-facing gable, it was built in the English Cottage Revival Style. The house, built c. 1920, is clad in red brick and has rusticated stone windowsills, quoins and brick jack arches with a rusticated stone key stone.</p> <p>A City of Brampton Heritage Plaque is affixed to the façade, it reads: English Cottage Revival Style. Circa 1920.</p>		<p>The residence is a well-preserved and well-constructed example of Period Revival architecture that is important in maintaining and defining the character of the neighbourhood, which is generally defined by a compatible blend of late-nineteenth and early to mid-twentieth century detached, single family homes on large, heavily treed lots.</p> <p>It is recommended that the City of Brampton add 51 David Street to the Municipal Register of Cultural Heritage Resources.</p>
2A	BHR-238	Residential	53 David Street	Identified during field review	<p>The residence on the property is an expression of the Edwardian architectural style. The two-and-a-half storey red brick structure features a front-facing gable roof. The main façade is asymmetrical with a modern portico. The windows have cast stone sills and radiating brick voussiors topped with a simple brick molding. The house is sited on a cast stone foundation.</p> <p>Edwardian style houses in Ontario generally date from 1900 to 1930 (Blumenson, 1990).</p>		<p>The residence is a well-preserved and well-constructed example of Edwardian architecture that is important in maintaining and defining the character of the neighbourhood, which is generally defined by a compatible blend of late-nineteenth and early to mid-twentieth century detached, single family homes on large, heavily treed lots.</p> <p>It is recommended that the City of Brampton add 53 David Street to the Municipal Register of Cultural Heritage Resources.</p>
2A	BHR-239	Residential	54 David Street	Identified during field review	<p>The residence is a one storey vernacular expression of a Tudor revival architectural style. The house, clad in a combination of brick, stone, stucco and half-timbering has a square plan and a hipped roof. The main entrance is topped with a Tudor arch, the projecting front bay has a series of leaded glass windows. A tall stone chimney is present on the south façade.</p> <p>Period Revivals were popular in Ontario from 1900 to present (Blumenson, 1990).</p>		<p>The residence is a well-preserved and well-constructed example of Period Revival architecture that is important in maintaining and defining the character of the neighbourhood, which is generally defined by a compatible blend of late-nineteenth and early to mid-twentieth century detached, single family homes on large, heavily treed lots.</p> <p>It is recommended that the City of Brampton add 54 David Street to the Municipal Register of Cultural Heritage Resources.</p>

Study Area	BHR or CHL	Resource Type	Location	Heritage Recognition	Description of Known or Potential CHVI	Photograph	
2A	BHR-240	Residential	55 David Street	Identified during field review	<p>The residence on the property is a two-and-a half storey red brick bungalow in the Arts and Crafts style. The house has a steeply pitched side gable roof and a central shed roof dormer that extends to cover the front porch, the gable ends and dormer are clad in siding. The front porch is supported by wood posts.</p> <p>Bungalows in Ontario generally date from 1900 to 1945 (Blumenson, 1990).</p>		<p>The residence is a well-preserved and well-constructed example of Arts and Crafts architecture that is important in maintaining and defining the character of the neighbourhood, which is generally defined by a compatible blend of late-nineteenth and early to mid-twentieth century detached, single family homes on large, heavily treed lots.</p> <p>It is recommended that the City of Brampton add 55 David Street to the Municipal Register of Cultural Heritage Resources.</p>
2A	BHR-241	Residential	57 David Street	Identified during field review	<p>The residence on the property is a two-and-a half storey red brick bungalow in the Arts and Crafts style. The house has a steeply pitched side gable roof and a central shed roof dormer that extends to cover the front porch. the gable ends and dormer are clad in siding. The façade has been modified as seen by the enclosed front porch.</p> <p>Bungalows in Ontario generally date from 1900 to 1945 (Blumenson, 1990).</p>		<p>The residence is a well-preserved and well-constructed example of Arts and Crafts architecture that is important in maintaining and defining the character of the neighbourhood, which is generally defined by a compatible blend of late-nineteenth and early to mid-twentieth century detached, single family homes on large, heavily treed lots.</p> <p>It is recommended that the City of Brampton add 57 David Street to the Municipal Register of Cultural Heritage Resources.</p>
2A	BHR-242	Residential	58 David Street	Identified during field review	<p>The residence on the property is a two-and-a half storey red brick bungalow in the Arts and Crafts style. The house has a steeply pitched side gable roof and a central shed roof dormer that extends to cover the front porch. the gable ends and dormer are clad in siding. The façade has been modified as seen by the enclosed front porch.</p> <p>Bungalows in Ontario generally date from 1900 to 1945 (Blumenson, 1990).</p>		<p>Although the house has been modified, it represents example of Arts and Crafts architecture that is important in maintaining and defining the character of the neighbourhood, which is generally defined by a compatible blend of late-nineteenth and early to mid-twentieth century detached, single family homes on large, heavily treed lots.</p> <p>It is recommended that the City of Brampton add 58 David Street to the Municipal Register of Cultural Heritage Resources.</p>
2A	BHR-243	Residential	59 David Street	Identified during field review	<p>The residence on the property is an expression of the Edwardian architectural style. The one-and-a-half storey red brick structure features a front-facing gable roof. The main façade has been covered with an enclosed porch of modern construction. The house is sited on a rusticated concrete block foundation.</p> <p>Edwardian style houses in Ontario generally date from 1900 to 1930 (Blumenson, 1990).</p>		<p>Although the house has been modified, it represents example of Edwardian architecture that is important in maintaining and defining the character of the neighbourhood, which is generally defined by a compatible blend of late-nineteenth and early to mid-twentieth century detached, single family homes on large, heavily treed lots.</p> <p>It is recommended that the City of Brampton add 59 David Street to the Municipal Register of Cultural Heritage Resources.</p>

Study Area	BHR or CHL	Resource Type	Location	Heritage Recognition	Description of Known or Potential CHVI	Photograph	
2A	BHR-244	Residential	63 David Street	Identified during field review	<p>The residence on the property is an expression of the Edwardian architectural style. The two- storey structure features a hipped roof and a front dormer; it is clad in red brick. The residence has a two-bay asymmetrical main façade. A porch with a pedimented gable spans the facade, the porch is supported by half columns in the Tuscan Order on brick piers. The windows and doors on the residence appear to be modern; the openings have rusticated stone sills and lintels.</p> <p>Edwardian style houses in Ontario generally date from 1900 to 1930 (Blumenson, 1990).</p>		<p>The residence is a well-preserved and well-constructed example of Edwardian architecture that is important in maintaining and defining the character of the neighbourhood, which is generally defined by a compatible blend of late-nineteenth and early to mid-twentieth century detached, single family homes on large, heavily treed lots.</p> <p>It is recommended that the City of Brampton add 63 David Street to the Municipal Register of Cultural Heritage Resources.</p>
2A	BHR-245	Residential	67 David Street	Identified during field review	<p>The residence on the property is an expression of the Edwardian architectural style. The one-storey red brick structure features a front-facing gable roof. The main façade is asymmetrical and features a portico supported by half columns on brick piers.</p> <p>Edwardian style houses in Ontario generally date from 1900 to 1930 (Blumenson, 1990).</p>		<p>The residence is an example of Edwardian architecture that is important in maintaining and defining the character of the neighbourhood, which is generally defined by a compatible blend of late-nineteenth and early to mid-twentieth century detached, single family homes on large, heavily treed lots.</p> <p>It is recommended that the City of Brampton add 67 David Street to the Municipal Register of Cultural Heritage Resources.</p>
2A	BHR-246	Residential	1 Isabella Street	Designated Part Iv (By-Law 224-2010)	<p>Built in 1856, the residence at 1 Isabella Street is representative and early example of a house designed in the Regency Ontario Cottage style. It reflects characteristic element of the style, including the dichromatic brick detailing, wood sash windows, front door architrave and balanced proportions and massing. Carpenter John Pickard built the one and a half storey masonry house.</p>		Not applicable
2A	BHR-247	Residential	3 Isabella Street	Listed on the City of Brampton's Municipal Heritage Register	<p>The one-storey brick Regency style building features a hipped roof and a single storey summer kitchen addition at the rear with a gable roof. The main entrance on the façade a transom and a wood simple surround, the cornice is decorated with a row of dentils. The windows feature a decorative molding and a sills of an unknown material. The building's exterior is clad in modern horizontal siding and the foundation is parged in concrete.</p> <p>Regency style cottages in Ontario generally date from 1830 to 1860 (Blumenson, 1990).</p> <p>A City of Brampton Heritage Plaque is affixed to the façade, it reads: Regency Ontario Style Cottage, c. 1860. Heritage Listed.</p>		<p>The house on the subject property is a representative example of the Regency style. The property is identified as a candidate for designation under the OHA; it is recommended that a 9/06 Evaluation be completed.</p>

Study Area	BHR or CHL	Resource Type	Location	Heritage Recognition	Description of Known or Potential CHVI	Photograph	
2A	BHR-248	Residential	5 Isabella Street	Identified by the City of Brampton as a Property of Interest	<p>The residence on the property is a two-storey building with Georgian influences, it has a rectangular plan and an end gable roof. The façade is asymmetrical and has two bays. The residence is highly altered; it is clad in white brick, the windows and doors replaced and the foundation parged in concrete.</p> <p>Georgian houses in Ontario generally date from 1784 to 1890 (Blumenson, 1990).</p>		<p>Although the house has been modified, it represents example of Georgian architecture that is important in maintaining and defining the character of the neighbourhood, which is generally defined by a compatible blend of late-nineteenth and early to mid-twentieth century detached, single family homes on large, heavily treed lots.</p> <p>It is recommended that the City of Brampton add 5 Isabella Street to the Municipal Register of Cultural Heritage Resources.</p>
2A	BHR-249	Residential	9 Isabella Street	Identified by the City of Brampton as a Property of Interest	<p>The vernacular residence on the property exhibits influences representative of the Gothic Revival style. The one-and-a-half-storey house features a cross-gable roof, with steeply pitched gables, it is clad in red brick. The windows and doors appear to be modern replacements, the windows have windowsills of an unknown material and radiating brick voussiors topped with a simple brick molding. The foundation is parged, however, the material is unknown.</p> <p>Gothic Revival styles dwellings in Ontario generally range in date from 1830 to 1900 (Blumenson, 1990).</p>		<p>The residence is a well-preserved and well-constructed example of Gothic Revival architecture that is important in maintaining and defining the character of the neighbourhood, which is generally defined by a compatible blend of late-nineteenth and early to mid-twentieth century detached, single family homes on large, heavily treed lots.</p> <p>It is recommended that the City of Brampton add 9 Isabella Street to the Municipal Register of Cultural Heritage Resources.</p>
2A	BHR-250	Residential	11 Isabella Street	Listed on the City of Brampton's Municipal Heritage Register	<p>The residence on the property is an expression of the Edwardian Classicism style. The two-and-a-half storey red brick structure features a front-facing gable roof, the gable end is clad in horizontal siding. The main façade features an enclosed front porch with a series of six-over-one double-hung sash windows. The porch has a pedimented roof and is supported by brick columns with rusticated stone caps. The windows have rusticated stone sills and are topped with a simple cast stone lintels.</p> <p>Edwardian style houses in Ontario generally date from 1900 to 1930 (Blumenson, 1990).</p>		<p>The house on the subject property is a representative example of the Regency style. The property is identified as a candidate for designation under the OHA; it is recommended that a 9/06 Evaluation be completed.</p>
2A	BHR-251	Residential	15 Isabella Street	Listed on the City of Brampton's Municipal Heritage Register	<p>The property contains a two-storey Georgian style residence, clad in stucco. The symmetrical three-bay façade includes evenly spaced fenestration, with large windows with wood surrounds. The entrance is covered with a modern shed roof porch. All but one of the windows on the main façade contain six-over-six double-hung sash windows and the entrance features a simple wood surround. The building has return eaves on the gable ends as well as a salt box rear addition.</p> <p>Georgian houses in Ontario generally date from 1784 to 1890 (Blumenson, 1990).</p>		<p>The house on the subject property is a representative and notable expression of the Georgian style. The property is identified as a candidate for designation under the OHA; it is recommended that a 9/06 Evaluation be completed.</p>

Study Area	BHR or CHL	Resource Type	Location	Heritage Recognition	Description of Known or Potential CHVI	Photograph	
2A	BHR-252	Residential	19 Isabella Street	Listed on the City of Brampton's Municipal Heritage Register	<p>The property contains a two-storey Georgian style residence which has recently undergone renovations, it is clad in modern horizontal siding. The symmetrical three-bay façade includes evenly spaced fenestration, with large windows. The entrance is covered with a square bay with a bracketed hip roof. The building has return eaves on the gable ends as well as a salt box rear addition.</p> <p>Georgian houses in Ontario generally date from 1784 to 1890 (Blumenson, 1990).</p>		<p>The house on the subject property is a representative and notable expression of the Georgian style. The property is identified as a candidate for designation under the OHA; it is recommended that a 9/06 Evaluation be completed.</p>
2A	BHR-253	Residential	8 Joseph Street	Identified by the City of Brampton as a Property of Interest	<p>The residence on the property is an expression of the Edwardian architectural style. The two-storey structure features a hip roof; it is clad in red brick. The residence has a two-bay asymmetrical main façade and features a bay window. A porch with a pedimented roof spans the facade, the porch is supported by half columns in the Tuscan Order on brick piers.</p> <p>Edwardian style houses in Ontario generally date from 1900 to 1930 (Blumenson, 1990).</p>		<p>The residence is a well-preserved and well-constructed example of Edwardian architecture that is important in maintaining and defining the character of the neighbourhood, which is generally defined by a compatible blend of late-nineteenth and early to mid-twentieth century detached, single family homes on large, heavily treed lots.</p> <p>It is recommended that the City of Brampton add 40 David Street to the Municipal Register of Cultural Heritage Resources.</p>
2A	BHR-254	Residential	12 Joseph Street	Listed on the City of Brampton's Municipal Heritage Register	<p>The vernacular Neo-Classical and Italianate inspired-residence displays a high degree of craftsmanship. The one-and-a-half storey structure is clad in brick and is sited on a stone foundation, dichromatic brickwork including quoins, a front-facing gable, arched-headed windows with brick eyebrow moldings and a bay window with a bellcast roof. The main entrance is sheltered by a portico of modern wood construction. Ornamental fretwork with an intricate scroll design is present in the apex of the gable.</p>		<p>The house on the subject property is a representative and notable expression of a vernacular structure with by Neo-Classical and Italianate influences. The property is identified as a candidate for designation under the OHA; it is recommended that a 9/06 Evaluation be completed.</p>

Study Area	BHR or CHL	Resource Type	Location	Heritage Recognition	Description of Known or Potential CHVI	Photograph	
2A	BHR-255	Residential	16 Joseph Street	Listed on the City of Brampton's Municipal Heritage Register	<p>The one-storey brick Regency style building features a hipped roof and a single storey summer kitchen addition at the rear with a gable roof. The main entrance on the façade a transom and a simple surround. The windows feature a decorative molding and a sills of an unknown material. The building's exterior is clad in stucco.</p> <p>Regency style cottages in Ontario generally date from 1830 to 1860 (Blumenson, 1990).</p>		The house on the subject property is a representative and notable expression of the Regency style. The property is identified as a candidate for designation under the OHA; it is recommended that a 9/06 Evaluation be completed.
2A	BHR-256	Residential	20 Joseph Street	Identified during field review	<p>The residence on the property is an example of a post-war Suburban dwelling. The house has a square footprint, a hip roof and is one storey in height. The exterior is stucco and horizontal siding; the building is sited on a paved foundation. The façade is asymmetrical and features a projecting bay with an off-centred entrance. The property contains a number of mature trees.</p> <p>Suburban style houses in Ontario generally date from 1950 to 2003 (Kyles, 2016a).</p>		<p>The property is not currently considered to contribute to its historic context but could acquire value in the future.</p> <p>The property is not currently recommended for listing on the Municipal Heritage Register.</p>
2A	BHR-257	Residential	34 Joseph Street	Identified by the City of Brampton as a Property of Interest	<p>The residence on the property is an expression of the Edwardian architectural style. The two-storey structure features a hip roof; it is clad in red brick. The residence has a two-bay asymmetrical main façade. A porch with a shed roof spans the facade, the porch is supported by wood posts. The house is sited on a stone foundation.</p> <p>Edwardian style houses in Ontario generally date from 1900 to 1930 (Blumenson, 1990).</p>		<p>The residence is a well-preserved and well-constructed example of Edwardian architecture that is important in maintaining and defining the character of the neighbourhood, which is generally defined by a compatible blend of late-nineteenth and early to mid-twentieth century detached, single family homes on large, heavily treed lots.</p> <p>It is recommended that the City of Brampton add 34 Joseph Street to the Municipal Register of Cultural Heritage Resources.</p>
2A	BHR-258	Residential	36 Joseph Street	Identified by the City of Brampton as a Property of Interest	<p>The property contains a two-storey Gothic Revival dwelling. The Gothic Revival style is evidenced by the steeply pitched gable roof with a central peak on the east side of the roof, bay window with wood brackets and ornamentation, and the rectangular windows, one segmentally arched window and one lancet window. The dwelling is clad in stucco and the front door has a transom window with a segmental arch. Several of the windows appear to be original to the structure, they are comprised of two-over-two double-hung sash windows; a simple wood surround is visible on the upper storey windows.</p> <p>Gothic Revival styles dwellings in Ontario generally range in date from 1830 to 1900 (Blumenson, 1990).</p>		<p>The residence is a well-preserved and well-constructed example of Gothic Revival architecture that is important in maintaining and defining the character of the neighbourhood, which is generally defined by a compatible blend of late-nineteenth and early to mid-twentieth century detached, single family homes on large, heavily treed lots.</p> <p>It is recommended that the City of Brampton add 36 Joseph Street to the Municipal Register of Cultural Heritage Resources.</p>

