



**HERITAGE IMPACT  
ASSESSMENT**  
for  
**31-33 George Street North**  
**(including 28 Elizabeth Street North)**  
Brampton, ON  
(GBCA Project No: 21003)

prepared for:	prepared by:
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## EXECUTIVE SUMMARY

GBCA was retained by New Developments and Construction Management, Greenwin Corporation, to prepare a Heritage Impact Assessment (HIA) for the rezoning application for a development site bounded by Nelson Street West, Elizabeth Street North and George Street North. The development site includes a number of built structures including 28 Elizabeth Street North (Haggertlea house and an associated wood frame garage); 31-33 George Street North (a one-to-two-storey commercial structure); and four single-family homes at 18-24 Elizabeth Street North. While several structures are included within the development site, only one is of heritage value - the Haggertlea building. This HIA, including the Condition Review and Conservation Strategy, is therefore focused on the Haggertlea building, which is Designated under Part IV of the Ontario Heritage Act (OHA).

The development proposal is for two new residential towers with hotel and commercial programs, on a shared podium adjacent to the Haggertlea building, with sub-grade parking levels below. All other buildings will be demolished, including the wood-frame garage at 28 Elizabeth Street North, the existing commercial buildings at 31-33 George Street North, and the residential buildings at 18-24 Elizabeth Street North.

The development proposal includes the conservation of the Haggertlea building in its original location, **above new foundations. In order to construct the new underground parking, structural caissons will be introduced and, following the construction of the sub-grade parking structure, a new foundation will be constructed and detailed, above grade, to match the exterior appearance of the original stone foundations where previously visible.** The former house is being considered for artistic public programs, which would potentially include the offices of the City of Brampton's Arts & Culture Panel, spaces for artists' productions, displays and presentations.

This HIA has been prepared in accordance with the City of Brampton, Planning, Design and Development Department, HIA Terms of Reference. As requested by Heritage Staff through the pre-consultation review, this HIA also includes a Heritage Building Protection Plan. The preparation of these documents has been overseen by Sharon Vattay, Principle at GBCA and a

member in good standing of the Canadian Association of Heritage Professionals.

In order to complete this HIA, GBCA reviewed existing documentation, notably the City of Brampton Designation Report for Haggertlea. Further historical background for the development site was completed using primary and secondary documents (note, however, that access to most archival resources and repositories was limited due to COVID-19 restrictions). Several site visits were undertaken for the purposes of evaluating and recording the site and building condition.

This HIA concludes that the integrity of the heritage resource on the subject property will be maintained. The existing building will be conserved, adaptively re-used and restored to preserve its heritage attributes. Non-sympathetic later extensions will be removed, and exterior elements that have since been lost will be restored where feasible to allow the building's original architectural style to be fully appreciated. Impacts have been identified and have been mitigated by landscape strategies, the restoration and preservation strategies, and opportunities for future public programming, to maintain the cultural heritage value of Haggertlea. This report provides the recommended conservation approach for the materials and forms related to the heritage attributes of Haggertlea.

# 1. INTRODUCTION

## 1.1 Property Description

The development site is bounded by Nelson Street West, Elizabeth Street North and George Street North. The development site includes a number of built structures including 28 Elizabeth Street North (Haggertlea house, which is Designated under Part IV of the Ontario Heritage Act); an accessory building (one-storey detached garage) at 28 Elizabeth Street North; 31-33 George Street (a one-to-two-storey commercial structure); and four single-family homes at 18-24 Elizabeth Street North. The original front facade of 28 Elizabeth Street North (Haggertlea) now faces into the block, whereas the facade that faces directly onto Elizabeth Street North is its former rear facade. Two gravel surface parking lots are situated between the Haggertlea house and the large one-to-two storey brick commercial building at 31-33 George Street - there is a significant grade change between the two structures.

## 1.2 Present Owner and Contact

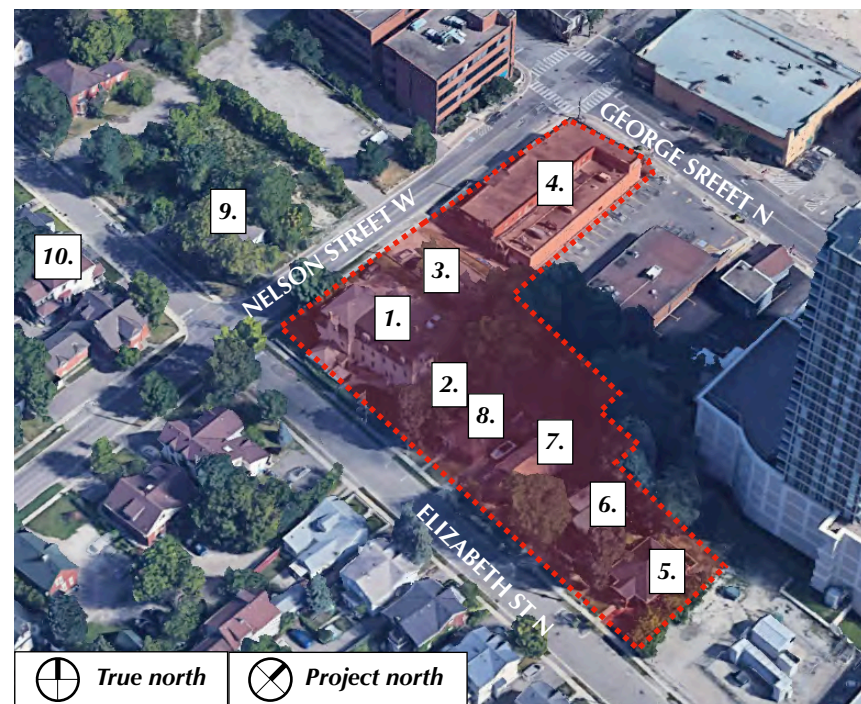
Owner: New Developments and Construction Management,  
Greenwin Corp.  
Attention: Jason Green, Director, Acquisition &  
Development  
Contact: Mark Zaky, Development Manager  
[mzaky@greenwin.ca](mailto:mzaky@greenwin.ca) 416-487-3883 x4153

Architect: Sweeny Holdings Inc.  
Contact: Dermot Sweeny, Principal  
[dermot@sweenyandco.com](mailto:dermot@sweenyandco.com)

## 1.3 Current Use

The Haggertlea property currently accommodates seven residential apartment units, while the property at 31-33 George Street N accommodates mixed-use commercial tenants, with two separate storefronts fronting George Street N. The houses at 18 to 24 Elizabeth Street North are single family residential.

## 1.4 Location Plan



For the purposes of this report, Haggertlea's main elevation is considered the north elevation.

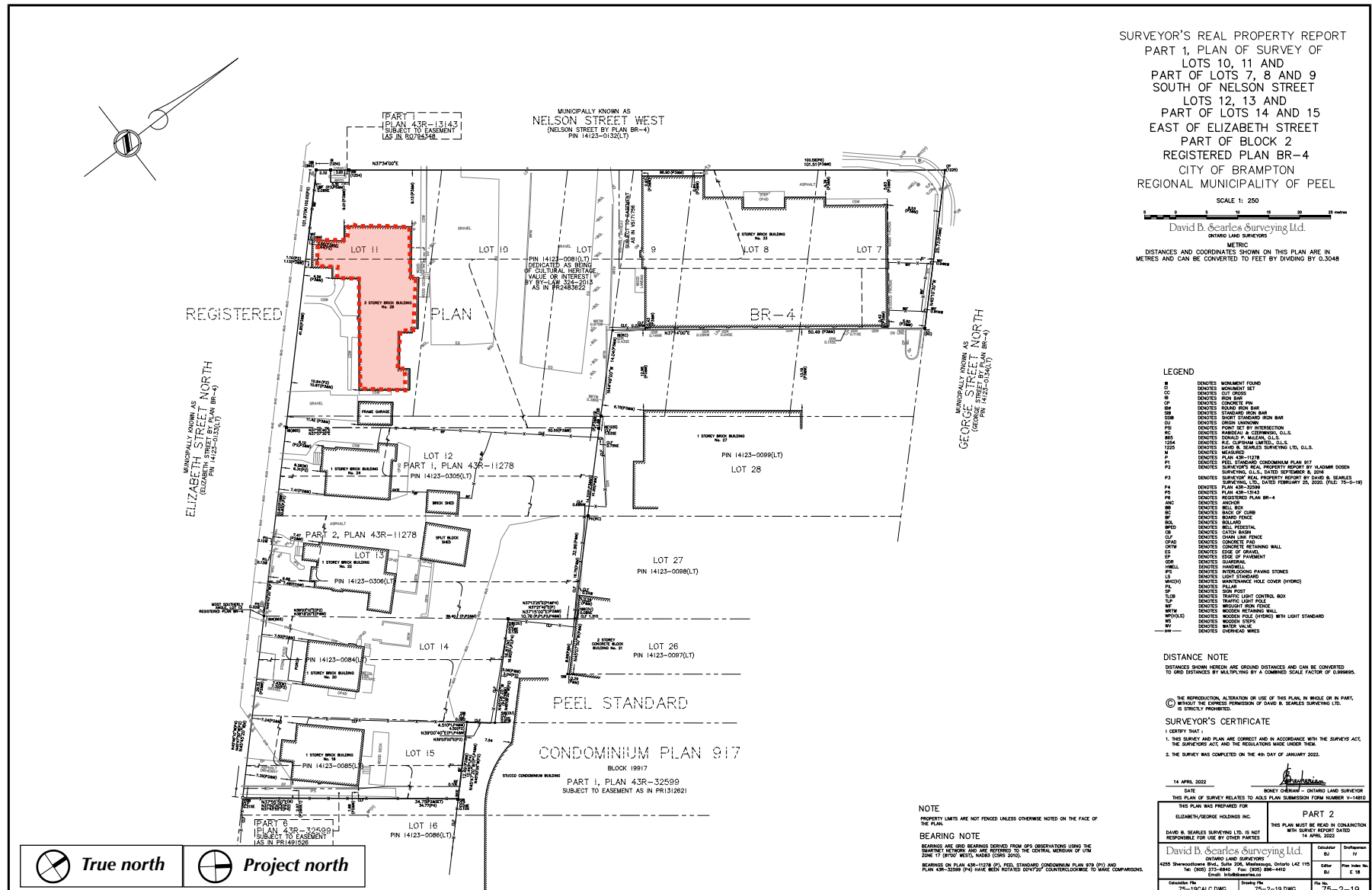
Perspectival aerial photograph of the development site (red dashed boundary) and its context. Properties included within the development site include:

1. Haggertlea, designated under Part IV of the OHA (28 Elizabeth St N, Lot 11, Part of Block 2, Plan BR-4)
2. One-storey garage (Lot 11, partial Lot 12, Plan BR-4)
3. Two separate stepped gravel surface parking lots (Lots 9 & 10, Plan BR-4)
4. One-to-two-storey commercial structure at 31-33 George Street (Lots 7, 8 & 9, Plan BR-4)
5. 18 Elizabeth Street N, (Lot 15, Plan BR-4)
6. 20 Elizabeth Street N, (Lot 14, Plan BR-4)
7. 22 Elizabeth Street N, (Lot 13, Plan BR-4)
8. 24 Elizabeth Street N, (Lot 12, Plan BR-4)

Adjacent Listed heritage properties:

9. 30 Nelson Street West (though shown on aerial photo above, it has been demolished)
10. 35 Elizabeth Street North





*Haggertlea, designated under Part IV of the OHA (28 Elizabeth St N, Lot 11), highlighted red on the above survey plan, provided by David B. Searles Surveying Ltd. (April 2022)*

## 1.5 Heritage Status

Haggertlea (28 Elizabeth Street North) is on the City of Brampton's Municipal Register of Cultural Heritage Resources, Designated under Part IV of the *Ontario Heritage Act* (By-Law 324-2013). The legal description of the heritage designation comprises Lots 10 & 11 of Plan BR-4, and partial Lots 7-9 & 12 of Plan BR-4.

The property at 28 Elizabeth Street North was also identified as a contributing heritage resource within the proposed heritage conservation district study area of "Nelson Street West Neighbourhood" as part of the *Heritage Conservation District Feasibility Study for the Establishment of Heritage Conservation Districts in Downtown Brampton*, which was presented to the City of Brampton by the consultant, George Robb Architect, on January 6, 2009.

## 1.6 Adjacencies

**30 Nelson Street W** - A residential building that was on the City of Brampton Municipal Register of Cultural Heritage Resources stood opposite the subject development property. The building was recently demolished.

**35 Elizabeth Street N** - A two-storey Italianate residential building (c1894) is on the City of Brampton Municipal Register of Cultural Heritage Resources. It stands on the opposite corner of Elizabeth Street North and Nelson Street West.

## 1.7 Site Context

The development site is situated within the historic core of Brampton, and is characterized by both its included and adjacent small scale 'main street' commercial and small-scale residential typologies. The development site is additionally adjacent to a recent 27-storey high rise residential development, and is situated within an area currently undergoing development intensification along George Street North.

- The intersection of George and Nelson Streets comprises commercial structures varying in heights of two-to-four storeys to the north and west of the intersection, respectively, while a vacant lot now stands directly across from the development site to the (true) east of the intersection (with a new development in progress).
- To the (true) south and west of the development site are low-scale residential structures fronting Elizabeth and Nelson Streets.
- To the (true) east of the development site is an existing large-scale 27-storey tower development, fronting George Street N.



View of the development site, looking south along Nelson Street W, showing grade change between commercial structure at 31-33 George St N and Haggertlea (far right)





View of the development site, looking towards Haggertlea from Nelson Street West, showing the building's original main elevation and the parking lots that step down according to the grade change of the site.



View of the development site, looking north to Haggertlea from Elizabeth Street North, showing the building's original south elevation, and extensions, with stand alone one-storey frame garage to the east. 24 Elizabeth Street North is in the foreground.



View of development site, looking towards Haggertlea from Nelson and Elizabeth Streets intersection, showing the one-storey c.1911 extension along Elizabeth Street North.



View of development site, looking east along Elizabeth Street N from Haggertlea's south elevation, showing the existing residential typologies along Elizabeth Street N, and existing 27-storey tower development beyond, adjacent to the development site.



## 2. EVALUATION OF CULTURAL HERITAGE VALUE OR INTEREST

### 2.1 Historical Background

Brampton was incorporated as a village in 1852-53 and was chosen as the main “County Town.” The construction of the Grand Trunk Railway station (built 1856) solidified the village’s status. The County of Peel was especially known for its excellent agricultural land, and this, along with the easy access to the rail line, allowed for the founding of a large agricultural implement manufactory and foundry (founded and owned by John Haggert). The iron foundry and manufactory provided employment for a good number of settlers.

Commercial development followed. Supporting this commercial success were many “handsome” private residences, a number of churches, and other public buildings. The village’s urban form further developed when, in 1867, Brampton was selected as the capital of the new County of Peel. The construction of an impressive stone complex of buildings that included the County Courthouse, Jail and Registry Office added significantly to the village’s urban form. Adjacent to the Courthouse complex were a number of impressive “estate” houses including the house for Kenneth Chisholm (Alderlea) and the home of John Haggert (Haggertlea, 1870).

John Haggert, was an early resident of Brampton and, shortly after establishing his estate Haggertlea, became the first mayor of the Town of Brampton (1874-1877). John Haggert was additionally considered a leader in commerce and industry in Canada as the founder of the Haggert Brothers company for manufactured agricultural implements, operating from 1849 to 1891, including the St. Thomas Agricultural Works plant purchased in 1877. Robert Haggert inherited the estate in 1888, where it remained in the Haggert family until Emily Haggert sold the property in 1944. It was subsequently altered into residential apartment units.



*Haggertlea Terrace, view from George Street, looking towards Elizabeth Street N and home of John Haggert, showing its original adjacency to the Methodist church previously located at 24 Elizabeth Street N (1877 Illustrated Atlas of the County of Peel).*



*Nelson St, Brampton, c.1900-1925 (Ken Harrison postcard collection)*



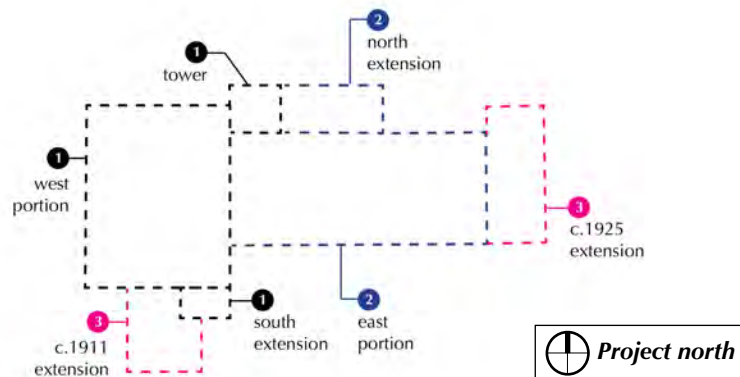
## 2.2 Architectural Background

The Haggertlea property is a prominent three-storey Second Empire style estate residence built c.1870, that originally comprised the residence and adjacent coach house, the latter now demolished, as well as extensive landscaped grounds which incorporated terraced lawns with bowling green and a tennis court.

The Haggertlea building is characteristic of the Second Empire architectural style predominantly associated in Ontario with wealthy estates built between 1865 and 1880. The style, which borrowed grandiose architectural elements from the French Second Empire nationalistic architectural style of the early-nineteenth century, is primarily characterized by the mansard roof. The latter provided additional interior living spaces for servants without the need for additional masonry. Many of Haggertlea's original Second Empire architectural features remain as a testament to the craftsmanship of its construction, associated with Jessie Perry, a prominent Brampton builder and stone mason.

The Haggertlea building was built over successive periods between c.1870 and c.1925. For the purposes of this report, these are surmised to consist of the following:

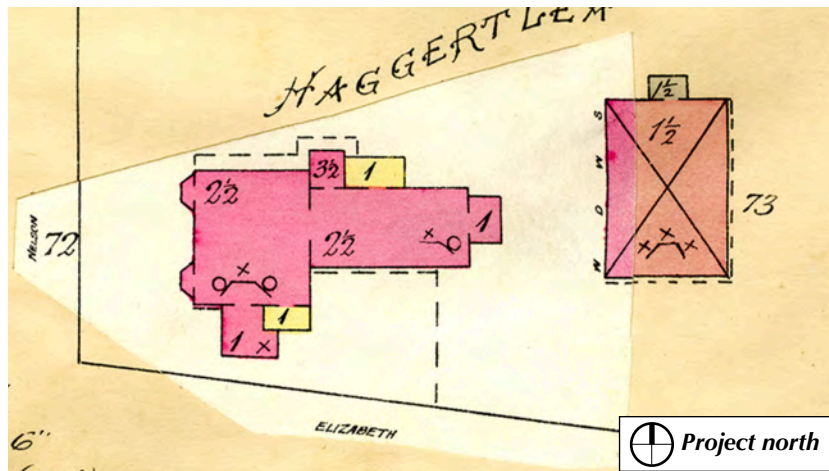
- **Phase 1** (c.1870: West portion, tower, and one-storey south extension);
- **Phase 2** (East portion (ground floor dated pre-1877; second floor dated pre-1900); one-storey wood frame north extension dated pre-1877;
- **Phase 3** (Extensions: one-storey brick built c.1911; one-storey brick built c.1925).



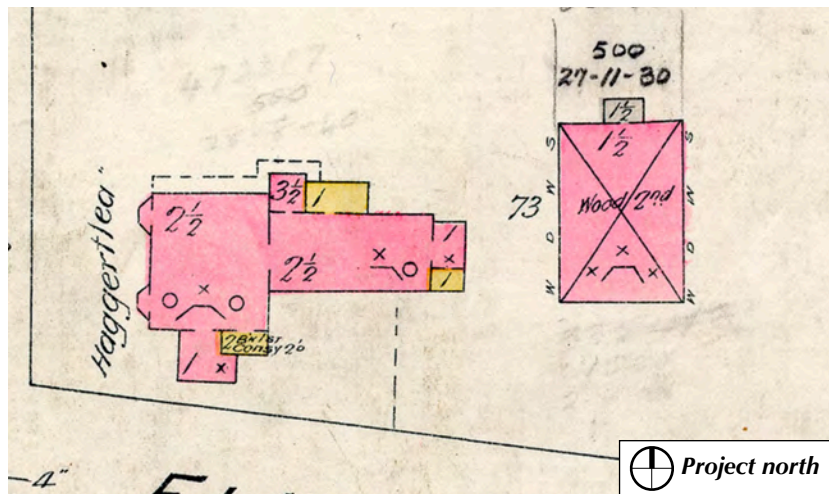
View of the main elevation, n.d., showing the one-storey brick extension, prior to c.1925 extension, at east elevation with rounded-arch window; the north elevation veranda, with original one-storey wood cladding at sunroom; tower detailing; and bay window at west elevation; which corresponds to c.1910 photo.



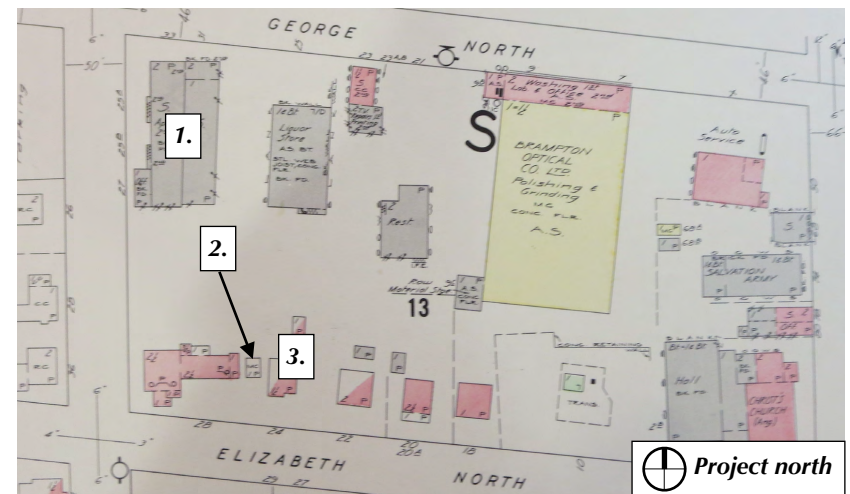
View of main elevation as seen from Nelson Street, c.1910 (Frost Postcard Collection).



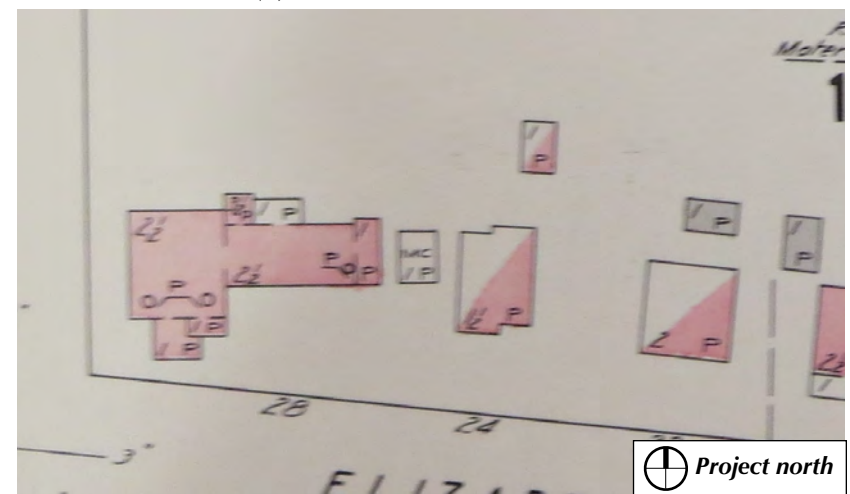
Fire Insurance Plan, dated 1894, showing 1911 revisions. Note built extensions: brick addition with set-back along east elevation; north and south wood extensions; and L-shaped c.1911 extension. The main elevation veranda and tower are shown built, as well as two bay windows of west elevation. A 1 1/2-storey carriage house stood to the east.



Fire Insurance Plan, dated 1917, showing an additional wood extension to the south of previously built brick extension at the east elevation (where c.1925 extension now stands).



Fire Insurance Plan, dated 1971, showing the construction of 31-33 George Street commercial property (1), and one-storey frame garage (2) built adjacent to Haggertlea. The demolition of the adjacent carriage house along Elizabeth Street North accommodated the new garage and residential house at 24 Elizabeth Street North (3).



Detail of 1971 Fire Insurance Plan, the first reviewed plan in which the one-storey brick c.1925 extension along the east elevation of Haggertlea is shown as it exists today, as well as the removed tower portion of the main facade (identified here as two-storey). This condition is consistent with aerial photograph dating to 1961.

The Haggertlea residence comprises a west portion that is rectangular in plan, with a concave Mansard roof complete with a hipped gable; and a east portion (as a tail extension to the first) that is largely rectangular in plan, extending centrally from the west portion along Elizabeth Street N. The latter was originally shown as a one-storey construction with mansard roof in 1877, at which time both were built of running bond brick construction. The east portion was at a later date altered to incorporate a second floor<sup>1</sup> of common bond brick construction and was detailed with punched stone sills, featured a visual continuity of the concave mansard roof, and incorporated a notable two-storey bay window with decorative wood brackets and spindles on the building's main elevation. A continuous ornate bracketed cornice details both the west and east portions. The former additionally includes decorative flower-themed keystones, with a separate motif at the ground and second floors, as well as paired windows at third floor, with a unique combined paired window with brick voussoirs complete with dripstone moulding, each centered within both convex mansard dormers.

An original three-storey tower, today removed above the second floor, is centrally located at the main elevation, between both building volumes of the west and east portions. The building additionally includes two later one-storey brick extensions; at the south elevation along Elizabeth Street N, built c.1911, and at the east elevation adjacent the contemporary one-storey detached garage.

### 2.3 Contextual Background

Historically, the development site was located in the Former Township of Chinguacousy, County of Peel. When formed, the County of Peel comprised five townships - Toronto, Toronto Gore, Chinguacousy, Caledon and Albion – and was bounded on the south by Lake Ontario, on the west by the Counties of Halton and Wellington, on the north by the Counties of Wellington and Simcoe, and on the east by the county of York.

The Township of Chinguacousy was formally surveyed in 1818 and the first legal settlers took up their lands later that same year. The physical development of Brampton grew out from the intersection of Queen and

Main Streets, later known as “The Four Corners.” Hurontario/Main Street, the boundary between Concession 1 West of Hurontario Street (WHS) and Concession 1 East of Hurontario Street (EHS), ran north to south, and Queen Street, the boundary between Lots 5 and 6, ran east to west. To the east of Main Street/Hurontario Street ran the winding course of the Etobicoke River and to the west of Main Street/Hurontario Street ran the north-south tracks of the Credit Valley Railway. Traversing both the river and the Credit Valley tracks was the main Grand Trunk Railway line, which cut diagonally through both Concessions and their grid of streets. These tracks crossed over Main Street/Hurontario Street, at a point just north of Queen Street. The subject properties are located on what was historically Concession 1 WHS, Lot 6, Chinguacousy Township, Peel County, just south of the Grand Trunk Railway tracks.

The lands that now comprise the core of Brampton were originally owned by Samuel Kenny. Kenny sold this land to John Elliot who, in the early 1820s, cleared the land and laid it out into village lots. Elliot and another early settler, William Lawson, were staunch members of the Primitive Methodist movement and they were responsible for establishing a strong Methodist presence in the area.

It was these two gentlemen who named the village “Brampton” after their village back in England. Streets in Brampton bear the names of members of the Elliott family, including Elizabeth, which was one of the streets laid out in the 1850s Registered Plan BR 4.