Study Area	BHR or CHL	Resource Type	Location	Heritage Recognition	Description of Known or Potential CHVI	Photograph	
2A	BHR-259	Residential	44 Joseph Street	Identified by the City of Brampton as a Property of Interest	<p>The residence on the property is an expression of the Edwardian architectural style. The two-and-a-half storey red brick structure features a front-facing gable roof, the gable end is clad in horizontal siding. The main façade features a full porch with a hipped roof, the porch is supported by brick columns with rusticated concrete caps; the porch has been modified and enclosed. The windows have stills and lintels of an unknown material.</p> <p>Edwardian style houses in Ontario generally date from 1900 to 1930 (Blumenson, 1990).</p>		<p>The residence is a well-preserved and well-constructed example of Edwardian architecture that is important in maintaining and defining the character of the neighbourhood, which is generally defined by a compatible blend of late-nineteenth and early to mid-twentieth century detached, single family homes on large, heavily treed lots.</p> <p>It is recommended that the City of Brampton add 44 Joseph Street to the Municipal Register of Cultural Heritage Resources.</p>
2A	BHR-260	Residential	54 Joseph Street	Listed on the City of Brampton's Municipal Heritage Register	<p>The residence on the property is a one-and-a-half storey Ontario Cottage with Gothic influences, it is clad in red brick and has buff brick quoins. The façade facing Mill Street North is asymmetrical and has a bay window with a bellcast roof, the window surrounds feature elaborate woodwork and pairs brackets. There is a centrally placed gable in the roof peak which has a round headed window topped with a segmentally arched hood molding. The bay window is repeated on the main façade, the windows on the main façade are arched and have brick label moldings. The entrance features a wooden surround and transom light, and is covered with a porch with a bellcast roof that spans a portion of the two façades.</p> <p>A City of Brampton Heritage Plaque is affixed to the façade, it reads: Kings residence, c. 1885.</p>		<p>The house on the subject property is a representative and notable expression of an Ontario Cottage with Gothic influences. The property is identified as a candidate for designation under the OHA; it is recommended that a 9/06 Evaluation be completed.</p>
2A	BHR-261	Residential	56 Joseph Street	Identified by the City of Brampton as a Property of Interest	<p>The residence on the property is an expression of the Edwardian architectural style. The two-and-a-half storey red brick structure features a front-facing gable roof, the gable end is clad in horizontal siding. The main façade features a porch which has been modified and enclosed. The windows have rusticated stone sills and radiating brick voussiors topped with a simple brick molding.</p> <p>Edwardian style houses in Ontario generally date from 1900 to 1930 (Blumenson, 1990).</p>		<p>The residence is a well-preserved and well-constructed example of Edwardian architecture that is important in maintaining and defining the character of the neighbourhood, which is generally defined by a compatible blend of late-nineteenth and early to mid-twentieth century detached, single family homes on large, heavily treed lots.</p> <p>It is recommended that the City of Brampton add 56 Joseph Street to the Municipal Register of Cultural Heritage Resources.</p>
2A	BHR-262	Residential	64 Joseph Street	Listed on the City of Brampton's Municipal Heritage Register	<p>The residence at 64 Joseph Street is an excellent example of a vernacular structure with Gothic Revival influence. The one-and-a-half storey house has an L-shaped plan, is clad in dichromatic brickwork and is sited on a stone foundation. The building has decorative elements including buff brick quoins, arched-headed windows with brick eyebrow moldings and a bay window with a bellcast roof.</p> <p>Gothic Revival styles dwellings in Ontario generally range in date from 1830 to 1900 (Blumenson, 1990).</p>		<p>The house on the subject property is a representative and notable expression of a vernacular structure with by Gothic Revival influences. The property is identified as a candidate for designation under the OHA; it is recommended that a 9/06 Evaluation be completed.</p>

Study Area	BHR or CHL	Resource Type	Location	Heritage Recognition	Description of Known or Potential CHVI	Photograph	
2A	BHR-263	Residential	66 Joseph Street	Identified by the City of Brampton as a Property of Interest	<p>The residence on the property is an expression of the Edwardian architectural style. The two-and-a-half storey red brick structure features a front-facing gable roof, the gable end is clad in horizontal siding. The main façade is asymmetrical with a first-floor bay window and has an open porch, supported by a series of brick columns. The windows have rusticated stone sills.</p> <p>Edwardian style houses in Ontario generally date from 1900 to 1930 (Blumenson, 1990).</p>		<p>The residence is a well-preserved and well-constructed example of Edwardian architecture that is important in maintaining and defining the character of the neighbourhood, which is generally defined by a compatible blend of late-nineteenth and early to mid-twentieth century detached, single family homes on large, heavily treed lots.</p> <p>It is recommended that the City of Brampton add 66 Joseph Street to the Municipal Register of Cultural Heritage Resources.</p>
2A	BHR-264	Residential	68 Joseph Street	Identified by the City of Brampton as a Property of Interest	<p>The residence on the property is a vernacular expression of the Edwardian architectural style. The two storey red brick structure features a front-facing gable roof. The main façade is asymmetrical with a first-floor bay window and has an open porch, supported by a series of brick columns. The windows have rusticated stone sills and radiating brick voussoirs.</p> <p>Edwardian style houses in Ontario generally date from 1900 to 1930 (Blumenson, 1990).</p>		<p>The residence is a well-preserved and well-constructed example of Edwardian architecture that is important in maintaining and defining the character of the neighbourhood, which is generally defined by a compatible blend of late-nineteenth and early to mid-twentieth century detached, single family homes on large, heavily treed lots.</p> <p>It is recommended that the City of Brampton add 68 Joseph Street to the Municipal Register of Cultural Heritage Resources.</p>
2A	BHR-265	Residential	72 Joseph Street	Identified by the City of Brampton as a Property of Interest	<p>The residence on the property is a highly altered double house. The façade is symmetrical with four bays, including two windows and two doors. An open porch with a shed roof and a centrally placed pediment spans the façade, it is supported by Tuscan order columns. The front-facing roof has two dormers. The windows and doors on the building appear to be modern replacements.</p>		<p>The property has been heavily modified to the point that its heritage value may have been lost. Cultural heritage value may be identified through further research or detailed field investigation.</p> <p>The property is not currently recommended for listing on the Municipal Heritage Register.</p>
2A	BHR-266	Residential	74 Joseph Street	Identified by the City of Brampton as a Property of Interest	<p>The residence on the property is a highly altered double house. The façade is symmetrical with four bays, including two windows and two doors. An open porch with a shed roof and a centrally placed pediment spans the façade, it is supported by Tuscan order columns. The front-facing roof has two dormers. The windows and doors on the building appear to be modern replacements.</p>		<p>The property has been heavily modified to the point that its heritage value may have been lost. Cultural heritage value may be identified through further research or detailed field investigation.</p> <p>The property is not currently recommended for listing on the Municipal Heritage Register.</p>

Study Area	BHR or CHL	Resource Type	Location	Heritage Recognition	Description of Known or Potential CHVI	Photograph	
2A	BHR-267	Residential	7 Lowes Avenue	Identified during field review	<p>The subject property contains a one-and-a-half storey Dutch Colonial Revival style dwelling. The house has a front-facing gambrel roof and returns return eaves. The building has a high, rusticated concrete block foundation and is clad in a combination of brick and horizontal siding. The main façade is asymmetrical, with an enclosed porch. The main floor windows have rusticated stone sills and jack arches.</p> <p>Period Revivals were popular in Ontario from 1900 to present (Blumenson, 1990).</p>		<p>The residence is a well-preserved and well-constructed example of Edwardian architecture that is important in maintaining and defining the character of the neighbourhood, which is generally defined by a compatible blend of late-nineteenth and early to mid-twentieth century detached, single family homes on large, heavily treed lots.</p> <p>It is recommended that the City of Brampton add 7 Lowes Avenue to the Municipal Register of Cultural Heritage Resources.</p>
2A	BHR-268	Residential	9 Lowes Avenue	Identified during field review	<p>The subject property contains a one-and-a-half storey Dutch Colonial Revival style dwelling. The house has a front-facing gambrel roof and returns return eaves. The building has a high, rusticated concrete block foundation and is clad in a combination of brick and horizontal siding. The main façade is asymmetrical, with an open porch supported by square half columns on brick piers. The wood door, with a multi-pane window and mail slot, appears to be original to the house. The main floor windows have rusticated stone sills and jack arches.</p> <p>Period Revivals were popular in Ontario from 1900 to present (Blumenson, 1990).</p>		<p>The residence is a well-preserved and well-constructed example of Edwardian architecture that is important in maintaining and defining the character of the neighbourhood, which is generally defined by a compatible blend of late-nineteenth and early to mid-twentieth century detached, single family homes on large, heavily treed lots.</p> <p>It is recommended that the City of Brampton add 9 Lowes Avenue to the Municipal Register of Heritage Resources.</p>
2A	BHR-296	Residential	11 Lowes Avenue	Identified during field review	<p>The residence on the property is a vernacular expression of the Edwardian architectural style. The two-storey red brick structure features a front-facing gable roof. The main façade is covered with a one-story enclosed porch and addition. The windows in the upper storey have rusticated stone sills and radiating brick voussoirs with drip molds.</p> <p>Edwardian style houses in Ontario generally date from 1900 to 1930 (Blumenson, 1990).</p>		<p>The residence is a well-preserved and well-constructed example of Edwardian architecture that is important in maintaining and defining the character of the neighbourhood, which is generally defined by a compatible blend of late-nineteenth and early to mid-twentieth century detached, single family homes on large, heavily treed lots.</p> <p>It is recommended that the City of Brampton add 11 Lowes Avenue to the Municipal Register of Cultural Heritage Resources.</p>
2A	BHR-270	Residential	6 Market Street	Identified by the City of Brampton as a Property of Interest	<p>The residences at 6 and 8 Market Street consist of a one-and-a-half storey double house, clad in brick. The main façade of the vernacular building is symmetrical with a centrally placed gable. The gable ends are symmetrical with two bays. The windows and doors are modern replacements, however the openings appear to remain unchanged and feature windowsills of an unknown material.</p>		<p>The residence is an example of vernacular architecture that is important in maintaining and defining the character of the neighbourhood, which is generally defined by a compatible blend of late-nineteenth and early to mid-twentieth century detached, single family homes on large, heavily treed lots.</p> <p>It is recommended that the City of Brampton add 8 Market Street to the Municipal Register of Cultural Heritage Resources.</p>

Study Area	BHR or CHL	Resource Type	Location	Heritage Recognition	Description of Known or Potential CHVI	Photograph	
2A	BHR-271	Residential	8 Market Street	Identified by the City of Brampton as a Property of Interest	The residences at 6 and 8 Market Street consist of a one-and-a-half storey double house, clad in brick. The main façade of the vernacular building is symmetrical with a centrally placed gable. The gable ends are symmetrical with two bays. The windows and doors are modern replacements, however the openings appear to remain unchanged and feature windowsills of an unknown material.		<p>The residence is an example of vernacular architecture that is important in maintaining and defining the character of the neighbourhood, which is generally defined by a compatible blend of late-nineteenth and early to mid-twentieth century detached, single family homes on large, heavily treed lots.</p> <p>It is recommended that the City of Brampton add 8 Market Street to the Municipal Register of Cultural Heritage Resources.</p>
2A	BHR-272	Residential	38 Market Street	Identified during field review	The residence on the property is a one-and-a-half vernacular structure with a front-facing gable and return eaves. The structure is clad in red and brown brick and has a symmetrical three-bay façade.		<p>The residence is an example of vernacular architecture that is important in maintaining and defining the character of the neighbourhood, which is generally defined by a compatible blend of late-nineteenth and early to mid-twentieth century detached, single family homes on large, heavily treed lots.</p> <p>It is recommended that the City of Brampton add 38 Market Street to the Municipal Register of Cultural Heritage Resources.</p>
2A	BHR-273	Residential	42 Market Street	Identified by the City of Brampton as a Property of Interest	<p>The subject property contains a one-and-a-half storey Dutch Colonial Revival style dwelling. The house has a front-facing gambrel roof and an open porch that spans the front façade. The exterior is clad in modern beadboard and while the windows and doors appear to be modern replacements, the main floor window surround appears intact. The property contains a number of mature trees.</p> <p>Period Revivals were popular in Ontario from 1900 to present (Blumenson, 1990).</p>		<p>The property has been heavily modified to the point that its heritage value may have been lost. Cultural heritage value may be identified through further research or detailed field investigation.</p> <p>The property is not currently recommended for listing on the Municipal Heritage Register.</p>
2A	BHR-274	Residential	44 Market Street	Identified by the City of Brampton as a Property of Interest	<p>The subject property contains a one-and-a-half storey Dutch Colonial Revival style dwelling. The house has a front-facing gambrel roof and an open porch that spans the front façade. The exterior is clad in modern beadboard, the windows and doors appear to be modern replacements. A number of mature trees are on the property.</p> <p>Period Revivals were popular in Ontario from 1900 to present (Blumenson, 1990).</p>		<p>The property has been heavily modified to the point that its heritage value may have been lost. Cultural heritage value may be identified through further research or detailed field investigation.</p> <p>The property is not currently recommended for listing on the Municipal Heritage Register.</p>

Study Area	BHR or CHL	Resource Type	Location	Heritage Recognition	Description of Known or Potential CHVI	Photograph	
2A	BHR-275	Residential	48 Market Street	Identified during field review	<p>The one-and-a-half storey Ontario Cottage is clad in a combination of faux stone and vinyl siding and features a side gable roof and a centre gable peak with a window placed above the entrance. A one-storey addition is located at the rear of building. The façade has been modified with the introduction of a modern portico and all windows and doors appear modern. A number of mature trees are on the property. The property contains a number of mature trees.</p> <p>Ontario Gothic Cottages generally date from 1750 to 1900 (Kyles, 2016).</p>		<p>The property has been heavily modified to the point that its heritage value may have been lost. Cultural heritage value may be identified through further research or detailed field investigation.</p> <p>The property is not currently recommended for listing on the Municipal Heritage Register.</p>
2A	BHR-276	Residential	72 Mill Street North	Identified during field review	<p>The property is a vernacular expression of the Colonial Revival style. The two-storey structure features a side gable roof with a large, shed roof dormer, smooth red brick cladding, and a portico supported by Tuscan Order columns. The façade is symmetrical with three bays. The windows appear to be original to the structure, they are rectangular in shape and have cast stone sills and jack arches.</p> <p>Period Revivals were popular in Ontario from 1900 to present (Blumenson, 1990).</p>		<p>The residence is a well-preserved and well-constructed example of Period Revival architecture that is important in maintaining and defining the character of the neighbourhood, which is generally defined by a compatible blend of late-nineteenth and early to mid-twentieth century detached, single family homes on large, heavily treed lots.</p> <p>It is recommended that the City of Brampton add 72 Mill Street North to the Municipal Register of Cultural Heritage Resources.</p>
2A	BHR-277	Residential	78 Mill Street North	Listed on the City of Brampton's Municipal Heritage Register	<p>The one-and-a-half storey vernacular residence, built to a rectangular plan with a front-facing gable, features an asymmetrical two-bay façade with a three-sided projecting bay with hip a roof. The projecting bay has arched windows with wood surrounds. The arched surrounds are repeated on the remaining window openings and door. The main entrance is covered with an enclosed porch.</p> <p>The exterior is clad in modern horizontal siding and the windows and doors appear to be modern replacements. The house is sited on a rubble stone foundation.</p>		Not applicable
2A	BHR-278	Residential	83 Mill Street North	Identified by the City of Brampton as a Property of Interest	<p>The residence on the property is an Edwardian foursquare dwelling. The two-storey structure features a hipped roof and a front dormer; it is clad in smooth red brick. An enclosed porch with a pedimented gable spans the facade. The windows and doors on the residence appear to be modern; the openings have cast stone sills and brick voussoirs. The property contains a number of mature trees.</p> <p>Edwardian style houses in Ontario generally date from 1900 to 1930 (Blumenson, 1990).</p>		<p>The residence is a well-preserved and well-constructed example of Edwardian architecture that is important in maintaining and defining the character of the neighbourhood, which is generally defined by a compatible blend of late-nineteenth and early to mid-twentieth century detached, single family homes on large, heavily treed lots.</p> <p>It is recommended that the City of Brampton add 83 Mill Street North to the Municipal Register of Cultural Heritage Resources.</p>

Study Area	BHR or CHL	Resource Type	Location	Heritage Recognition	Description of Known or Potential CHVI	Photograph	
2A	BHR-279	Residential	84 Mill Street North	Identified by the City of Brampton as a Property of Interest	<p>The property is a vernacular expression of the Edwardian architectural style. The two- storey structure features a hip roof, smooth red brick cladding, and an enclosed front porch with a shed roof. The porch has a series of six-over-one double-hung sash windows. The centrally placed window in the second story is slightly arched and has a rusticated stone sill and a radiating voussoir. The property contains a number of mature trees.</p> <p>A City of Brampton Heritage plaque is affixed to the façade, it reads: Hunter House, c. 1907. Heritage Listed.</p> <p>Edwardian style houses in Ontario generally date from 1900 to 1930 (Blumenson, 1990).</p>		<p>The residence is a well-preserved and well-constructed example of Edwardian architecture that is important in maintaining and defining the character of the neighbourhood, which is generally defined by a compatible blend of late-nineteenth and early to mid-twentieth century detached, single family homes on large, heavily treed lots.</p> <p>It is recommended that the City of Brampton add 84 Mill Street North to the Municipal Register of Cultural Heritage Resources.</p>
2A	BHR-280	Residential	85 Mill Street North	Identified by the City of Brampton as a Property of Interest	<p>The residence on the property is an example of the Edwardian Four Square style. The two-and-a-half storey red brick structure features a front-facing gable roof, the gable end is clad in vertical siding and the window opening has been enlarged. The main façade is asymmetrical with an open porch with a pedimented roof, the porch is supported by a series of half columns on brick piers. A large oval window, a common element of Edwardian houses on located adjacent to the main entrance. The door and window openings have rusticated stone sills and lintels.</p> <p>Edwardian style houses in Ontario generally date from 1900 to 1930 (Blumenson, 1990).</p>		<p>The residence is a well-preserved and well-constructed example of Edwardian architecture that is important in maintaining and defining the character of the neighbourhood, which is generally defined by a compatible blend of late-nineteenth and early to mid-twentieth century detached, single family homes on large, heavily treed lots.</p> <p>It is recommended that the City of Brampton add 85 Mill Street North to the Municipal Register of Cultural Heritage Resources.</p>
2A	BHR-281	Residential	86 Mill Street North	Identified during field review	<p>The residence is a one storey vernacular expression of a Tudor revival architectural style. The house, clad in a combination of brick, stone, stucco and half-timbering has a square plan and a hipped roof. The main entrance is topped with a Tudor arch, the projecting front bay has a series of leaded glass windows. A tall stone chimney is present on the south façade. The property contains a number of mature trees.</p> <p>Period Revivals were popular in Ontario from 1900 to present (Blumenson, 1990).</p>		<p>The residence is a well-preserved and well-constructed example of Period Revival architecture that is important in maintaining and defining the character of the neighbourhood, which is generally defined by a compatible blend of late-nineteenth and early to mid-twentieth century detached, single family homes on large, heavily treed lots.</p> <p>It is recommended that the City of Brampton add 86 Mill Street North to the Municipal Register of Cultural Heritage Resources.</p>
2A	BHR-282	Residential	87 Mill Street North	Identified by the City of Brampton as a Property of Interest	<p>The residence is a well-preserved and well-constructed example of pre-First World War architecture that is important in maintaining and defining the character of the neighbourhood, which is generally defined by a compatible blend of late-nineteenth and early to mid-twentieth century detached, single family homes on large, heavily treed lots.</p> <p>Edwardian style houses in Ontario generally date from 1900 to 1930 (Blumenson, 1990).</p>		<p>The residence is a well-preserved and well-constructed example of Edwardian architecture that is important in maintaining and defining the character of the neighbourhood, which is generally defined by a compatible blend of late-nineteenth and early to mid-twentieth century detached, single family homes on large, heavily treed lots.</p> <p>It is recommended that the City of Brampton add 87 Mill Street North to the Municipal Register of Cultural Heritage Resources.</p>

Study Area	BHR or CHL	Resource Type	Location	Heritage Recognition	Description of Known or Potential CHVI	Photograph	
2A	BHR-283	Residential	89 Mill Street North	Identified by the City of Brampton as a Property of Interest	<p>The vernacular residence on the property exhibits influences representative of the Gothic Revival style. The two-storey house features a cross-gable roof, with steeply pitched gables on the north and east facades. Several windows appear to retain their two-over-two double-hung sash windows and rounded hood moldings are present on several of the upper storey windows. The main façade features a bay window with three rounded windows and hood moldings and an enclosed porch with a series of six-over-one double-hung sash windows. The exterior is clad in a combination of modern board and batten and horizontal wood siding. The foundation is parged, however, the material is unknown. The property contains a number of mature trees.</p> <p>Gothic Revival styles dwellings in Ontario generally range in date from 1830 to 1900 (Blumenson, 1990).</p>		<p>The residence is a well-preserved and well-constructed example of Gothic Revival architecture that is important in maintaining and defining the character of the neighbourhood, which is generally defined by a compatible blend of late-nineteenth and early to mid-twentieth century detached, single family homes on large, heavily treed lots.</p> <p>It is recommended that the City of Brampton add 89 Mill Street North to the Municipal Register of Cultural Heritage Resources.</p>
2A	BHR-284	Residential	90 Mill Street North	Identified by the City of Brampton as a Property of Interest	<p>The residence on the property is a one-and-a-half vernacular structure with a front-facing gable. The structure is clad in buff brick and has a symmetrical three-bay façade featuring a bay window with a hip roof. The structure is sited on a rusticated concrete block foundation. The property contains a number of mature trees.</p>		<p>The residence is an example of vernacular architecture that is important in maintaining and defining the character of the neighbourhood, which is generally defined by a compatible blend of late-nineteenth and early to mid-twentieth century detached, single family homes on large, heavily treed lots.</p> <p>It is recommended that the City of Brampton add 90 Mill Street North to the Municipal Register of Cultural Heritage Resources.</p>
2A	BHR-285	Residential	91 Mill Street North	Identified by the City of Brampton as a Property of Interest	<p>The subject property contains a two-and-a-half storey Dutch Colonial Revival style dwelling. The house has a side-facing gambrel roof and a front-facing dormer. The building has a high, rusticated concrete block foundation and is clad in horizontal siding. The main façade is asymmetrical, with an open porch supported by square posts. The windows and doors on the structure appear to be modern replacements.</p> <p>Period Revivals were popular in Ontario from 1900 to present (Blumenson, 1990).</p>		<p>The residence is a well-preserved and well-constructed example of Dutch Colonial Revival architecture that is important in maintaining and defining the character of the neighbourhood, which is generally defined by a compatible blend of late-nineteenth and early to mid-twentieth century detached, single family homes on large, heavily treed lots.</p> <p>It is recommended that the City of Brampton add 72 Mill Street North to the Municipal Register of Cultural Heritage Resources.</p>
2A	BHR-286	Residential	92 Mill Street North	Identified during field review	<p>The residence on the property is an example of a post-war Suburban dwelling. The house has a square footprint, a hip roof and is one storey in height. The exterior is clad in brick and stone and the building is sited on parged foundation. The façade is asymmetrical and features a large front-facing window located in a projecting bay. The property contains a number of mature trees.</p> <p>Suburban style houses in Ontario generally date from 1950 to 2003 (Kyles, 2016a).</p>		<p>The property is not currently considered to contribute to its historic context but could acquire value in the future.</p> <p>The property is not currently recommended for listing on the Municipal Heritage Register.</p>

Study Area	BHR or CHL	Resource Type	Location	Heritage Recognition	Description of Known or Potential CHVI	Photograph	
2A	BHR-287	Residential	93 Mill Street North	Identified by the City of Brampton as a Property of Interest	<p>The residence on the property is an expression of the Edwardian architectural style. The two-storey structure features a hipped roof and a front dormer; it is clad in modern horizontal siding. The windows and doors are modern replacements. An enclosed porch with a pedimented roof spans the front facade. The building does not appear to retain any original architectural details.</p> <p>Edwardian style houses in Ontario generally date from 1900 to 1930 (Blumenson, 1990).</p>		<p>The property has been heavily modified to the point that its heritage value may have been lost. Cultural heritage value may be identified through further research or detailed field investigation.</p> <p>The property is not currently recommended for listing on the Municipal Heritage Register.</p>
2A	BHR-288	Residential	94 Mill Street North	Identified by the City of Brampton as a Property of Interest	<p>The residence on the property is an Edwardian foursquare dwelling. The two-storey structure features a truncated hipped; it is clad in smooth red brick. An enclosed porch with a pedimented gable spans the facade. The windows and doors on the residence appear to be modern; the openings have cast stone sills and brick voussoirs. The property contains a number of mature trees.</p> <p>Edwardian style houses in Ontario generally date from 1900 to 1930 (Blumenson, 1990).</p>		<p>The residence is a well-preserved and well-constructed example of Edwardian architecture that is important in maintaining and defining the character of the neighbourhood, which is generally defined by a compatible blend of late-nineteenth and early to mid-twentieth century detached, single family homes on large, heavily treed lots.</p> <p>It is recommended that the City of Brampton add 94 Mill Street North to the Municipal Register of Cultural Heritage Resources.</p>
2A	BHR-289	Residential	95 Mill Street North	Identified by the City of Brampton as a Property of Interest	<p>This one-and-a-half storey house in a vernacular style expression of the Suburban Villa or Farmhouse style. The house is horizontal siding and has a rectangular plan with a cross-gabled roof and a front-facing gable. The house is sited on a rusticated concrete block foundation. The property contains a number of mature trees.</p>		<p>The property has been heavily modified to the point that its heritage value may have been lost. Cultural heritage value may be identified through further research or detailed field investigation.</p> <p>The property is not currently recommended for listing on the Municipal Heritage Register.</p>
2A	BHR-290	Residential	96 Mill Street North	Identified during field review	<p>The residence on the property is an Edwardian foursquare dwelling. The two-storey structure features a hipped; it is clad in smooth red brick. A partially enclosed porch with a shed roof spans the facade. The windows and doors on the residence appear to be modern; the openings have cast stone sills and brick voussoirs. The property contains a number of mature trees.</p> <p>Edwardian style houses in Ontario generally date from 1900 to 1930 (Blumenson, 1990).</p>		<p>The residence is a well-preserved and well-constructed example of Edwardian architecture that is important in maintaining and defining the character of the neighbourhood, which is generally defined by a compatible blend of late-nineteenth and early to mid-twentieth century detached, single family homes on large, heavily treed lots.</p> <p>It is recommended that the City of Brampton add 96 Mill Street North to the Municipal Register of Cultural Heritage Resources.</p>

Study Area	BHR or CHL	Resource Type	Location	Heritage Recognition	Description of Known or Potential CHVI	Photograph	
2A	BHR-291	Residential	97 Mill Street North	Identified by the City of Brampton as a Property of Interest	<p>The residence on the property is an expression of the Edwardian architectural style. The two-and-a-half storey red brick structure features a front-facing gable roof, the gable end is clad in wood shingles. The main façade features a porch with a hip roof, the porch is supported by brick columns with rusticated stone caps. The windows have rusticated stone sills and radiating brick voussiors topped with a simple brick molding. The property contains a number of mature trees.</p> <p>Edwardian style houses in Ontario generally date from 1900 to 1930 (Blumenson, 1990).</p>		<p>The residence is a well-preserved and well-constructed example of Edwardian architecture that is important in maintaining and defining the character of the neighbourhood, which is generally defined by a compatible blend of late-nineteenth and early to mid-twentieth century detached, single family homes on large, heavily treed lots.</p> <p>It is recommended that the City of Brampton add 97 Mill Street North to the Municipal Register of Cultural Heritage Resources.</p>
2A	BHR-292	Residential	98 Mill Street North	Identified during field review	<p>The residence on the property is an Edwardian foursquare dwelling. The two-storey structure features a hipped; it is clad in rusticated concrete blocks. An enclosed porch with a shed roof spans the facade. The windows and doors on the residence appear to be modern; the openings have cast stone sills. The property contains a number of mature trees.</p> <p>Edwardian style houses in Ontario generally date from 1900 to 1930 (Blumenson, 1990).</p>		<p>The residence is a well-preserved and well-constructed example of Edwardian architecture that is important in maintaining and defining the character of the neighbourhood, which is generally defined by a compatible blend of late-nineteenth and early to mid-twentieth century detached, single family homes on large, heavily treed lots.</p> <p>It is recommended that the City of Brampton add 98 Mill Street North to the Municipal Register of Cultural Heritage Resources.</p>
2A	BHR-293	Residential	99 Mill Street North	Identified by the City of Brampton as a Property of Interest	<p>The residence on the property is an expression of the Edwardian architectural style. The two-and-a-half storey red brick structure features a front-facing gable roof, the gable end is clad in horizontal wood siding. A porch spans the façade of the building, is supported by half columns in the Tuscan Order on brick piers. The windows and doors on the residence appear to be modern; the openings have sills and lintels of an unknown material. The property contains a number of mature trees.</p> <p>Edwardian style houses in Ontario generally date from 1900 to 1930 (Blumenson, 1990).</p>		<p>The residence is a well-preserved and well-constructed example of Edwardian architecture that is important in maintaining and defining the character of the neighbourhood, which is generally defined by a compatible blend of late-nineteenth and early to mid-twentieth century detached, single family homes on large, heavily treed lots.</p> <p>It is recommended that the City of Brampton add 99 Mill Street North to the Municipal Register of Cultural Heritage Resources.</p>
2A	BHR-294	Residential	100 Mill Street North	Identified by the City of Brampton as a Property of Interest	<p>The residence on the property is prominently sited at the corner of Mill Street North and Rosedale Avenue West. The brick structure is two-and-a-half storeys in height has an intersecting gable roof, it features a large front-facing gable, with symmetrical fenestration. The front porch is enclosed and is supported by three brick piers.</p> <p>The property contains a number of mature trees and is surrounded by a stone and iron fence.</p>		<p>The residence is a well-preserved and well-constructed example of Edwardian architecture that is important in maintaining and defining the character of the neighbourhood, which is generally defined by a compatible blend of late-nineteenth and early to mid-twentieth century detached, single family homes on large, heavily treed lots.</p> <p>It is recommended that the City of Brampton add 100 Mill Street North to the Municipal Register of Cultural Heritage Resources.</p>

Study Area	BHR or CHL	Resource Type	Location	Heritage Recognition	Description of Known or Potential CHVI	Photograph	
2A	BHR-295	Residential	101 Mill Street North	Identified during field review	<p>The residence on the property is a representative example of a one-and-a-half storey, side gabled bungalow exhibiting design influences of the American Arts and Crafts style. In this instance, the Craftsman influences are seen in the overall massing of the house with its sloped low pitched roofline, as well as the large front dormer (the window in the dormer appears to be modern) and the partially enclosed front porch. The house also exhibits Edwardian influence in the use of smooth brick and rusticated stone sills. The property contains a number of mature trees.</p> <p>Bungalows in Ontario generally date from 1900 to 1945 (Blumenson, 1990).</p>		<p>The residence is a well-preserved and well-constructed example of Arts and Crafts architecture that is important in maintaining and defining the character of the neighbourhood, which is generally defined by a compatible blend of late-nineteenth and early to mid-twentieth century detached, single family homes on large, heavily treed lots.</p> <p>It is recommended that the City of Brampton add 101 Mill Street North to the Municipal Register of Cultural Heritage Resources.</p>
2A	BHR-296	Residential	103 Mill Street North	Identified during field review	<p>The residence on the property is an Edwardian foursquare dwelling. The two-storey structure features a jerkinhead roof with a front-facing dormer; it is clad in rusticated concrete blocks. An open porch with a pedimented roof spans a portion the facade. The windows and doors on the residence appear to be modern; the openings have cast stone sills. The property contains a number of mature trees.</p> <p>Edwardian style houses in Ontario generally date from 1900 to 1930 (Blumenson, 1990).</p>		<p>The residence is a well-preserved and well-constructed example of Edwardian architecture that is important in maintaining and defining the character of the neighbourhood, which is generally defined by a compatible blend of late-nineteenth and early to mid-twentieth century detached, single family homes on large, heavily treed lots.</p> <p>It is recommended that the City of Brampton add 103 Mill Street North to the Municipal Register of Cultural Heritage Resources.</p>
2A	BHR-297	Residential	105 Mill Street North	Identified during field review	<p>The residence on the property is a one-and-a-half vernacular structure with a front-facing gable and return eaves. The structure is clad in red and brown brick and has a symmetrical three-bay façade. The property contains a number of mature trees.</p>		<p>The residence is an example of vernacular architecture that is important in maintaining and defining the character of the neighbourhood, which is generally defined by a compatible blend of late-nineteenth and early to mid-twentieth century detached, single family homes on large, heavily treed lots.</p> <p>It is recommended that the City of Brampton add 105 Mill Street West to the Municipal Register of Cultural Heritage Resources.</p>
2A	BHR-298	Residential	27 Rosedale Avenue West	Identified by the City of Brampton as a Property of Interest	<p>The residence on the property consists of a Period Revival dwelling with English Cottage influences. The Period Revival style is evidenced by the gable roof, the dormers, and the distinct shape of the projecting gable roof on the front facade. The property contains a number of mature trees.</p> <p>Period Revivals were popular in Ontario from 1900 to present (Blumenson, 1990).</p>		<p>The residence is an example of Period Revival architecture that is important in maintaining and defining the character of the neighbourhood, which is generally defined by a compatible blend of late-nineteenth and early to mid-twentieth century detached, single family homes on large, heavily treed lots.</p> <p>It is recommended that the City of Brampton add 27 Rosedale Avenue West to the Municipal Register of Cultural Heritage Resources.</p>