The Village of Brampton was incorporated as a town in 1873 eventually became the City of Brampton when Bramalea, the Township of Toronto Gore and a part of Chinguacousy and Toronto Townships were amalgamated with the older Brampton area in 1974.

The development site and adjacent areas were first developed around the time that Brampton was incorporated as a village. George Wright's Grist and Saw Mill, located at the corner of Elizabeth Street North and Queen Street, may have already existed when Plan of Subdivision BR 4 was Registered in 1850. Block 2 of Registered Plan BR 4 divided the block bounded by Elizabeth, Nelson, George and Queen Streets into 22 large

<sup>1</sup> 1894, Rev. 1911 Fire Insurance Plan shows built 2-1/2-storey east portion.



parcels. The development site constitutes Lots 10 & 11, and Part of Lots 7, 8, 9, and 12 of Block 2, Plan BR 4.

The 1857 Plan of the Town of Brampton illustrates the built form and ownership of the block. Along with the Grist and Saw Mill were a number of smaller buildings along Queen Street, notably at the corner of George Street. Adjacent Lot 13 was occupied at this time by a Methodist Church.

The primarily residential character of Elizabeth Street North, between Queen Street West and Nelson Street West, began with the construction of the home for John Haggert in 1870 (28 Elizabeth Street North), on the development site. Haggert purchased a number of lots along Nelson Street to establish his estate, which included a large carriage house and associated grounds. The lands terraced to the east and at the lower level, closer to George Street, were the lawn bowling greens. And further to the east (on the adjacent block) was built the Haggert Brothers Iron Works.

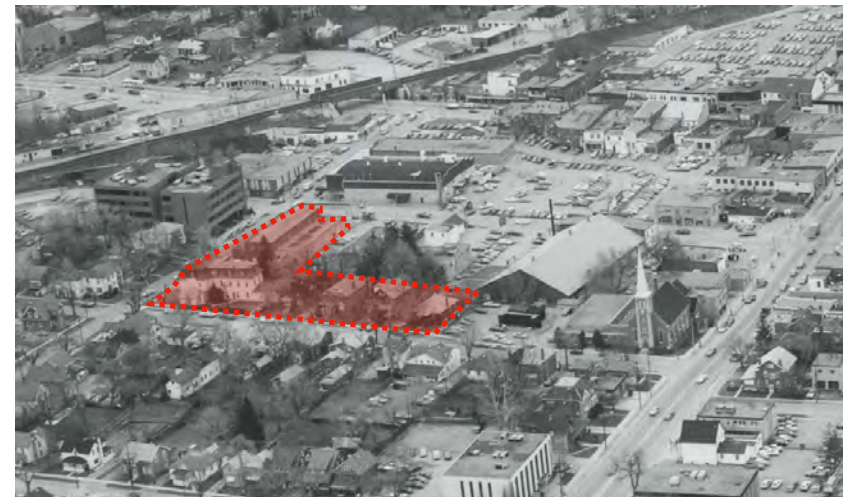
The next significant built feature on the block that contains the subject properties was the Anglican Christ Church, which replaced the earlier grist and saw mill at the corner of Elizabeth and Queen Streets. Built in 1884, the Gothic Revival church faced west, which was not only liturgically correct but also better coordinated with the residential character of Elizabeth Street as opposed to the more commercial character of Queen Street.

During the first decade of the twentieth century the content of the original Haggert property changed with new construction throughout the block. While the Haggert family fortunes had waned after 1891, the 1930 Assessment Rolls show that Haggert family still owned the entire (north) west portion of the block – that being, Lots 7, 8, 9, 10, 11 and part 12 – and the former estate house remained standing. Other late and early-nineteenth century houses were constructed on the west side of Elizabeth Street North (opposite the subject properties), creating a residential neighbourhood of detached houses in a range of sizes and styles.

One of the earliest residential buildings to appear on the east side of Elizabeth Street North between the former Haggert property and the Anglican Church was a two-and-one-half storey Edwardian-era brick house at 20 Elizabeth Street North, built c1912-1915, owned by George H.



*1961 aerial photograph of the development site, highlighted red, showing the mixed-use character of the area; commercial typologies along George Street North with adjacent small-scale residential (Toronto Aerial Photographs).*



*1983 aerial photograph of the development site, highlighted red, showing the residential and institutional character of Elizabeth Street North, and commercial typology along George Street North (Toronto Star Photograph Archive).*



Ostrander. The property at 22 Elizabeth Street North, a two storey late-Edwardian era wood frame with brick cladding house, was built c.1925-1930 and additionally owned by George Ostrander.

The remaining two residential buildings on the east side of Elizabeth Street North (18 and 24 Elizabeth Street North) were added to the streetscape in the decade leading up to the mid-twentieth century. Judging from the architectural styles, the one-storey frame with brick house at 24 Elizabeth Street North was likely constructed early in the 1940s and the brick bungalow at 18 Elizabeth Street North likely followed late in the 1940s. The house at 24 Elizabeth Street North stands more or less on the site of the early Methodist church.

A good portion of the block was occupied by a large wood skating rink structure that faced onto George Street but extended towards Elizabeth Street, where, early on, a Hydro Electric Station was constructed (the early twentieth century Hydro Electric Station building was demolished pre-1971 and a hydro transformer box still occupies this site). The arena was altered for new programming by 1971, with the Fire Insurance Plan of this year identifying Brampton Optical Company Ltd. at this location. Additional commercial and restaurant structures were built fronting George Street by 1971, including the commercial structure with apartments on the second floor situated at 31-33 George Street North that is included within the development site.

## 2.4 Heritage Status Summary

The property of Haggertlea (28 Elizabeth Street N) is designated under Part IV of the OHA (By-Law 324-2013), no additional evaluation was deemed necessary for the purposes of this HIA. The City of Brampton Heritage Report dated February 19, 2013 includes the property description, Statement of Cultural Heritage Value or Interest, and description of Heritage Attributes. The Heritage Attributes apply only to the main house, and not to the accessory garage structure on the property.

### 3. DESCRIPTION OF PROPOSED DEVELOPMENT

The development proposes to demolish the existing commercial buildings at 31-33 George Street North, and the residential buildings at 18-24 Elizabeth Street North (along with the small detached wood-frame garage at 28 Elizabeth Street North), to erect two new residential towers with hotel and commercial programs, on a shared podium framing the Haggertlea building.

The development includes a stepped podium of 7 and 9-storeys fronting George Street North, which provides a set-back to the 42-storey Tower 1, plus mechanical, from the Nelson and George Streets intersection. A two-storey podium extension provides a 3m set-back from the public plaza, adjacent to Haggertlea's former main entrance, and the 7-storey podium of Tower 1, fronting Nelson Street. Tower 1 sits aligned with its 7-storey podium, defined by a two-storey podium recess at the eighth and ninth floor levels.

A shared 1-storey podium frames Haggertlea through an 'L' shaped volume, and transitions to townhouse typologies at the base of Tower 2, fronting Elizabeth Street. The Tower 2 podium includes a set-back for private terraces at the sixth floor **level**, and additional set-backs adjacent to the property line at the ninth floor level. Tower 2 protrudes approximately 6m from its 1-storey podium, toward Haggertlea, above the residential drop off zone.

A public plaza, situated adjacent the former main elevation of Haggertlea, as well as a drop-off area adjacent Haggertlea's east elevation (including the entrances to the loading area and parking garage below) provide intermediary spaces between the existing heritage resource and the proposed new podium volume. The public **plaza provides** an approximate distance of 12m between the proposed two-storey podium portion of the proposed development to Haggertlea's former main elevation.

The proposed development includes five levels of below-grade parking comprising the extents of the subject site. **Haggertlea will be supported in situ on new structural caissons during the underground parking construction phase, and will remain in its original location above new**



Ground floor plan of the proposed development, showing the proposed podium adjacent to the existing Haggertlea building, with adjacent public plaza adjacent to the former main facade (Sweeny & Co Architects AZ205 dated 2022.08.05).

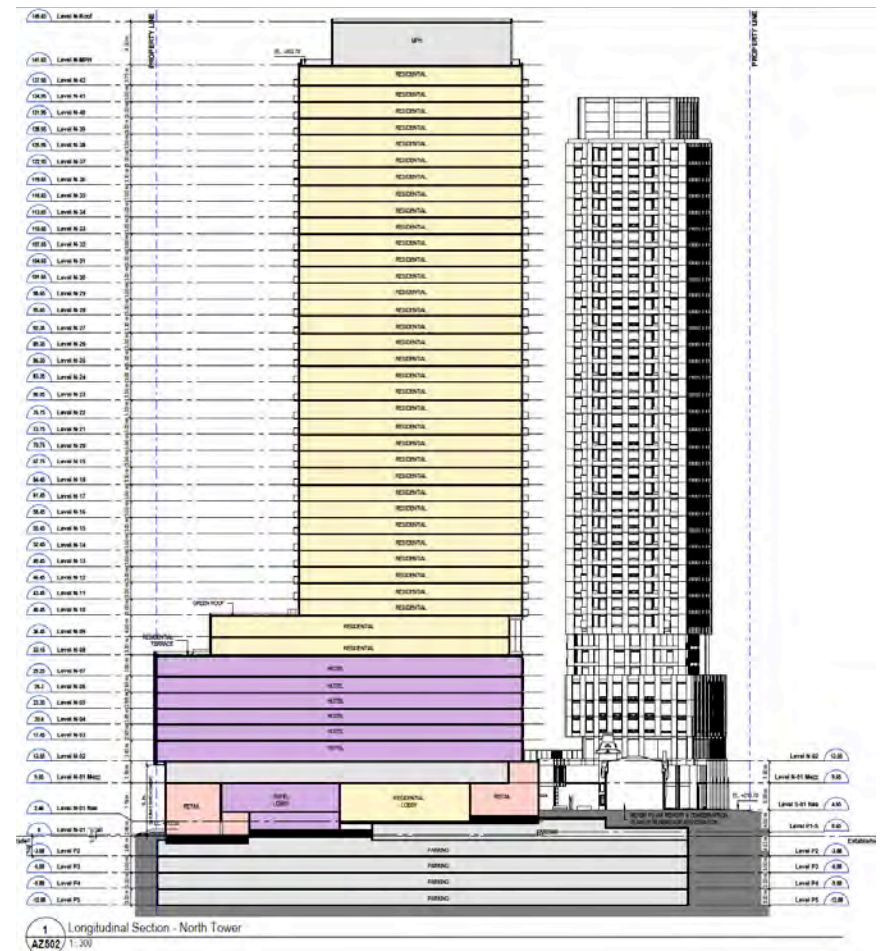
For the purposes of this report, the Project North is considered to be the former main (front) elevation of the Haggertlea building (Haggertlea is highlighted blue in the above proposed development plan).

**foundations** detailed, above grade, to match the exterior appearance of the original stone foundations, where previously visible.

As part of the development, the historic Haggertlea house will be conserved. Non-sympathetic later extensions (small one-storey extensions built c.1911 and c.1925 at the south and east elevations, respectively) will be removed and the exterior heritage fabric of the remaining building will be repaired and restored. Opportunities for restoration of lost heritage features will be explored where possible, including the recreation of the original tower and front verandah.

It is anticipated that the interior spaces will be rehabilitated to house artistic programs, to include the offices of the City of Brampton's Arts & Culture Panel to provide spaces for artists' productions, displays and presentations.

An HIA Addendum Letter will be provided under a separate cover at a later phase, once the tenancy and the programmatic requirements for Haggertlea are confirmed, in order to provide a complete assessment of impacts on the heritage resource and provide mitigative strategies to prioritize the preservation of its heritage attributes.



Section of the proposed development, parallel to Nelson Street, showing the proposed podium adjacent to the existing Haggertlea building, with adjacent retail programming at ground floor, and parking levels below. The adjacent public plaza provides an intermediary space of approximately 12m between the former main facade of Haggertlea and two-storey podium step-back. The Tower 2 beyond Haggertlea, fronting Elizabeth Street, is shown here as an outline. (Sweeny & Co Architects AZ502 dated 2022.08.05)

## 4. IMPACT ASSESSMENT

### 4.1 Impact(s) on Heritage Resources

The following table provides a list of heritage attributes, identified in the designation By-Law for Haggertlea, and their corresponding conservation strategy to mitigate identified impact(s), within the proposed development.

Heritage Attributes (By-Law 324-2013): 28 Elizabeth Street North	Proposed Conservation Strategy as part of development:	Impact(s) to Heritage Attributes:
Three-storey buff brick construction	To be conserved	No negative impacts anticipated.
Concave Mansard roof	To be conserved; Missing area along main elevation at tower to be restored	No negative impacts anticipated.
Irregular roof lines	To be conserved	No negative impacts anticipated.
Ornate bracketed cornice	To be conserved; Missing to be restored	No negative impacts anticipated.
Dentils	To be conserved; Missing to be restored	No negative impacts anticipated.
Decorative flower-themed keystone	To be conserved	Obstructed keystone at rear elevation ground level will be restored with the removal of non-sympathetic addition
Segmentally arched brick voussoirs	To be conserved; Missing to be restored	No negative impacts anticipated.
Segmentally arched window openings	To be conserved; Missing to be restored	No negative impacts anticipated.
Original wood window frames	To be conserved where possible; replacements to be wood	No negative impacts anticipated.
Sash windows	To be conserved; Missing to be restored	No negative impacts anticipated.
Leaded glass windows	To be conserved; Missing to be restored	No negative impacts anticipated.
Arched dormers with curved wood cornice	To be conserved; Missing to be restored	No negative impacts anticipated.
Dormers in a variety of shapes and sizes	To be conserved; Missing to be restored	No negative impacts anticipated.
Two-storey bay (oriel) window with brackets and decorative spindles	To be conserved; Missing to be restored	No negative impacts anticipated.
Dripstone hood moulding	To be conserved; Missing to be restored	No negative impacts anticipated.
Remnants of tower on main elevation	To be restored	Missing tower above second floor to be restored as feature of proposed public plaza.
Landmark status due to the scale and style (Second Empire)	To be restored	Though status may be restored through the building's conservation and restoration of Heritage Attributes, notably the reconstruction of missing tower on main elevation (if feasible), and new proposed public programming of Haggertlea interior spaces, sight lines to the the main elevation will be limited due to its close proximity to, and limited visibility from, the proposed podium.



The heritage value of Haggertlea largely resides in its architectural value as a Second Empire style estate, as well as its historical value in its association to John Haggert and Brampton's early history. While altered, the overall integrity of the building is sufficiently maintained to conserve the building's heritage value.

Intensification of the site, resulting in the addition of two multi-storey towers above a shared podium that would 'frame' the existing building of heritage value, will have a number of impacts on Haggertlea. The following impacts on the current building have been identified, and are further discussed:

- Additional massing adjacent to the existing heritage resource
- Alterations of sight lines to the former main elevation
- Alterations to the adjacent landscape topography
- Removal of c.1911 extension
- Removal of c.1925 extension
- Removal of existing foundations

#### Additional massing adjacent to the existing heritage resource :

The new construction will be designed separate of Haggertlea, with intermediary landscape strategies between the new development and the existing heritage resource, conserving a majority of the cultural heritage values, attributes, and character of the Haggertlea building.

The form of the new construction comprises a 7-storey podium along Nelson Street West, and a stepped 5-storey podium along Elizabeth Street North with 4-storey podium overhang above drop-off area toward Haggertlea. Together, with a shared 1-storey podium, the development frames Haggertlea and its new adjacent public plaza in the shape of an 'L'.

The proposed materiality of the podium elevations framing Haggertlea has yet to be defined but provides ample opportunities for dynamic programming and glazed elevations.

#### Alterations of sight lines to the former main elevation :

Though the view to the Haggertlea building from George Street North has already been impacted over time due to modern twentieth century development, its visibility and one's understanding of its landmark status will be reduced with the proposed continuous street wall of the 7-storey podium along Nelson Street West, with 2-storey step-back at public plaza.

The main elevation of Haggertlea will however continue to be partially visible from Nelson Street West and the proposed public plaza, a ~12m wide hardscape intermediary space between Haggertlea and adjacent podium elevation, as well as from the ground floor of proposed podium with retail programming.

#### Alterations to the adjacent landscape topography :

The proposed hardscape public plaza adjacent to the former main elevation of Haggertlea will, in combination with the new proposed stepped 2 and 7-storey podium fronting the plaza and Nelson Street West, respectively, eliminate the remaining grade changes of the former stepped terraced landscape of the Haggertlea property.

Removal of c.1911 extension :

The restoration of the Haggertlea building will include the removal of the c.1911 extension. Additional site investigations should be completed to understand the full impacts of removing this later, non-sympathetic extension, on the existing built fabric to be conserved.

The one-storey running (clip-bond) brick construction currently partially obstructs a paired window with combined brick voussoir, complete with a flower-themed keystone at the building's south extension. The removal of the c.1911 will enable the restoration of these Heritage Attributes at the south extension.

Two segmental arched windows at this extension each include a punched stone sill. These Heritage Attributes should be carefully dismantled and saved for salvage, where applicable. It is unknown at this time whether these windows are the original locations for these punched stone sills, or whether they have been re-purposed from prior alterations made to the original fabric. Additional built elements such as brick and window units that are found to be in good condition could additionally be carefully dismantled and salvaged where applicable.

As archival documentation of the former rear facade is limited, careful consideration will be required in developing a restoration strategy for the building's west portion and south extension elevations that will now be exposed from the public realm along Elizabeth Street North. Interior programmatic requirements may additionally be discussed in regards to the restoration of windows and doors, whether previously existing, infilled, altered, and/or removed, as part of the c.1911 extension's construction.

Removal of c.1925 extension :

The restoration of the Haggertlea building will include the removal of the c.1925 extension. Additional site investigations should be completed to understand the full impacts of removing this later, non-sympathetic extension, on the adjacent existing built fabric to be conserved.

As archival documentation for this elevation is limited, careful consideration will be required in developing a restoration strategy for the

building's east portion ground floor elevation that will be exposed and understood from the public realm along the proposed drop-off area. Interior programmatic requirements may additionally be discussed in regards to the restoration of windows and doors, whether previously existing, infilled, altered, and/or removed, as part of the c.1925 extension's construction.

Removal of foundations :

The proposed development incorporates five levels of sub-grade parking, running the extents of the subject property, in order to replace the previously proposed opaque elevations of above-grade parking levels fronting Haggertlea with more dynamic (glazed) programming opportunities.

Though the inclusion of below grade parking provides a significant opportunity for the mitigation of impacts, as previously discussed, the resulting construction will in turn require that the heritage building be supported in situ **above new structural caissons**.

The encompassing scope of conservation work will require that the existing foundations be carefully documented, removed, and replaced with new foundations detailed, above grade, to match the exterior appearance of the original stone foundations, where previously visible.

A **Structural Retention plan** will be submitted as part of the Conservation Plan phase.

As per the City of Bramptons' HIA Terms of Reference, a summary assessment of possible impacts is presented in the following table.

This table assesses the impacts on the heritage resource on the site, the Haggertlea building. The adjacent Listed property at 35 Elizabeth Street North will not be impacted by the proposed development.

Possible Impacts	Assessment
Destruction of any, or part of any, significant heritage attributes or features	As described above, none of the identified heritage attributes will be destroyed. The extensions proposed to be removed are later, non-sympathetic extensions.
Alteration to the historic fabric and appearance	No negative impacts anticipated. Alterations include the removal of non-sympathetic later extensions (c.1911 and c.1925), and the restoration of Heritage Attributes to the building's c.1900 condition: significant elements include the main elevation tower, veranda, as well as the north and south extensions.
Shadows created that alter the appearance of a heritage attribute or an associated natural feature or plantings, such as a garden	Shadows created by the proposed podium and tower will impact the legibility of Haggertlea's former main facade within the proposed public plaza. The created shadows may additionally negatively impact the future interior programming of Haggertlea spaces. However, these are transitory in nature.
Isolation of a heritage attribute from its surrounding environment, context or a significant relationship	The context of the historic Haggertlea property has already been altered from its original, whereby the residential building is no longer in a solely low-scale residential neighbourhood. The building will be isolated through the 'L' framing of proposed podium but will be highlighted within a new plaza space.
Direct or indirect obstruction of significant views or vistas within, from or of built and natural features	In its historical context, the main/front facade of Haggertlea faced toward George Street North, with terraced grounds extending towards the street. Haggertlea will no longer be visible from George Street North with the development, however the view is not identified in Brampton OP Policies as a significant view or vista.
A change in land use where the change in use negates the property's cultural heritage value or interest	The land use currently allows for a mix of uses, which is carried forward in this development proposal. The proposed change in land use will allow the existing heritage building to be adaptively reused for an appropriate function that will conserve the existing form and materials.
Land disturbances such as a change in grade that alters soils and drainage patterns that may affect a cultural heritage resource	Through civil engineering, mitigation measures will need to be addressed regarding drainage patterns to address the conservation of exterior of the heritage resource.

## 4.2 Mitigation Options

The following describes the mitigative approaches that were incorporated as a means of addressing the impacts on the Haggertlea building. Impacts are largely mitigated by the extensive conservation that will take place on the buildings fabric itself; to preserve its Heritage Attributes, remove non-sympathetic elements, and restore elements that have since been lost to allow the building's original architectural style to be fully considered.

The following items\* will be completed as part of the mitigation strategy:

- **Condition Assessment**

The completed condition assessment prepared for all elevations, **included herein**, will inform the conservation treatments required to conserve the heritage attributes of the building. This condition assessment will **inform the conservation drawings to be included** in the Conservation Plan.

- **Adaptive Re-use Strategy**

**The programmatic strategy has not been confirmed. An HIA Addendum will be issued once the end user is confirmed.** An adaptive re-use strategy will determine the extent of restoration work that can feasibly be completed within the interior spaces. This will additionally inform the restoration framework for the exterior windows and doors to accommodate new programmatic and code requirements.

- **Interpretation Plan**

The purpose of the interpretation plan will be to draw awareness and commemoration to the history of the site, including its past land uses, occupants, and the site's relationship to the early development history of Brampton. The background information found in this HIA, as well as the City of Brampton's *Reasons for Designation* and the *Statement of Significance*, contains the historical information that can serve as the basis for the Interpretation Plan. **An Interpretation Plan will be submitted under separate cover.**

## 4.3 Conservation Strategy

In keeping with the guidelines for conservation outlined within the national *Standards and Guidelines for the Conservation of Historic Places in Canada*, see Appendix I, and guided by the desired direction expressed by the City of Brampton, the primary conservation treatment to be undertaken at the Haggertlea building is that of **restoration**.

*Restoration* is defined in the *Standards and Guidelines* as accurately revealing, recovering or representing the state of an historic place as it appeared at a particular period in its history, while protecting its heritage value. This may include the removal of non character-defining features from other periods in its history, and include the recreation of missing features from the restoration period. The desired restoration period of c.1880-1900 was chosen based on archival research and documentation, as well as Haggertlea's identified architectural and historical heritage value.

A **preservation** approach will be taken on those portions and elements of Haggertlea to be retained - these being the Heritage Attributes of the east and west portions, as well as the north and south extensions.

Further investigations will need to be completed prior to determining the extent of interior elements to be preserved, restored, or rehabilitated.

The following actions are anticipated and intended to be part of the Conservation Plan. Pending further investigations on the building, which will occur at the stage of the Conservation Plan, these actions may require revisions to address found conditions.

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\* An implementation schedule, along with relevant reporting/monitoring system for implementation of the required and/or recommended conservation or mitigation strategies, will be identified and included as part of the Conservation Plan.



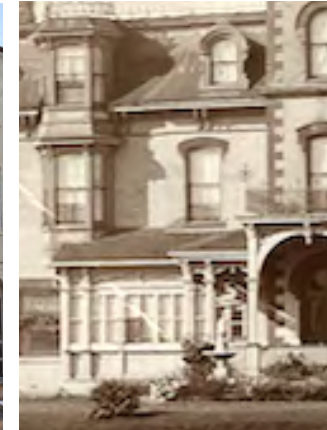
## Preservation

- Conserve the building in situ.
  - Remove non-sympathetic c.1911 and c.1925 extensions along Elizabeth Street North.
  - **Haggertlea to be retained in situ above new foundations, to match the existing foundations' exterior profile and stone finish above grade.**
- Remove paint from bricks and clean all surfaces; exposing original diachromatic brickwork.
- Conserve all original window units; including the two-storey detailed bay window with brackets and spindles; repair where required.
- Remove non-sympathetic contemporary wood fire escape and porch along the main elevation.
- Stabilize and repair brick masonry wall where bulging of brick was noted at south elevation; install helical ties where required. The area may need to be carefully dismantled and reconstructed based on detailed investigations.
- Repair brick voussoirs; these may need to be dismantled and re-set where required.
- Repair bricks where damaged and repoint mortar joints, where required.
- Further investigate the extent and condition of the original painted crown moulding trim found within the west portion's hall, for possibilities of conservation within the new interior design.

## Restoration

The following items should be restored where applicable and feasible:

- Restore missing decorative cornice details, including wood brackets and dentils, to match existing.
- Restore missing iron cresting where applicable at existing and/or restored condition to match archival documentation.
- Restore north extension along the main elevation, should the extent of original materials be considered sufficient for restoration, once non-sympathetic cladding is removed.
- Restore the tower at main elevation to match archival documentation.
- Remove non-sympathetic chimneys along the south elevation. This will include the restoration of the paired window with unique combined brick voussoirs, and will likely require a new window unit to match existing.
- Further investigations are to be completed as to the feasibility of restoring the original bay window(s) along the West elevation.
- The removal of existing, non-original, fenestration and door openings at ground level will need to be evaluated once interior programming is confirmed. Further investigations are to be completed where archival documentation is limited (south elevation).



(left) View of north extension, existing condition showing non-sympathetic wood cladding and new window unit.  
 (right) Archival documentation showing original design of north extension, c.1900, as extension of original veranda.

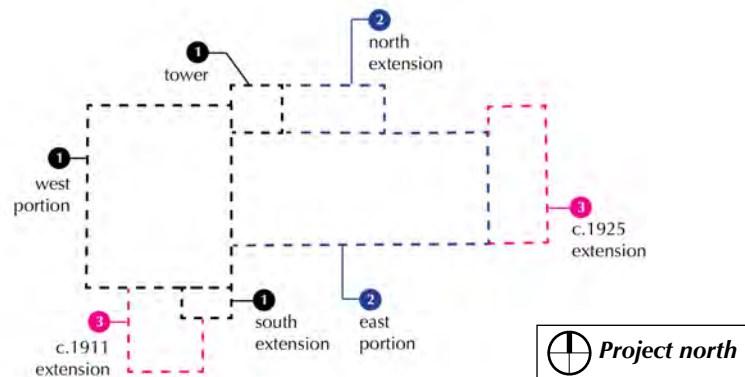
## 5. CONDITION REVIEW

The Haggertlea building is currently occupied by residential tenants. Given this situation, the overall condition is fair, as maintenance has been regularly performed on various elements of the building. Necessary repairs to be completed have been noted.

In February and April 2021, GBCA conducted a non-invasive, high-level condition survey of the exterior elevations. The survey was conducted from grade, with partial access to second and third floor exteriors accessed by means of the existing main elevation fire escape. In August 2021, GBCA additionally conducted a non-invasive preliminary investigation of Haggertlea's interior spaces pertaining to its construction evolution, though of limited scope since the building is currently occupied.

For the purposes of this report, the condition descriptions are defined as follows:

Good	Only minor repairs required (i.e. cleaning)
Fair	Functional, requires repair (i.e. repointing)
Poor	Requires repair in order to be functional
Very Poor	May be nearing functional failure
Unsalvageable	Beyond repair, too far compromised to warrant retention/repair



Key Plan of Haggertlea Building Phases and naming conventions for the purpose of this report. Refer to Section 2.2 'Architectural Background' for details.