Study Area	BHR or CHL	Resource Type	Location	Heritage Recognition	Description of Known or Potential CHVI	Photograph	
2A	BHR-299	Residential	29 Rosedale Avenue West	Identified during field review	<p>The residence on the property is an example of a Period Revival dwelling. The two-storey structure is clad in brick and features steeply pitched gable roof profiles, stone windowsills and jack arches. The property contains several mature trees.</p> <p>Period Revivals were popular in Ontario from 1900 to present (Blumenson, 1990).</p>		<p>The residence is a well-preserved and well-constructed example of Period Revival architecture that is important in maintaining and defining the character of the neighbourhood, which is generally defined by a compatible blend of late-nineteenth and early to mid-twentieth century detached, single family homes on large, heavily treed lots.</p> <p>It is recommended that the City of Brampton add 29 Rosedale Avenue West to the Municipal Register of Cultural Heritage Resources.</p>
2A	BHR-300	Residential	35 Rosedale Avenue West	Designated Part IV (by-law 108-2012)	<p>The Kodors House is generally well-preserved example of a one-and-a-half storey, side gabled bungalow exhibiting design influences of the American Arts and Crafts and Edwardian styles. In this instance, the Craftsman influences are seen in the overall massing of the house with its sloped low-pitched roofline, as well as the large front dormer window and full front open verandah. The house also exhibits Edwardian influence in the prominent rectangular stone lintels over most windows and rusticated stone foundation. Also of note is a whimsical and prominent garden feature in the form of a miniature castle with towers and stone walls. The house retains considerable original and early heritage fabric.</p> <p>A City of Brampton Heritage plaque is affixed to the façade, it reads: Craftsman Style, c. 1920. Heritage Designated.</p>	 	Not Applicable
2A	BHR-301	Residential	53 Rosedale Avenue West	Identified during field review	<p>The residence on the property is an expression of the Edwardian architectural style. The two-and-a-half storey red brick structure features a front-facing gable roof, the gable end is clad in horizontal siding. The main façade features a porch which is supported by brick columns with rusticated stone caps. The windows have rusticated stone sills and radiating brick voussiors topped with a simple brick molding. The property contains a number of mature trees.</p> <p>Edwardian style houses in Ontario generally date from 1900 to 1930 (Blumenson, 1990).</p>		<p>The residence is a well-preserved and well-constructed example of Edwardian architecture that is important in maintaining and defining the character of the neighbourhood, which is generally defined by a compatible blend of late-nineteenth and early to mid-twentieth century detached, single family homes on large, heavily treed lots.</p> <p>It is recommended that the City of Brampton add 37 Rosedale Avenue West to the Municipal Register of Cultural Heritage Resources.</p>

Study Area	BHR or CHL	Resource Type	Location	Heritage Recognition	Description of Known or Potential CHVI	Photograph	
2A	BHR-302	Residential	57 Rosedale Avenue West	Identified by the City of Brampton as a Property of Interest	<p>The residence on the property is a representative example of a one-and-a-half storey, side gabled bungalow exhibiting design influences of the American Arts and Crafts and Edwardian styles. In this instance, the Craftsman influences are seen in the overall massing of the house with its sloped low-pitched roofline, as well as the large front dormer (the window in the dormer appears to be modern) and the partially enclosed front porch. The house also exhibits Edwardian influence in the use of smooth brick and rusticated stone sills. The property contains a number of mature trees.</p> <p>Bungalows in Ontario generally date from 1900 to 1945 (Blumenson, 1990).</p>		<p>The residence is a well-preserved and well-constructed example of Edwardian architecture that is important in maintaining and defining the character of the neighbourhood, which is generally defined by a compatible blend of late-nineteenth and early to mid-twentieth century detached, single family homes on large, heavily treed lots.</p> <p>It is recommended that the City of Brampton add 53 Rosedale Avenue West to the Municipal Register of Cultural Heritage Resources.</p>
2A	BHR-303	Residential	59 Rosedale Avenue West	Identified during field review	<p>The residence on the property is an expression of the Edwardian architectural style. The two-and-a-half storey red brick structure features a front-facing gable roof, the gable end is clad in horizontal siding. The main façade features a porch which is supported by brick columns with rusticated stone caps. The windows have rusticated stone sills and radiating brick voussiors topped with a simple brick molding. The property contains a number of mature trees.</p> <p>Edwardian style houses in Ontario generally date from 1900 to 1930 (Blumenson, 1990).</p>		<p>The residence is a well-preserved and well-constructed example of Edwardian architecture that is important in maintaining and defining the character of the neighbourhood, which is generally defined by a compatible blend of late-nineteenth and early to mid-twentieth century detached, single family homes on large, heavily treed lots.</p> <p>It is recommended that the City of Brampton add 57 Rosedale Avenue West to the Municipal Register of Cultural Heritage Resources.</p>
2A	BHR-304	Residential	61 Rosedale Avenue West	Identified by the City of Brampton as a Property of Interest	<p>The residence on the property is a representative example of an Arts and Crafts bungalow. The house features characteristic elements of the style including its one-and-a-half storey massing, a front-facing gable and a large porch. The house is clad in a combination of brick and cedar shake shingles and is sited on a cut stone foundation. The property contains a number of mature trees.</p> <p>A City of Brampton Heritage plaque is affixed to the façade, it reads: Craftsman Style, c. 1910. Heritage Listed.</p>		<p>The residence is a well-preserved and well-constructed example of Arts and Crafts architecture that is important in maintaining and defining the character of the neighbourhood, which is generally defined by a compatible blend of late-nineteenth and early to mid-twentieth century detached, single family homes on large, heavily treed lots.</p>
2A	BHR-305	Residential	63 Rosedale Avenue West	Identified by the City of Brampton as a Property of Interest	<p>Constructed between 1942 and 1954, the residence on the property is a one-and-a-half storey Victory House that is stylistically reminiscent of a simplified Cape Cod Colonial. The house, clad in horizontal siding has a rectangular plan and a highly pitched gable roof. The house has an asymmetrical façade. The windows and doors on the structure appear to be modern replacements. The property contains a number of mature trees.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p>		<p>The property is not currently considered to contribute to its historic context but could acquire value in the future.</p> <p>The property is not currently recommended for listing on the Municipal Heritage Register.</p>

Study Area	BHR or CHL	Resource Type	Location	Heritage Recognition	Description of Known or Potential CHVI	Photograph	
2A	BHR-306	Residential	65 Rosedale Avenue West	Identified during field review	<p>Constructed between 1942 and 1954, the residence on the property is a one-and-a-half storey Victory House that is stylistically reminiscent of a simplified Cape Cod Colonial. The house, clad in horizontal siding has a rectangular plan and a highly pitched gable roof. The house has an asymmetrical façade. The windows and doors on the structure appear to be modern replacements. The property contains a number of mature trees.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p>		<p>The property is not currently considered to contribute to its historic context but could acquire value in the future.</p> <p>The property is not currently recommended for listing on the Municipal Heritage Register.</p>
2A	BHR-307	Residential	67 Rosedale Avenue West	Identified during field review	<p>Constructed between 1942 and 1954, the residence on the property is a one-and-a-half storey Victory House that is stylistically reminiscent of a simplified Cape Cod Colonial. The house, clad in horizontal siding has a rectangular plan and a highly pitched gable roof. The house has an asymmetrical façade with a projecting window bay. The windows and doors on the structure appear to be modern replacements. The property contains a number of mature trees.</p> <p>The residence was constructed in the post-war boom. It is directly related to of the development of the area as it transitioned from rural properties and farm complexes to an urban landscape.</p>		<p>The property is not currently considered to contribute to its historic context but could acquire value in the future.</p> <p>The property is not currently recommended for listing on the Municipal Heritage Register.</p>
2A	CHL-9	Historical Streetscape	Bounded to the north by Rosedale Avenue West, Main Street North to the east, Market Street to the south and the former Grand Trunk Railway to the west	Identified during field review	<p>The lands within CHL-9 consist of a well established neighbourhood, the dwellings within this area date to the mid-to late nineteenth and early twentieth century. The properties within this area remain in residential use.</p> <p>The area features a mix of architectural styles, including excellent examples of Italianate, Edwardian, Ontario Cottages, Period Revival and vernacular architecture. The structures within CHL-9 were built using a similar forms and material pallet, but each with slight variations.</p> <p>The residences are sites on parcels of various sizes and shapes, and have a varied setback; the landscape is generally flat. Properties are generally landscaped, with a combination of formal landscaping and maintenance of natural/mature vegetation. This creates a visually interesting and aesthetically pleasing streetscape that is dominated by mature trees and varied architectural styles.</p> <p>There are a total of 10 listed and two designated properties within Study Area 2A, as well as 46 properties of interest, identified by the City of Brampton.</p> <p>The residences with CHL-9 retain considerable aesthetic and contextual value. The landscape and built forms found within CHL-9 have remained largely unchanged from the late-nineteenth century.</p>	 	<p>As noted in Section 6.2.1, properties within the identified CHLs should be immediately listed on the City of Brampton's Municipal Heritage Register.</p> <p>The Downtown Brampton Secondary Plan should be updated to incorporate policies that ensure the long-term viability and presence of significant built heritage resources and cultural heritage landscapes, including the significant heritage character areas.</p> <p>Consider CHL-9 as a candidate for study for designation or recognition as a Cultural Heritage Conservation District, under Part V of the OHA, or through Official Plan amendment.</p>

Table 7-3: Identified Built Heritage Resources and Cultural Heritage Landscapes with Known or Potential Cultural Heritage Value or Interest within Study Area 2B

Study Area	BHR or CHL	Resource Type	Location	Heritage Recognition	Description of Known or Potential CHVI	Photograph	Recommendation for listing
2B	BHR-308	Residential	35 Elizabeth Street North	Listed on the City of Brampton's Municipal Heritage Register	<p>The residence on the property is an expression of the vernacular Italianate architectural style. The two-storey brick building (now painted off-white) structure has a rectangular plan. The house has a hip roof and a two-bay facade. The residence features characteristic elements of the Italianate style including pairs of round-headed windows with rounded voussoirs, a heavily bracketed bay window with elaborate wood carvings a metal bellcast roof. The roof has a large overhang, with darts just below the cornice. The main entrance is covered a portico that is decorated with dentils, coffered panels on the soffit and a decorated tympanum. The property contains a number of mature trees.</p> <p>Italianate style houses in Ontario generally date from 1850 to 1900 (Blumenson, 1990).</p>		The house on the subject property is a representative and notable expression of the vernacular Italianate style. The property is identified as a candidate for designation under the OHA; it is recommended that a 9/06 Evaluation be completed.
2B	BHR-309	Residential	37 Elizabeth Street North	Identified during field review	<p>The structure is a single storey, three-bay Regency-style cottage clad in horizontal siding. The symmetrical façade features a central entrance flanked by two window openings. The entrance is covered by a porch supported by square half columns. The building has a square plan and is sited on a stone foundation. An interior chimney is present on the north façade. The property contains a number of mature trees.</p> <p>Regency style cottages in Ontario generally date from 1830 to 1860 (Blumenson, 1990).</p>		<p>The residence is a well-constructed and well-preserved example of Regency architecture that is important in maintaining and defining the character of the neighbourhood, which is generally defined by a compatible blend of late-nineteenth and early to century detached, single family homes.</p> <p>It is recommended that the City of Brampton add 55 Elizabeth Street North to the Municipal Register of Cultural Heritage Resources.</p>
2B	BHR-310	Residential	39 Elizabeth Street North	Identified during field review	<p>The two-storey vernacular residence, built to a rectangular plan with an end gable roof, features a symmetrical two-bay façade with a pair of three-sided projecting bays with hip roofs. The projecting bays have ornate double-bracketed cornices and spindle ornamentation between the arched windows. A brick interior chimney is present on the north façade. The property contains a number of mature trees.</p> <p>The exterior is clad in modern horizontal siding and all of the windows and doors appear to be modern replacements. The foundation is of an unknown material; it is parged in concrete. The property contains a number of mature trees.</p>		<p>The residence is an example of vernacular architecture that is important in maintaining and defining the character of the neighbourhood, which is generally defined by a compatible blend of late-nineteenth and early to century detached, single family homes.</p> <p>It is recommended that the City of Brampton add 39 Elizabeth Street North to the Municipal Register of Cultural Heritage Resources.</p>
2B	BHR-311	Residential	43 Elizabeth Street North	Listed on the City of Brampton's Municipal Heritage Register	<p>The two-storey vernacular residence, built to a square plan with a hip roof, features a symmetrical two-bay façade with a pair of two-storey, three-sided projecting bays with hip roofs. The projecting bays have ornate double-bracketed cornices and spindle ornamentation between the arched windows. The main entrance is covered with a much-altered front-facing portico with dentils and a decorated tympanum. The property contains a number of mature trees.</p> <p>The exterior is clad in modern horizontal siding and all but one of the windows and doors appear to be modern replacements. The foundation is of an unknown material; it is parged in concrete. The property contains a number of mature trees.</p>		The house on the subject property is a representative example of the vernacular style. The property is identified as a candidate for designation under the OHA; it is recommended that a 9/06 Evaluation be completed.

2B	BHR-312	Residential	47 Elizabeth Street North	Listed on the City of Brampton's Municipal Heritage Register	<p>This two-and-a-half storey house in a vernacular style which incorporates elements of the Suburban Villa or Farmhouse and Queen Anne styles. The house is clad in brick and has a rectangular plan with a cross-gabled roof and a front-facing gable with a bay window. The bay window and roofline over the main entrance have brackets just below the cornice. The house also features multiple rooflines, brackets and other wood details, bay window, and an asymmetrical façade. The property contains a number of mature trees.</p>		The house on the subject property is a representative and notable example of a vernacular style, incorporating elements of the Suburban Villa or Farmhouse and Queen Anne styles. The property is identified as a candidate for designation under the OHA; it is recommended that a 9/06 Evaluation be completed.
2B	BHR-313	Residential	51 Elizabeth Street North	Listed on the City of Brampton's Municipal Heritage Register	<p>The Beatty/Flemming House is a two-storey red brick structure with a hip roof, built to a square plan. The house, which is a vernacular expression of the Neo-Classical and Italianate styles, has a symmetrical three-bay façade with a centrally placed enclosed porch with a flat roof and a series of six-over-one wood sash windows.</p> <p>Decorative elements include cast stone quoins, windowsills, lintels with projecting keystone and dentils under the soffit. A sympathetic addition is present on the north facade with a flat roof, buff brick quoins, and segmentally arched hood molding. The property contains a number of mature trees.</p> <p>Italianate style houses in Ontario generally date from 1850 to 1900 (Blumenson, 1990).</p>		The house on the subject property is a representative and notable expression of the Italianate style. The property is identified as a candidate for designation under the OHA; it is recommended that a 9/06 Evaluation be completed.
2B	BHR-314	Residential	55 Elizabeth Street North	Identified during field review	<p>The residence on the property is a vernacular two-storey frame structure clad in brick with a rectangular plan and a shed roof rear addition. The house has a front-facing gable with a two-bay façade. The entrance is covered with a portico supported by pairs of square columns, the portico roof has return eaves and dentils under the soffit. The porch extends west along the south facade of the building and has a semi-circular roof. The house has one interior chimney in the rear gable end.</p>		<p>The residence is a well-constructed and well-preserved example of vernacular architecture that is important in maintaining and defining the character of the neighbourhood, which is generally defined by a compatible blend of late-nineteenth and early to century detached, single family homes.</p> <p>It is recommended that the City of Brampton add 55 Elizabeth Street North to the Municipal Register of Cultural Heritage Resources.</p>
2B	BHR-315	Residential	59 Elizabeth Street North	Listed on the City of Brampton's Municipal Heritage Register	<p>The Former Arlington Hotel is a two-storey frame building clad in brick (laid in the stretcher bond), it is a vernacular expression of the Neo-Classical style. The house, built to a square plan has a hip roof and a symmetrical three-bay façade with centrally placed entrance. It is sited on a parged foundation of an unknown material. The windows on main facade feature a simple brick hood molding. The property contains several mature trees.</p> <p>A two-storey addition is located on rear façade, it has a flat roof and a series of one-over-one sash windows. All of the windows and doors appear to be modern replacements.</p>		The former hotel on the subject property is a representative and notable example of the vernacular Neo-Classical style. The property is identified as a candidate for designation under the OHA; it is recommended that a 9/06 Evaluation be completed.

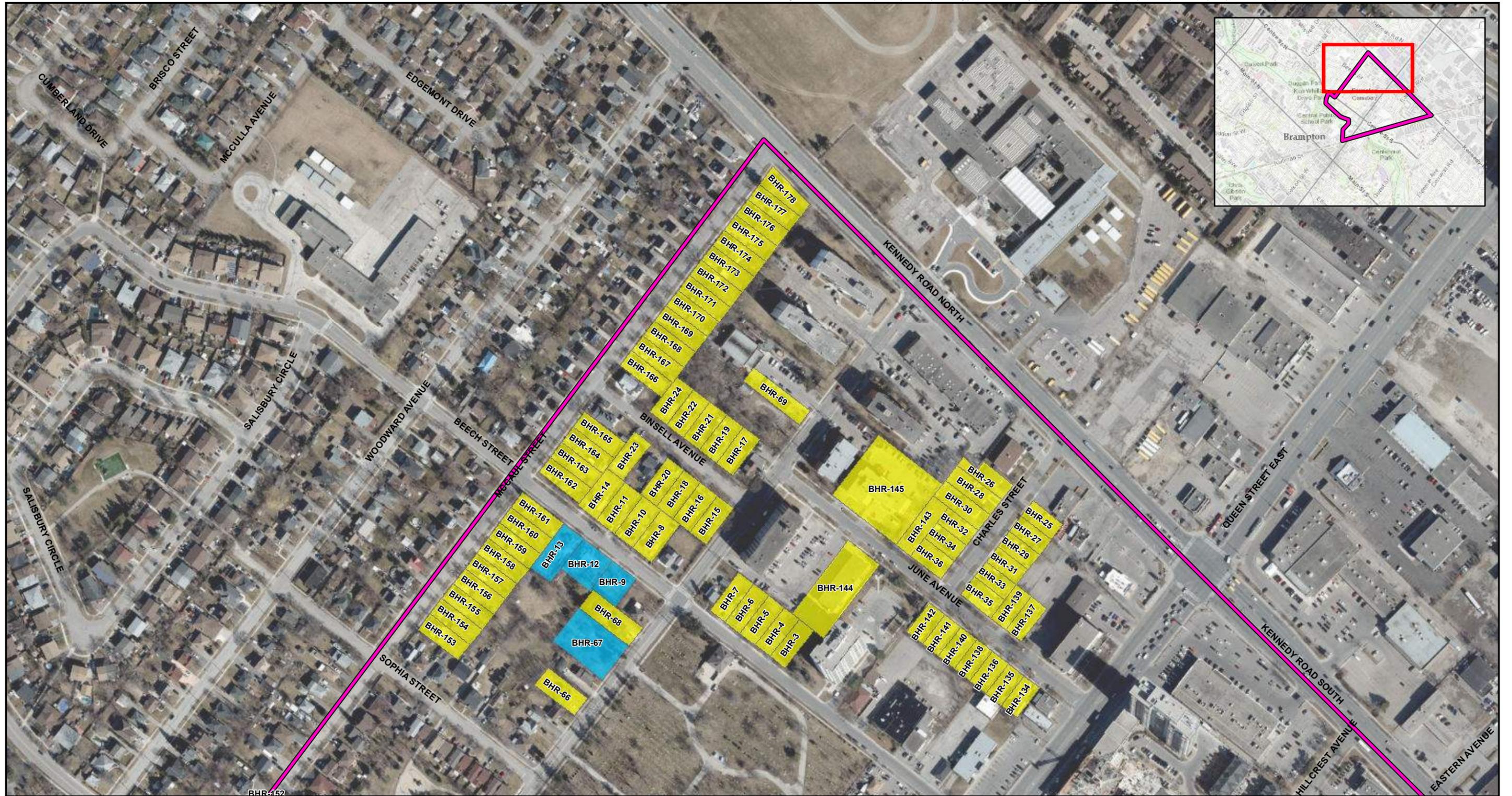
2B	BHR-316	Residential	40 Mill Street North	Listed on the City of Brampton's Municipal Heritage Register	<p>Hewetson-Prairie Style House was designed by architect F.R. Berry and constructed c. 1910. The two-and-a-half storey house features characteristic elements of the Prairie Style including overhanging eaves, sweeping horizontal features and lack of ornamentation. The property contains several mature trees.</p> <p>A City of Brampton Heritage plaque is affixed to the façade, it reads: Prairie Style, c. 1910, Heritage Listed.</p>		The house on the subject property is a rare and notable expression of the Italianate style. The property is identified as a candidate for designation under the OHA; it is recommended that a 9/06 Evaluation be completed.
2B	BHR-317	Residential	44 Mill Street North	Designated Part IV (By-Law 231-2015)	<p>The residential building was constructed c. 1875 and is associated with the family of George Graham, a prominent family in the area, as well as Anne Stirk, sister of a prominent veterinarian (City of Brampton 2014).</p> <p>The house is a two-storey brick structure with a stone foundation and a rectangular plan. The house has a truncated hip roof with cross gables and two brick chimneys. The house has Tudor elements such as half-timbering, vergeboard and large corner brackets. The property contains a number of mature trees.</p>		Not applicable
2B	BHR-318	Residential	48 Mill Street North	Identified by the City of Brampton as a Property of Interest	<p>The residence on the property is a highly altered, one-storey Ontario Cottage. The wood-frame building has a hip roof with central gable peak and symmetrically placed rectangular window openings on either side of the entrance. The building is clad in modern horizontal siding and the window openings on the main façade appear to have been altered. The windows and doors are modern replacements. The property contains a number of mature trees.</p> <p>Located on the east side of Mill Street North, with industrial buildings to the north and west and a residential neighbourhood to the south and east.</p>		<p>The residence is an example of an Ontario Cottage architecture that is important in maintaining and defining the character of the neighbourhood, which is generally defined by a compatible blend of late-nineteenth and early to century detached, single family homes.</p> <p>It is recommended that the City of Brampton add 48 Mill Street North to the Municipal Register of Cultural Heritage Resources.</p>
2B	BHR-319	Residential	50 Mill Street North	Identified by the City of Brampton as a Property of Interest	<p>The residence on the property is a one-and-a-half storey vernacular building, clad in brick-veneer. The house has a wide central-gable roof on the front façade and a shed-roofed dormer on the north façade. A one-storey enclosed wooden porch spans the front elevation.</p> <p>The windows on the main floor of the north and south façades appear to be two-over-two double-hung sash windows. They feature windowsills of an unknown material and radiating brick voussoirs, topped with a simple brick molding. The house is built on a stone foundation and has an interior brick chimney on the south façade.</p>		<p>The residence is a well-constructed and well-preserved example of vernacular architecture that is important in maintaining and defining the character of the neighbourhood, which is generally defined by a compatible blend of late-nineteenth and early to century detached, single family homes.</p> <p>It is recommended that the City of Brampton add 50 Mill Street North to the Municipal Register of Cultural Heritage Resources.</p>

2B	BHR-320	Residential	52 Mill Street North	Identified by the City of Brampton as a Property of Interest	<p>The residence on the property is an expression of the Edwardian architectural style. The two- storey structure features a hipped roof and a front dormer; it is clad in red brick. The residence has a two-bay asymmetrical main façade. A porch with a pedimented gable spans the facade, the porch is supported by modern wood posts on brick piers. The windows and doors on the residence appear to be modern; the openings have rusticated stone sills and lintels. The building is constructed on a rusticated stone block foundation.</p> <p>Edwardian style houses in Ontario generally date from 1900 to 1930 (Blumenson, 1990).</p>		<p>The residence is a well-constructed and well-preserved example of Edwardian architecture that is important in maintaining and defining the character of the neighbourhood, which is generally defined by a compatible blend of late-nineteenth and early to century detached, single family homes.</p> <p>It is recommended that the City of Brampton add 52 Mill Street North to the Municipal Register of Cultural Heritage Resources.</p>
2B	BHR-321	Residential	34 Nelson Street West	Identified during field review	<p>The two-storey vernacular orange brick residence features an irregular plan with an intersecting cross-gable roof. Th south façade features a projecting bay with two symmetrically placed windows and scallop shingles in the gable end. The rectangular windows have robust rusticated stone sills and lintels. All of the windows and doors appear to be modern and a large one-storey additions projects from the west elevation.</p>		<p>The residence is a well-constructed and well-preserved example of vernacular architecture that is important in maintaining and defining the character of the neighbourhood, which is generally defined by a compatible blend of late-nineteenth and early to century detached, single family homes.</p> <p>It is recommended that the City of Brampton add 34 Nelson Street West to the Municipal Register of Cultural Heritage Resources.</p>
2B	BHR-322	Residential	38 Nelson Street West	Identified during field review	<p>The residence on the property is a vernacular expression of the Edwardian Four Square style. The two- storey structure features a hip roof, front dormer and smooth red brick cladding. The first storey of the building is clad in modern horizontal siding and the front porch has been removed. The windows and doors appear to be modern replacements; however, rusticated stone lintels and sills are extant on the upper storey windows. The property contains a number of mature trees.</p> <p>Edwardian style houses in Ontario generally date from 1900 to 1930 (Blumenson, 1990).</p>		<p>The residence is an example of Edwardian architecture that is important in maintaining and defining the character of the neighbourhood, which is generally defined by a compatible blend of late-nineteenth and early to century detached, single family homes.</p> <p>It is recommended that the City of Brampton add 38 Nelson Street West to the Municipal Register of Cultural Heritage Resources.</p>
2B	BHR-323	Residential	40 Nelson Street West	Identified during field review	<p>The residence on the property is an expression of the Edwardian architectural style. The two- red brick structure features a hipped roof, front dormer with scalloped shingles. The main façade features a porch with a pedimented gable, the porch is supported by half columns in the Tuscan Order on brick piers. While the windows and doors appear to be modern replacements, the openings have not been altered and cast stone lintels and windowsills are extant. The property contains a number of mature trees.</p> <p>Edwardian style houses in Ontario generally date from 1900 to 1930 (Blumenson, 1990).</p>		<p>The residence is a well-constructed and well-preserved example of Edwardian architecture that is important in maintaining and defining the character of the neighbourhood, which is generally defined by a compatible blend of late-nineteenth and early to century detached, single family homes.</p> <p>It is recommended that the City of Brampton add 40 Nelson Street West to the Municipal Register of Cultural Heritage Resources.</p>

2B	BHR-324	Residential	44 Nelson Street West	Listed on the City of Brampton's Municipal Heritage Register	Built c. 1857, the residence on the property is an excellent example of the Italianate style. The house is built to a rectangular plan and has a three-bay symmetrical facade. The facade has a frontispiece with a porch, the roof of which is supported by two chamfered posts; the porch features intricate wood details. Other notable elements of this house include buff brick quoins, a circular window in the frontispiece, brick voussoirs with cast stone keystones, paired brackets under the cornice, a decorative wooden frieze and bay windows. The property contains a number of mature trees.		The house on the subject property is a representative and notable expression of the Italianate style. The property is identified as a candidate for designation under the OHA; it is recommended that a 9/06 Evaluation be completed.
2B	BHR-325	Residential	17 Railroad Street	Identified during field review	The residence on the property is a one-and-a-half vernacular building with Edwardian influences. The structure is clad in smooth red brick and has front facing gable with an asymmetrical facade; it has a rectangular plan. The windows are segmentally arched with cast stone sills and radiating brick voussoirs. A front porch spans the facade, it has a bellcast roof and is supported by brick columns with cast stone caps. The property contains a number of mature trees. Edwardian style houses in Ontario generally date from 1900 to 1930 (Blumenson, 1990).		The residence is an example of Edwardian architecture that is important in maintaining and defining the character of the neighbourhood, which is generally defined by a compatible blend of late-nineteenth and early to century detached, single family homes. It is recommended that the City of Brampton add 17 Railroad Street to the Municipal Register of Cultural Heritage Resources.
2B	BHR-326	Residential	19 Railroad Street	Identified during field review	The residence on the property is an expression of the Edwardian architectural style. The two- storey structure, clad in red brick, features a hipped roof, front dormer and rusticated stone sills and lintels. The main facade features a porch with a pedimented roof. Much of the original material from the front porch has been removed and replaced with modern framing material. The property contains a number of mature trees. Edwardian style houses in Ontario generally date from 1900 to 1930 (Blumenson, 1990).		The residence is an example of Edwardian architecture that is important in maintaining and defining the character of the neighbourhood, which is generally defined by a compatible blend of late-nineteenth and early to century detached, single family homes. It is recommended that the City of Brampton add 19 Railroad Street to the Municipal Register of Cultural Heritage Resources.
2B	BHR-327	Residential	31 Railroad Street	Listed on the City of Brampton's Municipal Heritage Register	A one-storey Ontario cottage with hip roof with cross gable, gothic-arched sash window and decorative bargeboard. The main facade is symmetrical with three bays. Although the windows and doors have been replaced with modern sash, a transom is visible above the main entrance. The main entrance is covered by a portico which is supported by four columns in the Tuscan Order that rest on wooden piers. The property contains a number of mature trees. Gothic Revival style houses in Ontario generally date from 1830 to 1900 (Blumenson, 1990).		The house on the subject property is a representative and notable example of an Ontario Cottage. The property is identified as a candidate for designation under the OHA; it is recommended that a 9/06 Evaluation be completed.

2B	BHR-328	Commercial (former residential)	35 Railroad Street	Identified during field review	<p>The residence on the property is a one-storey regency style house with a hip roof and square plan. The main façade is symmetrical with three-bays, the main entrance features a transom light. The building is clad in modern board and batten; however, sections of original brick are visible under cladding. The windows and doors appear to be modern replacements.</p> <p>Regency style cottages in Ontario generally date from 1830 to 1860 (Blumenson, 1990).</p>		<p>The residence is a well-constructed and well-preserved example of Regency architecture that is important in maintaining and defining the character of the neighbourhood, which is generally defined by a compatible blend of late-nineteenth and early to century detached, single family homes.</p> <p>It is recommended that the City of Brampton add 35 Railroad Street to the Municipal Register of Cultural Heritage Resources.</p>
2B	BHR-329	Residential	23 Railroad Street	Identified during field review	<p>The residence on the property is a one-storey house with a side gable roof and a rectangular plan. The façade is asymmetrical with an enclosed porch spanning the front of the house. The dwelling is clad in horizontal siding; the windows and doors on the structure appear to be modern replacements.</p>		<p>The property has been heavily modified to the point that its heritage value may have been lost. Cultural heritage value may be identified through further research or detailed field investigation.</p> <p>The property is not currently recommended for listing on the Municipal Heritage Register.</p>
2B	CHL-10	Historical Streetscapes	Railroad Street to the north, Elizabeth Street North to the east, Nelson Street West to the south and Mill Street North to the west.	Identified during field review	<p>The lands within CHL-10 consist of a well established neighbourhood, the dwellings within this area date to the mid-to late nineteenth and early twentieth century. The properties within this area remain in residential use, with one property, 35 Railroad Street, converted to commercial. Only one house (27 Railroad Street) within the CHL as been demolished, and no modern infill is present. The lands within the CHL are associated with Brampton's settlement following its incorporation as a village in 1853 and the economic development that occurred after arrival of the GTR in 1856.</p> <p>With the exception of a demolished house at 27 Railroad Street, and 40 Mill Street North, all of the resources identified in Study Area 2B are present on the 1894, Revised 1911, Goad's Fire Insurance of Brampton (Figure 5, Appendix A). The 1921, Revised 1924, Goad's Fire Insurance Plan of Brampton (Figure 9, Appendix A) illustrates the construction of the Hewetson-Prairie Style House at 40 Mill Street North.</p> <p>The area features a mix of architectural styles, including excellent examples of Italianate, Prairie, Edwardian and vernacular architecture. The structures within CHL-10 were built using a similar forms and material pallet, but each with slight variations.</p> <p>The residences are sites on parcels of various sizes and shapes, and have a varied setback; the landscape is generally flat. Properties are generally landscaped, with a combination of formal landscaping and maintenance of natural/mature vegetation. This creates a visually interesting and aesthetically pleasing streetscape that is dominated by mature trees and varied architectural styles.</p> <p>There are a total of eight listed and one designated properties within Study Area 2B, as well as three properties of interest, identified by the City of Brampton.</p> <p>The residences with CHL-10 retain considerable aesthetic and contextual value. The landscape and built forms found within CHL-10 have remained largely unchanged from the late-nineteenth century.</p>	 <p>View of CHL-10 along Elizabeth Street</p>  <p>View of CHL-10 along Elizabeth Street</p>	<p>As noted in Section 6.3.1, properties within the identified CHLs should be immediately listed on the City of Brampton's Municipal Heritage Register.</p> <p>The Downtown Brampton Secondary Plan should be updated to incorporate policies that ensure the long-term viability and presence of significant built heritage resources and cultural heritage landscapes, including the significant heritage character areas.</p> <p>Consider CHL-10 as a candidate for study for designation or recognition as a Cultural Heritage Conservation District, under Part V of the OHA, or through Official Plan amendment.</p>