### Foundations

The Haggertlea building's west portion foundations are built of rubble stone. Interior basement spaces revealed that masonry foundations were partially finished with plaster on lath, and alterations include new interior brick partition walls, new brick infill at exterior wall at main elevation basement door, infilled fenestration openings, and openings within the rubble stone walls to create openings to the east portion's basement space.

The basement level at the east portion did not encompass the entire structure, likely due to varied construction methods between building phases. The foundations observed within the interior basement space of east portion are built of brick, finished with lime render, complete with a continuous interior brick buttress.

Additional crawl or basement spaces could not be confirmed for the remainder of the Haggertlea building. The remainder of foundations, assessed from the exterior, would appear to be brick. The later one-storey brick c.1925 extension along the east elevation is however built with concrete foundations.

The following conditions were observed:

- Foundations mostly appear to be in good condition from interior spaces, some modifications throughout at fenestration openings;
- Biological growth and rising damp indicative of typical moisture issues at interior spaces;
- Brick foundations in fair condition, with observed deterioration at grade;
- Underpinning may be required where foundations could not be observed; to be further investigated at observed cracks at exterior brick walls along south elevation (Elizabeth Street North).



*Basement entrance at main elevation, showing extent of brick infill at rubble stone foundations.*



*West portion rear foundation wall, view from interior, showing lath and plaster, and altered window opening (adjacent to later south and c.1911 extensions along Elizabeth Street North).*



*Basement entrance at main elevation, view from interior, showing extent of brick infill at rubble stone foundations, with new adjacent brick interior partition wall.*



*East portion main elevation foundation wall, view from interior, showing opening within original rubble stone foundation at left, and the continuous brick buttress.*



### ***Exterior Masonry Walls***

Both the west and east portions of the Haggertlea building exterior load-bearing masonry walls are built of buff bricks with red brick quoins, as shown on archival documentation. The west portion, as well as ground floor of the east portion and c.1911 extension, display a running bond (or clip-bond) brick construction; while the second floor of the east portion displays a common bond brick construction, with a course of headers largely every six brick courses. The one-storey brick c.1925 extension along the east elevation comprises a combined running-bond construction (toward the south elevation), and a common bond construction (toward the main elevation).

The following conditions were observed:

- As shown by archival documentation, exterior brick elevations will require the removal of several layers of paint to complete a full condition assessment. Though brick elevations appear to largely be in good to fair condition, a detailed condition review will be completed once paint removal is complete.
- The Elizabeth Street North, east portions in poor condition; a significant bulging of the exterior brick wall at the second floor level was observed, where the original extent of the one-storey “running bond” (clip-bond) brick construction meets the second floor of common bond brick construction.
- Stepped cracks were observed throughout at window sills, voussoirs, and arches (flat and segmental). Significant continuous stepped cracks to be further investigated along the east portion south elevation at Elizabeth Street North elevation.
- Several failed brick voussoir components observed at west portion, typically in fair to poor condition.
- Chipped and cracked bricks at voussoir dripstone moulding (tower).
- Deteriorated brick at localized areas in poor condition, to be investigated at tower and main elevation (east portion).
- A moderate number of mechanical penetrations and anchor holes were observed at all elevations.



*View of the main (north) elevation, showing tower, east portion, north extensions, and c.1925 extension.*



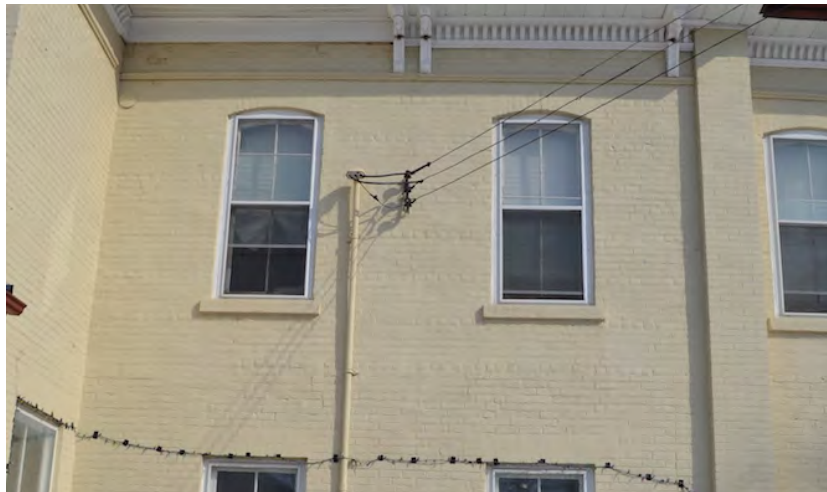
*View of west elevation (along Nelson Street West), showing west portion, and c.1911 extension to the far right.*



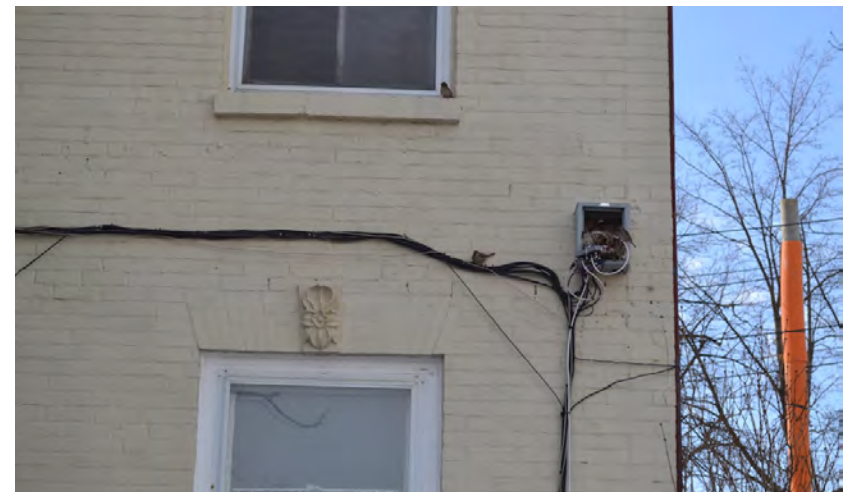
*The east portion displays a significant bulging of the exterior brick wall at the second floor level, above the original extent of the one-storey "running bond" (clip-bond) brick construction, above which a second floor with exterior common bond brick walls was constructed.*



*Chipped and cracked bricks at voussoir dripstone moulding of second floor window; Localized areas of deteriorated brick at tower elevations to be further investigated; non-sympathetic wood fire-escape to be removed, and adjacent masonry investigated.*



*Cracks found throughout at window sills, voussoirs, and arches (flat and segmental). Significant continuous crack to be examined along the east portion Elizabeth Street N elevation, shown above.*



*Stepped crack above brick voussoir, typical (shown: main facade ground floor at west portion); typical miscellaneous electrical units to be removed from masonry; chip at second floor stone still.*





*Obstructed brick voussoir and flower-themed keystone combination at ground floor window, where c.1911 extension abuts the original one-storey south extension the (rear) Elizabeth Street North elevation.*



*Chimney obstructing previously paired window with combined brick voussoirs at third floor (attic) of west portion, along the Elizabeth Street North elevation; Showing altered window rough opening and non-sympathetic contemporary window at second floor, above original south extension.*



*Non-sympathetic contemporary window at West elevation, at the location of an original one-storey bay window (since removed) showing recent non-sympathetic repointing repairs at joint line between original and non-original brick of infill at removed one-storey bay window.*



*Remnants of wood bracketed structure with iron cresting at paired window of third floor (attic), main elevation. The condition also exists along the Elizabeth Street North elevation.*





*(left) Showing one-storey brick c.1925 extension east elevation, with detail at (right) showing the continuous joint line between infilled doorway and window which differentiates the brick bond construction types: running bond on left, toward the south elevation; and inconsistent common bond at right, toward the main elevation.*



*Detail view of brick deterioration at main (north) elevation tower, typical localized condition at the tower, and chipped brick dripstone at second floor voussoir; showing area between second and third floors.*



*Paint flaking throughout; showing second floor window at main elevation, west portion, and characteristic flower-themed keystone set within segmental arch.*



*Detail view of brick deterioration at main (north) elevation tower, typical localized condition at the tower, showing area between ground and second floors.*

### ***Exterior Stone Elements***

Stone detail elements are limited to window sills, as well as detailed flower-themed keystones.

Sill typologies vary throughout, indicative of various building construction phases and previously completed alterations:

- Punched stone sills observed throughout at original second floor windows of building east portion.
- Punched stone sills observed at west and south elevations of c.1911 extension, at windows with segmental arch.
- Stone sills observed throughout at original window openings of east and west portions, south extension.
- Brick sills observed throughout at new window within original door opening, accompanied with brick infill below (See *Exterior Masonry Walls*).
- Wood sills observed at c.1925 extension.

Cast-stone flower-themed keystones are limited to the building's west portion, with motifs and sizes varying between the ground and second floors. A single keystone at the west elevation is not associated to an existing window or door opening; it is positioned (though off-centred) between the former one-storey brick bay windows (today infilled with new window units).

The following conditions were observed:

- Condition of flower-themed keystones not assessed due to paint.
- Condition of wood, stone, and brick sills not assessed due to paint.
- Condition (and materiality) of sill at tower door not assessed due to existing porch obstructing the area.



*Detail view of punched sill, typical of second floor at east portion, as well as two units found at ground floor of c.1911 extension (west and south elevations).*



*Detail view of typical stone sill, with minor chips; showing condition at main (north) elevation, third floor paired windows.*

## **Windows - Frames and Glazing**

The windows comprise a combination of original and non-original units. Windows largely include non-sympathetic storm windows.

### *Ground Floor*

The main elevation includes various window conditions:

- The two windows of west portion include brick infill below with a new brick sill, confirming that these windows are each replacing an original door which stood at the original veranda, now removed.
- The tower includes an original window with coloured glazing panels set within wood muntins, installed within an original rounded arch wood frame.
- The east portion includes two windows at this elevation: a 1/1 sash segmental window and a large 1/1 window with fixed (smaller) upper sash that matches the proportions of the leaded-glass window at West elevation. The former is presumed to be set within two combined window rough openings, indicated by the remnants of two brick arches above and a removed brick pier between them.
- The one-storey wood original north extension displays two non-original windows with wooden frame and sill, set within the non-original wood cladding.
- The one-storey c.1925 extension at east elevation includes a smaller 1/1 window with segmental arch.

The West elevation includes three windows. While all are non-original, a large leaded-glass window has been identified as a heritage attribute.

The south elevation of the west portion, along with two bays of the east portion, include original 2/2 sash windows with flat arch. The east portion additionally comprises two 1/1 sash windows with flat arch, and a segmental arch 1/1 sash window.

The c.1911 extension at Elizabeth Street includes two 1/1 sash windows with segmental arch, and one 1/1 sash window. The one-storey brick c.1925 extension, along east elevation, includes a rounded-arch window that has been infilled.

### *Second Floor*

The second floor original windows largely remain: The 2/2 sash window with segmental arch are found at all elevations; Two of which have been removed at the (new) fire escape and replaced with a smaller non-original window within original rough opening. The wood moulding trim was retained at the latter (west portion), whereas the altered window of tower additionally includes an extension of its rough opening in order to fit the frame of the non-original window.

An additional non-original window is found at the south elevation of the west portion. As this window includes brick infill below and a new brick sill, it is likely replacing an original door at what may have been a small terrace above the one-storey south extension. No archival documentation has yet been discovered to confirm this.

### *Third Floor (attic)*

The third floor original windows remain: the typical dormer window frames, 2/2 sash windows, and glazing (total of 8 units); the atypical paired dormer window frames and 1/1 sash (glazing removed at one unit); the bay (oriel) window frames, 2/2 sash and glazing; two window units at the main elevation tower, with 2/2 sash with rounded arch; paired windows (3 units) at west portion, with 1/1 sash windows with rounded arch.

Two non-original windows have been installed within new rough openings at the main elevation adjacent to the (new) fire escape, one within the tower elevation and the other at removed mansard roof asphalt elevation, adjacent to the tower.

### *Basement Floor*

No original windows remain functional at the basement level. A six-pane original windows remains within its rough opening, but has been obstructed from the exterior with alterations to the original one-storey wood north extension adjacent the tower. A window rough opening remains at the south elevation, but the window itself is a new casement window with modifications to accommodate the current laundry area.



## Doors

No original doors remain at ground floor. A detailed wood moulding however remains at the tower entrance of the main elevation. The basement door on the main elevation may be original, but as the rough opening exhibits brick infill, it is unknown at this time whether the door was installed following the veranda's removal.

The following conditions were observed for windows and doors:

- Non-sympathetic storm windows on original frames throughout to be removed, and underlying windows further assessed.
- Non-sympathetic window units and doors, typically accommodated with brick infill, previously made to accommodate changes in interior configuration: fire escape, removed veranda, location of the original one-storey bay windows (since removed), and entrances at Elizabeth St North elevation.
- Possible sag at the two-storey wooden bay (oriel) window wood soffit, along main elevation, to be further assessed; oriel window in fair condition.



*Interior view of the Nelson Street West leaded-glass window at ground floor of west portion. Though a non-original window opening (previously a one-storey bay window), this window glazing has been identified as a heritage attribute.*



*Original six-pane window at basement level of east portion, no longer with access to its adjacent exterior space (at main elevation).*



*Original rough opening with new casement window at basement level of east portion (south elevation).*



View of the south elevation windows and non-original door at east portion. This area has seen alterations in its fenestration, as shown by brickwork investigations (there was likely a door previously situated at area highlighted red).



View of the main elevation, showing the non-original door at the base of tower; the two non-original windows at ground floor of west portion (replacing original doors); the original 2/2 sash windows at tower and west portion; and altered window at fire escape that retains its wood trim moulding at brick.



- (left) View of original tower ground floor (main elevation) window with coloured glazing set within wood muntins, within rounded arch wood frame.
- (mid) Altered second floor tower (main elevation) window, with modifications made to its rough opening to accommodate new frame.
- (right) Typical non-original window at third floor tower (main elevation) and removed section of mansard roof, adjacent to the new fire escape.



Alterations made to the ground floor windows at main elevation, where previous doorway rough openings were infilled with new brick, at removed veranda, showing a disruption in the original brick chamfer at building's base. New brick sills are additionally typical at these alterations.

### ***Roof and Drainage Systems***

The mansard roof, with a total nine hooded dormers of varying sizes, is wood framed with asphalt shingles. Much of the original wood trim remains, though the curbed wood cornice at dormers are either obstructed or have been removed; refer to *Exterior Woodwork*.

The west portion includes a concave Mansard roof (topped with hipped gable roof), detailed with a centred convex mansard dormer at the rear and main elevations.

The east portion also includes a concave Mansard roof (topped with flat roof), its mansard profile largely consistent with the west portion. The east portion's mansard roof is interrupted by the two-storey bay (oriel) window.

A portion of the mansard roof at the main elevation, adjacent the tower, has been removed and replaced with an elevation of asphalt finish. The original mansard roof profile is distinguishable on the adjacent tower brick elevation.

The following conditions were observed:

- The roof was not fully inspected for the purposes of this condition review, but given the building's current occupancy, the roof is likely in fair condition.
- Original wood soffits have been replaced with new perforated vinyl materials.
- The drainage systems appear to be functional.

### ***Exterior Woodwork***

Both the west and east portions include a detailed wood bracketed cornice with dentils at mansard roof soffit, as well as simple coping wood cornice with dentils. The convex mansard dormers additionally include a trim moulding with decorative brackets.

The two-storey bay (oriel) window on the main elevation displays intricate woodwork detailing complete with brackets and spindles, as well as two large decorative brackets at the oriel window soffit.

The enclosed portion of the veranda along the main elevation has been replaced with non-sympathetic wood siding. Investigations should be completed to assess the extent of original materials that remain at this one-storey wood frame north extension, adjacent the tower.

The following conditions were observed:

- Cornice in fair condition: Select cornice brackets and dentils are missing; dentils largely found to be missing in complete sections.
- Curbed wood cornice at dormers obstructed or removed.
- The original veranda at tower entrance has been replaced with a non-sympathetic porch along the main elevation (adjacent the tower only).
- Paint flaking at the section of top mansard cornice (that could be observed from third floor fire escape), likely a typical condition throughout; to be further assessed once access is provided.





*View of main elevation, showing area where mansard roof removed, highlighted red, today replaced with elevation of asphalt finish.*



*Remnants of removed mansard roof section visible at adjacent tower brick elevation (main elevation).*



*Detail view of main elevation, where convex mansard dormer meets the new asphalt elevation; showing typical wood cornice with dentils.*



*Detail view of typical convex mansard dormer trim detail with bracket; note the original wood soffit is intact (view of main elevation)*



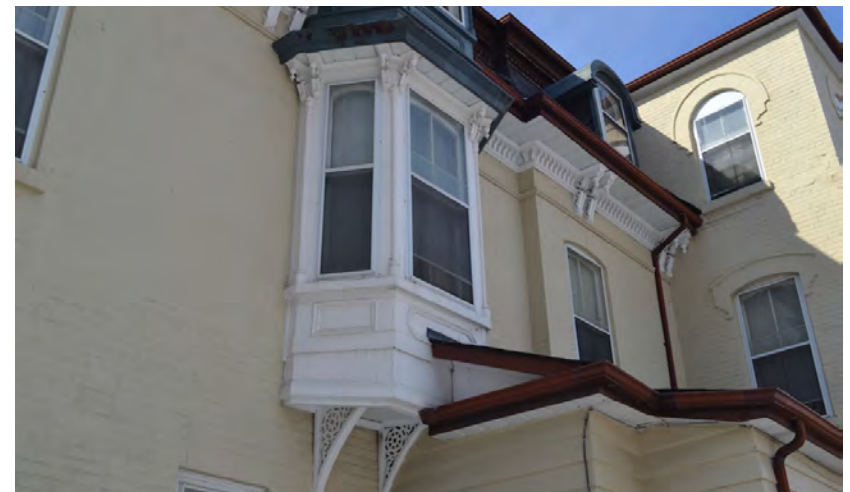
*View of south elevation at east portion, showing continuous concave mansard roof profile and typical hooded dormer window; typical missing wood dentils and bracket at cornice*



*View of south elevation, showing the a-typical dormer type which consists of paired windows; typical missing section of dentils at wood cornice.*



*Detail view of the wood cornice at eave of mansard roof, showing missing section of dentils along the main elevation, and new (typical) non-compatible soffit material.*



*View of the two-storey bay (oriel) window at main elevation of east portion, showing the wood detailing that appears to be in fair condition. Though original wood soffit is intact, its framing to be investigated at possible sag.*



## ***Interiors***

Interior spaces have largely been altered to accommodate new residential apartments, including new partition walls, finishes, drop ceilings, and trim details. A segment of what may be original painted plaster crown moulding trim and, along with remnants of the plaster lath ceiling, has been preserved in situ within the west portion's new ceiling construction at main hall (adjacent the staircase).

The following conditions were observed:

- Segments of the presumed original plaster crown moulding found in good condition for replication of profile and paint analysis.
- Interior casing trims and sills largely intact and in good condition at original window units throughout, including dormer windows within the west portion.
- Paired dormer window at south elevation is in fair condition, as observed from grade, to be further assessed.
- Perimeter wood base trim at the west portion third floor largely remains in good condition.



*Partial remnants of the presumed original painted plaster crown mouldings remain tucked away within the new drop-ceiling of west portion adjacent staircase.*



*Interior wood casing trims and sills largely remain throughout, and appear in good condition. View of interior showing North and West elevation, second floor windows of the west portion.*

## 6. HERITAGE BUILDING PROTECTION PLAN

### 6.1 Description

The Haggertlea building is a prominent three-storey Second Empire style estate residence, located on the east side of Elizabeth Street North at Nelson Street West. The building includes a west portion that is rectangular in plan, with a concave Mansard roof (complete with hipped gable). The east portion, which comprises a tail extension, is largely rectangular in plan and extends centrally from the west portion along Elizabeth Street North. The latter has also been completed with a concave Mansard roof (complete with a flat roof). A partial tower is centrally located at the main elevation, between both building volumes of the west and east portions. The building additionally includes two later one-storey brick extensions (dated c.1911 and c.1925); at the south elevation at Elizabeth Street North and at the east elevation, adjacent the contemporary one-storey detached garage.

### 6.2 Baseline Documentation

The condition assessment in this HIA serves as part of the baseline documentation and includes photographs and description of existing heritage fabric. As found, measured drawings are included as Appendix II to this report. The interior has not yet been fully documented as it is not yet fully accessible due to the current **residential** use.

### 6.3 Preventative Maintenance Plan

The following Preventative Maintenance Plan table identifies existing building maintenance issues that require immediate inspection, monitoring and maintenance. Additional Heritage Elements for which on-going building inspection and preventative maintenance is required are also included.





	Building Component	Required Action	Routine Inspection Occurrence (years)	Average Lifespan of Building Component		
				1-5 yrs	6-14 yrs	15 + yrs
Exterior Brick Walls & Foundations:						
1	Bulging at former rear elevation	Immediately - stabilize the area prior to construction. Carry-out continued monitoring and investigations; Refer to components ‘Mortar joints’ and ‘masonry’ of this table for additional action items.	< 1			•
2	Cracking at former rear elevation, continuous along ground and 2nd floors	Immediately - install crack monitoring devices and prepare a stabilization plan for the area, after further investigations completed. Carry-out continued monitoring and investigations; Refer to components ‘Mortar joints’ and ‘masonry’ of this table for additional action items.	< 1			•
3	Mortar joints	In 5 years, inspect and repair failing mortar joints ( inspection can be done from grade). In 10 years inspect more in depth review and repair failed mortar joints and any brick. Inspection should be done up close in boom truck.	5		•	
4	Masonry	In 2 yrs time after restoration repairs, review if any efflorescence or staining is present. If yes, efflorescence and staining should be removed.	2			•
Exterior Woodwork:						
5	Exterior Painted Surface	Average life span 7 to 10 years for vertical painted surfaces. Conduct routine inspections of all painted surfaces; review for flaking cracks or abrasion/damage.	2		•	
6	Wood	In 5 years, review condition of restored wood and repair where damaged. See also exterior painted surfaces.	5		•	
Windows & Doors						
7	Glazed Units	Average life span 20 + years. Conduct routine inspection every 5 years; review for cracks, water infiltration or condensation occurring within the sealed unit.	5			•
8	Exterior Sealant	Acrylic caulks - average life span 5 to 10 yrs. Polyurethane caulks - average lifespan 10 to 15 yrs. After 5 years, review all sealants and repair as required, failed or cracking sealant.	5		•	
Roof & Drainage Systems						
9	Asphalt shingles	Conduct routine inspections once per year on asphalt shingles, gutters and RWLs. Average life span on asphalt shingles is 15 to 18 years on standard 3 tab shingles	1			•
10	Built-up or Modified Roof Membrane	Average life span on exposed membrane 15 to 16 years. Conduct routine inspections every 5 years, at all roofing membranes.	5			•
11	Sheet Metal	Average life span 20 to 40 + years (depends on quality of fastening) In 5 years, review flashing condition and repair loose/damaged fasteners.	5			•
General Notes:						
Schedule inspections of all materials noted above in increments of 5 years after initial restoration.						
In the first 5 years if no deferred restoration items, repairs may be minor in nature.						
In 10 years an in depth review of all materials noted above is required, repairs may be moderate						
in 15 years an in depth review is required of all materials noted above. Repairs may be major in nature, such as asphalt shingles, re-painting etc.						

## 6.4 Security Plan

The Haggertlea building is currently secure and fully occupied. Once vacated for the construction phase of the development, a standard construction security system, including fencing, cameras, and dedicated site superintendent, will be implemented by the owner.

## 6.5 Proof of Insurance

The following Proof of Insurance letter was provided:

De CERTIFICATE OF INSURANCE						DATE (YYYY/MM/DD) 2022/07/13	
<b>BROKER:</b> 		<b>McDougall Insurance Brokers Limited</b> 300 - 172 King Street East, Oshawa, ON L1H 1B7 Tel: (905) 723-1169 Fax: (905) 723-9958		This Certificate is issued as a matter of information only and confers no rights upon the certificate holder. This certificate does not amend, extend or alter the coverage afforded by the policies below.			
<b>INSURED</b>				<b>COMPANIES AFFORDING COVERAGE</b>			
Elizabeth/George Holdings Inc. & Sweeny Holdings Inc. and Greenwin Holdings Inc. 19 Lesmill Rd North York, ON M3B 2T3				<b>COMPANY A</b> Intact Insurance Company			
				<b>COMPANY B</b> Certain Underwriters at UCC authorized by Lloyds of London			
				<b>COMPANY C</b>			
				<b>COMPANY D</b>			
<b>COVERAGES</b>							
This is to certify that the policies of insurance listed below have been issued to the insured named above for the policy period indicated, notwithstanding any requirement, term or condition of any contract or other document with respect to which this certificate may be issued or may pertain, the insurance afforded by the policies described herein is subject to all the terms, exclusions and conditions of such policies. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS							
CO. LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (YYYY/MM/DD)	POLICY EXPIRY DATE (YYYY/MM/DD)	LIMITS		
A	COMMERCIAL GENERAL LIABILITY	573006866	2022/07/08	2023/07/08	<b>COVERAGE</b>	<b>DED</b>	<b>LIMITS</b>
	<input type="checkbox"/> CLAIMS MADE				BODILY INJURY & PROPERTY DAMAGE INCLUSIVE LIMITS	\$2,500	\$5,000,000
	<input checked="" type="checkbox"/> OCCURRENCE				GENERAL AGGREGATE		\$5,000,000
	<input checked="" type="checkbox"/> PRODUCTS AND/OR COMPLETED OPERATIONS				PRODUCTS/COMPLETED OPERATIONS AGGREGATE		\$5,000,000
	<input checked="" type="checkbox"/> CROSS LIABILITY				PERSONAL INJURY & ADVERTISING		\$5,000,000
	<input type="checkbox"/> EMPLOYER'S LIABILITY				MEDICAL PAYMENTS		\$50,000
	<input checked="" type="checkbox"/> TENANTS LEGAL LIABILITY				TENANTS LEGAL LIABILITY		\$250,000
	<input type="checkbox"/> NON-OWNED AUTOMOBILE				NON-OWNED AUTOMOBILE		
A	OTHER (SPECIFY)	573006866	2022/07/08	2023/07/08	BUILDING - 18 ELIZABETH ST. N. BRAMPTON	\$2,500	\$411,233
	<input checked="" type="checkbox"/> BROAD FORM - PROPERTY				BUILDING - 20 ELIZABETH ST. N. BRAMPTON		\$714,000
	<input type="checkbox"/>				BUILDING - 22 ELIZABETH ST. N. BRAMPTON		\$723,450
	<input type="checkbox"/>				BUILDING - 24 ELIZABETH ST. N. BRAMPTON		\$388,500
B	EXCESS LIABILITY	BINDER-341257	2022/07/08	2023/07/08	EACH OCCURRENCE		\$5,000,000
	<input type="checkbox"/> UMBRELLA FORM				SIR		
	<input type="checkbox"/> OTHER THAN UMBRELLA FORM						
<b>DESCRIPTION OF OPERATIONS/LOCATIONS/SPECIAL CONDITIONS/OTHER:</b> <span style="float: right;">Note: Limits are Stated in Canadian Dollars</span> Description of Operations: Building Owner							
Evidence of Insurance							
<b>CERTIFICATE HOLDER</b>				<b>CANCELLATION</b>			
Attn:		Fax/Email:		Should any of the above described policies be cancelled before the expiration date thereof, the issuing company will endeavour to mail 30 days written notice to the certificate holder named to the left, but failure to mail such notice shall impose no obligation liability of any kind upon the company, its agents or representatives.			
Evidence of Insurance							
<b>ADDITIONAL INSURED NAME AND ADDRESS</b> (but only with respect to claims arising solely out of the insured operations of the Named Insured)  Evidence of Insurance				<b>AUTHORIZED REPRESENTATIVE:</b>   Nicole Frame, Commercial Account Manager PHONE: 905-723-1169 EMAIL: nframe@mcDougallinsurance.com			
Additional Insured does not apply to any form of Automobile Insurance							

## 7. RECOMMENDATIONS

Based on our assessment, the proposed development represents good opportunities for the conservation in situ of the Haggertlea building, with opportunities of being adaptively re-used to accommodate new public programming, while being incorporated within a new high density development for residential and commercial uses.