Appendix C: Cultural Heritage Resource Mapping

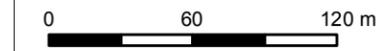


LEGEND

- Study Area 1
- Identified during field review
- Listed Heritage Property

TITLE:
FIGURE 17: MAP OF BUILT HERITAGE RESOURCES - STUDY AREA 1

PROJECT:
CULTURAL HERITAGE ASSESSMENT REPORT: MAJOR TRANSIT STATION AREAS



SCALE:
1:3,000

PROJECT NO:
221-02456-00

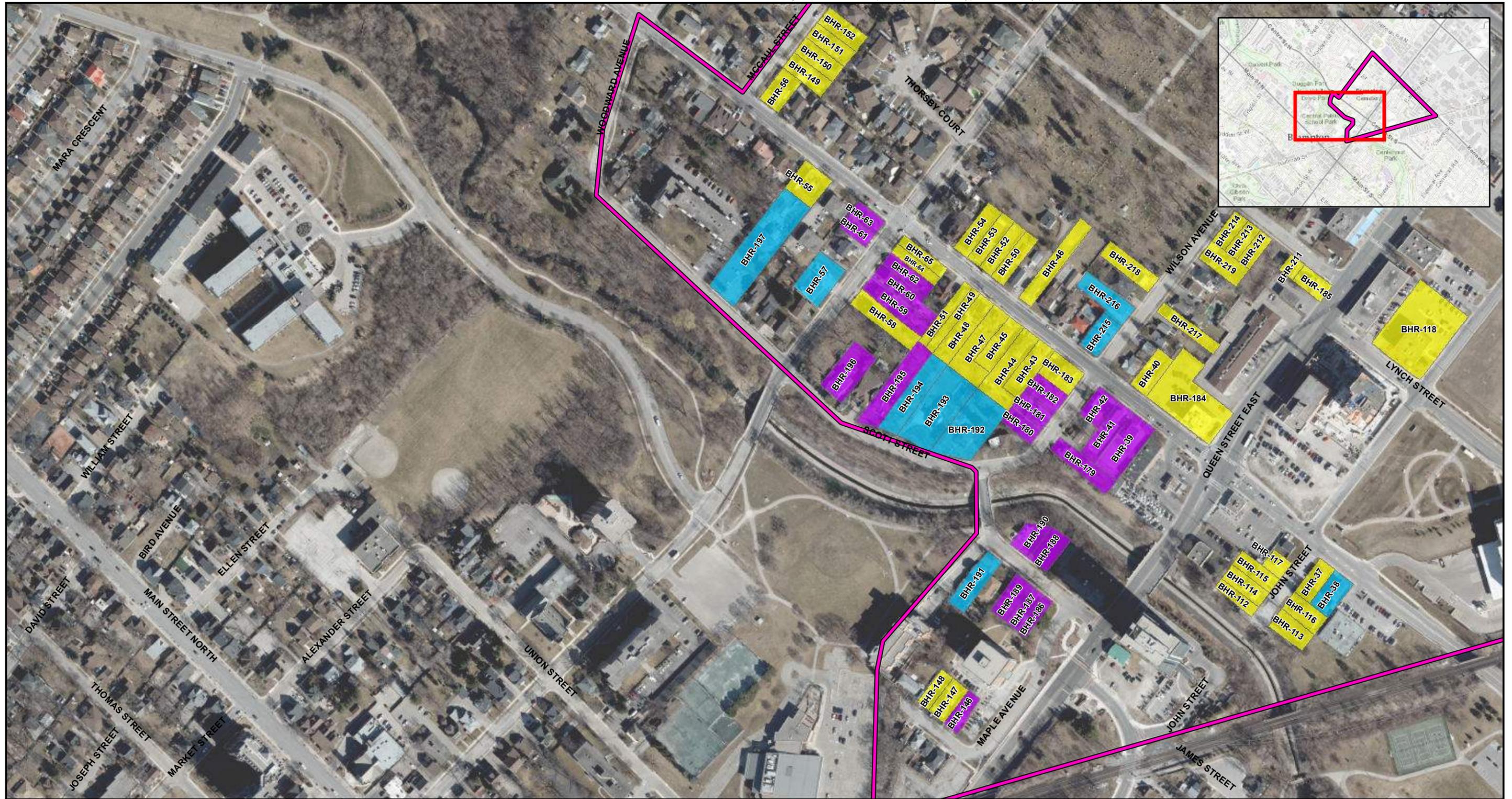
DATE:
APRIL 2022

DRAWN BY:
TP

CLIENT:
CITY OF BRAMPTON

CREDITS:





LEGEND

- Study Area 1
- City of Brampton Property of Interest
- Identified during field review
- Listed Heritage Property



TITLE:
FIGURE 18: MAP OF BUILT HERITAGE RESOURCES - STUDY AREA 1

PROJECT:
 CULTURAL HERITAGE ASSESSMENT REPORT: MAJOR TRANSIT STATION AREAS

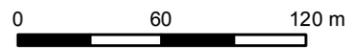
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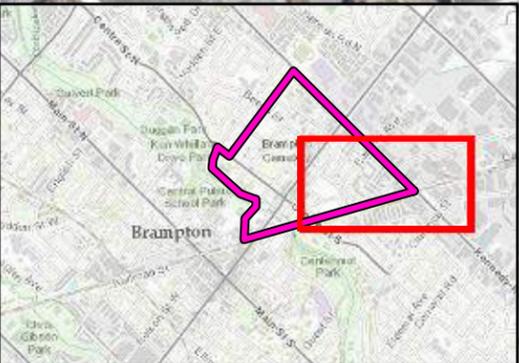
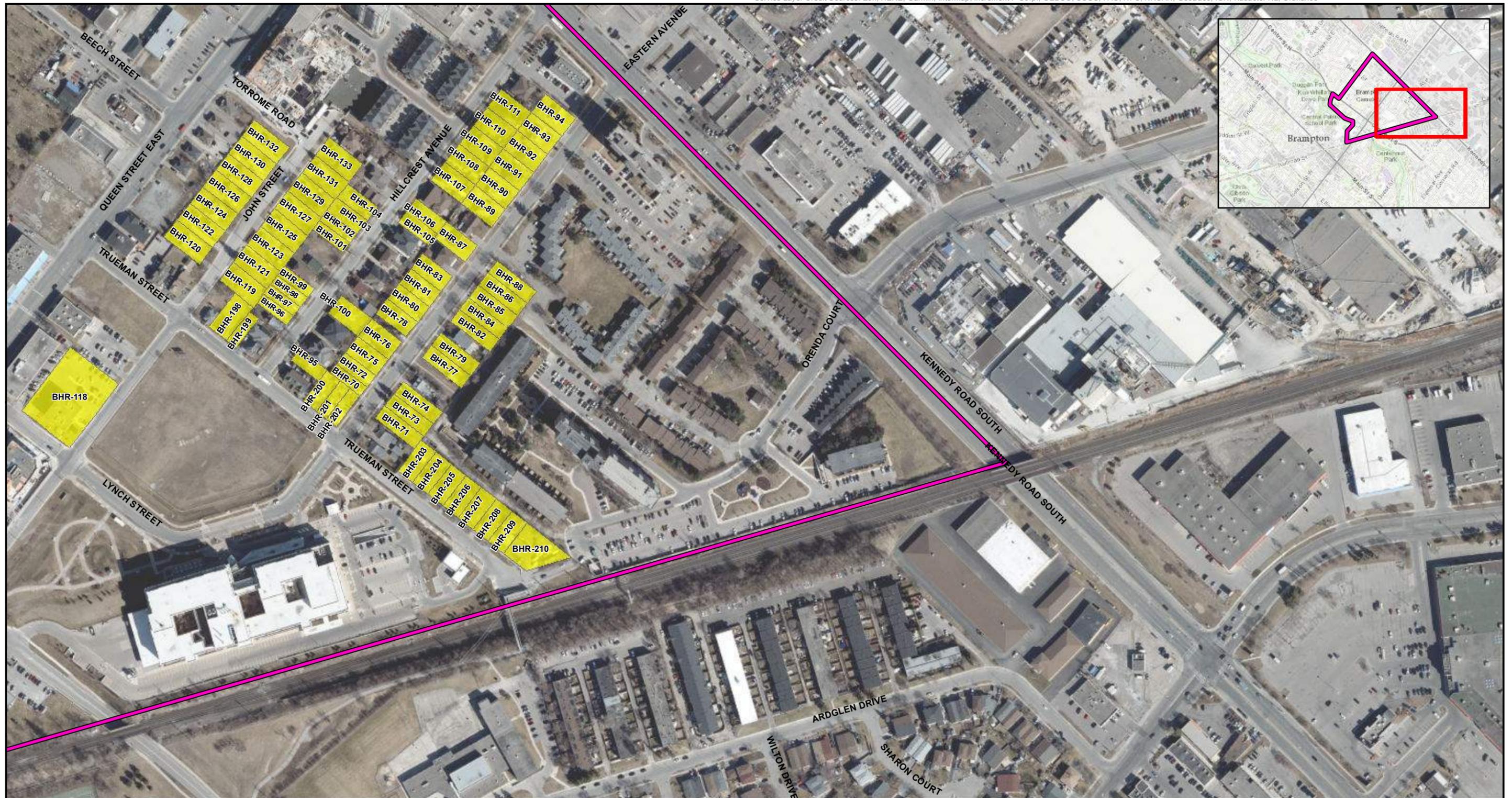
PROJECT NO:
 221-02456-00

DATE:
 APRIL 2022

DRAWN BY:
 TP

CLIENT:
 CITY OF BRAMPTON



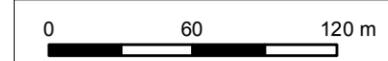


LEGEND

- Study Area 1
- Identified during field review

TITLE:
FIGURE 19: MAP OF BUILT HERITAGE RESOURCES - STUDY AREA 1

PROJECT:
CULTURAL HERITAGE ASSESSMENT REPORT: MAJOR TRANSIT STATION AREAS



SCALE:
1:3,000

PROJECT NO:
221-02456-00

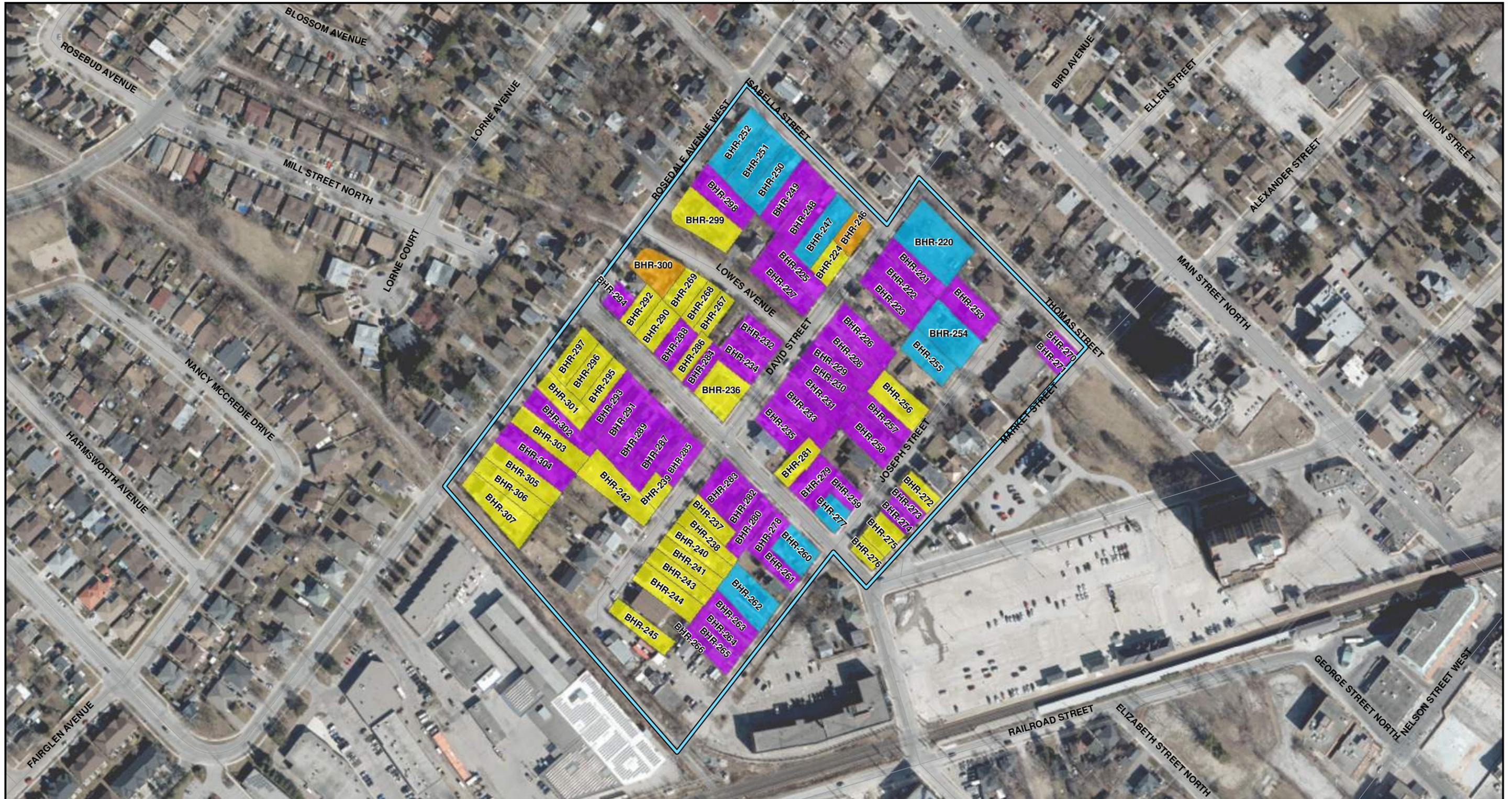
DATE:
APRIL 2022

DRAWN BY:
TP

CLIENT:
CITY OF BRAMPTON

CREDITS:





LEGEND

- Study Area 2A
- City of Brampton Property of Interest
- Designated (Part IV)
- Identified during field review
- Listed Heritage Property



TITLE:
FIGURE 20: MAP OF BUILT HERITAGE RESOURCES - STUDY AREA 2A

PROJECT:
CULTURAL HERITAGE ASSESSMENT REPORT: MAJOR TRANSIT STATION AREAS

SCALE: 1:2,500
PROJECT NO: 221-02456-00
DATE: APRIL 2022

DRAWN BY: TP
CLIENT: CITY OF BRAMPTON

CREDITS:

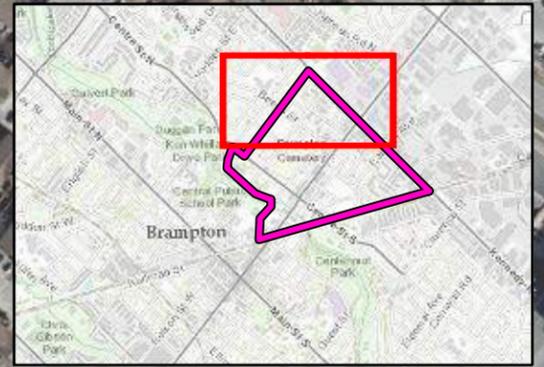
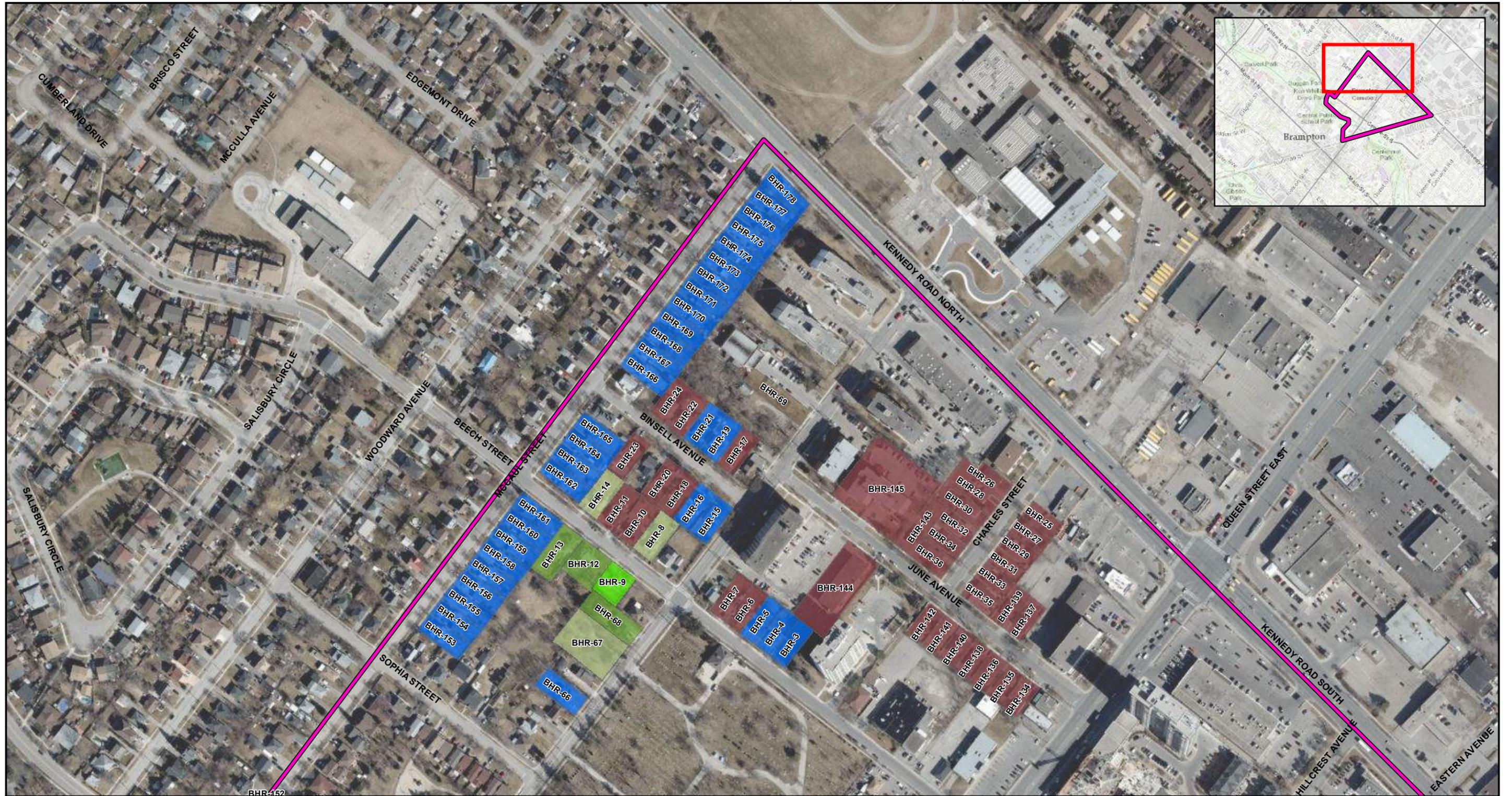