Impacts have been identified and have been mitigated by landscape strategies, the restoration and preservation strategies, and opportunities for future public programming, to maintain the cultural heritage value of Haggertlea. Further, unsympathetic extensions to the Haggertlea building will be removed with the intent to restore the original materials of the building.

As plans for adaptive re-use and reprogramming of Haggertlea evolve, it will be important to develop appropriate conservation strategies for reinstating original exterior details, such as door and window openings, bay windows, veranda, and tower. Further condition assessment of any original interior features should be considered when developing the redesign of interior spaces.

The condition assessment **herein will inform the preparation of conservation drawings**, to be completed as part of a detailed Conservation Plan in order to develop an appropriate Conservation Strategy - this includes masonry, windows (including the oriel window), and mansard roof. In the interim, install crack monitors where noted in this HIA to determine progression of masonry deterioration at the former rear wall.

Additional investigations should additionally be made at the c.1911 and c.1925 extensions to further evaluate the extent of original materials that remain in order to understand the extensions' building evolution and inclusion of any original fabric, prior to its demolition.

## 8. SOURCES

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Lynch, John. *Directory of the County of Peel for 1873-74* (Brampton, 1874).

Loversee, Helga V. *Brampton: An Illustrated History* (Burlington: Windsor, 1987).

Pope, J.H. *Illustrated Historical Atlas of the County of Peel, Ontario* (Toronto: Walker & Miles, 1877).

Salisbury, Rob. *Now and Then: A Photo journey through Brampton.*

Tremaine, G, 1859 Tremaine's Map of the County of Peel.



## **9. CLOSURE**

The information and data contained herein represents GBCA's best professional judgment in light of the knowledge and information available to GBCA at the time of preparation. GBCA denies any liability whatsoever to other parties who may obtain access to this report for any injury, loss or damage suffered by such parties arising from their use of, or reliance upon, this report or any of its contents without the express written consent of GBCA and the client.

Goldsmith Borgal & Company Ltd. Architects

## **APPENDIX I**

### General Standards for Preservation, Rehabilitation and Restoration

*Standards and Guidelines for the Conservation  
of Historic Places in Canada*

## THE STANDARDS

The Standards are not presented in a hierarchical order. All standards for any given type of treatment must be considered, and applied where appropriate, to any conservation project.

### General Standards for Preservation, Rehabilitation and Restoration

1. Conserve the *heritage value* of an *historic place*. Do not remove, replace or substantially alter its intact or repairable *character-defining elements*. Do not move a part of an historic place if its current location is a character-defining element.
2. Conserve changes to an *historic place* that, over time, have become *character-defining elements* in their own right.
3. Conserve *heritage value* by adopting an approach calling for *minimal intervention*.
4. Recognize each *historic place* as a physical record of its time, place and use. Do not create a false sense of historical development by adding elements from other historic places or other properties, or by combining features of the same property that never coexisted.
5. Find a use for an *historic place* that requires minimal or no change to its *character-defining elements*.
6. Protect and, if necessary, stabilize an *historic place* until any subsequent *intervention* is undertaken. Protect and preserve archaeological resources in place. Where there is potential for disturbing archaeological resources, take mitigation measures to limit damage and loss of information.
7. Evaluate the existing condition of *character-defining elements* to determine the appropriate *intervention* needed. Use the gentlest means possible for any intervention. Respect *heritage value* when undertaking an intervention.
8. Maintain *character-defining elements* on an ongoing basis. Repair character-defining elements by reinforcing their materials using recognized conservation methods. Replace in kind any extensively deteriorated or missing parts of character-defining elements, where there are surviving *prototypes*.
9. Make any *intervention* needed to preserve *character-defining elements* physically and visually compatible with the *historic place* and identifiable on close inspection. Document any intervention for future reference.

### Additional Standards Relating to Rehabilitation

10. Repair rather than replace *character-defining elements*. Where character-defining elements are too severely deteriorated to repair, and where sufficient physical evidence exists, replace them with new elements that match the forms, materials and detailing of sound versions of the same elements. Where there is insufficient physical evidence, make the form, material and detailing of the new elements compatible with the character of the *historic place*.
11. Conserve the *heritage value* and *character-defining elements* when creating any new additions to an *historic place* or any related new construction. Make the new work physically and visually compatible with, subordinate to and distinguishable from the historic place.
12. Create any new additions or related new construction so that the essential form and integrity of an *historic place* will not be impaired if the new work is removed in the future.

### Additional Standards Relating to Restoration

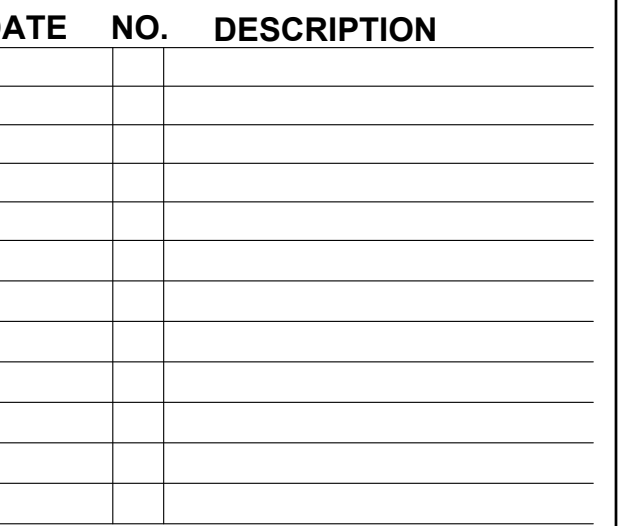
13. Repair rather than replace *character-defining elements* from the *restoration* period. Where character-defining elements are too severely deteriorated to repair and where sufficient physical evidence exists, replace them with new elements that match the forms, materials and detailing of sound versions of the same elements.
14. Replace missing features from the *restoration* period with new features whose forms, materials and detailing are based on sufficient physical, documentary and/or oral evidence.

## **APPENDIX II**

As-Built Elevation Drawings  
as prepared by GBCA

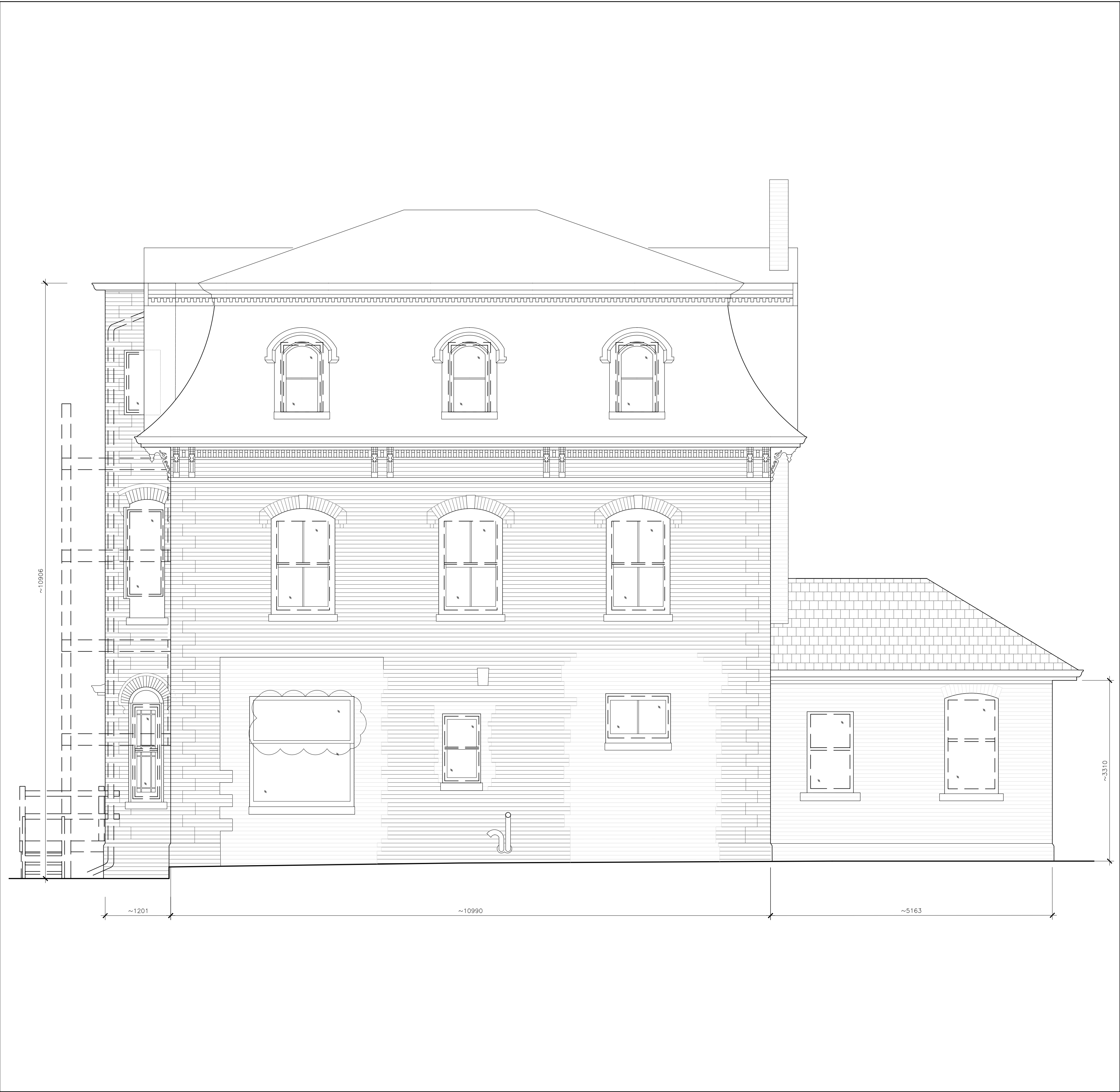


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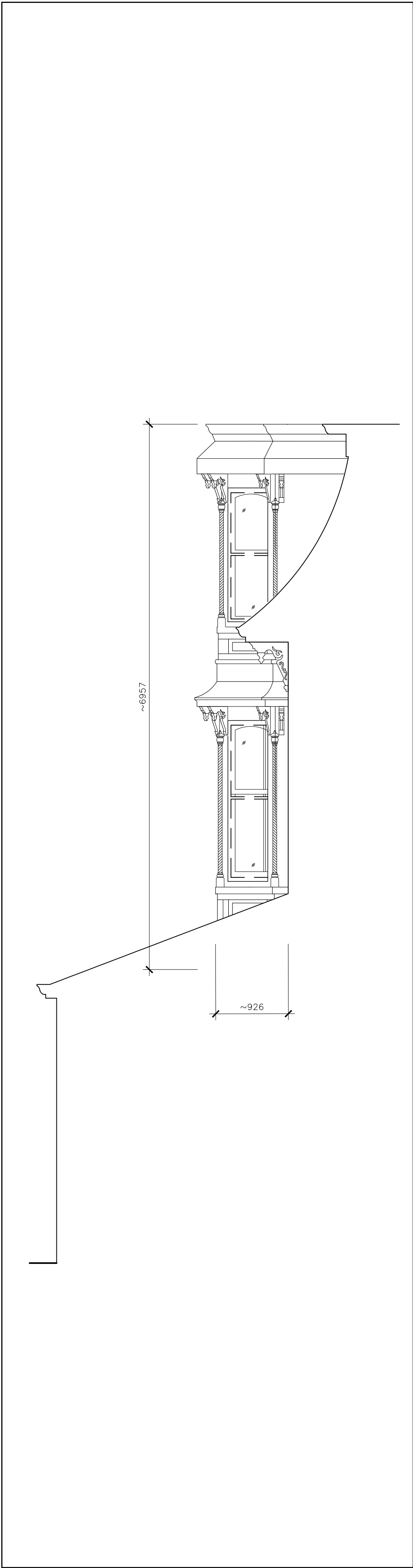


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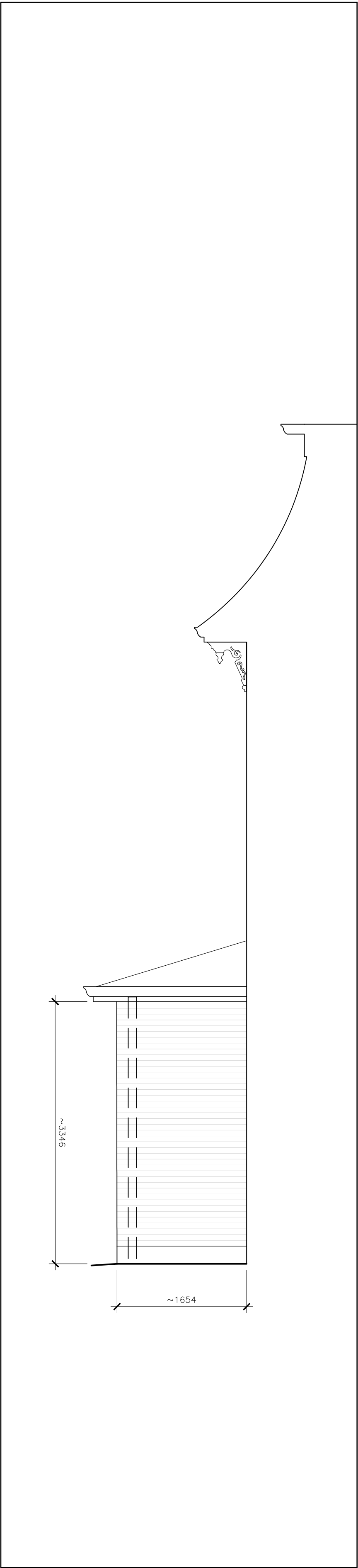
DRAWING NO.



1 WEST ELEVATION  
1:40



2 WEST ELEVATION - DETAIL  
1:40



3 WEST ELEVATION - DETAIL  
1:40

Contractor must verify all dimensions and be responsible for same. Report any discrepancies to the Architect and await further instruction before commencing work.

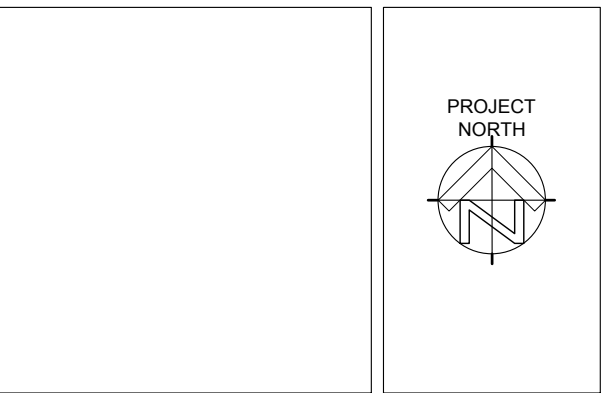
Do not scale drawings.

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Drawings © Goldsmith Borgal & Company Architects  
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This drawing is not to be used for construction purposes unless countersigned.

by:  
date :



DATE	NO.	DESCRIPTION

**GBCA**  
Goldsmith Borgal & Company Ltd., Architects  
362 Davenport Rd. Suite 100, Toronto ON, M5R 1K6  
T 416.929.6556 F 416.929.4745 www.gbca.ca

PROJECT: **Haggertlea**

33 George Street  
Brampton, Ontario

FOR: **RESERVED**  
**RESERVED**

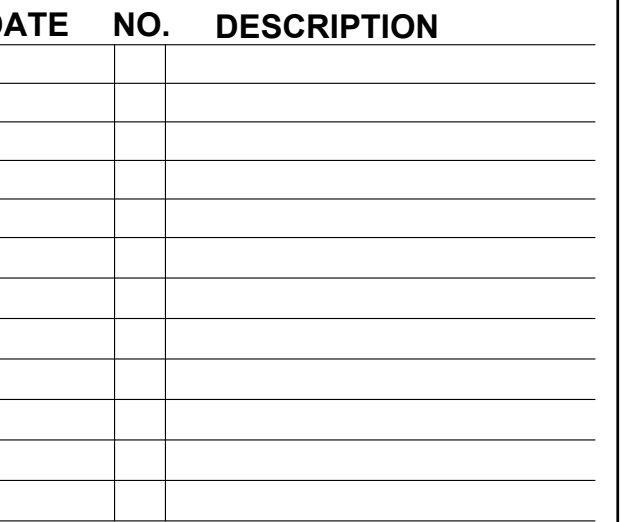
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DRAWN BY: **AS** REVIEWED BY:

DATE: **2021.08.19**

TITLE: **WEST ELEVATIONS**

date :



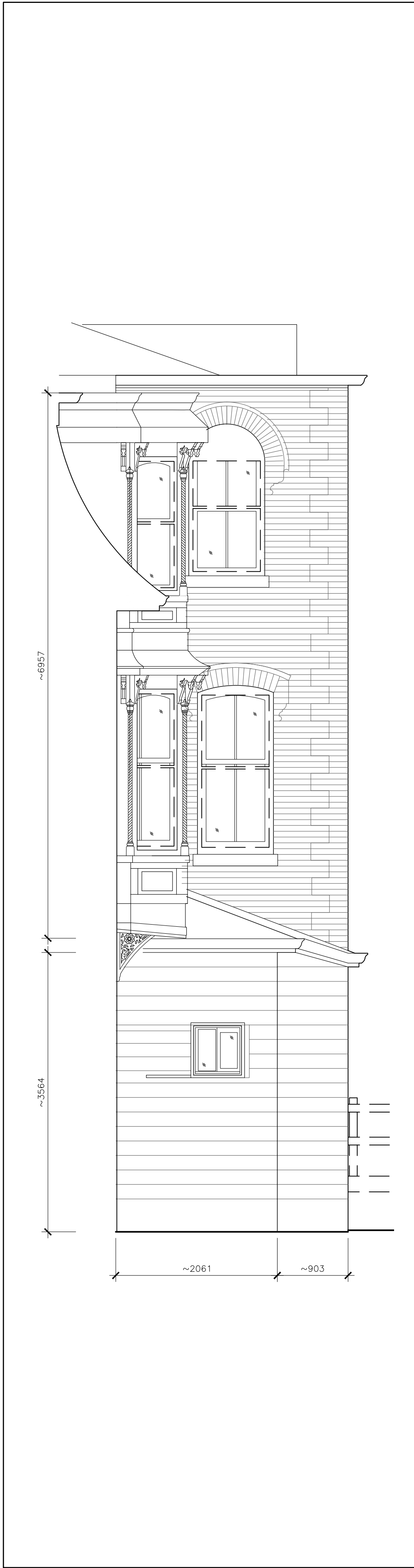
SOUTH  
ELEVATION

DRAWING NO.

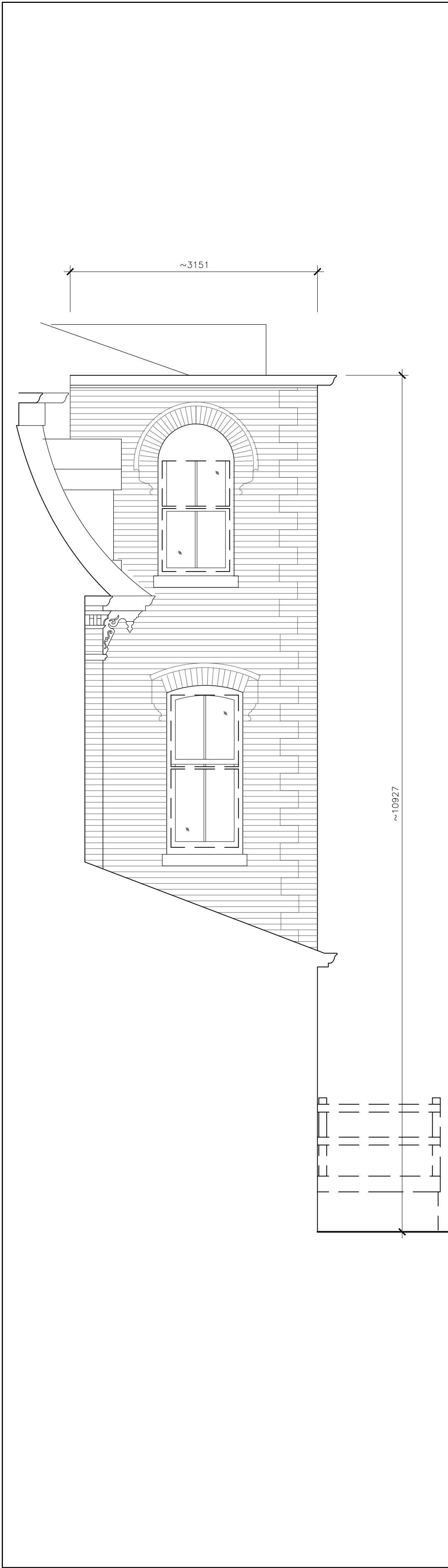




1 EAST ELEVATION  
1:40



2 EAST ELEVATION - DETAIL  
1:40



3 EAST ELEVATION - DETAIL  
1:40

Contractor must verify all dimensions and be responsible for same. Report any discrepancies to the Architect and await further instruction before commencing work.

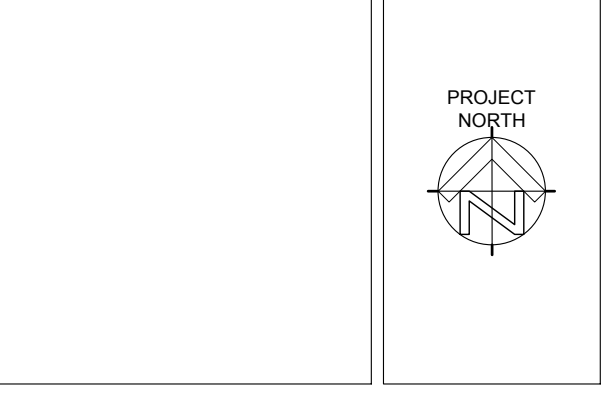
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date :



DATE	NO.	DESCRIPTION

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PROJECT: **Haggertlea**

33 George Street  
Brampton, Ontario

FOR: **RESERVED**  
**RESERVED**

PROJECT NO.: **21003** SCALE: **As Noted**

DRAWN BY: **AS** REVIEWED BY:

DATE: **2021.08.19**

TITLE:

**EAST  
ELEVATIONS**

**SK4**  
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### **APPENDIX III**

Development Drawings  
as prepared by Sweeny & Co Architects







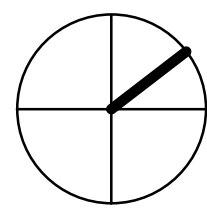
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Contractor must check and verify all dimensions on the job and report any discrepancies to the architect before proceeding with the work.

This drawing shall not be used for construction purposes until signed by the consultant responsible. This drawing, as an instrument of service, is provided by and is the property of Sweeny & Co. Architects.

**ISSUED**

21-10-08	ISSUED FOR REZONING
22-05-09	REISSUED FOR REZONING
22-06-16	ISSUED FOR SPA
22-08-05	ISSUED FOR COORDINATION



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E: info@sandco.com | www.sweenyandco.com

PROJ. NAME  
**BRAMPTON MIXED USE RESIDENTIAL**  
24 Elizabeth St. N. / 33 George St. N.

OWNER

DWG TITLE  
**P5 Floor Plan**

DATE : APRIL 22, 2022  
SCALE : 1 : 200  
DRAWN : JAF/PG  
CHECKED : DC  
PROJ. No. : 1918

DWG No.  
**AZ201**





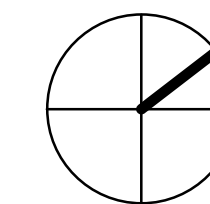
#### DRAWING NOT TO BE SCALED

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#### ISSUED

21-10-08	ISSUED FOR REZONING
22-05-09	REISSUED FOR REZONING
22-06-16	ISSUED FOR SPA
22-08-05	ISSUED FOR COORDINATION



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PROJ. NAME  
**BRAMPTON MIXED USE  
RESIDENTIAL**  
24 Elizabeth St. N. / 33 George St. N.

OWNER

DWG TITLE  
**P4-P3 Floor Plan**

DATE : APRIL 22, 2022  
SCALE : 1 : 200  
DRAWN : JAF/PG  
CHECKED : DC  
PROJ. No. : 1918

DWG No.

**AZ202**





**DRAWING NOT TO BE SCALED**

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**ISSUED**

21-10-08	ISSUED FOR REZONING
22-05-09	REISSUED FOR REZONING
22-06-16	ISSUED FOR SPA
22-08-05	ISSUED FOR COORDINATION

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PROJ. NAME

**BRAMPTON MIXED USE RESIDENTIAL**

24 Elizabeth St. N. / 33 George St. N.

OWNER

DWG TITLE

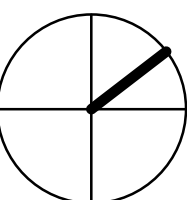
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DWG No.

**AZ203**





22-08-05	ISSUED FOR COORDINATION
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DWG No

# AZ204

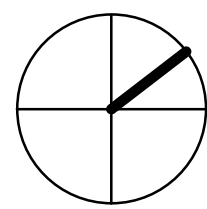


**NOTES:**  
1. A TRAINED ON-SITE STAFF MEMBER WILL BE AVAILABLE TO MANOEUVRE BINS FOR THE COLLECTION DRIVER AND JOCKEYING



**DRAWING NOT TO BE SCALED**  
Contractor must check and verify all dimensions on the job and report any discrepancies to the architect before proceeding with the work.  
This drawing shall not be used for construction purposes until signed by the consultant responsible. This drawing, as an instrument of service, is provided by and is the property of Sweeny & Co. Architects.

**ISSUED**  
21-10-08 ISSUED FOR REZONING  
22-05-09 REISSUED FOR REZONING  
22-06-16 ISSUED FOR SPA  
22-08-05 ISSUED FOR COORDINATION



## Sweeny&Co Architects

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PROJ. NAME  
**BRAMPTON MIXED USE  
RESIDENTIAL**  
24 Elizabeth St. N. / 33 George St. N.

OWNER

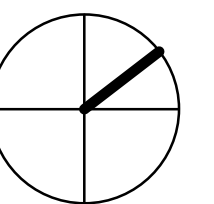
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CHECKED : DC  
PROJ. NO. : 1918

DWG No.

**AZ205**





00-08	ISSUED FOR REZONING
05-09	REISSUED FOR REZONING
06-16	ISSUED FOR SPA
08-05	ISSUED FOR COORDINATION

E : APRIL 22, 2022  
LE : 1 : 200  
WN : Author  
CKED : Checker  
J. No. : 1918 DWG N

## AZ206









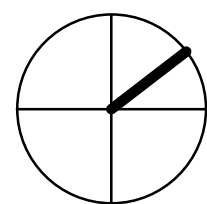
**DRAWING NOT TO BE SCALED**

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**ISSUED**

21-10-08	ISSUED FOR REZONING
22-05-09	REISSUED FOR REZONING
22-06-16	ISSUED FOR SPA
22-08-05	ISSUED FOR COORDINATION



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P: 416-971-6252 | F: 416-971-5420  
E: info@sandco.com | www.sweenyandco.com

PROJ. NAME  
**BRAMPTON MIXED USE  
RESIDENTIAL**  
24 Elizabeth St. N. / 33 George St. N.

OWNER

DWG TITLE  
**Level 3 Floor Plan**

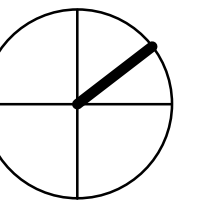
DATE : APRIL 22, 2022  
SCALE : 1 : 200  
DRAWN : JAF/PG  
CHECKED : DC  
PROJ. No. : 1918

DWG No.

**AZ208**

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10-08	ISSUED FOR REZONING
05-09	REISSUED FOR REZONING
06-16	ISSUED FOR SPA
08-05	ISSUED FOR COORDINATION



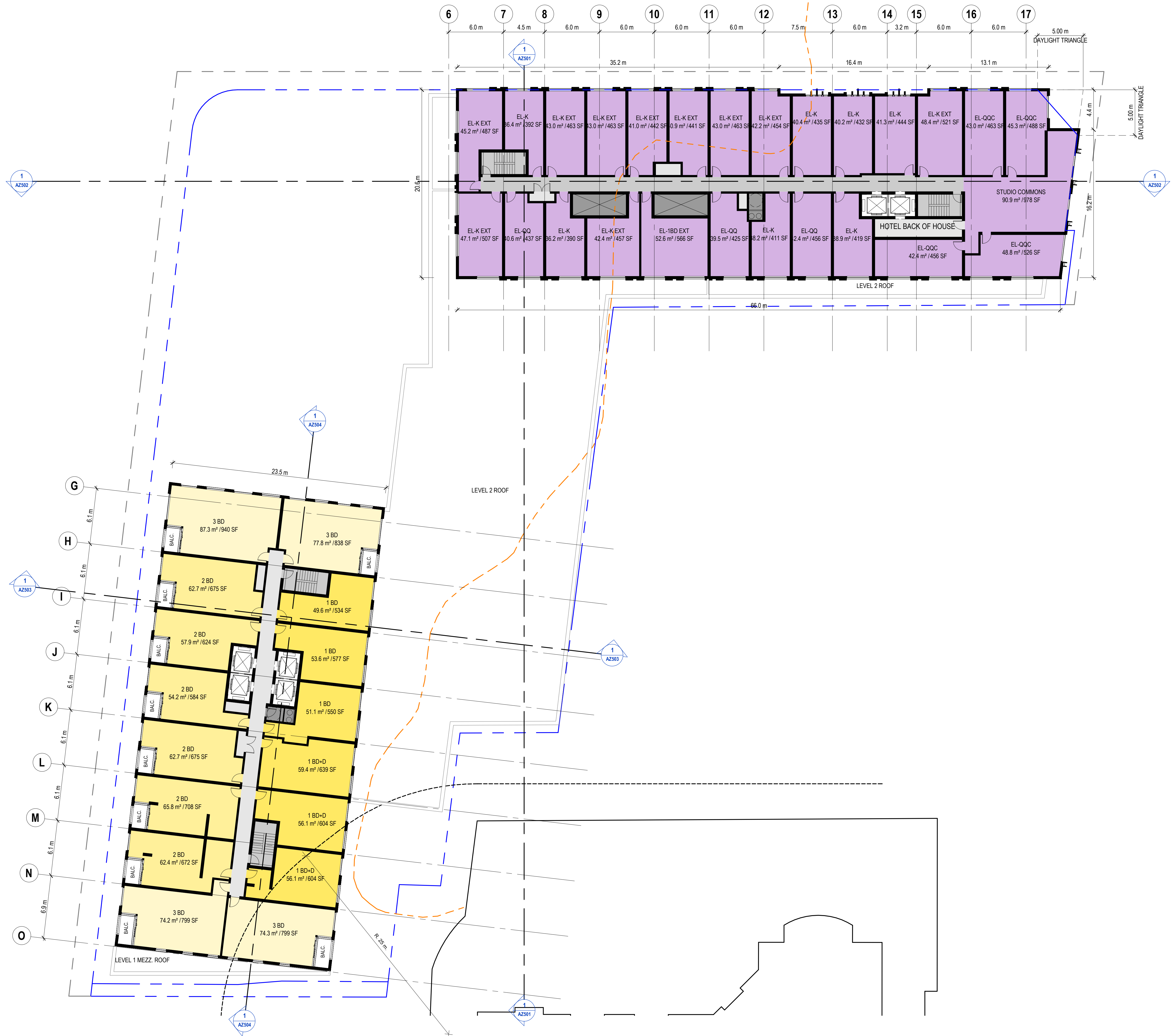
34 PETER STREET | SUITE 1601  
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ROJ. NAME  
BRAMPTON MIXED USE  
RESIDENTIAL  
4 Elizabeth St. N. / 33 George St. N.

## Level 4 Floor Plan

DATE : APRIL 22, 2022  
SCALE : 1 : 200  
DRAWN : JAF/PG  
CHECKED : DC  
PROJ. No. : 1918

DWG No.  
**AZ209**





C:\Users\james\Documents\1918\_28 Elizabeth Brampton\_R21\_Central\_james3045E.rvt 2022-08-05 10:53:35 AM



**DRAWING NOT TO BE SCALED**

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**ISSUED**

21-10-08	ISSUED FOR REZONING
22-05-09	REISSUED FOR REZONING
22-06-16	ISSUED FOR SPA
22-08-05	ISSUED FOR COORDINATION

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PROJ. NAME

**BRAMPTON MIXED USE RESIDENTIAL**

24 Elizabeth St. N. / 33 George St. N.

OWNER

DWG TITLE

**Level 5 Floor Plan**

DATE :	APRIL 22, 2022
SCALE :	1 : 200
DRAWN :	JAF/PG
CHECKED :	DC
PROJ. No. :	1918

DWG No.

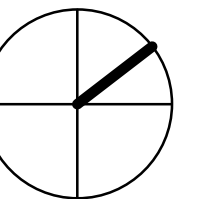
**AZ210**





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10-08	ISSUED FOR REZONING
05-09	REISSUED FOR REZONING
06-16	ISSUED FOR SPA
08-05	ISSUED FOR COORDINATION



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PROJ. NAME  
BRAMPTON MIXED USE  
RESIDENTIAL  
4 Elizabeth St. N. / 33 George St. N.

OWNER

## Level 8 Floor Plan

DATE : APRIL 22, 2022  
SCALE : 1 : 200  
DRAWN : JAF/PG  
CHECKED : DC  
PROJ. No. : 1918

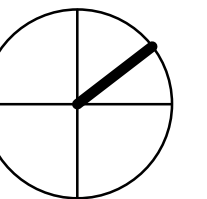
DWG No. **AZ212**





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10-08	ISSUED FOR REZONING
05-09	REISSUED FOR REZONING
06-16	ISSUED FOR SPA
08-05	ISSUED FOR COORDINATION



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PROJ. NAME  
BRAMPTON MIXED USE  
RESIDENTIAL  
24 Elizabeth St. N. / 33 George St. N.

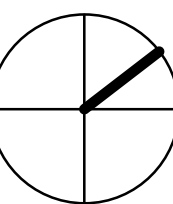
OWNER

DWG TITLE  
Level 9 Floor Plan

DATE : APRIL 22, 2022  
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CHECKED : DC  
PROJ. No. : 1918

DWG No.  
**AZ213**





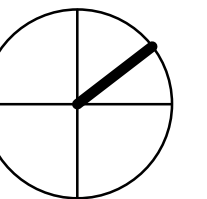
10-08	ISSUED FOR REZONING
05-09	REISSUED FOR REZONING
06-16	ISSUED FOR SPA
08-05	ISSUED FOR COORDINATION

DWG No. **AZ214**



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10-08	ISSUED FOR REZONING
05-09	REISSUED FOR REZONING
06-16	ISSUED FOR SPA
08-05	ISSUED FOR COORDINATION



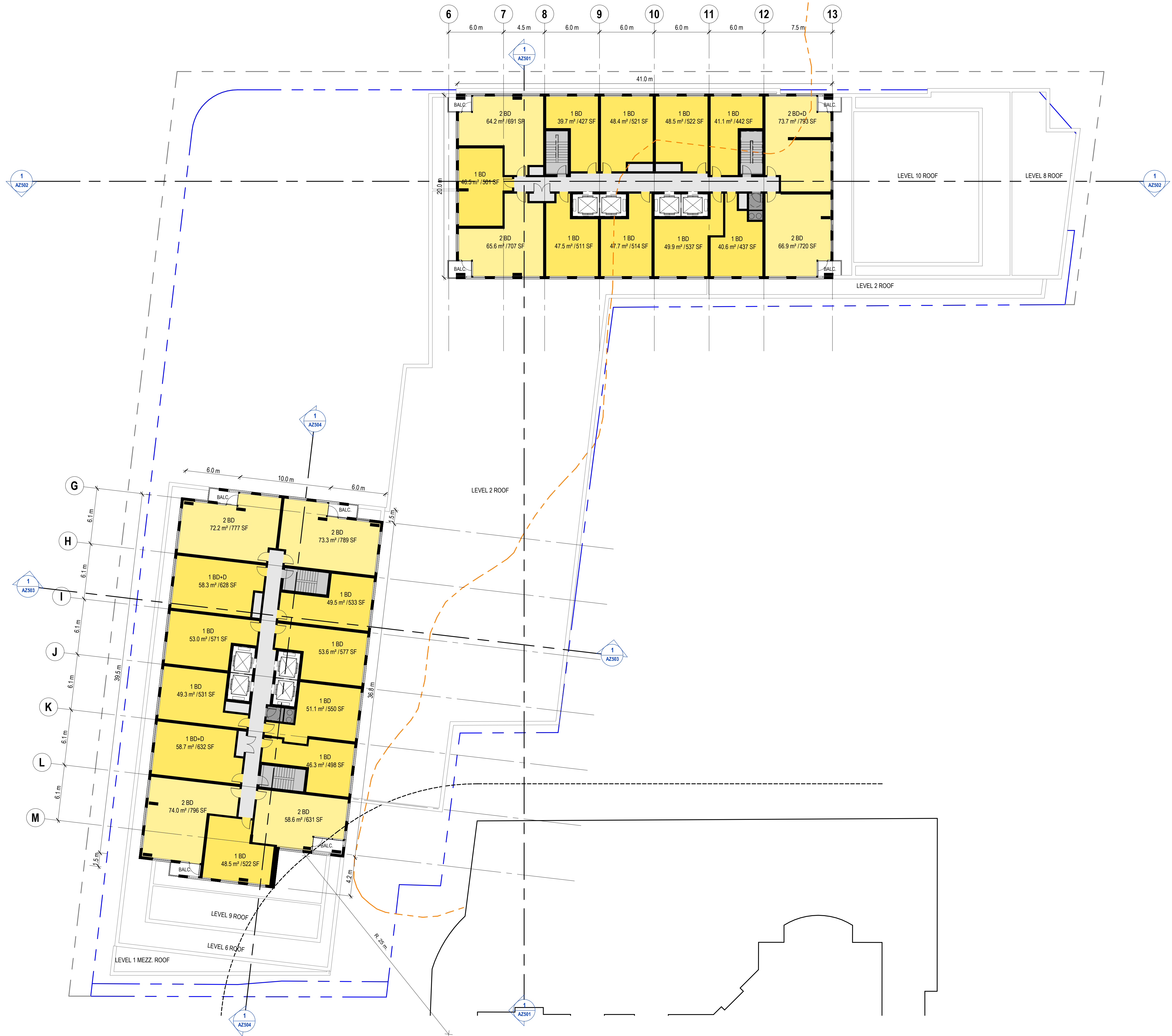
134 PETER STREET | SUITE 1601  
TORONTO, ONTARIO | M5V 2H2 | CANADA  
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PROJ. NAME  
BRAMPTON MIXED USE  
RESIDENTIAL  
24 Elizabeth St. N. / 33 George St. N.

DWG TITLE  
Level 11-27 Floor Plan

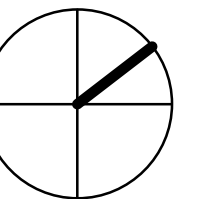
DATE : APRIL 22, 2022  
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CHECKED : Checker  
PROJ. No. : 1918 DWG No.

# AZ215



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10-08	ISSUED FOR REZONING
05-09	REISSUED FOR REZONING
06-16	ISSUED FOR SPA
08-05	ISSUED FOR COORDINATION



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PROJ. NAME  
BRAMPTON MIXED USE  
RESIDENTIAL  
24 Elizabeth St. N. / 33 George St. N.

OWNER

DWG TITLE  
Level 28-42 Floor Plan

DATE : APRIL 22, 2022  
SCALE : 1 : 200  
DRAWN : JAF/PG  
CHECKED : Checker  
PROJ. No. : 1918

VG No.

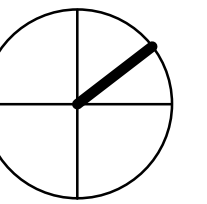
## AZ216





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10-08	ISSUED FOR REZONING
05-09	REISSUED FOR REZONING
06-16	ISSUED FOR SPA
08-05	ISSUED FOR COORDINATION



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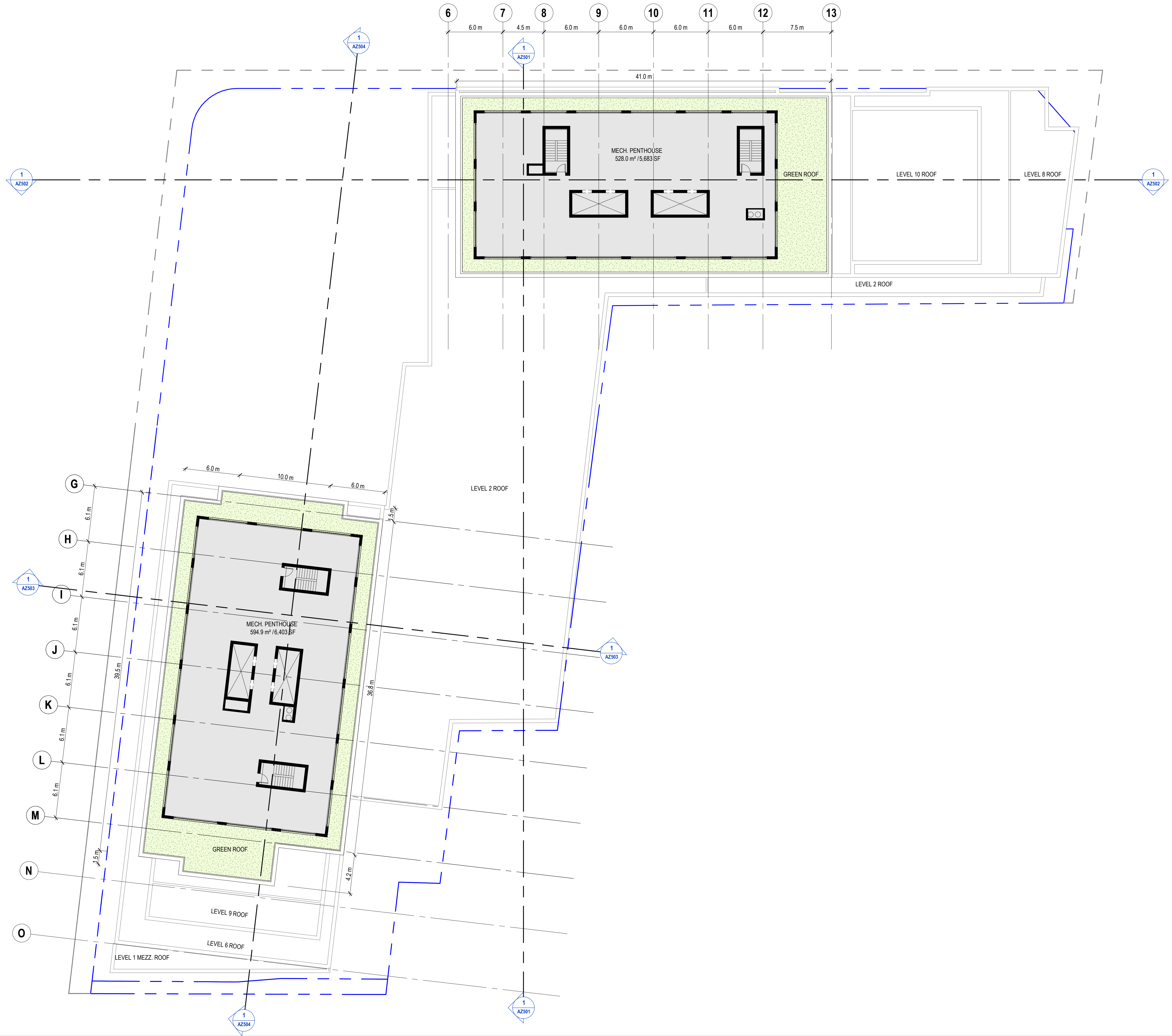
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BRAMPTON MIXED USE  
RESIDENTIAL  
4 Elizabeth St. N. / 33 George St. N.

OWNER

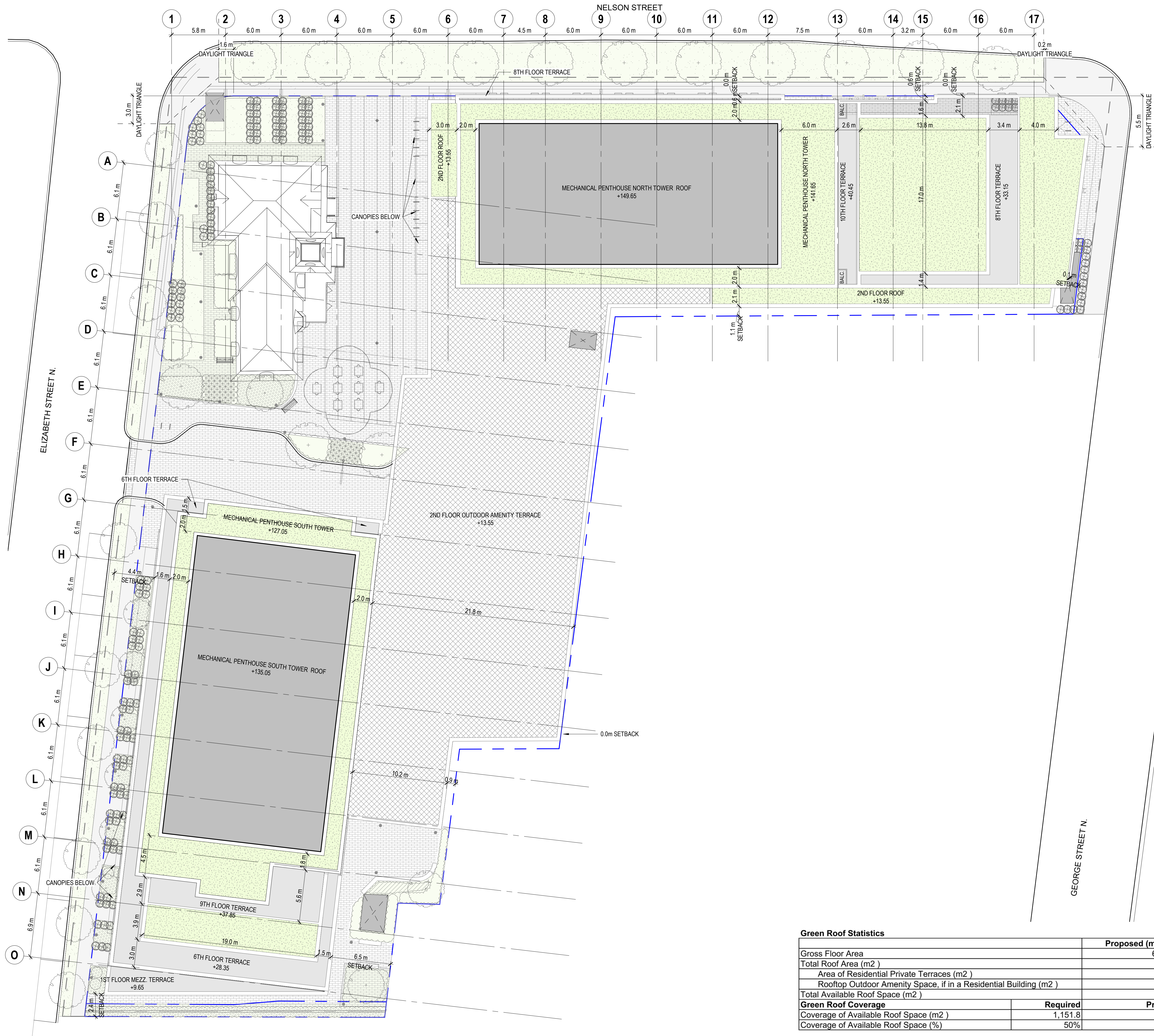
WG TITLE  
N & S MPH Floor Plan

DATE : APRIL 22, 2022  
SCALE : 1 : 200  
DRAWN : Author  
CHECKED : Checker  
PROJ. No. : 1918

DWG No.  
**AZ217**







Green Roof Statistics		Proposed (m2)	
Gross Floor Area		67,192.1	
Total Roof Area (m2 )		4,524.5	
Area of Residential Private Terraces (m2 )		870.1	
Rooftop Outdoor Amenity Space, if in a Residential Building (m2 )		1,350.8	
Total Available Roof Space (m2 )		2,303.6	
Green Roof Coverage		Required	Proposed
Coverage of Available Roof Space (m2 )		1,151.8	1,180.7
Coverage of Available Roof Space (%)		50%	51%

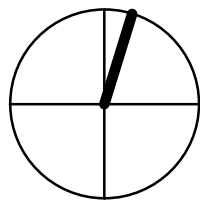
**DRAWING NOT TO BE SCALED**

Contractor must check and verify all dimensions on the job and report any discrepancies to the architect before proceeding with the work.

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**ISSUED**

22-05-09	REISSUED FOR REZONING
22-06-16	ISSUED FOR SPA
22-08-05	ISSUED FOR COORDINATION



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PROJ. NAME  
**BRAMPTON MIXED USE  
RESIDENTIAL**  
24 Elizabeth St. N. / 33 George St. N.

OWNER

DWG TITLE  
**Roof Level**

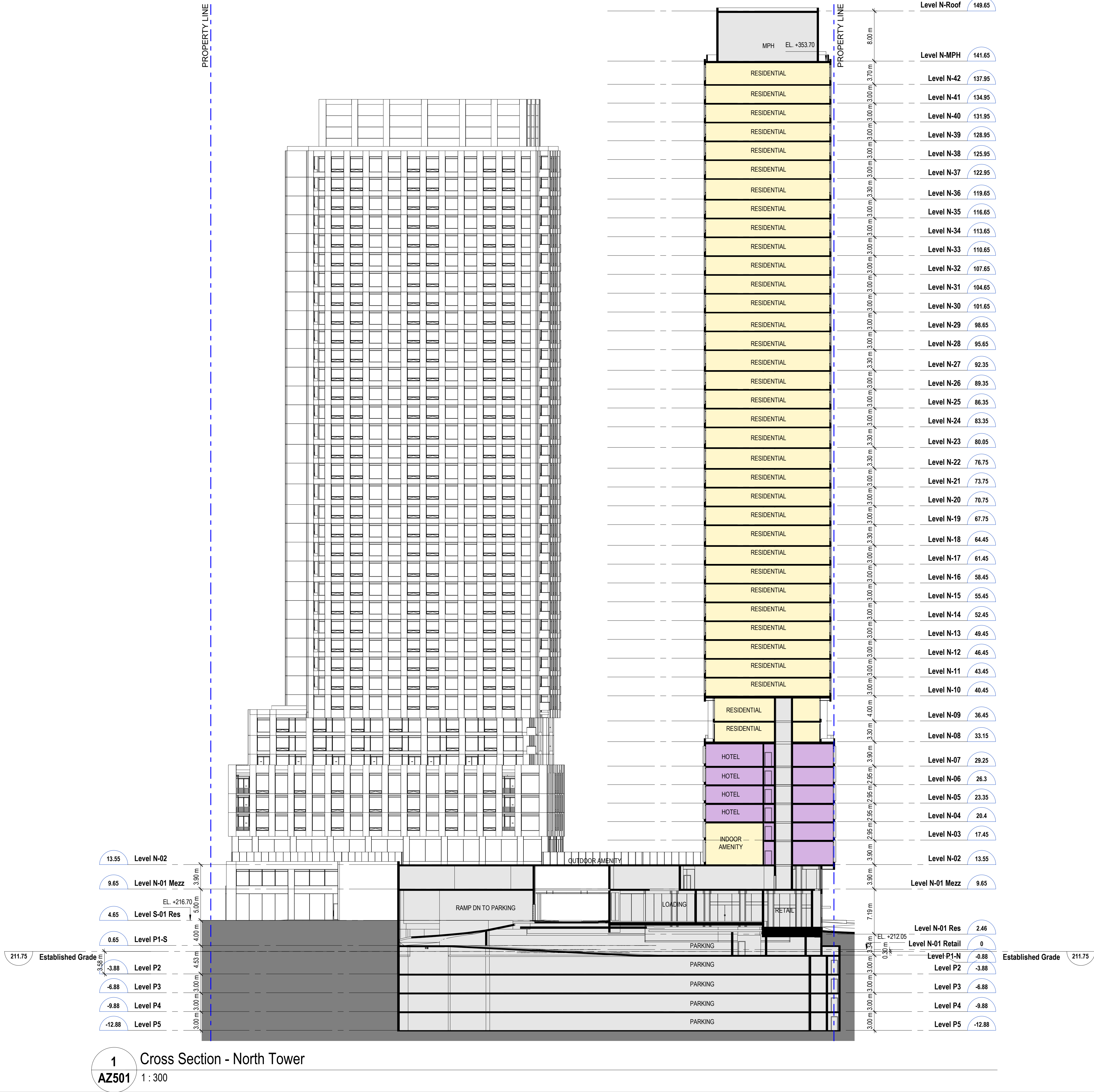
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SCALE : 1 : 200  
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CHECKED : Checker  
PROJ. No.: 1918

DWG No.

**AZ218**



2022-08-05 10:54:04 AM C:\Users\james\Documents\1918\_28 Elizabeth Brampton\_R21\_Central\_james0345E.rvt



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**ISSUED**

21-10-08	ISSUED FOR REZONING
22-05-09	REISSUED FOR REZONING
22-06-16	ISSUED FOR SPA
22-08-05	ISSUED FOR COORDINATION

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PROJ. NAME  
**BRAMPTON MIXED USE  
RESIDENTIAL**  
24 Elizabeth St. N. / 33 George St. N.

OWNER

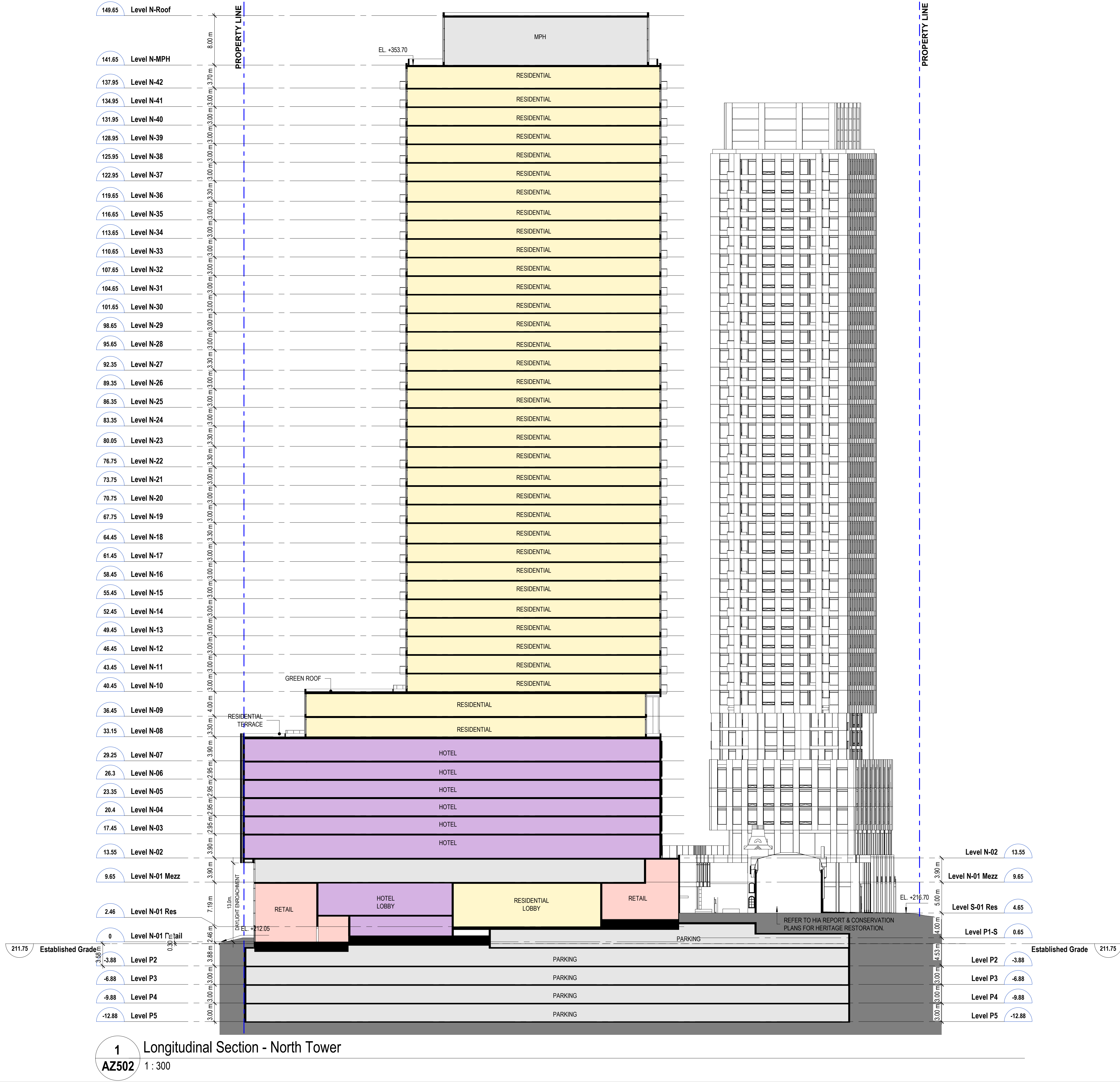
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**Building Sections**

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CHECKED : DC  
PROJ. No. : 1918

DWG No.

**AZ501**

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**ISSUED**

21-10-08	ISSUED FOR REZONING
22-05-09	REISSUED FOR REZONING
22-06-16	ISSUED FOR SPA
22-08-05	ISSUED FOR COORDINATION

**Sweeny&Co Architects**

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PROJ. NAME

**BRAMPTON MIXED USE RESIDENTIAL**

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OWNER

DWG TITLE

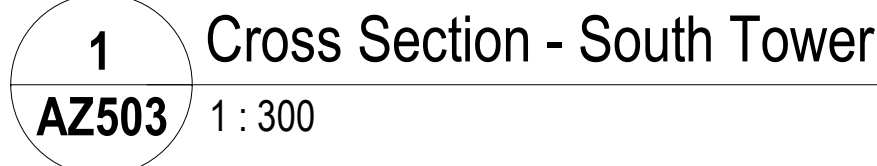
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PROJ. No. :	1918

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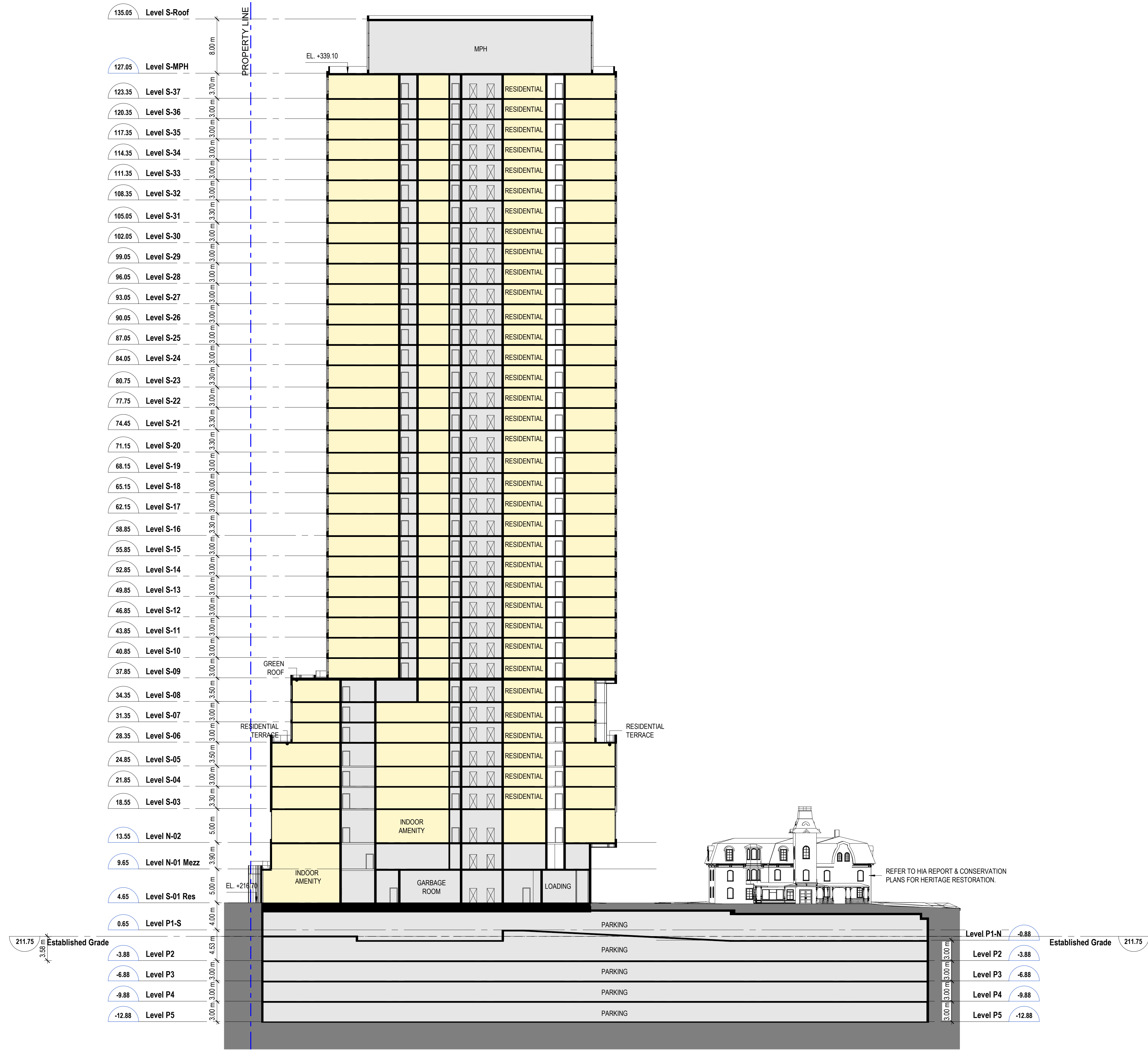
**AZ502**





# AZ503

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1 Longitudinal Section - South Tower  
AZ504 1 : 300

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**ISSUED**

21-10-08	ISSUED FOR REZONING
22-05-09	REISSUED FOR REZONING
22-06-16	ISSUED FOR SPA
22-08-05	ISSUED FOR COORDINATION

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PROJ. NAME  
**BRAMPTON MIXED USE  
RESIDENTIAL**  
24 Elizabeth St. N. / 33 George St. N.

OWNER

DWG TITLE  
**Building Sections**

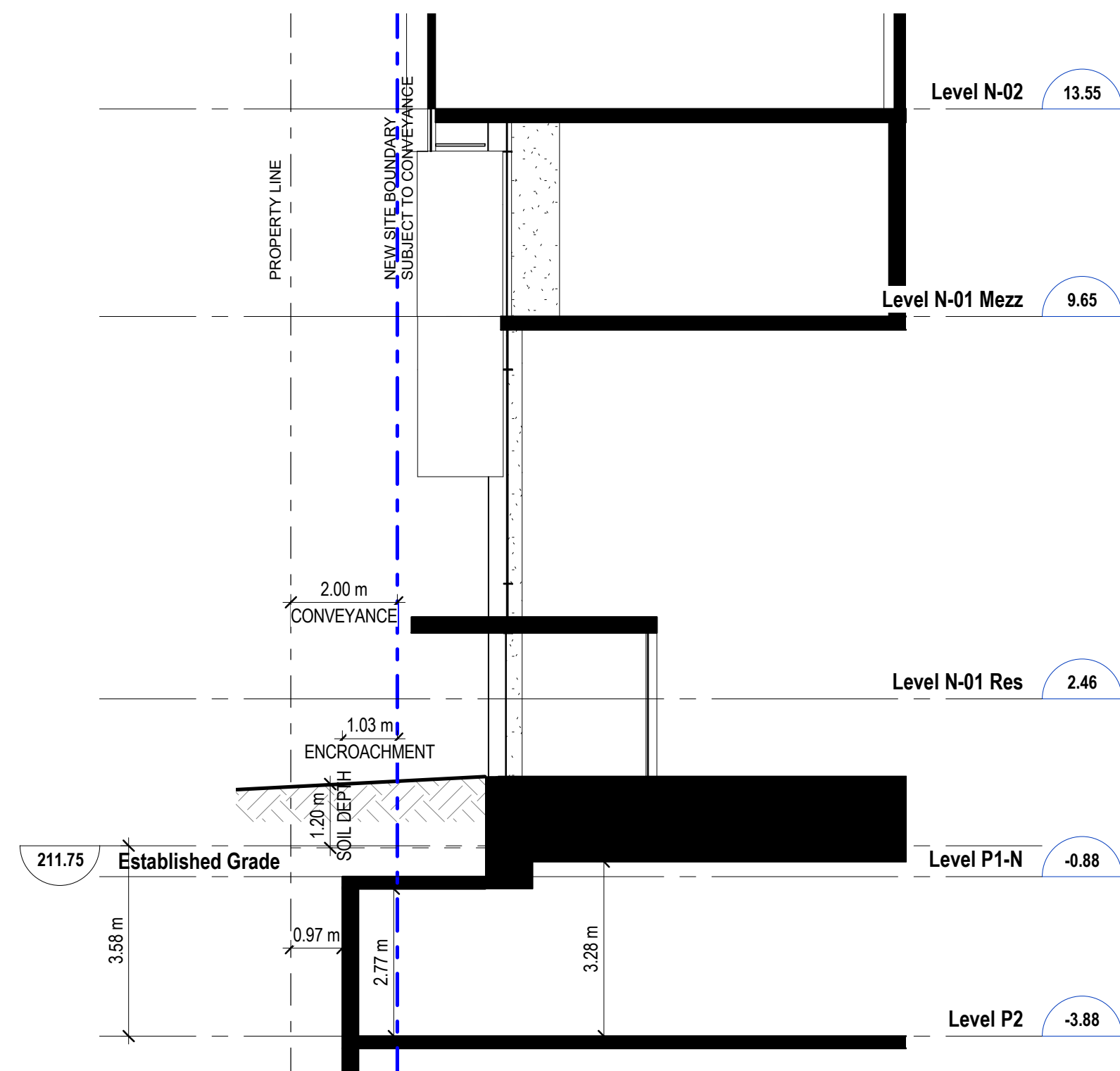
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PROJ. No. : 1918

DWG No.

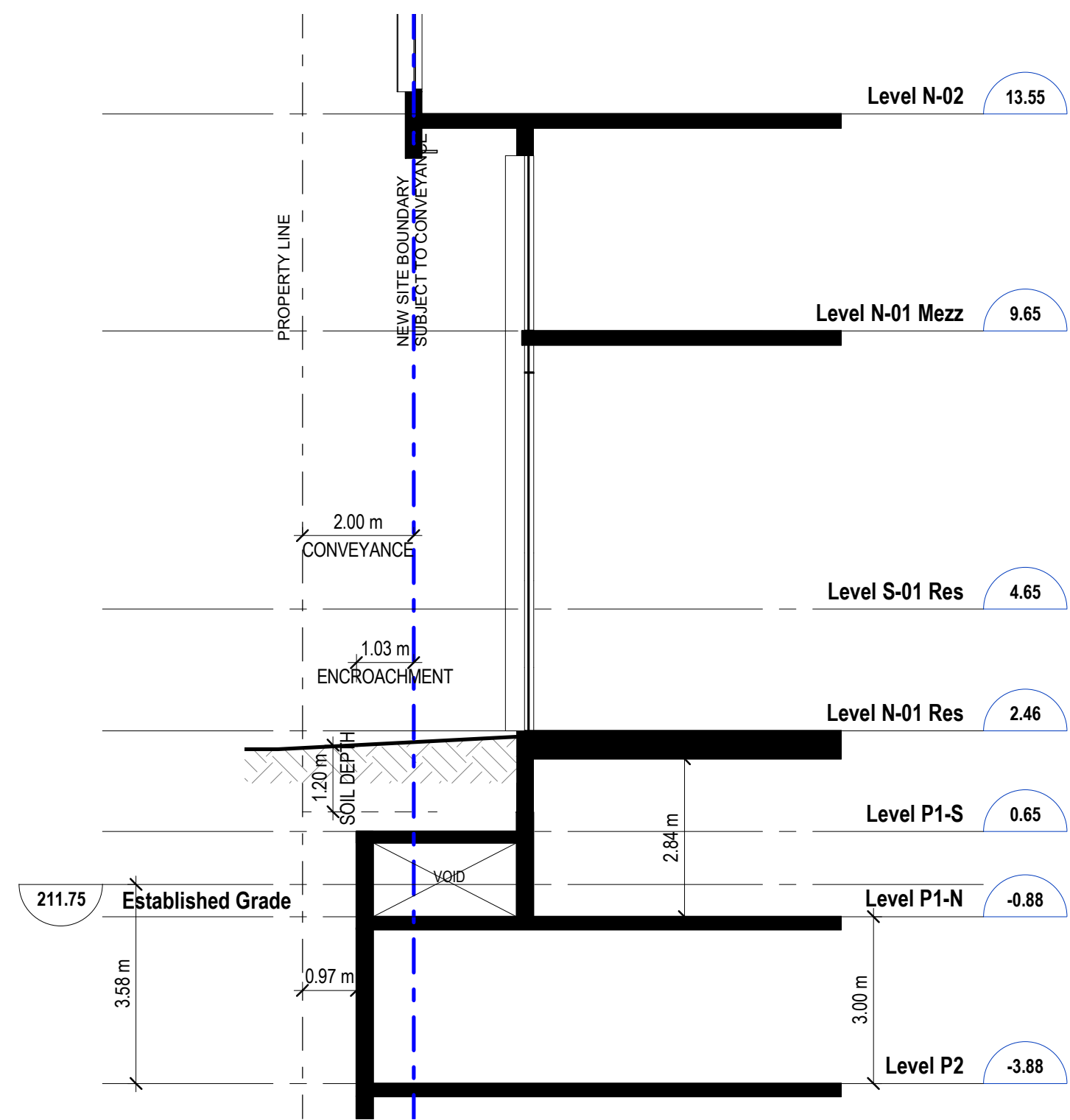
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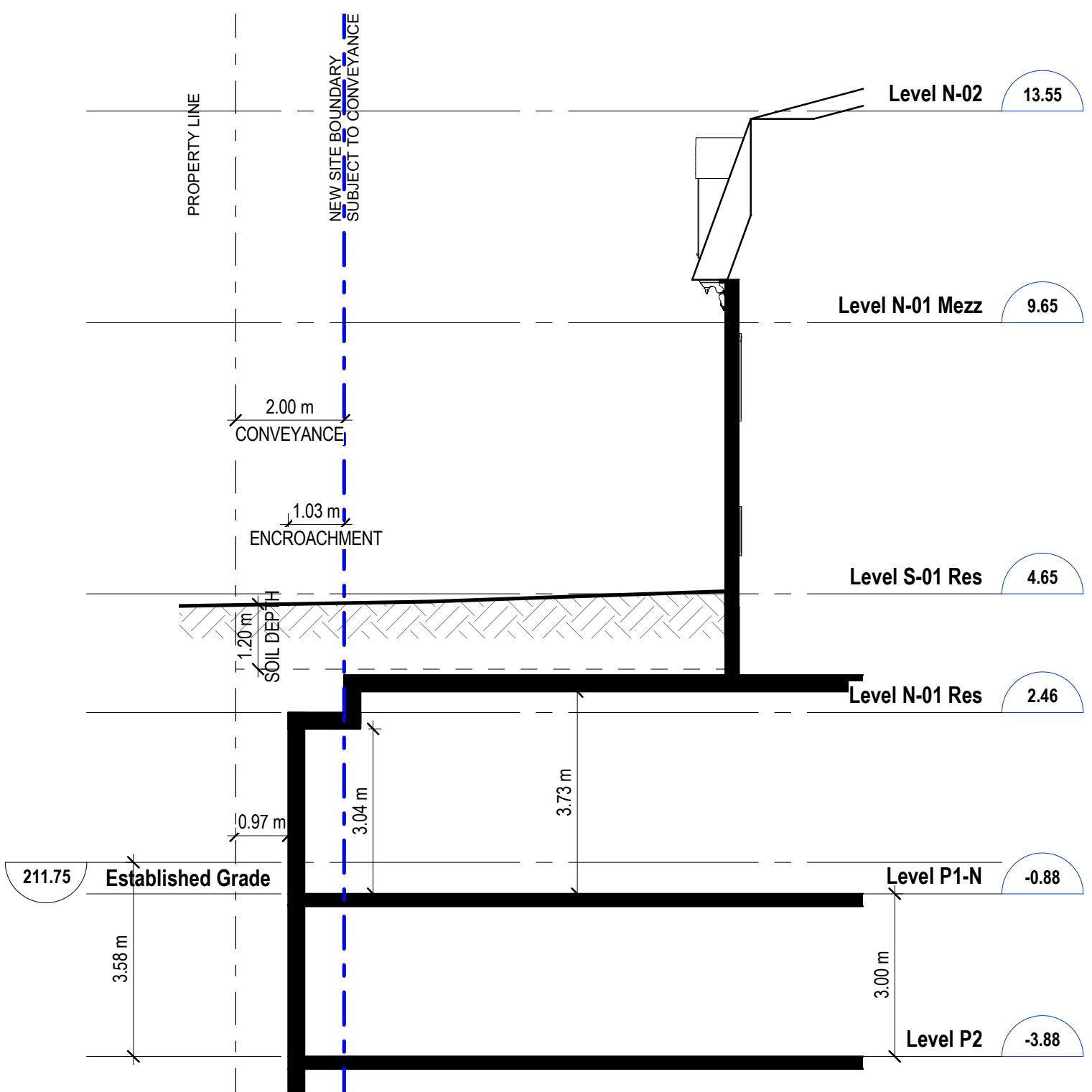
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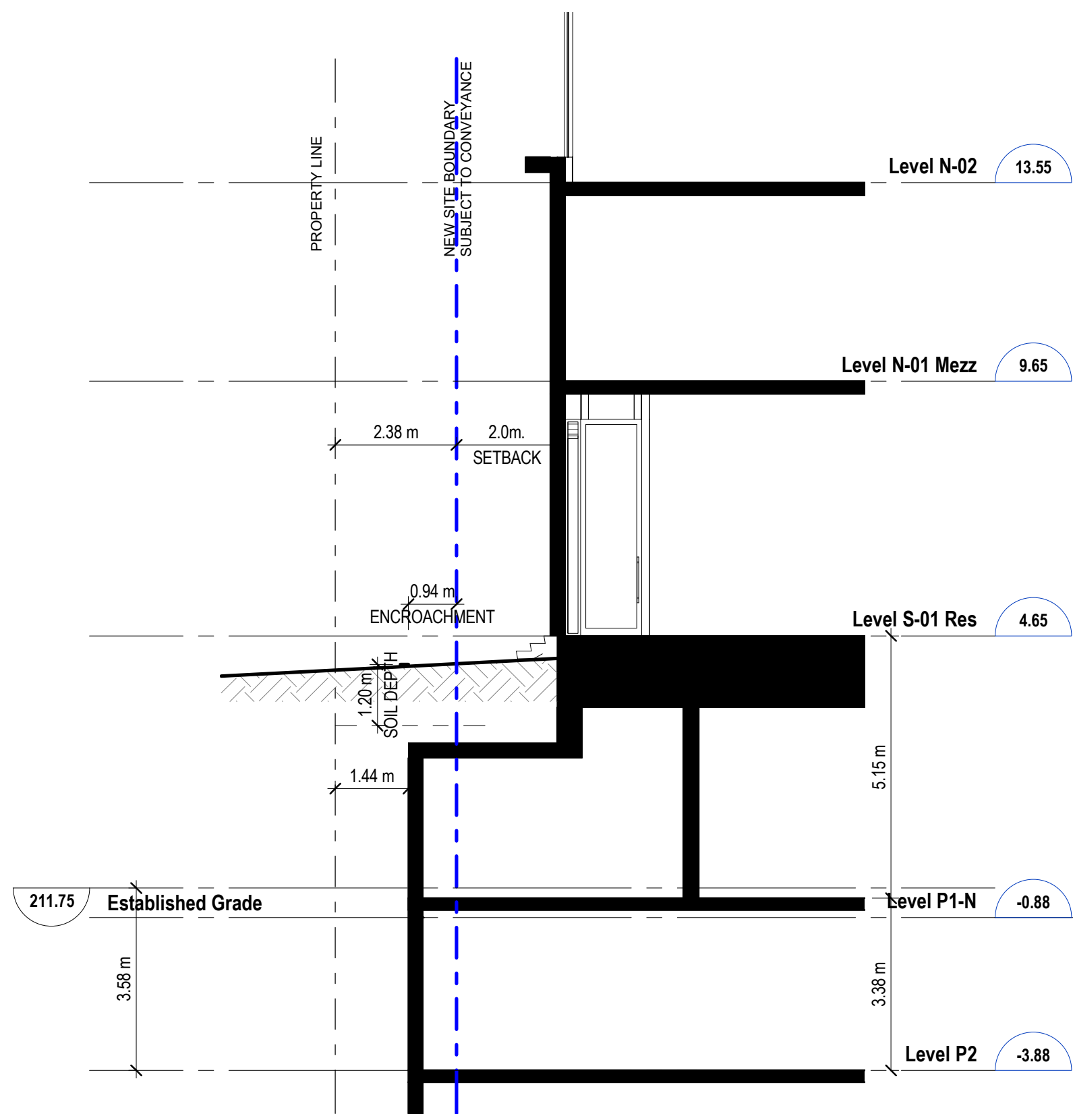
6 N/S @ Nelson - Hotel Lobby  
AZ601 1 : 100



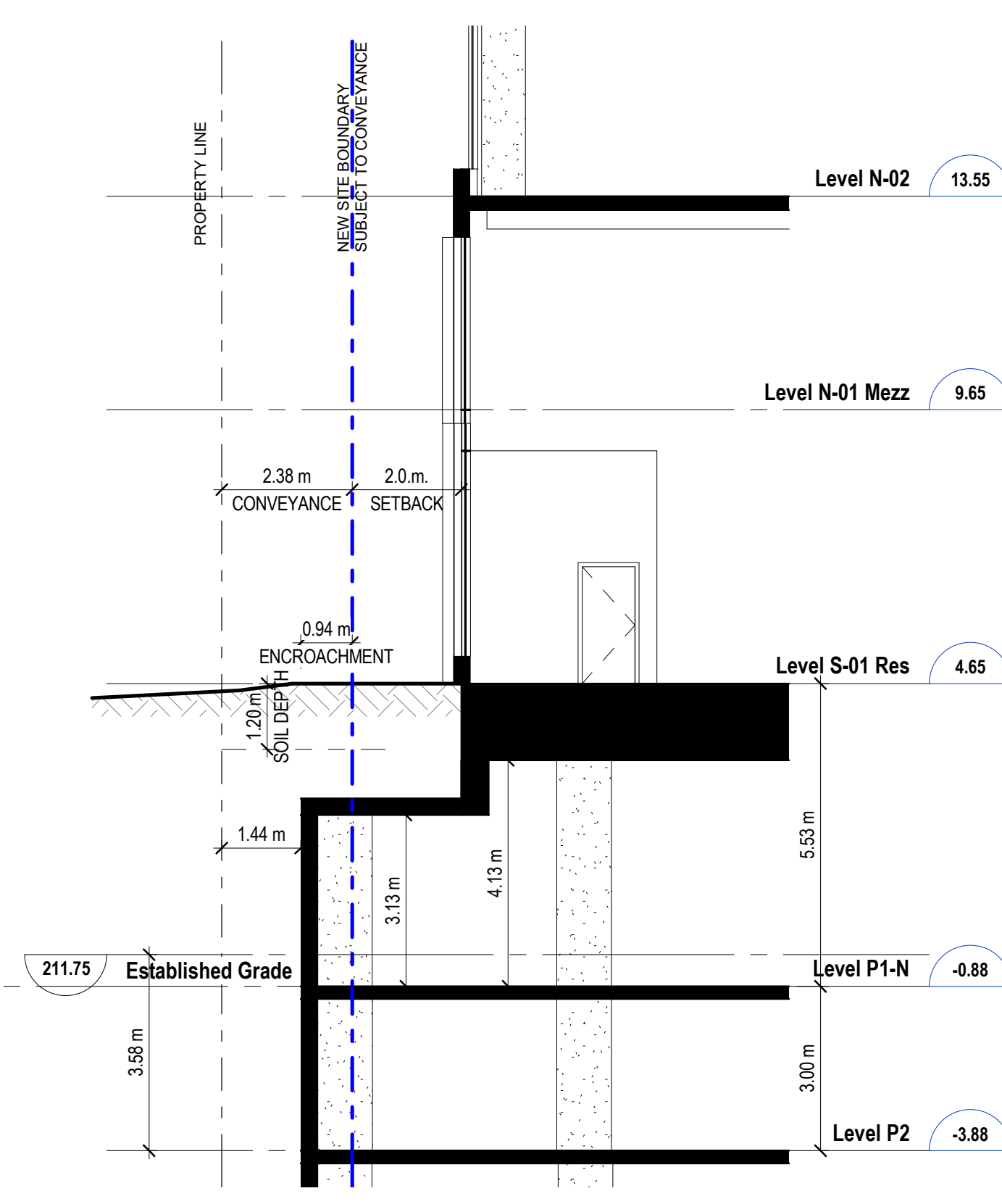
5 N/S @ Nelson - Res. Lobby  
AZ601 1 : 100



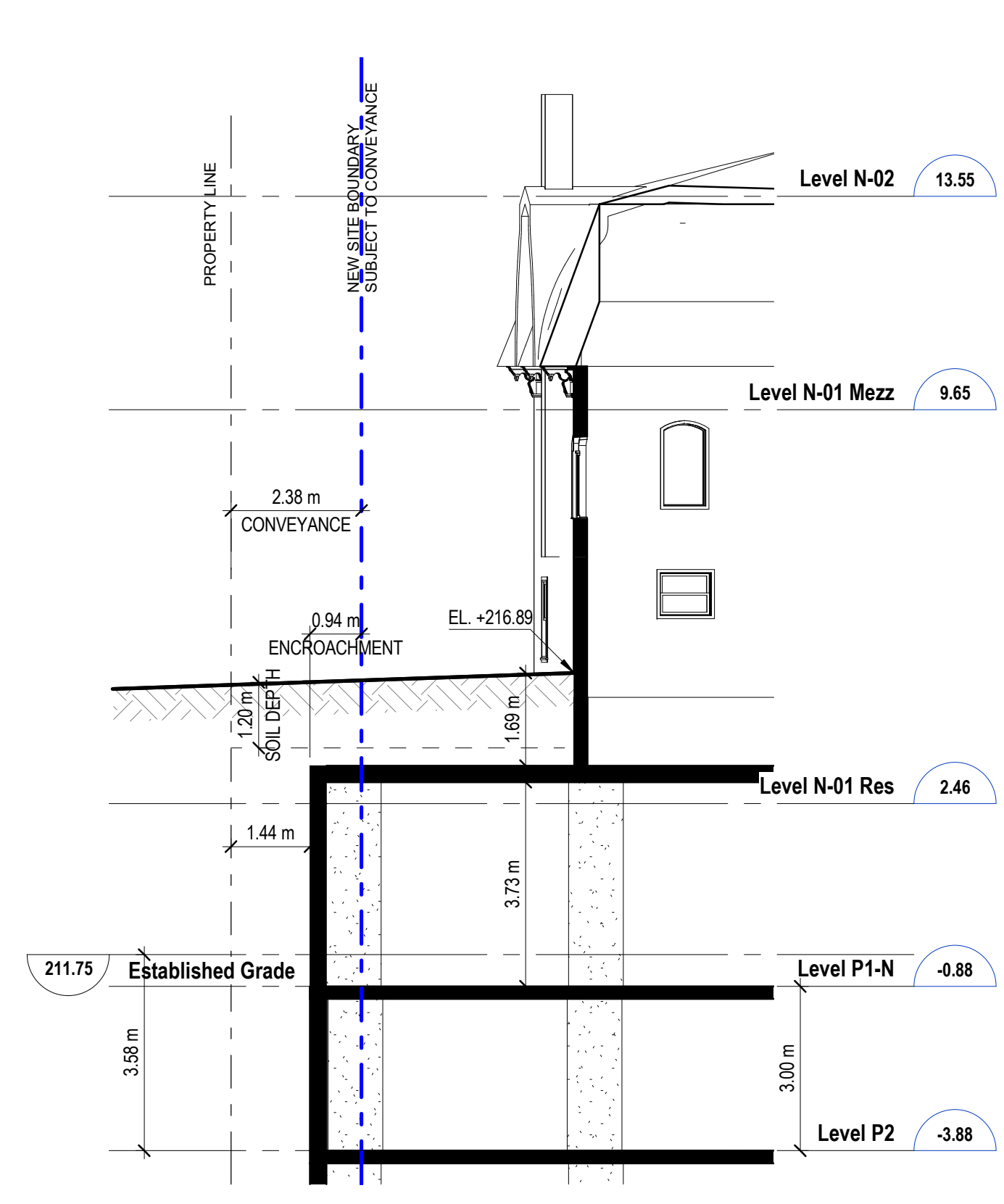
4 N/S @ Nelson - Heritage  
AZ601 1 : 100



3 E/W @ Elizabeth - South TH  
AZ601 1 : 100



2 E/W @ Elizabeth - South Tower Lobby  
AZ601 1 : 100



1 E/W @ Elizabeth - Heritage  
AZ601 1 : 100

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**ISSUED**

22-06-16	ISSUED FOR SPA
22-08-05	ISSUED FOR COORDINATION

**Sweeny&Co Architects**

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PROJ. NAME

**BRAMPTON MIXED USE RESIDENTIAL**

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OWNER

DWG TITLE

**Conveyance Encroachment - Sections**

DATE :	APRIL 22, 2022
SCALE :	1 : 100
DRAWN :	Author
CHECKED :	Checker
PROJ. No. :	1918

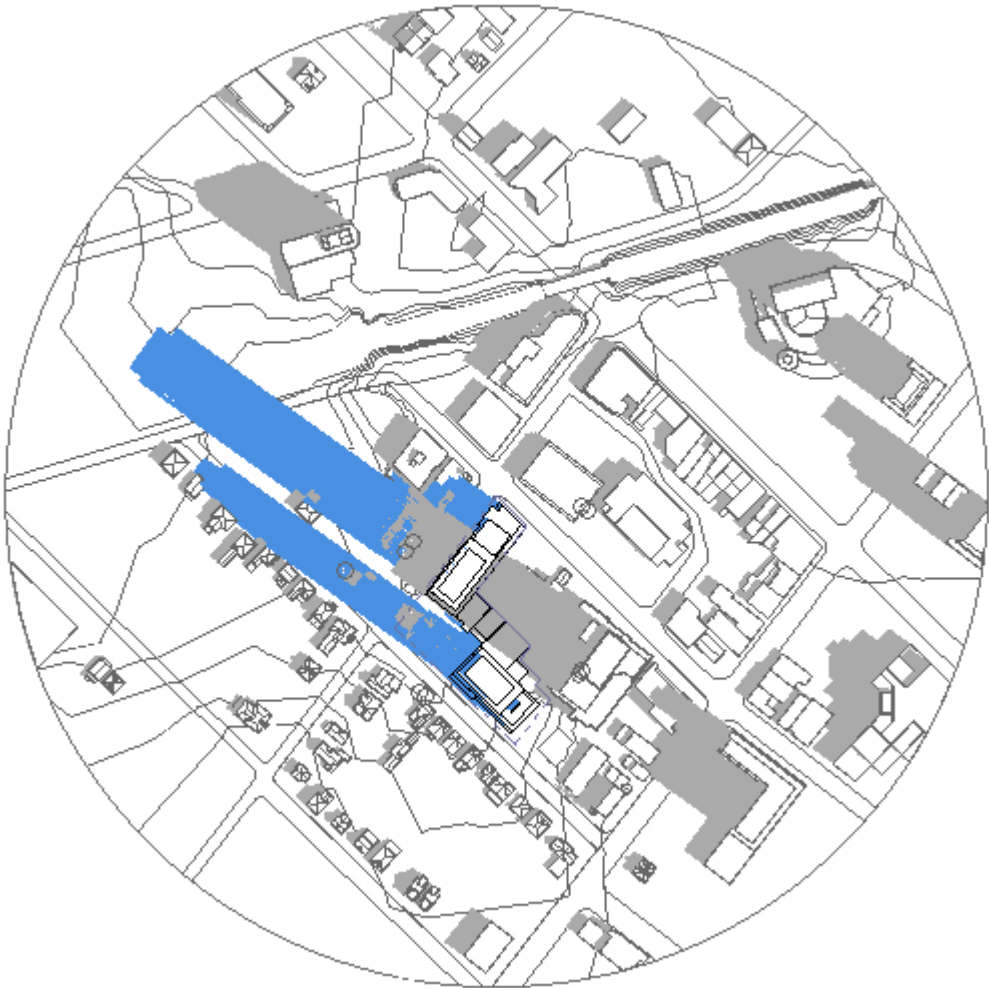
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## **APPENDIX IV**

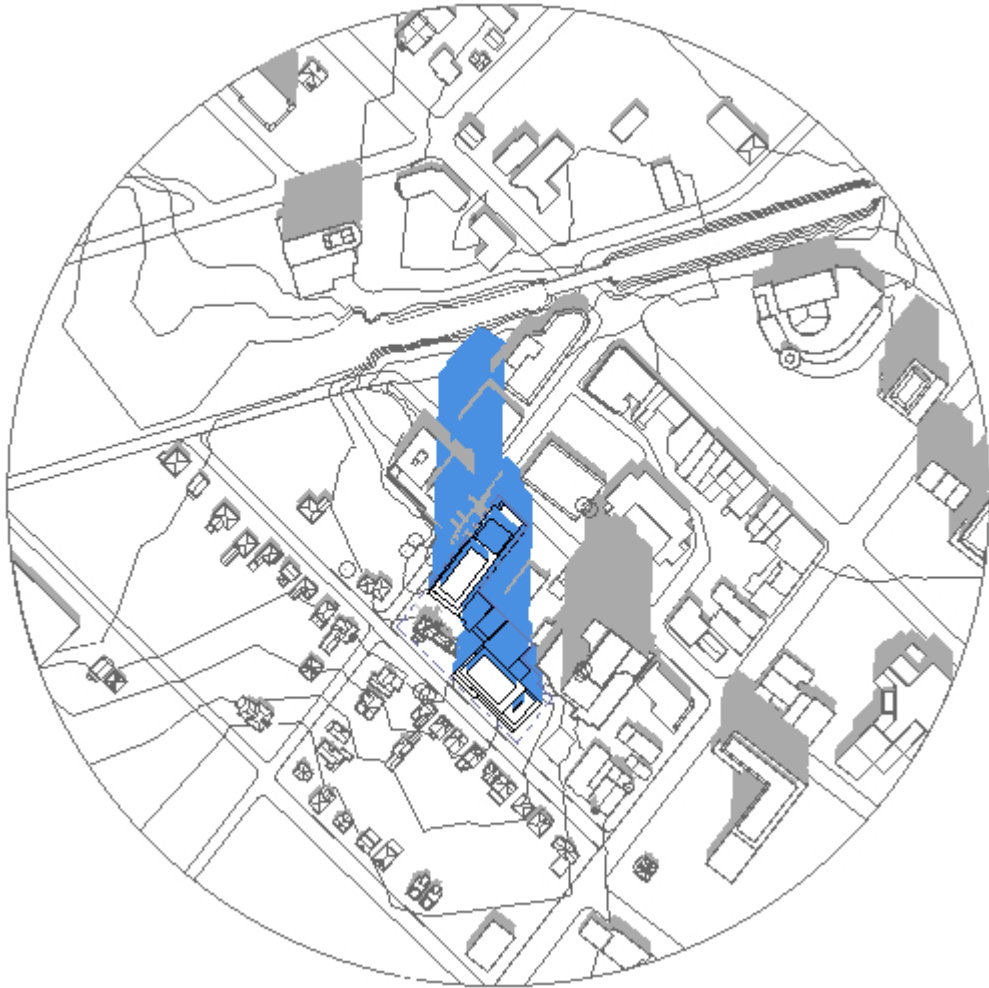
Sun / Shadow Study  
as prepared by Sweeny & Co Architects



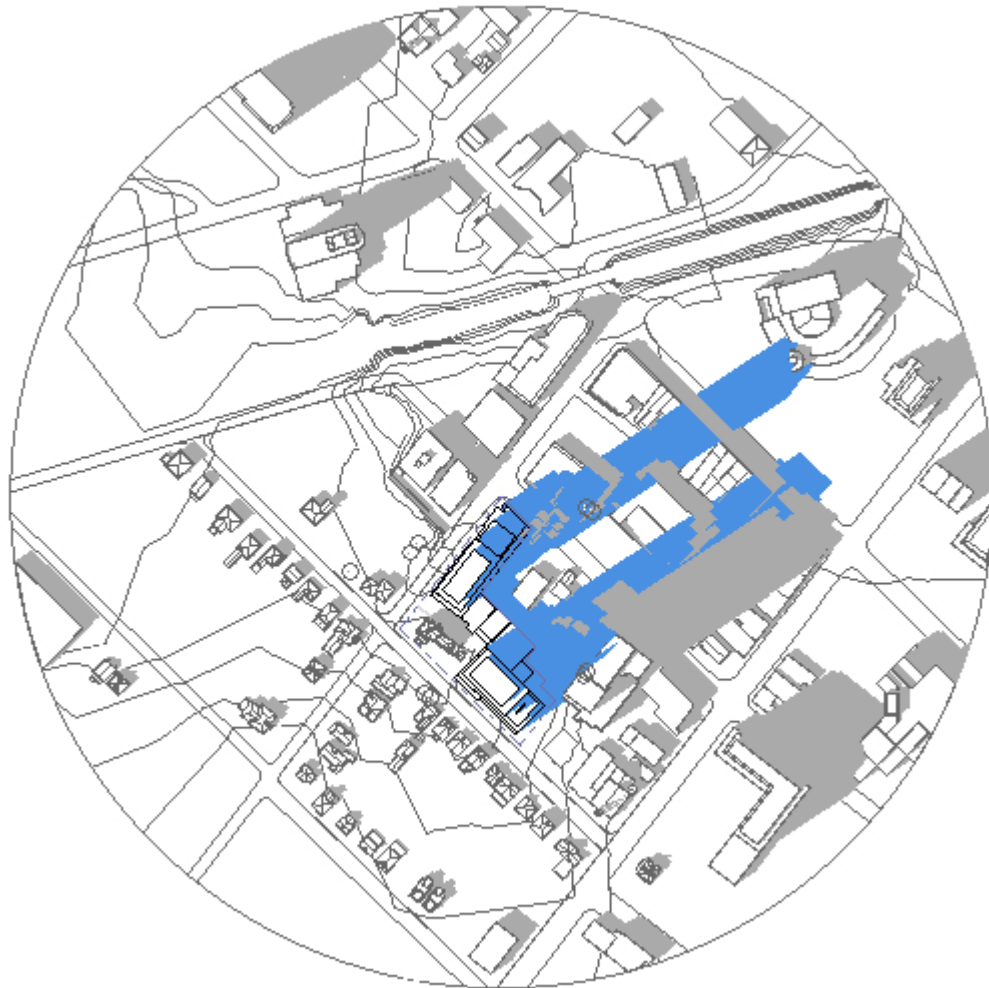
SUN SHADOW STUDIES - MARCH AND JUNE



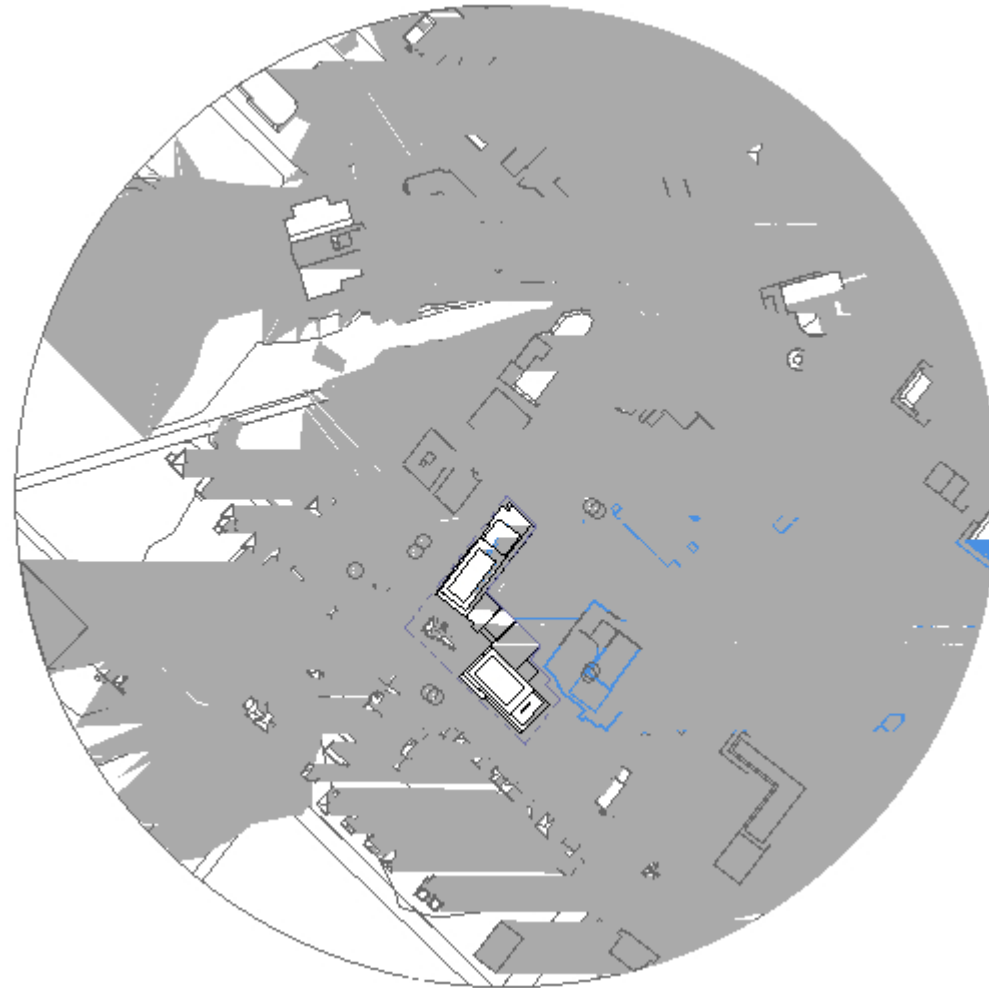
MARCH 21, 09:30



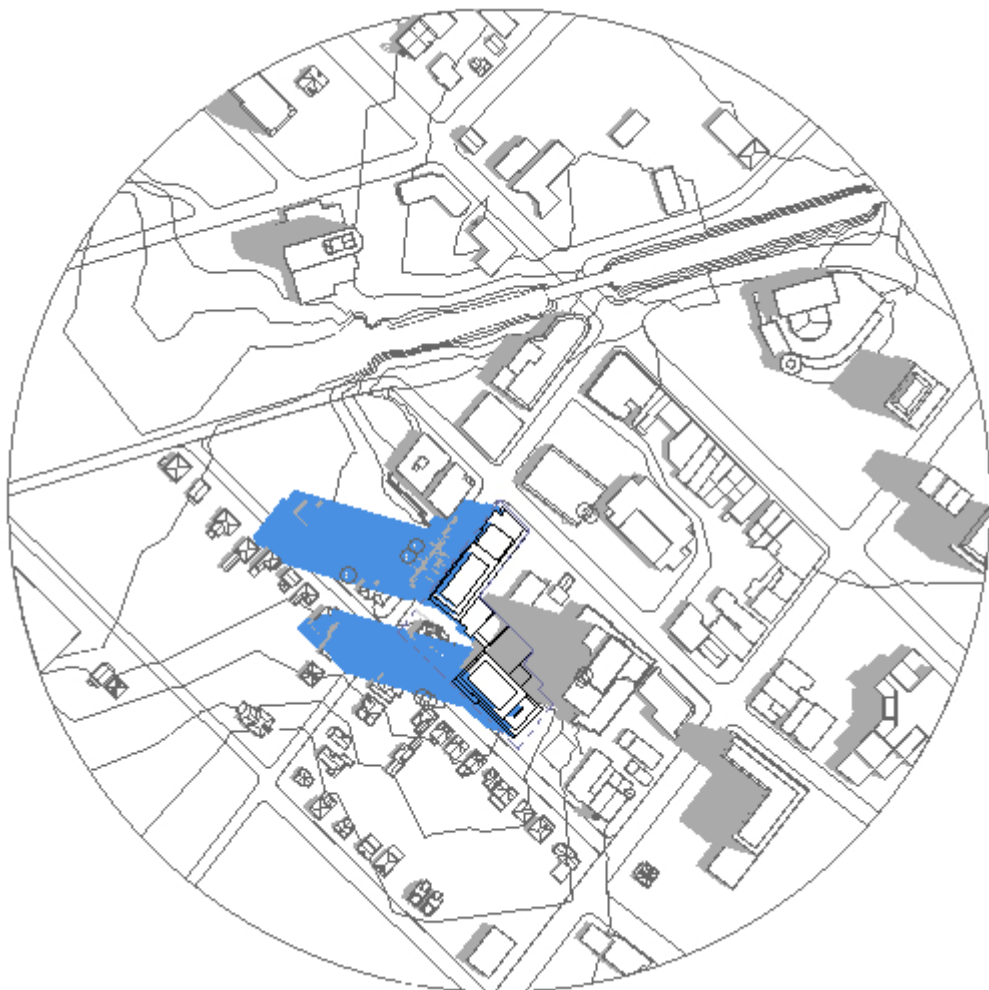
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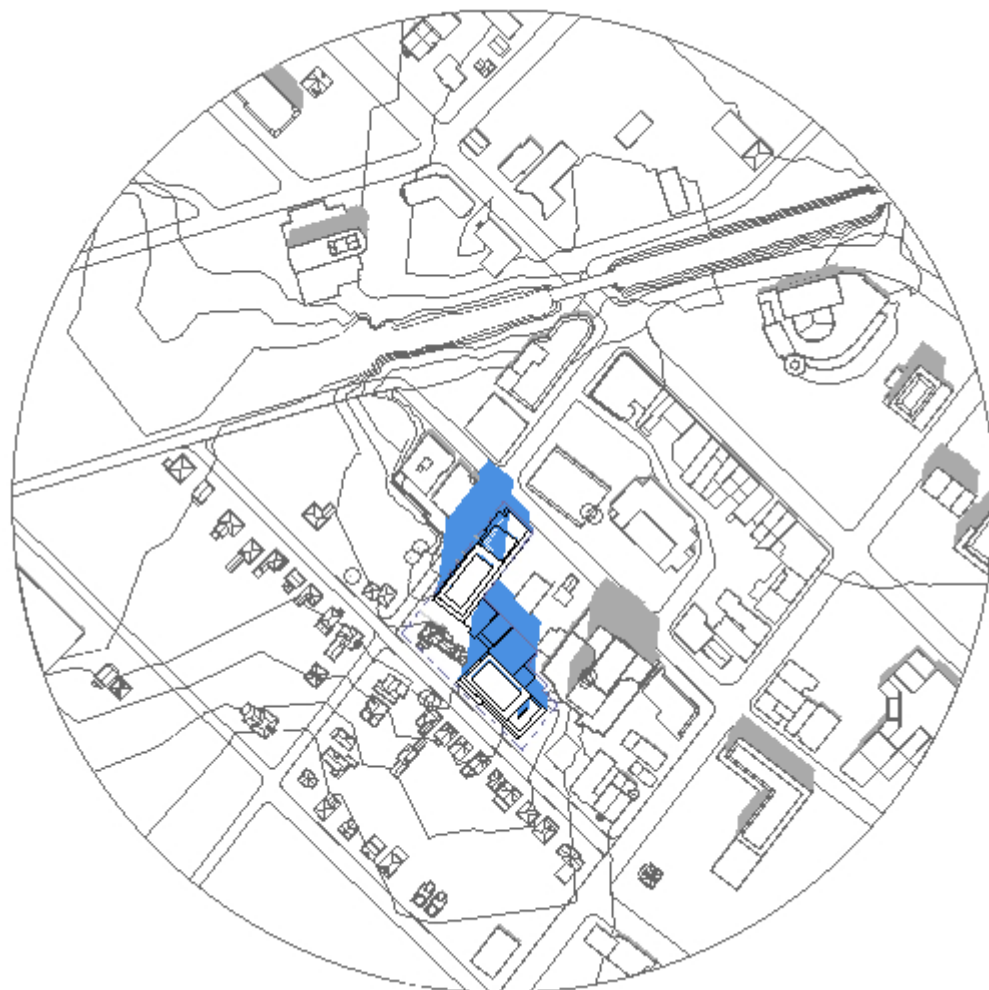
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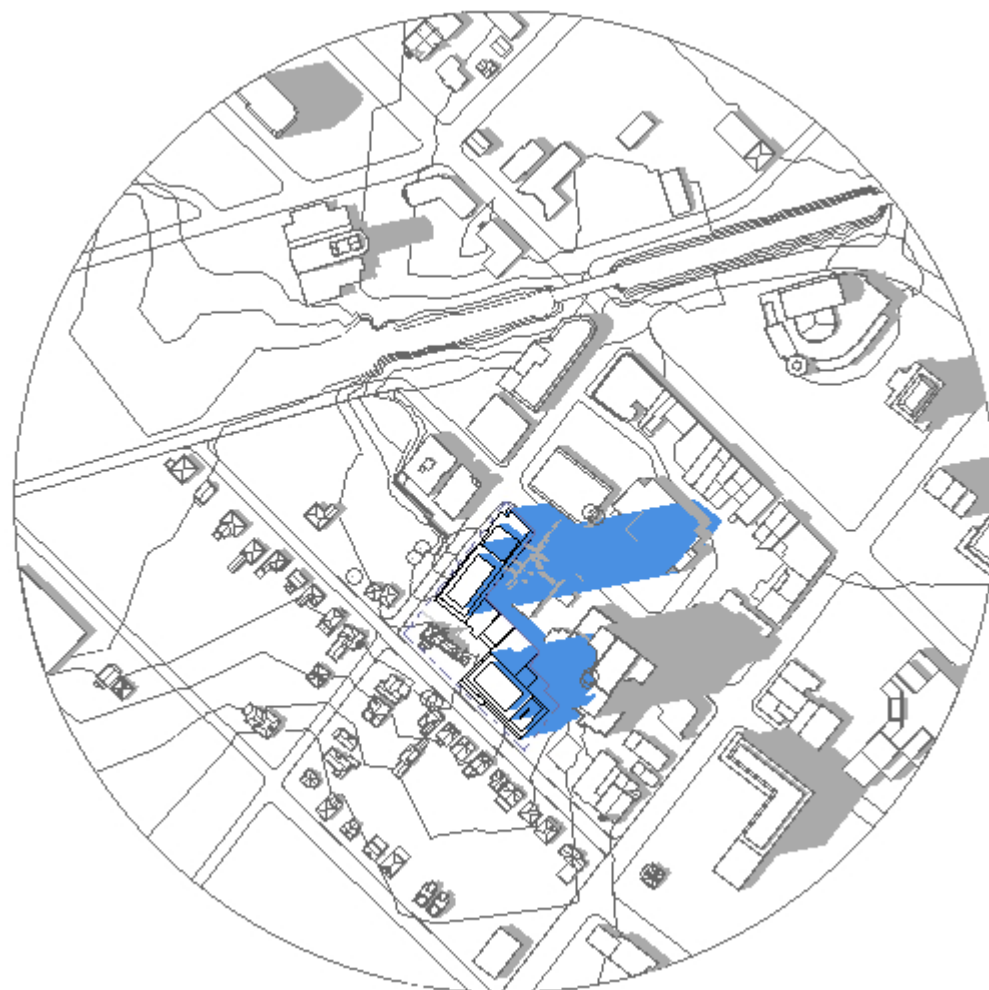
MARCH 21, 18:30



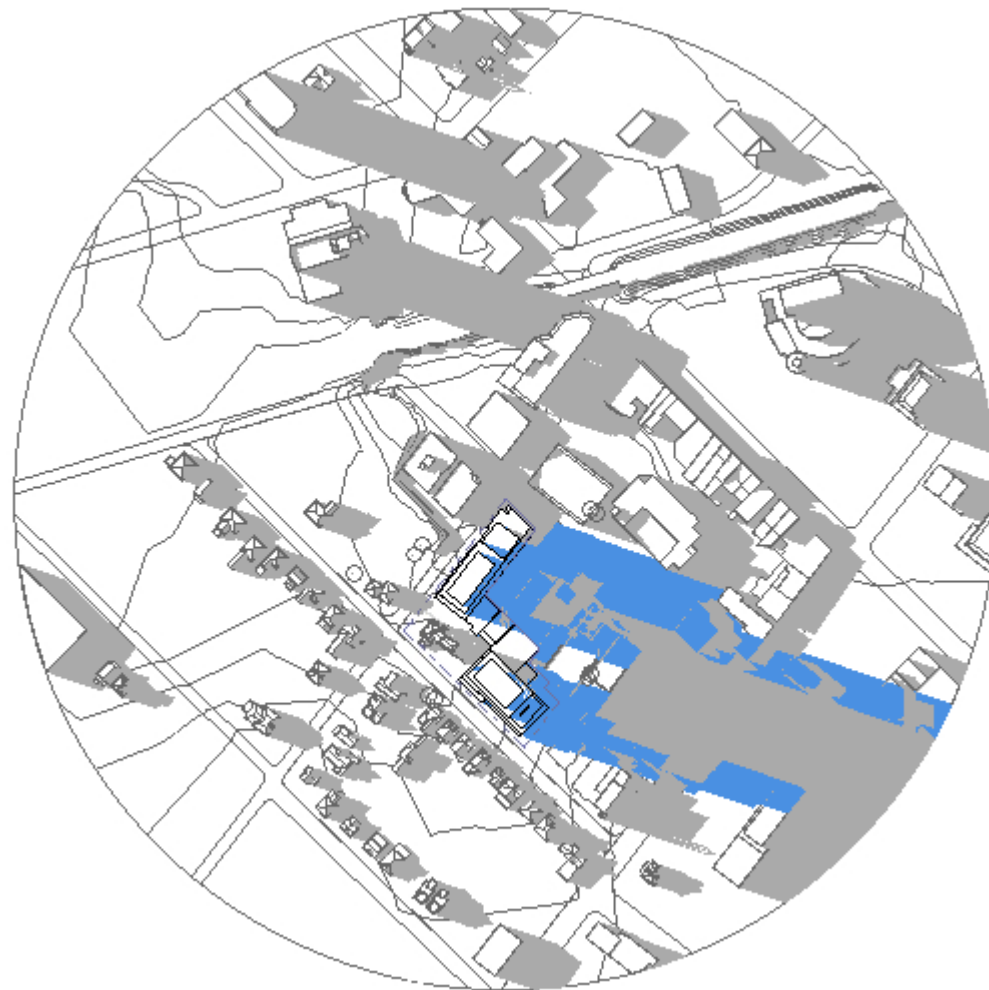
JUNE 21, 09:30



JUNE 21, 12:30



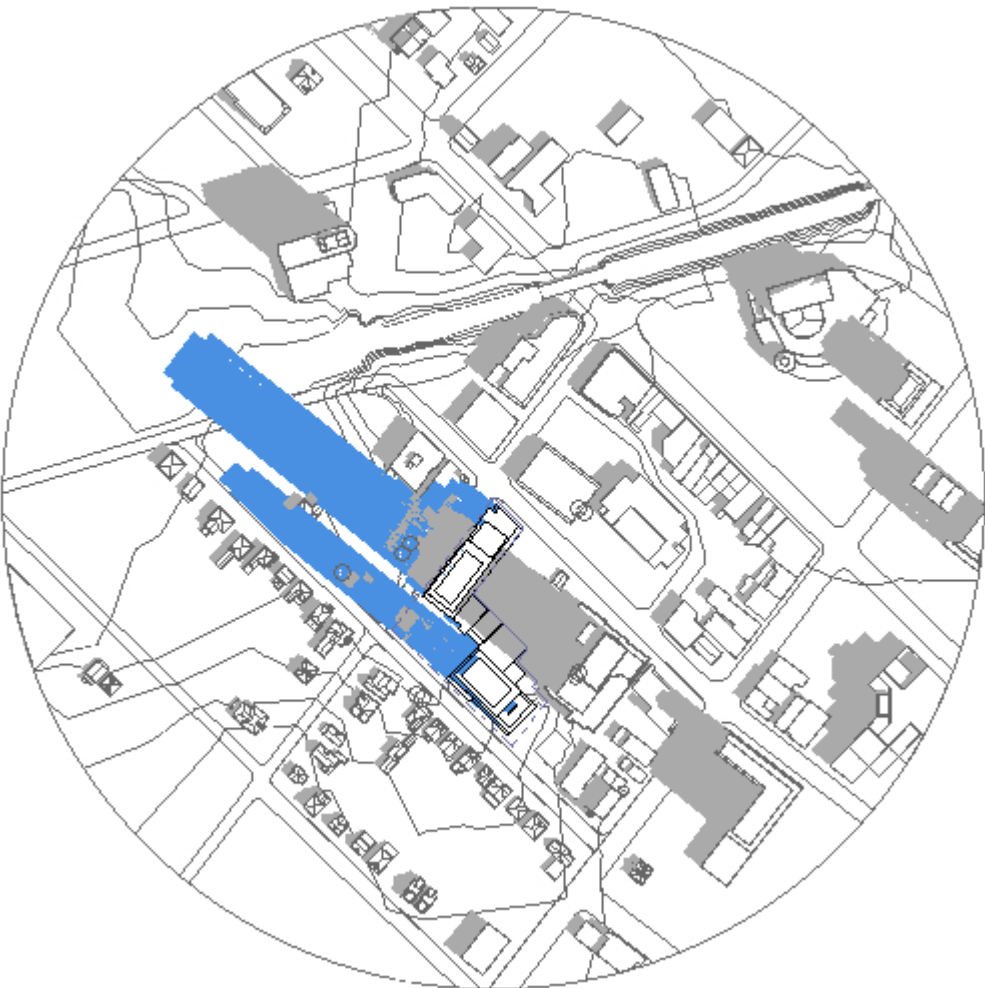
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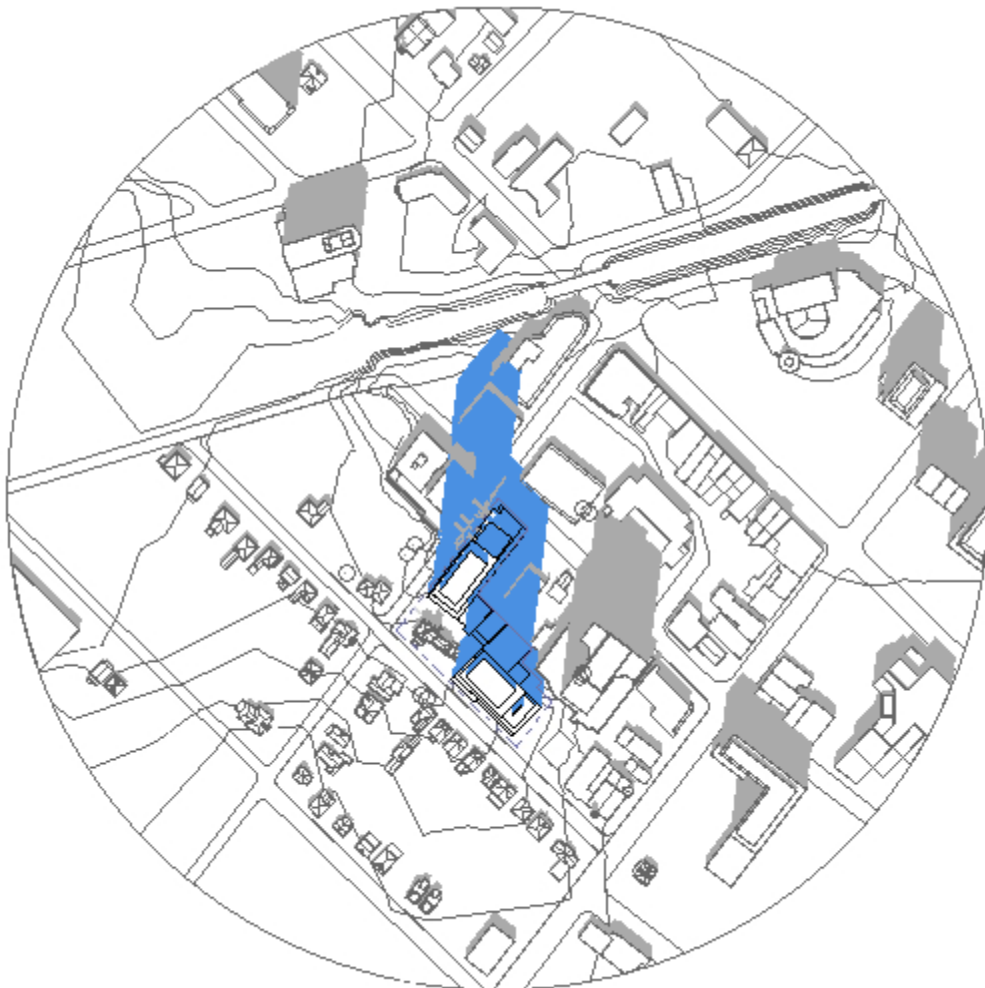
JUNE 21, 18:30



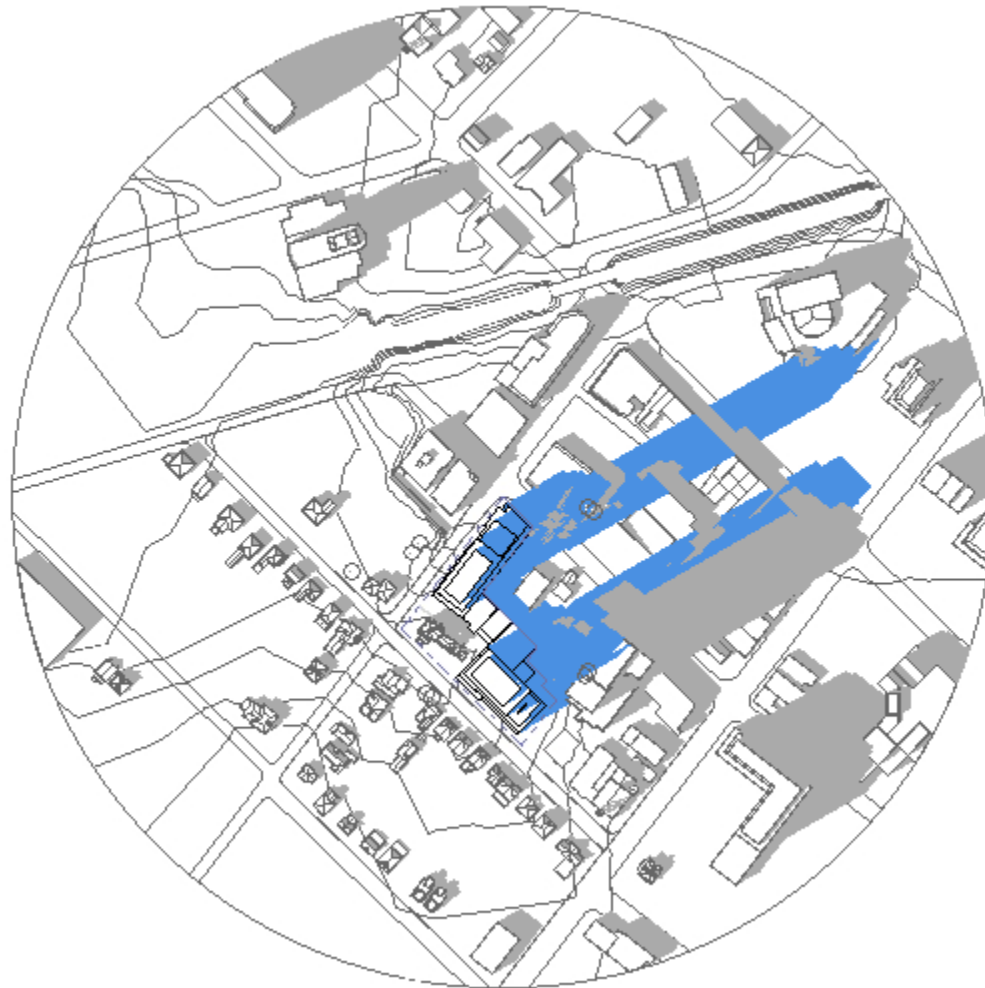
SUN SHADOW STUDIES - SEPTEMBER AND DECEMBER



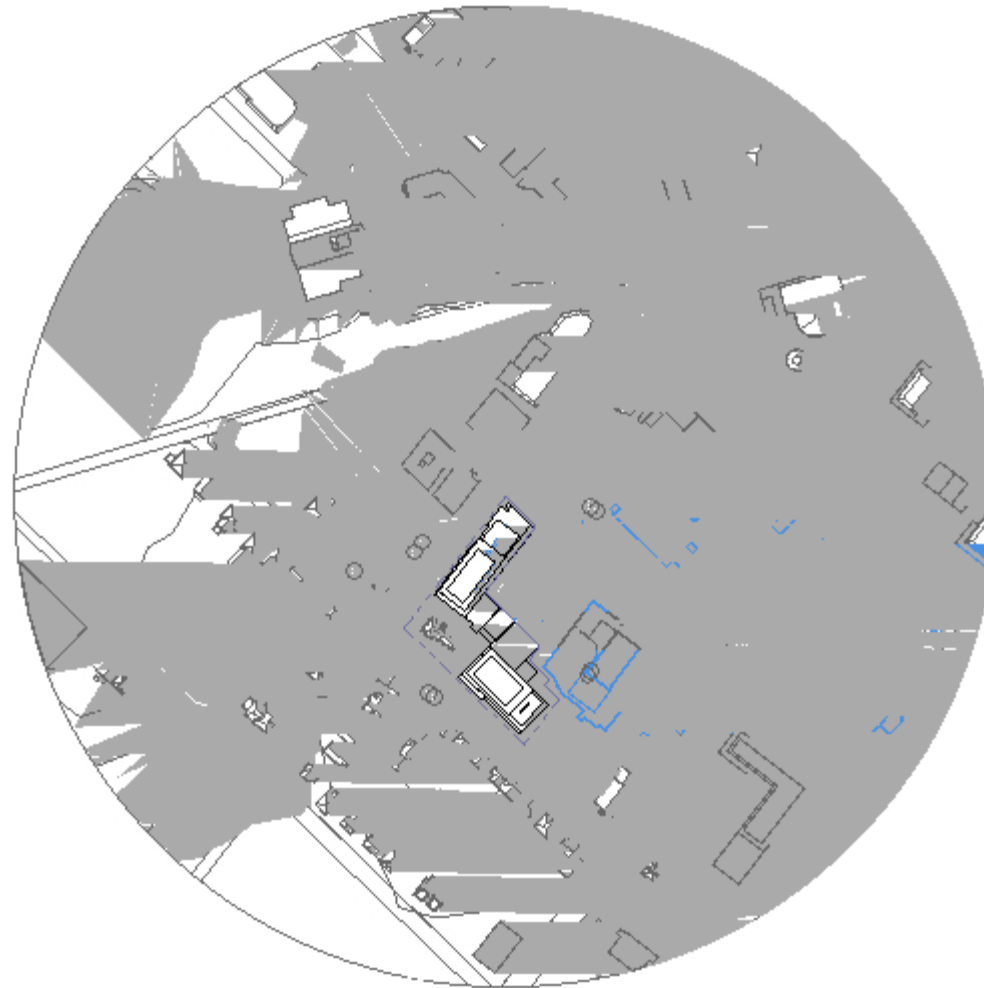
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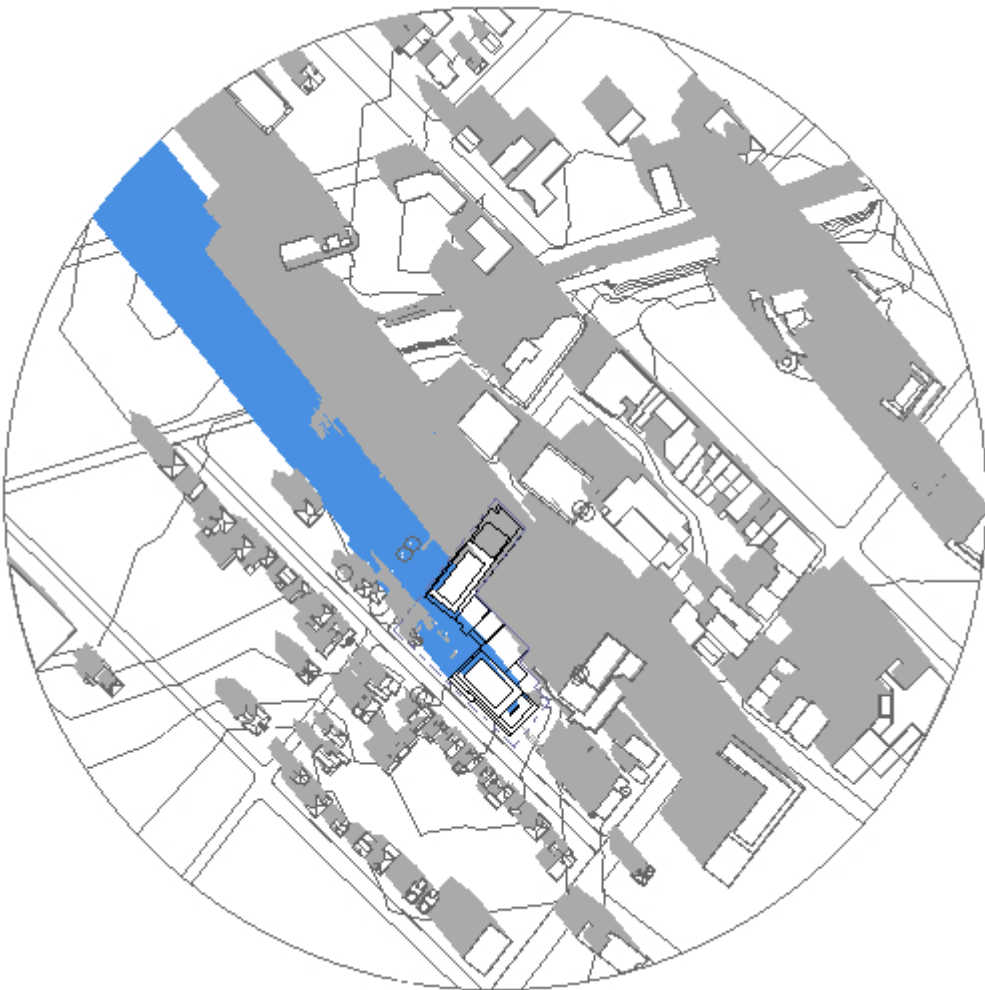
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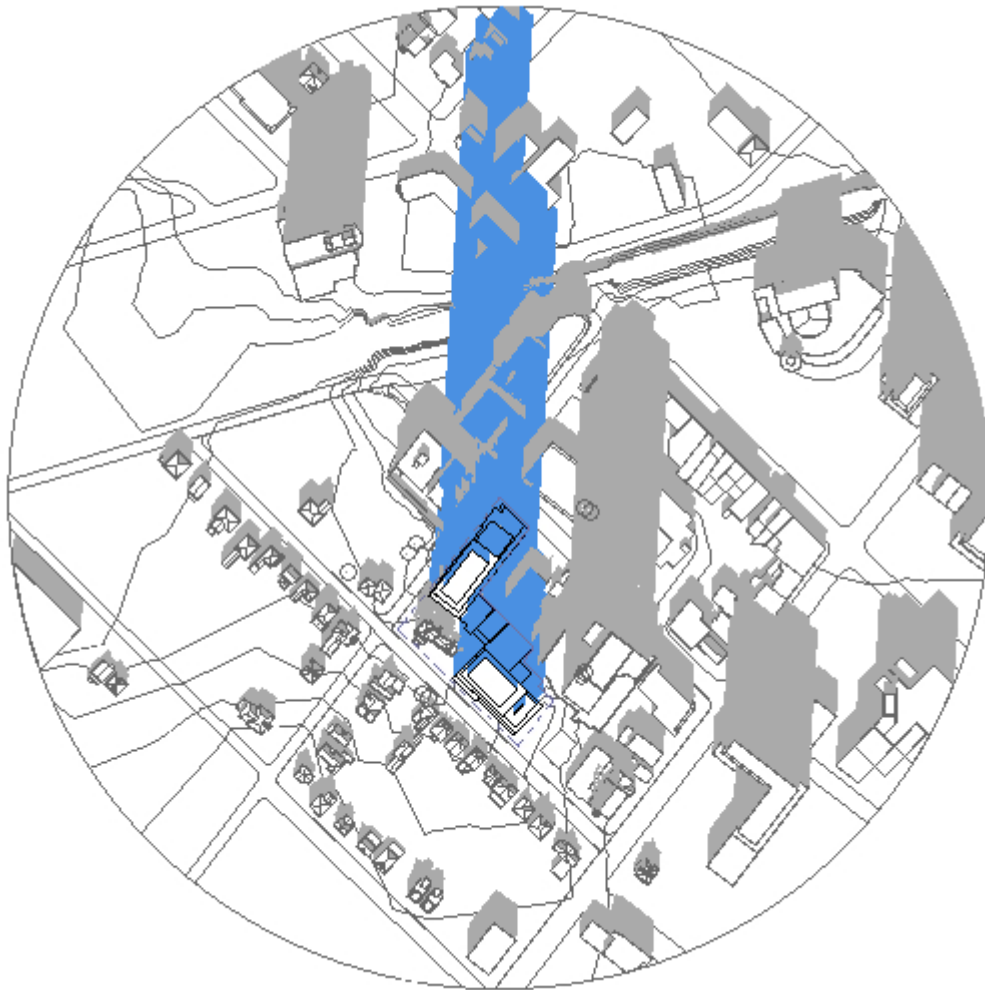
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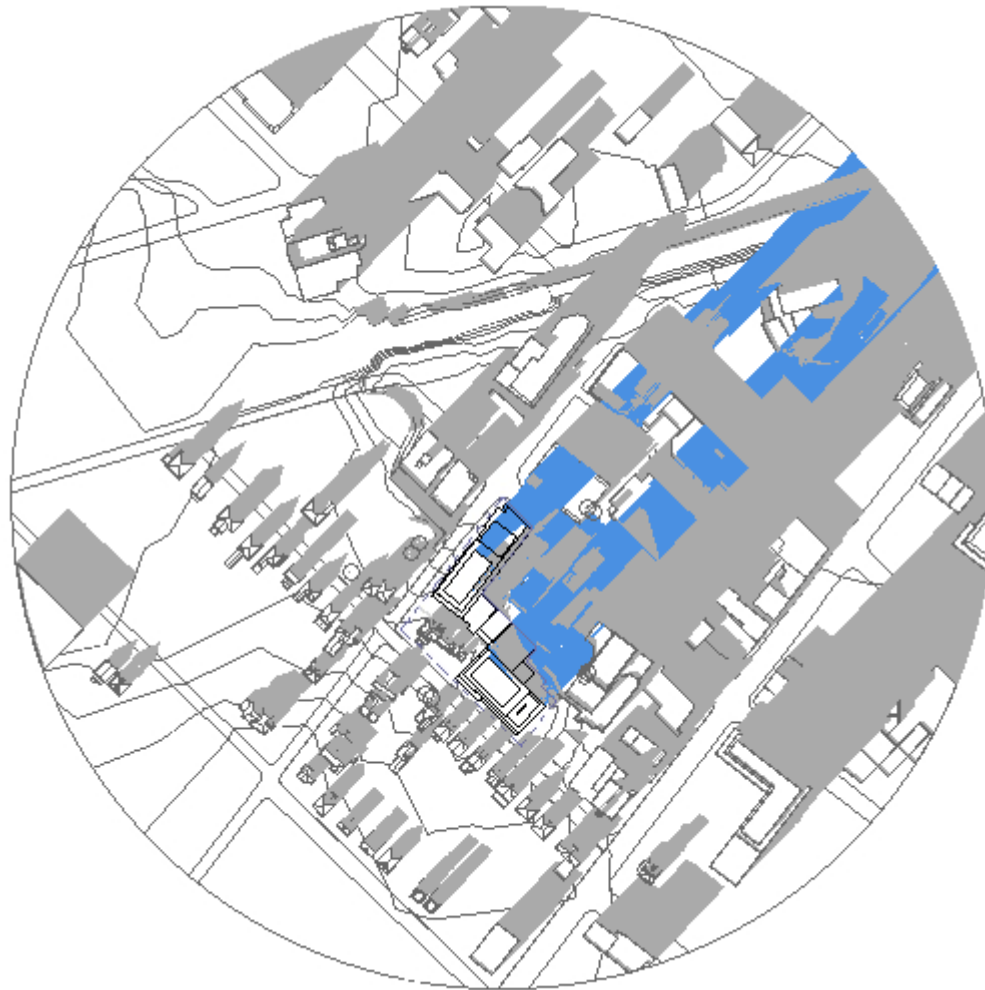
SEPTEMBER 21, 18:30



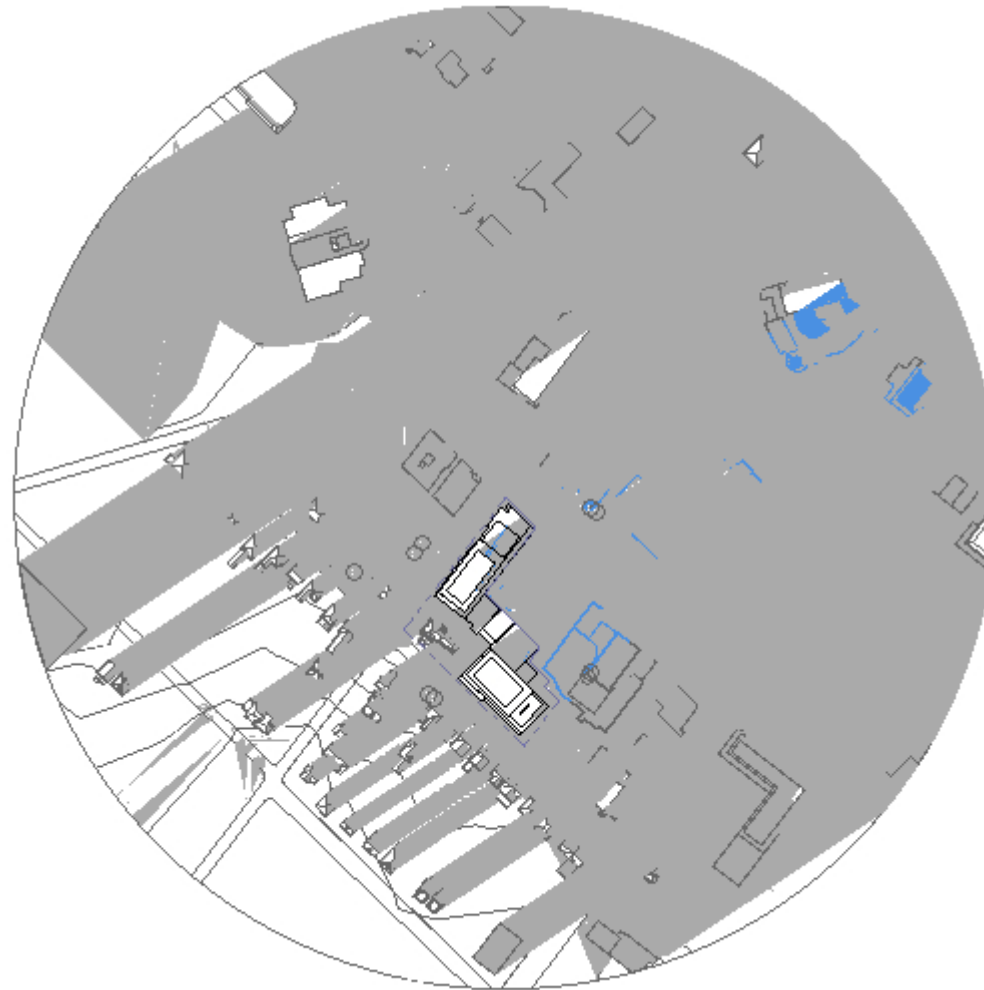
DECEMBER 21, 09:30



DECEMBER 21, 12:30



DECEMBER 21, 15:30



DECEMBER 21, 18:30