LEGEND

- Study Area 2B
- City of Brampton Property of Interest
- Designated (Part IV)
- Identified during field review
- Listed Heritage Property

<p>TITLE: FIGURE 21: MAP OF BUILT HERITAGE RESOURCES - STUDY AREA 2B</p> <p>PROJECT: CULTURAL HERITAGE ASSESSMENT REPORT: MAJOR TRANSIT STATION AREAS</p>	<p>SCALE: 1:1,250</p> <p>DRAWN BY: TP</p>	<p>PROJECT NO: 221-02456-00</p> <p>CLIENT: CITY OF BRAMPTON</p> <p>DATE: JULY 2022</p>
<p>0 25 50 m</p>		<p>N</p>
<p>CREDITS:</p>		

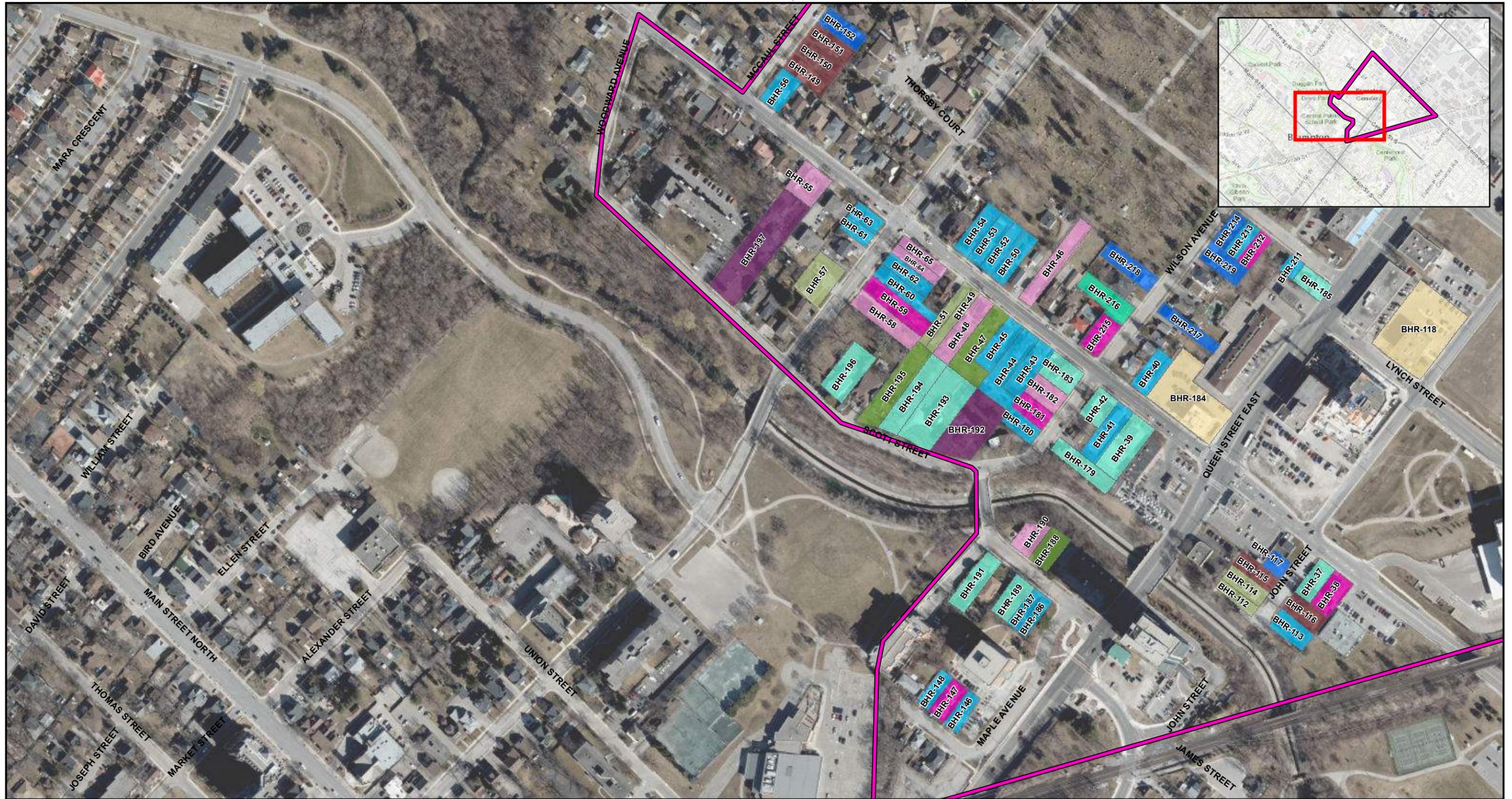


LEGEND

Study Area 1 Architectural Style	Suburban
Arts and Crafts	Vernacular
Mid-Century Modern	Victory House
Prairie	

TITLE:	FIGURE 22: MAP OF MAP OF ARCHITECTURAL STYLES - STUDY AREA 1	
PROJECT:	CULTURAL HERITAGE ASSESSMENT REPORT: MAJOR TRANSIT STATION AREAS	
SCALE:	1:3,000	DATE: APRIL 2022
DRAWN BY:	TP	CLIENT: CITY OF BRAMPTON
CREDITS:		



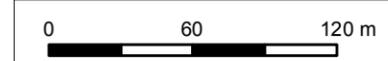


LEGEND

- Study Area 1 Architectural Style
- Arts and Crafts
- Edwardian
- Gothic Revival
- International
- Italianate
- Ontario Gothic Cottage
- Period Revival
- Regency Cottage
- Suburban
- Vernacular
- Victory House

TITLE:
FIGURE 23: MAP OF MAP OF ARCHITECTURAL STYLES - STUDY AREA 1

PROJECT:
CULTURAL HERITAGE ASSESSMENT REPORT: MAJOR TRANSIT STATION AREAS

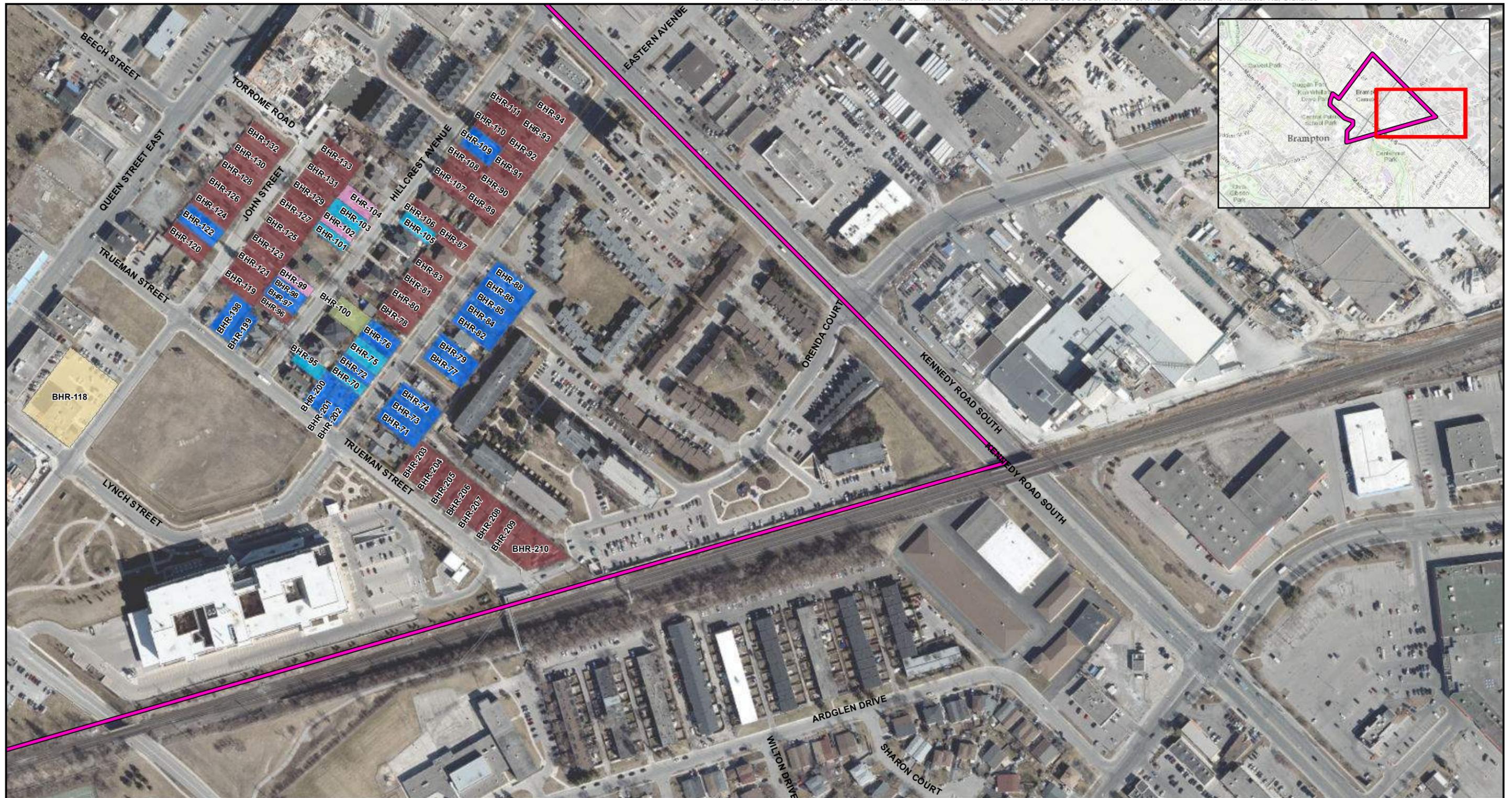


SCALE: 1:3,000
PROJECT NO: 221-02456-00
DATE: APRIL 2022

DRAWN BY: TP
CLIENT: CITY OF BRAMPTON

CREDITS:



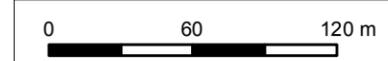


LEGEND

- Study Area 1 Architectural Style
- Suburban
- Edwardian
- Vernacular
- International
- Victory House
- Period Revival

TITLE:
FIGURE 24: MAP OF MAP OF ARCHITECTURAL STYLES - STUDY AREA 1

PROJECT:
CULTURAL HERITAGE ASSESSMENT REPORT: MAJOR TRANSIT STATION AREAS



SCALE: 1:3,000
PROJECT NO: 221-02456-00
DATE: APRIL 2022

DRAWN BY: TP
CLIENT: CITY OF BRAMPTON

CREDITS:





LEGEND

- Study Area 2A
- Gothic Revival
- Regency Cottage
- Italianate
- Suburban
- Arts and Crafts
- Ontario Cottage
- Vernacular
- Edwardian
- Ontario Gothic Cottage
- Victory House
- Georgian
- Period Revival



TITLE:
FIGURE 25: MAP OF MAP OF ARCHITECTURAL STYLES - STUDY AREA 2A

PROJECT:
CULTURAL HERITAGE ASSESSMENT REPORT: MAJOR TRANSIT STATION AREAS

SCALE:
1:2,500

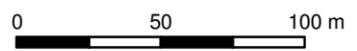
PROJECT NO:
221-02456-00

DATE:
APRIL 2022

DRAWN BY:
TP

CLIENT:
CITY OF BRAMPTON

CREDITS:





LEGEND

- Study Area 2B
- Ontario Gothic Cottage
- Prairie
- Edwardian
- Regency Cottage
- Italianate
- Vernacular
- Neo-Classical

TITLE:

FIGURE 26: MAP OF ARCHITECTURAL STYLES - STUDY AREA 2B

PROJECT:

CULTURAL HERITAGE ASSESSMENT REPORT: MAJOR TRANSIT STATION AREAS

SCALE:
1:1,250

PROJECT NO:
221-02456-00

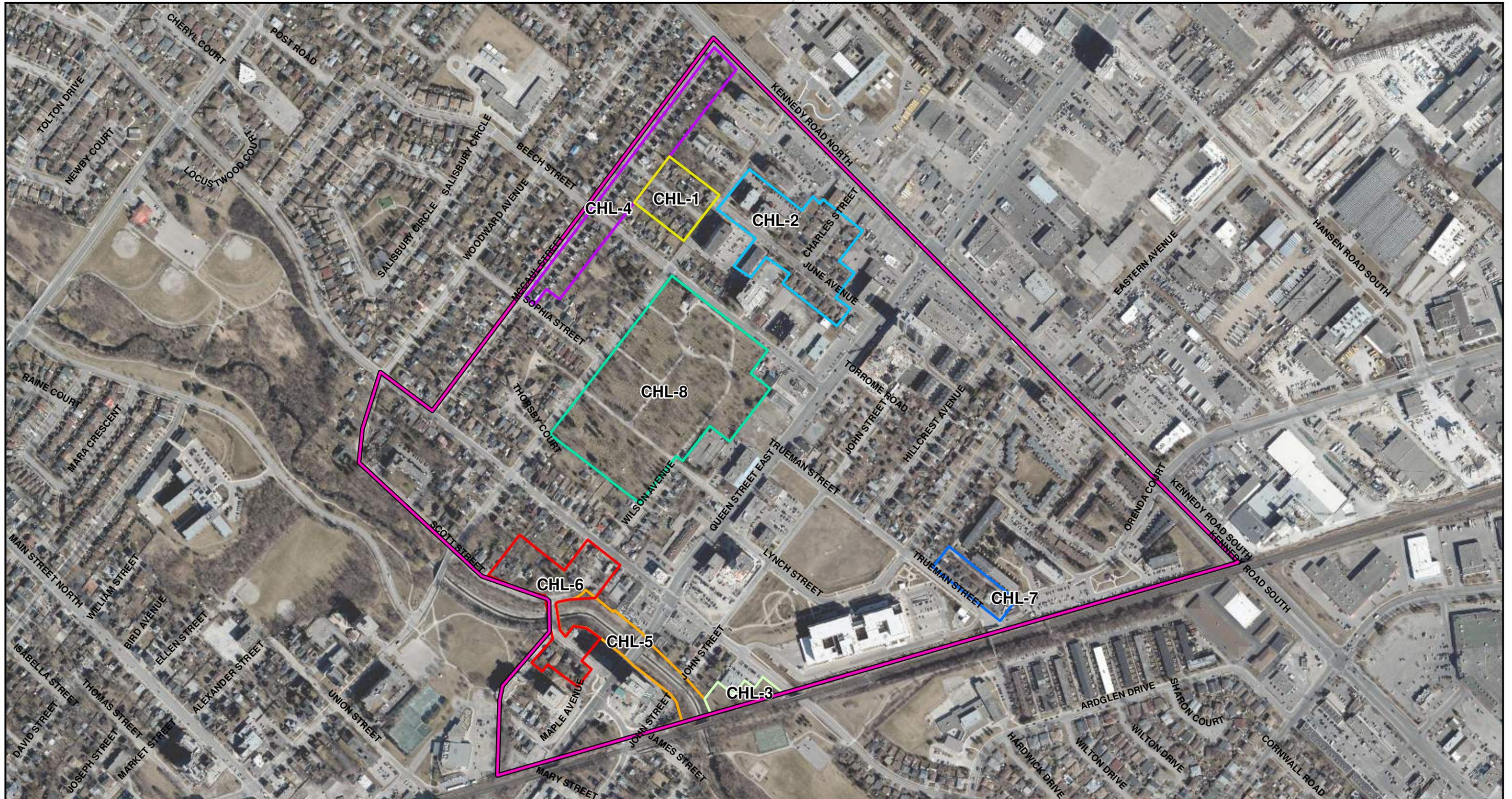
DATE:
JULY 2022

DRAWN BY:
TP

CLIENT:
CITY OF BRAMPTON

CREDITS:





LEGEND

- Study Area 1
- CHL-1
- CHL-2
- CHL-3
- CHL-4
- CHL-5
- CHL-6
- CHL-7
- CHL-8

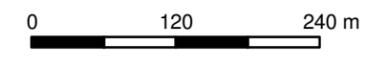


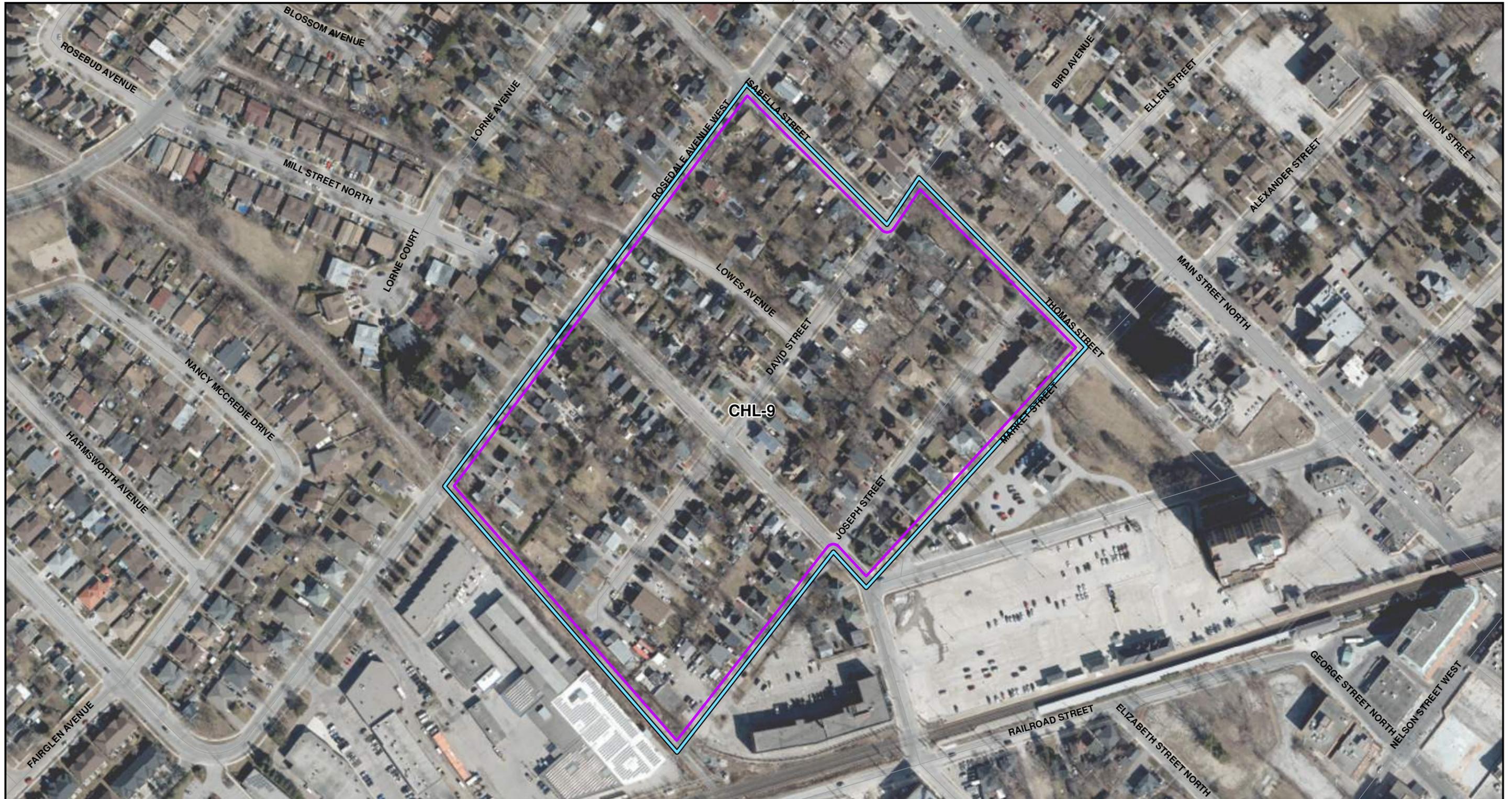
TITLE:
 FIGURE 27: MAP OF CULTURAL HERITAGE LANDSCAPES - STUDY AREA 1

PROJECT:
 CULTURAL HERITAGE ASSESSMENT REPORT: MAJOR TRANSIT STATION AREAS

SCALE: 1:6,000	PROJECT NO: 221-02456-00	DATE: APRIL 2022
DRAWN BY: TP	CLIENT: CITY OF BRAMPTON	

CREDITS:
 -





LEGEND

- Study Area 2A
- CHL-9

TITLE:
FIGURE 28: MAP OF CULTURAL HERITAGE LANDSCAPES - STUDY AREA 2A

PROJECT:
 CULTURAL HERITAGE ASSESSMENT REPORT: MAJOR TRANSIT STATION AREAS

0 50 100 m

N

SCALE: 1:2,500	PROJECT NO: 221-02456-00	DATE: APRIL 2022
DRAWN BY: TP	CLIENT: CITY OF BRAMPTON	
CREDITS:		



LEGEND

- Study Area 2B
- CHL-10

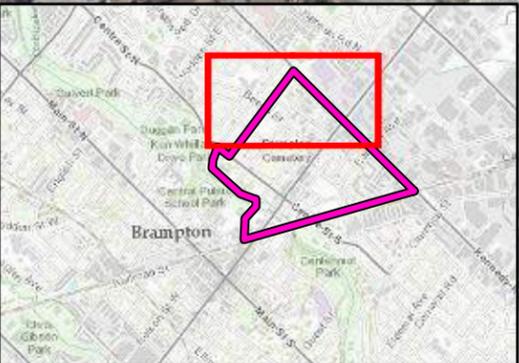
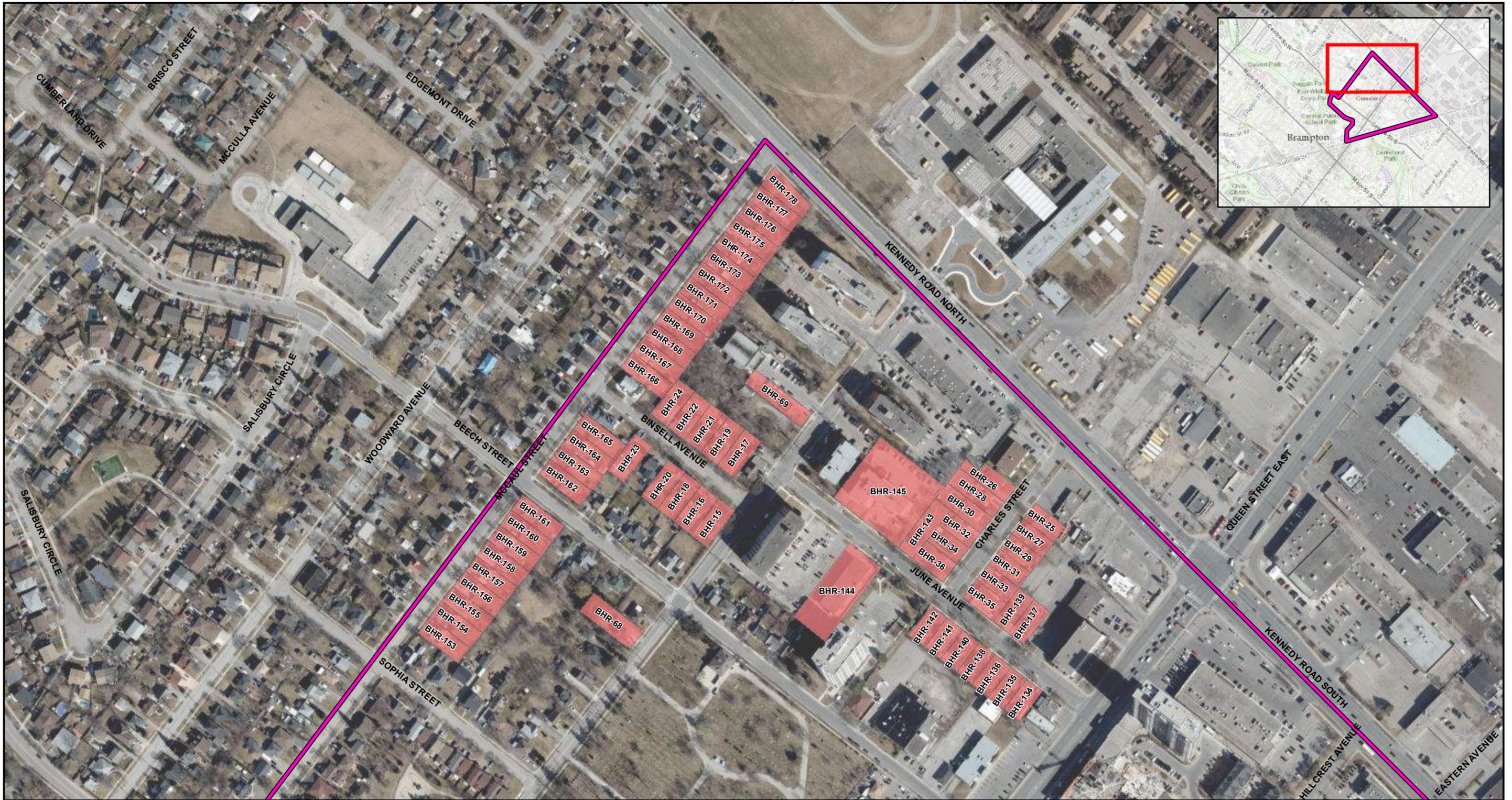
TITLE:
FIGURE 29: MAP OF CULTURAL HERITAGE LANDSCAPES - STUDY AREA 2B

PROJECT:
 CULTURAL HERITAGE ASSESSMENT REPORT: MAJOR TRANSIT STATION AREAS

0 25 50 m

N

SCALE: 1:1,250	PROJECT NO: 221-02456-00	DATE: APRIL 2022
DRAWN BY: TP	CLIENT: CITY OF BRAMPTON	
CREDITS:		



LEGEND

- Study Area 1
- Recommended Properties for Listing

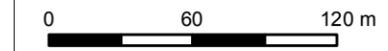
TITLE:
FIGURE 30: PROPERTIES RECOMMENDED FOR LISTING ON THE CITY OF BRAMPTON'S MUNICIPAL HERITAGE REGISTER - STUDY AREA 1

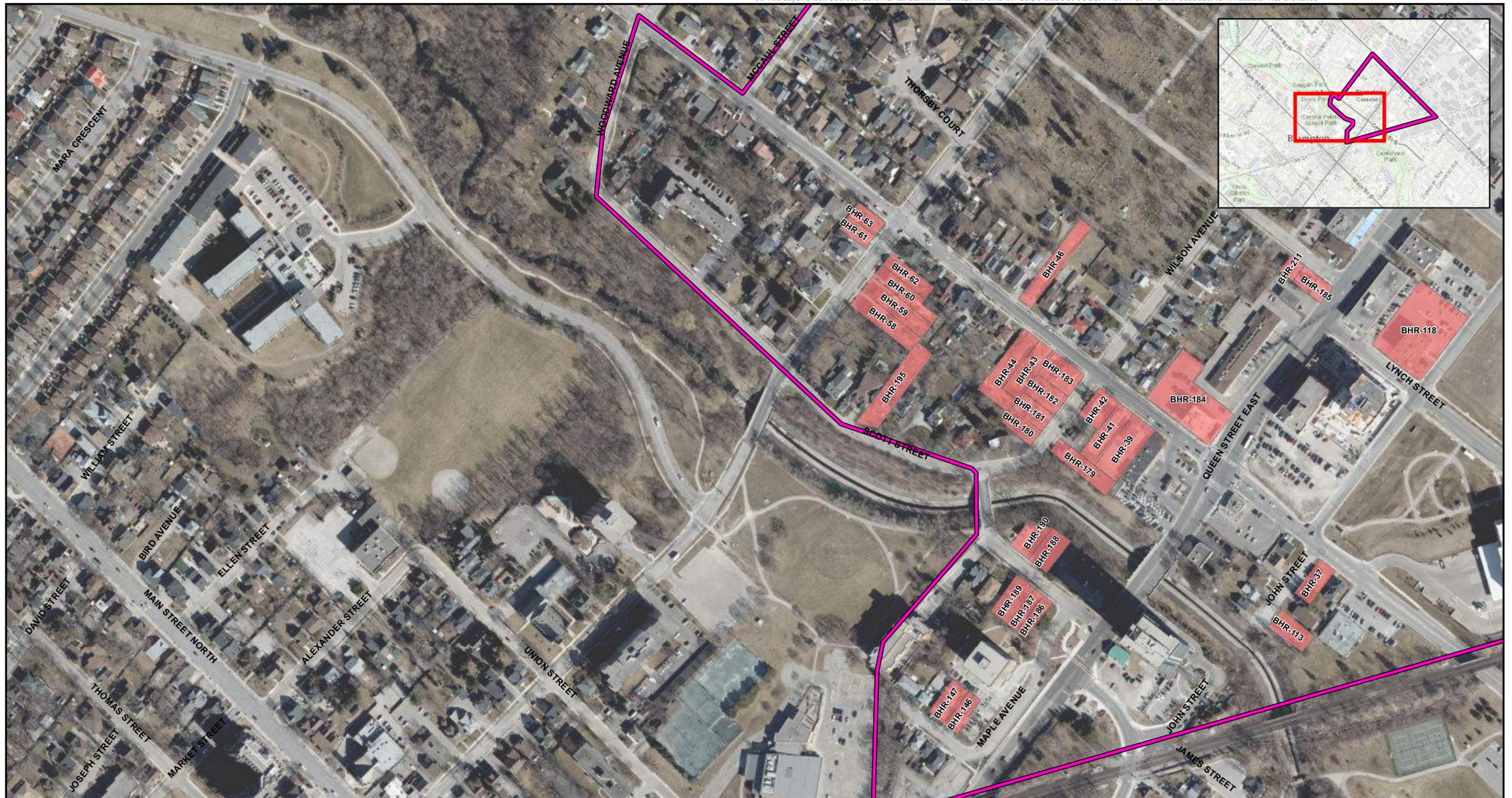
PROJECT:
 CULTURAL HERITAGE ASSESSMENT REPORT: MAJOR TRANSIT STATION AREAS

SCALE: 1:3,000	PROJECT NO: 221-02456-00	DATE: APRIL 2022
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DRAWN BY: TP	CLIENT: CITY OF BRAMPTON
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CREDITS:





LEGEND

- Study Area 1
- Recommended Properties for Listing

TITLE:
FIGURE 31: PROPERTIES RECOMMENDED FOR LISTING ON THE CITY OF BRAMPTON'S MUNICIPAL HERITAGE REGISTER - STUDY AREA 1

PROJECT:
 CULTURAL HERITAGE ASSESSMENT REPORT: MAJOR TRANSIT STATION AREAS

SCALE:
 1:3,000

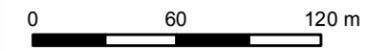
PROJECT NO:
 221-02456-00

DATE:
 APRIL 2022

DRAWN BY:
 TP

CLIENT:
 CITY OF BRAMPTON

CREDITS:
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LEGEND

- Study Area 1
- Recommended Properties for Listing

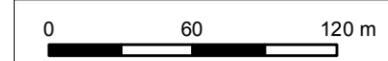
TITLE:
 FIGURE 32: PROPERTIES RECOMMENDED FOR LISTING ON THE CITY OF BRAMPTON'S MUNICIPAL HERITAGE REGISTER - STUDY AREA 1

PROJECT:
 CULTURAL HERITAGE ASSESSMENT REPORT: MAJOR TRANSIT STATION AREAS

SCALE: 1:3,000	PROJECT NO: 221-02456-00	DATE: APRIL 2022
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DRAWN BY: TP	CLIENT: CITY OF BRAMPTON
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CREDITS:





LEGEND

- Study Area 2A
- Recommended Properties for Listing



TITLE:
FIGURE 33: PROPERTIES RECOMMENDED FOR LISTING ON THE CITY OF BRAMPTON'S MUNICIPAL HERITAGE REGISTER - STUDY AREA 2A

PROJECT:
 CULTURAL HERITAGE ASSESSMENT REPORT: MAJOR TRANSIT STATION AREAS

SCALE:
 1:2,500

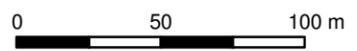
PROJECT NO:
 221-02456-00

DATE:
 APRIL 2022

DRAWN BY:
 TP

CLIENT:
 CITY OF BRAMPTON

CREDITS:
 -





LEGEND

- Study Area 2B
- Recommended Properties for Listing

TITLE:
 FIGURE 34: PROPERTIES RECOMMENDED FOR LISTING ON THE CITY OF BRAMPTON'S MUNICIPAL HERITAGE REGISTER - STUDY AREA 2B

SCALE: 1:1,250	PROJECT NO: 221-02456-00	DATE: APRIL 2022
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DRAWN BY: TP	CLIENT: CITY OF BRAMPTON
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PROJECT:
 CULTURAL HERITAGE ASSESSMENT REPORT: MAJOR TRANSIT STATION AREAS

CREDITS:

