

HERITAGE IMPACT ASSESSMENT



1 ISABELLA STREET
Brampton, ON

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EXECUTIVE SUMMARY

Megan Hobson consulting was retained by Stefan Lout to prepare a *Heritage Impact Assessment* to review proposed alterations to his *Part IV Designated* heritage dwelling located at 1 Isabella Street in the Town of Brampton. The architectural drawings for the proposed alterations by architectural designer Erin Zagar are included in the Appendix of this report.

The consultant finds that the proposed alterations are consistent with Parks Canada's *Standards and Guidelines for the Conservation of Historic Places in Canada* and will not have adverse impacts on cultural heritage value. The proposed alterations will provide additional living space required by the owner's family and will therefore contribute to the long-term conservation of the heritage building as a private residence.

The alterations have been carefully considered so that impacts to heritage attributes have been avoided. The addition has been located at the rear and limited to one storey in height. Design measures have been successfully employed so that the roof slope, exterior cladding materials, doors and windows of the addition are complimentary to the character of the heritage building. A wooden canopy on the rear elevation that is identified as a heritage attribute will be salvaged and reused on another elevation so that it can be preserved.

It is therefore recommended that the proposed alterations be supported. Given that the addition will have a separate foundation and roof structure, there are no structural concerns with the proposed alterations. Detailed structural drawings can be reviewed as part of the normal building permit process and no further heritage review is required for these aspects. It is recommended that heritage staff review the final cladding material choices prior to the issue of building permits.

It is recommended that excavations around the c.1850s rubblestone foundation be undertaken in sections so that temporary shoring can be installed if necessary. Due to the fact that this section of the basement was shallow and has already been underpinned with concrete, these concerns are expected to be minor and a *Conservation Plan* is not required.

It is recommended that repairs and alterations to the masonry be carried out by an experienced heritage mason using an appropriate lime mortar and that bricks removed to make new openings through the existing masonry walls be salvaged so they can be used for repairs elsewhere.

1.0 INTRODUCTION

Preparation of this report included site investigation, historical research, and a review of relevant heritage policies and guidelines. Research assistance was provided by the Peel Archives and the Brampton Library. The past ownership and evolution of the property has been documented and historical documentation is included in the appendix of this report. Unfortunately, no historic photos of the subject dwelling could be uncovered.

I toured the property with Mr. Lout who described his interest in conserving the heritage attributes of the house and making alterations that could meet their needs. The current layout is awkward because the only bathroom in the house is located off the kitchen. I reviewed the proposal with Erin Zagar who also shared examples of her previous heritage projects, through which she has a good understanding of 19th century construction and building materials.

2.0 LOCATION & SITE DESCRIPTION

The subject property is a corner lot with frontages on Isabella and David Streets. The dwelling is oriented towards Isabella Street and has a driveway on that street. There is no garage but there is a small wooden shed at the end of the driveway close to the house that is not a historic structure. The property has landscaping on both frontages and a fenced yard at the back.



LOCATION MAP



CORNER OF DAVID & ISABELLA STREETS

The dwelling is brick construction and comprised of a 1.5-storey, 3 by 2-bay front portion with a hipped roof and 1-storey tail at the back with a gable roof. The tail has a smaller footprint and has a covered porch on the David Street Side. The gable roof of the addition extends out over the porch. The porch posts and railings appear to date from the early to mid-20th century. There is a wooden canopy on the rear elevation where a doorway has been blocked and converted to a window. The canopy brackets are bolted into the masonry. The style and construction indicate a date of c.1920s or 1930s.



1 ISABELLA STREET – 1.5 storey brick dwelling

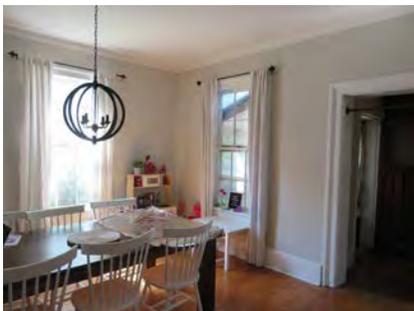


The exterior masonry is in good condition with some localized areas of deterioration typical of a building of this age. The dichromatic brickwork includes buff brick corner quoins, window lintels and a decorative band below the eaves. The original 6 over 6 wood window sash remains with modern metal storms on top. The soffits, sills and front door surround have been clad with aluminum, perhaps covering original wood components. The foundation is rubble stone construction with small windows above grade. There is an unfinished basement below the north half of the front portion and a crawlspace below the south half. The rear tail is believed to be the original summer kitchen. Originally constructed with a crawlspace, it has been underpinned with concrete to make a full basement below. The wide spacing of the circular sawn floor joists visible in the basement are consistent with a date of construction in the 1850s.



c. 1850s RUBBLE STONE FOUNDATION (left) c. 1920s or 1930s CONCRETE UNERPINNING (center) c.1850s floor framing (right)

The interior layout has been altered and there are several different types of wood flooring and trims from different periods, as well as different styles of heat registers. The front gable and the rear dormer were added to create more space on the 2nd floor. These alterations likely date from the early 20th century. The ground floor contains a living room, dining room and two small bedrooms in the front portion. The kitchen and bathroom are located in the rear tail portion. The 2nd floor contains one bedroom. Access to the 2nd floor is by a staircase that is entered from the kitchen. The style and construction of the stair rail and newel post on the 2nd floor indicates a date of c. 1920s or 1930s.



DINING ROOM



KITCHEN



STAIRS TO 2ND FLOOR

3.0 HERITAGE PLANNING CONTEXT

The subject property is Designated under Part IV of the Ontario Heritage Act. The *Designation By-law* is included in the appendix of this report. The property contains a brick dwelling constructed in the mid 1850s for carpenter John Pickard and his wife Harriet Scott Pickard.



PICKARD COTTAGE is a Regency style cottage built in the mid 1850s for carpenter John Pickard.

The subject property is located in a Victorian neighbourhood known as the Washington Block. There is a high concentration of heritage resources including brick dwellings with dichromatic brickwork similar to the subject dwelling and other small cottages built for skilled workers. Many of the 19th century dwellings have survived and are now listed on the Municipal Heritage Register. The subject dwelling is considered to be one of the best preserved examples in this historic enclave.

The area was originally served by a church that was known as the Joseph Street Church (the 2nd Anglican Church in Brampton). The Joseph Street Church was built in 1856 and was located across the street from the subject dwelling on a large lot that extended from Joseph Street to David Street. It was demolished after the congregation relocated to a new church called Christ Church and the bricks were used to build the dwelling at 19 David Street.



HISTORIC NEIGHBOURHOOD with heritage buildings & mature trees – c.1850s 2-storey dwelling nearby with similar dichromatic brickwork and buff brick corner quoins (left) and a c.1850s cottage with the same dimensions, hipped roof, and setback (right)



HERITAGE MAPPING – Designated heritage properties shaded green – Listed heritage properties shaded brown. The dwelling at 19 David Street is said to have been built from bricks from the Joseph Street Church, built in 1856 and demolished when the congregation relocated to their present church on Elizabeth Street in 1884.

4.0 HISTORICAL CONTEXT

Historically, the subject property is located in a Victorian residential survey known as the Washington Block. A survey for building lots on Isabella Street was registered at the Peel registry office in 1854 (Brampton Plan-08). At that time, it was located in the West Ward in the northwest edge of the Town of Brampton north of the Grand Trunk Railway line on the west side of Main Street.



EAST ½ OF LOT 13, CHISHOLM MILLER SURVEY (1854) – a residential neighbourhood at the northwest edge of Town, north of the Great Trunk Railway line

The subject dwelling is located on the East 1/2 of Lot 13. Land records indicate the following ownership:

1854-1876	John & Harriet PICKARD	carpenter	all of Lot 13
1876-1882	Harriet (Pickard) BELL	widow	"
1882-1929	William TAYLOR	farmer	" *sold west ½ in 1892
	Robert TAYLOR		east ½ of Lot 13
	Thomas B. TAYLOR		"
1929-1939	Emma E. & T. Blake DUGGAN		"
1939-1990	Howard CUNDELL		"
	James H. CUNDELL		"
	Hattie Marie CUNDELL		"
1990-1995	Robert James BUCHANAN & Suzanne BABY		"
1995-2017	Ian & Wendy NEWMAN		"
2017-	Stefan & Constance LOU		"

In the 19th century, this was a middle-class residential neighbourhood with small one storey cottages and some larger 2 storey homes.

5.0 CULTURAL HERITAGE VALUE

The subject dwelling is identified as "an excellent and well preserved example of Regency style of architecture in the Ontario Cottage variant" that has architectural, historical and context value to the community of Brampton.

The *Designation By-Law (244-2010)* includes a detailed Statement of Significance and a list of heritage attributes that is provided below.

5.1 STATEMENT OF CULTURAL HERITAGE VALUE

The property at 1 Isabella Street is worthy of designation under Part IV of the Ontario Heritage Act for its cultural heritage value. The property meets the criteria for designation prescribed by the Province of Ontario under the three categories of design or physical value, historical value and contextual value.

The cultural heritage value of 1 Isabella Street is related to its design or physical value as a representative and early example of a house designed in the Regency Ontario Cottage style. It reflects a high degree of craftsmanship as exhibited by the dichromatic brick detailing, wood sash windows, front door architrave and balanced proportions and massing. Carpenter John Pickard built the one and a half storey masonry house in the mid 1850s for him and his wife Harriett Scott Pickard.

The property also has historical or associative value as it reflects the life and work of John Pickard, a Brampton carpenter and his wife Harriett Scott. Pickard is believed to have also been Brampton's first tax collector. The Pickard family owned the property until 1882 when, following John Pickard's death, Harriett Scott Pickard sold the house to Thomas Taylor, a miller and farmer on Lot 12, Concession 8 in the Toronto-Gore. Taylor was also a Reeve in Toronto-Gore. The Taylor family moved to the house at 1 Isabella Street following Mr. Taylor's retirement. The Taylor's owned the house until 1929.

The house was built in one of the earliest residential subdivisions in Brampton and at a time when the town was entering a residential building boom following incorporation, along with the arrival of the railway and the emergence of the local flower industry.

The cultural heritage value of the property is also connected to its contextual value as it maintains, supports and defines the character of an intact Victorian residential neighbourhood, known as the "Washington Block". The house is very representative of the single detached dwelling houses built in this well-established Victorian neighbourhood beginning in the 1850s. The house is situated on a relatively small corner lot with shallow setbacks, and as a result, is highly conspicuous, exhibiting landmark status.

The house at 1 Isabella Street is one of the best preserved mid 19th century dwellings in the "Washington Block" neighbourhood. There are at least two other houses of a similar style in the area (also possibly built by Pickard) but they are not as well preserved as the subject property.

Design/ Physical Value:

-excellent and well preserved example of Regency style of architecture in the Ontario Cottage variant

Historical / Associative Value:

-reflects life and work of local carpenter and Brampton's first tax collector, John Pickard (1825-1876) and his wife Harriett Scott;
-reflects life of miller and farmer William Taylor (1817-1892) and his wife Elizabeth;

- documents evolution of "Washington Block" neighbourhood;
- part of construction boom following introduction of railway and local flower industry in the mid 1850s;

Contextual Value:

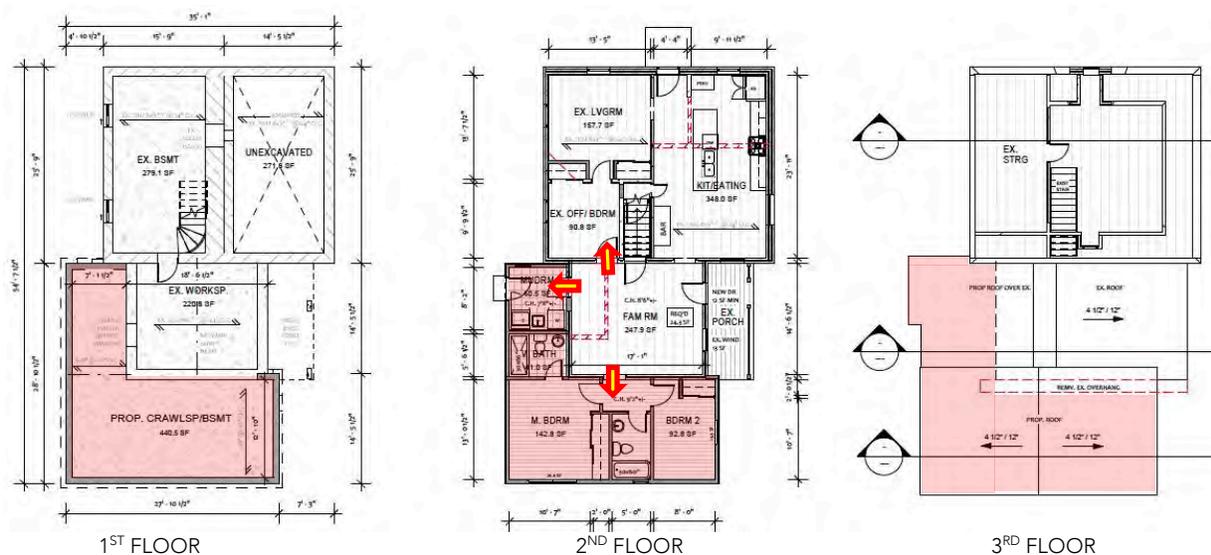
- contributes to character and identity of "Washington Block" as a cohesive mid Victorian/late Edwardian residential neighbourhood;
- massing, proportions and detailing of house highly compatible and well integrated within the neighbourhood;
- helps define the history and evolution of this neighbourhood;
- well preserved building;
- landmark status on conspicuous corner lot;

5.2 HERITAGE ATTRIBUTES

- unpainted load bearing masonry walls;
- brick courses of front facade laid in alternating running bond;
- brick courses of side and rear facades laid in common bond;
- single brick chimney stack;
- red and buff dichromatic brick patterning and details as seen in quoining, voussoirs and frieze;
- random fieldstone foundation;
- three bay front fenestration with single dormer window in dormer gable;
- 6/6 wood sash windows, original window glass with distinguishing characteristics, window surrounds and wood sills;
- one and a half storey height;
- single leafed paneled wood front door, door architrave and transom;
- dormer gable window over front entrance;
- cottage hip roof;
- rear, one storey masonry wing with pitched gable roof (presumably the original summer kitchen);
- cantilevered wood overhang over back door on rear one storey wing;
- wood verandah with posts and railing on rear one storey masonry wing.
- rear dormer window.

6.0 PROPOSED ALTERATIONS

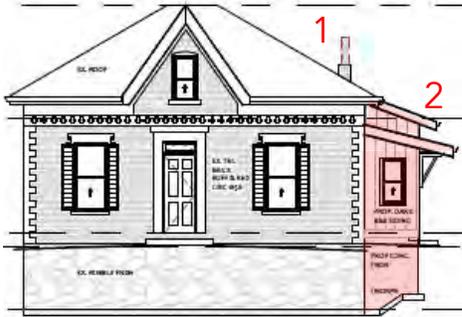
The applicant proposes to construct a small 1-storey at the rear of the existing dwelling. The addition has an L-shaped plan and wraps around the driveway side and rear elevation of the heritage building. The addition has been sited at the back and modestly scaled so that it will have the least impact on heritage attributes and public views to the heritage building from Isabella and David Streets.



The addition will have a separate concrete foundation and a crawl space on the lower level that will be independent from the existing basement and foundation walls. The addition will have a shallow sloped gable roof that is lower than the hipped roof on the main portion of the heritage building.

Physical impacts will be limited to the driveway side and rear elevations of the 1-storey tail that currently contains the kitchen. An existing window on the driveway side located in the bathroom will be enlarged to create a door into the addition. An existing window on the rear elevation that was originally constructed as a door will be opened up to make a door into the addition.

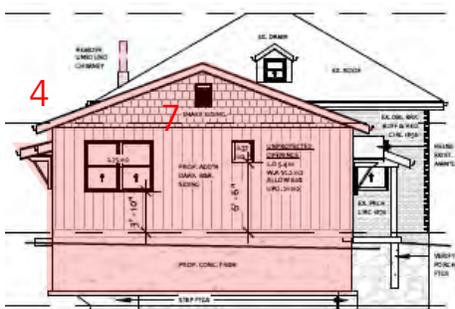
The wood canopy on the rear elevation will be removed and reinstated on the David Street elevation above the new window in the addition. A matching canopy will be introduced on the driveway side for the side entrance in the addition.



ISABELLA STREET ELEVATION



DRIVEWAY SIDE ELEVATION



REAR ELEVATION



DAVID STREET ELEVATION

1. The top of the brick chimney will be dismantled and the original portion at the base will be repaired and capped
2. The proposed rear addition will extend out slightly into the driveway
3. The roof of the proposed addition will be lower than the existing roof
4. A wood canopy will be introduced at the new side entrance on the driveway that matches the existing wood canopy on the rear elevation
5. The existing wood canopy on the rear elevation will be relocated to the David Street elevation above a window in the addition
6. The side door on the David Street elevation will be replaced with a new door with wood panels and glazing that is complimentary to the character of the heritage building
7. The cladding proposed for the addition is complimentary to the character of the heritage building and includes vertical wood siding on the walls and cedar shakes in the gable

7.0 HERITAGE IMPACT ASSESSMENT

7.1 IDENTIFIED IMPACTS

There may be negative impacts on cultural heritage resources before, during or after work has been completed. These impacts may be direct or indirect, temporary or permanent. Negative impacts should be described in terms of their effect on specific heritage attributes, or, in some cases, the overall cultural heritage value or interest of a property. An assessment is provided below regarding potential impacts identified in the Ontario Heritage Toolkit.

- *Destruction of any, or part of any, significant heritage attributes or features*

Comment: No heritage attributes will be destroyed.

- *Alteration that is not sympathetic, or is incompatible, with the historic fabric and appearance*

Comment: The proposed alteration is sympathetic and compatible

- *Shadows created that alter the appearance of a heritage attribute or change the viability of an associated natural feature or plantings, such as a garden*

Comment: Not applicable

- *Isolation of a heritage attribute from its surrounding environment, context or a significant relationship*

Comment: Not applicable

- *Direct or indirect obstruction of significant views or vistas within, from, or of built and natural features*

Comment: Not applicable

- *A change in land use (such as rezoning a church to a multi-unit residence) where the change in use negates the property's cultural heritage value*

Comment: Not applicable

- *Land disturbances such as a change in grade that alters soils, and drainage patterns that adversely affect a cultural heritage resource, including archaeological resources*

Comment: Excavations will occur in previously disturbed areas where archaeological potential is low

Table 1.0 Assessment of Impacts on Heritage Attributes.

HERITAGE ATTRIBUTE	IMPACTS	MITIGATION
unpainted load bearing masonry walls	2 new doorways through the exterior masonry walls	<p>SALVAGE</p> <ul style="list-style-type: none"> impacts are limited to secondary elevations and have been minimized by utilizing existing window openings salvage of brick is recommended so it can be used to carry out repairs elsewhere
brick courses of front facade laid in alternating running bond	No impacts	None Required
brick courses of side and rear facades laid in common bond	2 new doorways as noted above	Mitigation noted above
single brick chimney stack	<p>POSITIVE IMPACTS</p> <ul style="list-style-type: none"> The top portion of the chimney is in very poor condition and has contributed to spalling of the brick below. The top portion will be dismantled and the base will be capped. 	<p>QUALIFIED HERITAGE MASON</p> <ul style="list-style-type: none"> Work should be carried out by a qualified heritage mason to ensure that the new work is compatible with the heritage fabric.
red and buff dichromatic brick patterning and details as seen in quoining, voussoirs and frieze	No impacts	None required.
random fieldstone foundation	<p>POTENTIAL IMPACTS</p> <ul style="list-style-type: none"> Excavation and construction of a new concrete block foundation adjacent to the rubble stone foundation may have negative impacts on 	<p>STRUCTURAL DRAWINGS</p> <ul style="list-style-type: none"> Further details regarding the foundation work should be provided prior to the issue of building permits. <p>MONITORING</p> <ul style="list-style-type: none"> Excavation in sections and careful monitoring of the

	the rubble stone foundation.	rubblestone foundation is recommended.
three bay front fenestration with single dormer window in dormer gable	No impacts	None required.
6/6 wood sash windows, original window glass with distinguishing characteristics, window surrounds and wood sills	No impacts.	None required.
one and a half storey height		
single leafed paneled wood front door, door architrave and transom	No impacts.	None required.
dormer gable window over front entrance	No impacts.	None required.
cottage hip roof	No impacts.	None required.
rear, one storey masonry wing with pitched gable roof (presumably the original summer kitchen)	MINOR IMPACTS The roof overhang on the rear elevation will be removed where the addition will be attached. One small casement window on the Driveway elevation will be enlarge for a door. One window on the rear elevation that was originally a door will be reinstated as a doorway into the addition.	Nothing further required.
cantilevered wood overhang over back door on rear one storey wing	MINOR IMPACTS This attribute will be preserved but will be relocated to another elevation. The wood overhang will be removed from the rear elevation and reinstated on the David Street side of the new addition.	QUALIFIED HERITAGE MASON <ul style="list-style-type: none"> The wood brackets are bolted directly into the masonry. Removal should be done by a qualified heritage mason so that impacts to the masonry are minimized. This feature was added in the early 20th century and is not

		original to the c.1850s heritage building.
wood verandah with posts and railing on rear one storey masonry wing	No impacts.	None required.
rear dormer window	No impacts.	None required.

7.2 MITIGATION STRATEGIES

Methods of minimizing or avoiding a negative impact on an adjacent cultural heritage resource, as stated in the *Ontario Heritage Tool Kit* include, but are not limited to:

- Alternative development approaches;
- Isolating development and site alteration from significant built and natural features and vistas;
- Design guidelines that harmonize mass, setback, setting, and materials;
- Limiting height and density;
- Allowing only compatible infill and additions;
- Reversible alterations.

Design measures have been successfully employed including the following:

- the height of the addition is limited to 1-storey and is lower than the roofline of the main portion of the house
- the addition is located at the rear and attached to the 1-storey tail section that does not have decorative brickwork
- the design successfully minimizes impacts on heritage attributes
- the wood canopy on the rear elevation that will be removed will be reinstated on the addition
- the addition will have a separate foundation and roof structure and is therefore considered to be easily reversible
- the addition will utilize existing openings in the exterior masonry walls where possible to limit the removal of original fabric
- the wood cladding and cedar shingle on the addition is distinct but complimentary to the style of the heritage building
- the design details reference the heritage building in terms of door and window styles and replication of the wood canopy

Heritage attributes will be conserved and the alterations will no adverse impact have been identified.

Photo documentation of the current condition of heritage attributes is included in Appendix B of this report. Measured drawings to document the current building elevations and interior layout have been prepared by Erin Zagar and are included in Appendix D of this report.

Therefore, no further mitigation is required.

8.0 CONCLUSIONS & RECOMMENDATIONS

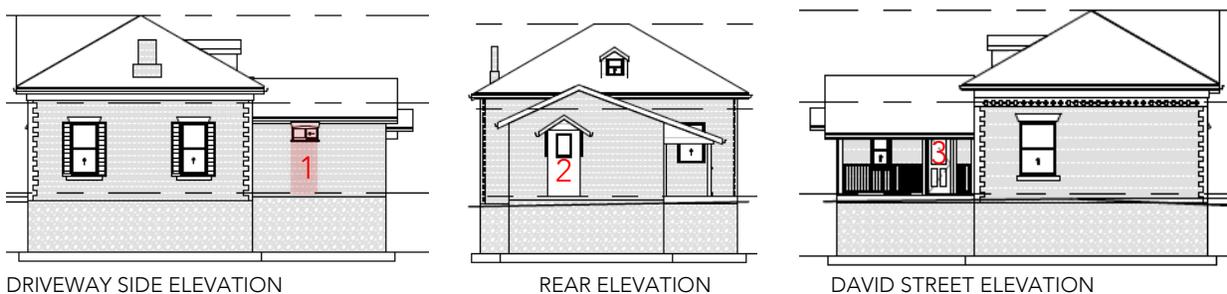
The consultant finds that the proposed alterations are consistent with Parks Canada's *Standards and Guidelines for the Conservation of Historic Places in Canada* and will not have adverse impacts on cultural heritage value. The proposed alterations will provide additional living space required by the owner's family and will therefore contribute to the long-term conservation of the heritage building as a private residence.

The alterations have been carefully considered so that impacts to heritage attributes have been avoided. The addition has been located at the rear and limited to one storey in height. Design measures have been successfully employed so that the roof slope, exterior cladding materials, doors and windows of the addition are complimentary to the character of the heritage building. A wooden canopy on the rear elevation that is identified as a heritage attribute will be salvaged and reused on another elevation so that it can be preserved.

It is therefore recommended that the proposed alterations be supported. Given that the addition will have a separate foundation and roof structure, there are no structural concerns with the proposed alterations. Detailed structural drawings can be reviewed as part of the normal building permit process and no further heritage review is required for these aspects. It is recommended that heritage staff review the final cladding material choices prior to the issue of building permits.

It is recommended that excavations around the c.1850s rubblestone foundation be undertaken in sections so that temporary shoring can be installed if necessary. Due to the fact that this section of the basement was shallow and has already been underpinned with concrete, these concerns are expected to be minor and a *Conservation Plan* is not required.

It is recommended that repairs and alterations to the masonry be carried out by an experienced heritage mason using an appropriate lime mortar and that bricks removed to make new openings through the existing masonry walls be salvaged so they can be used for repairs elsewhere.



RECOMMENDED SALVAGE: brick removed to make two new openings should be salvaged so that it can be used to carry out repairs elsewhere: - 1. an existing window in the bathroom will be enlarged to create a doorway so a small amount of brick will be removed at this location - 2. an existing window in the kitchen that was originally a door will be reinstated so no brick will be removed at this location - 3. The side door probably dates from the c.1920/30s renovations and is not listed as a heritage attribute. If it is to be replaced it could be reused as an interior door, stored on site in a dry location, or removed by an architectural salvage company for reuse elsewhere

9.0 SOURCES

Blumenson, J. *Ontario Architecture* (1990)

City of Brampton, *Designation By-law 224-2010: 1 Isabella Street*

-----, *Heritage Impact Assessment Terms of Reference*

-----, *Municipal Register of Cultural Heritage Resources Designated under the Ontario Heritage Act; Designated Properties (2021)*

Loverseed, Helga V. *Brampton; an Illustrated History* (1987)

Ministry of Tourism, Culture & Sport (MTCS), *Ontario Heritage Toolkit* (2006)

Parks Canada, *Standards & Guidelines for the Conservation of Historic Places in Canada* (2010)

10.0 QUALIFICATIONS OF THE AUTHOR

The author of this report is a professional member of the Canadian Association of Heritage Professionals. Formal education includes a Master of Arts in Architectural History from the University of Toronto and a diploma in Heritage Conservation from the Willowbank School of Restoration Arts. Professional experience includes an internship at the Ontario Heritage Trust, three years as Architectural Historian and Conservation Specialist at Taylor Hazell Architects in Toronto, and 10 years in private practice in Ontario as a heritage consultant. Other relevant experience includes teaching architectural history at the University of Toronto and McMaster University and teaching Research Methods and Conservation Planning at the Willowbank School for Restoration Arts in Queenston. In addition to numerous heritage reports, the author has published work in academic journals such as the *Journal of the Society for the Study of Architecture in Canada* and the *Canadian Historical Review*.

APPENDIX A: PHOTO DOCUMENTATION



ISABELLA STREET ELEVATION – 3 bay, 1.5-storey 'Ontario Cottage' with a hip roof that was modified at the front for a gable – note the dichromatic brickwork that employs buff brick for corner quoins, frieze and window lintels. The windows are 6 over 6 wood sash.



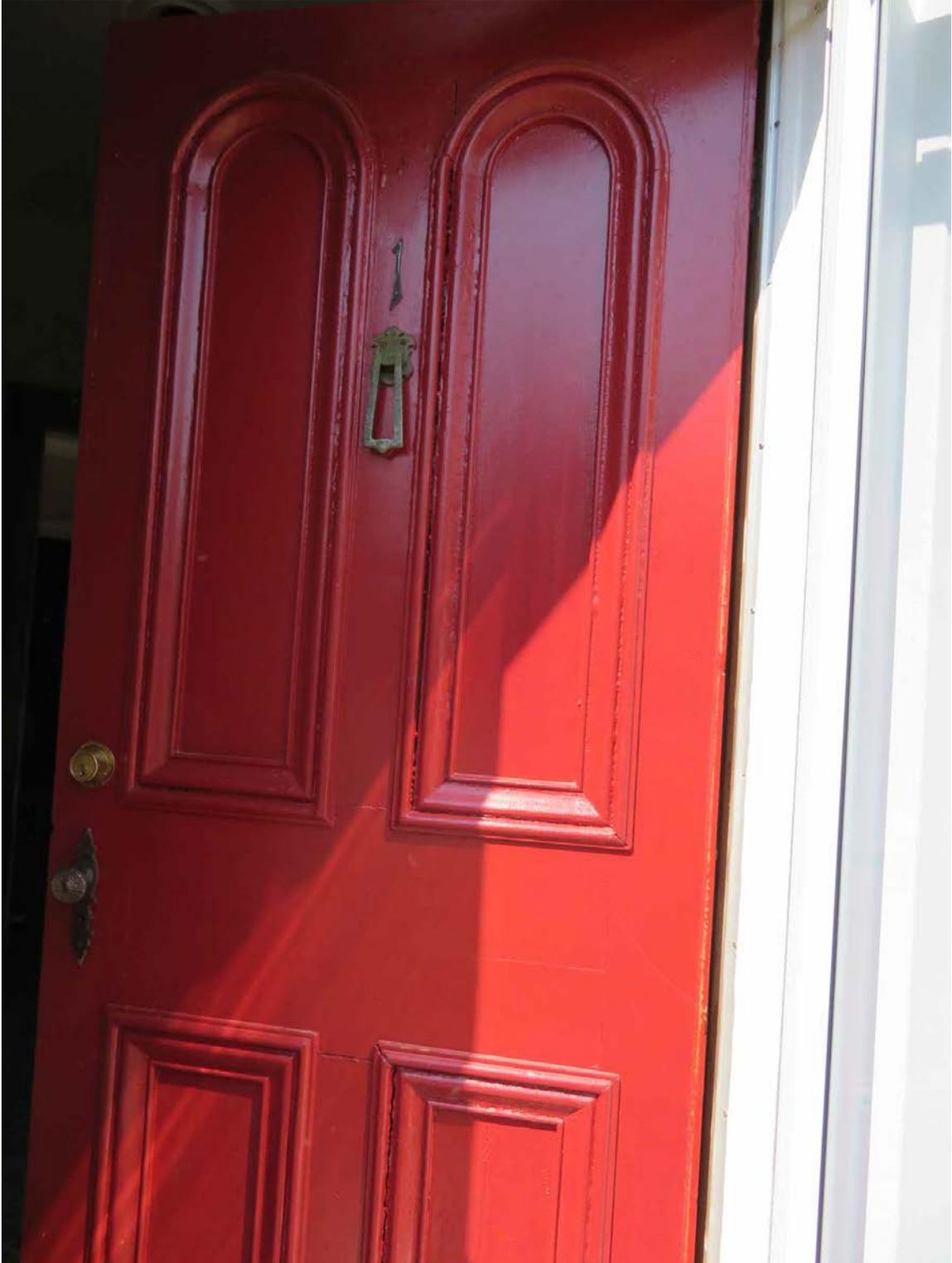
DAVID STREET ELEVATION – one of the windows on this elevation has been bricked in



DI-CHROMATIC BRICK – red brick with buff brick quoins, window arches, and frieze – triple brick construction; a double layer of brick with headers and a third layer in running bond on top – the window arches are flat



FRONT GABLE – the front gable appears to be a later alteration, possibly done in the late 19th or early 20th century – the door frame has been clad with aluminum, perhaps on top of original wood components – the soffits and fascia are aluminum, perhaps with original wood components beneath



FRONT DOOR – four raised panels included two arched panels – a late Victorian door style, perhaps salvaged from another building



WINDOWS – wood sash windows with slender muntin bars are probably original – the sills have been covered with aluminum and may be wood beneath – the aluminum shutters are recent



FRONT GABLE – the front gable is an early addition to give additional space on the 2nd floor – probably done in the late 19th or early 20th century – the window in the gable has a shallow segmental arch in red brick



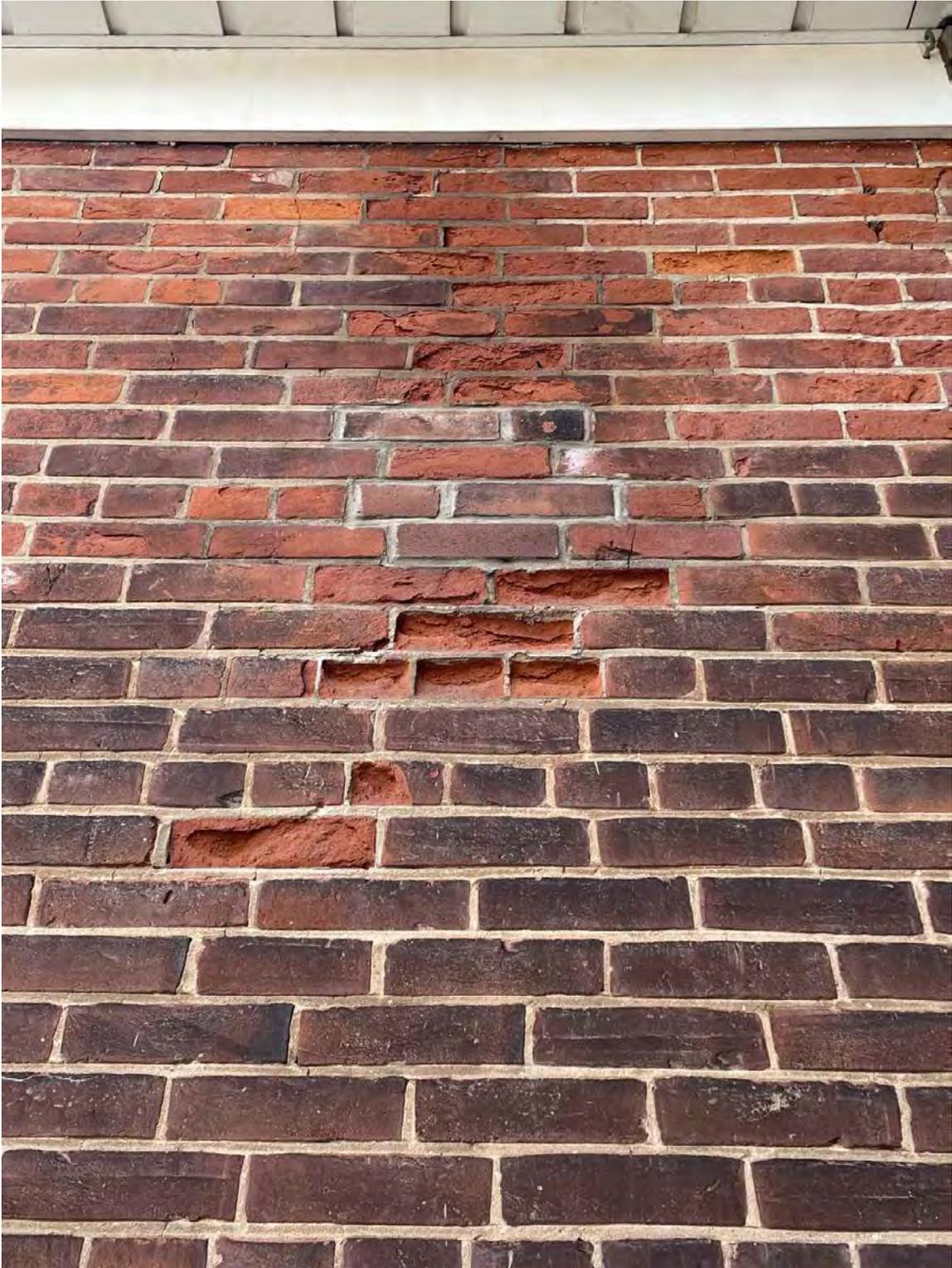
The upper part of the chimney is not historic and will be dismantled.

The original portion at the base will be preserved & a new cap will be installed.

DRIVEWAY ELEVATION – 1.5-storey, 3 by 2 bay dwelling with a one storey tail at the back – the roofline of the addition is lower and the footprint is narrower – there is a chimney on this elevation



DRIVEWAY SIDE ELEVATION – note the wide overhang of the roof – note the spalling of the brick below the chimney – there is a basement below and two windows above grade on this elevation - note the rubble stone foundation



DRIVEWAY SIDE ELEVATION – detail of spalled brick noted above



TRANSITION TO THE REAR SECTION – note the buff brick quoin detail – the addition is double-brick construction, note the different bond pattern of the addition that has a row of headers every 8th row – note the rubble stone foundation – the tail may be original or was an early addition built in the late 19th or early 20th century – the masonry openings have segmental brick arches



BACK CORNER ON THE DRIVEWAY SIDE – the addition is constructed of red brick without the buff brick detailing of the front – the shed is a modern frame structure



REAR SECTION – DRIVEWAY SIDE – there is one small window on this elevation



REAR SECTION – DRIVEWAY SIDE – there is one basement window on this elevation



REAR ELEVATION – the rear tail section has a gable roof that extends over a porch on the David Street side – the roof of the porch overlaps a window on the rear elevation of the main portion of the house



REAR ELEVATION – the 1917 Fire Insurance Plan shows a porch in this location but the wood posts and railings are probably more recent – there is a small dormer above that also seems to be a fairly recent alteration



REAR ELEVATION – a back door has been recently blocked up with wood framing and cladding and converted to a window – it has a wooden roof above that is bolted into the masonry – given the Arts & Crafts influenced style of this feature and its simple construction, it probably dates from the 1920s or 30s.



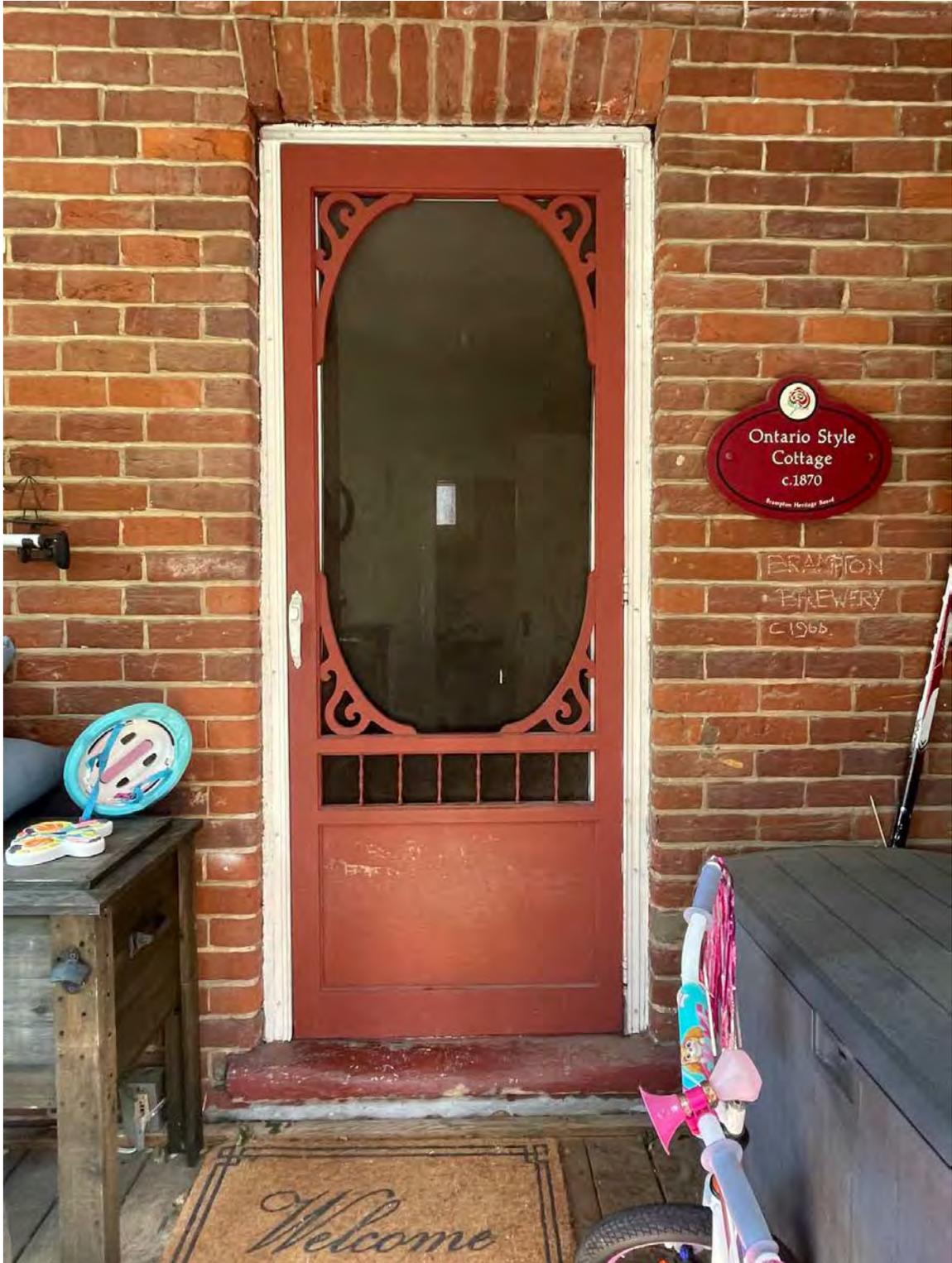
BACK DOOR – detail of the metal bolt that anchors the wood bracket into the masonry



SIDE PORCH – the porch deck, posts and railings appear to be fairly recent



SIDE PORCH – the gable roof of the tail section extends over the porch and overlaps one of the windows



SIDE DOOR – the opening has a flat brick arch



SIDE PORCH – the roof overlaps a window indicating that the porch was probably an early addition built in the late 19th or 20th century



BACK CORNER – some open mortar joints and spalling of the buff brick



BACK CORNER – buff brick corner quoin and decorative frieze



DAVID STREET ELEVATION – note spalled area of brick indicating that there may have been a chimney above, similar to the other side elevation – note the bricked in window



M. Julian, 1911



F. Julian

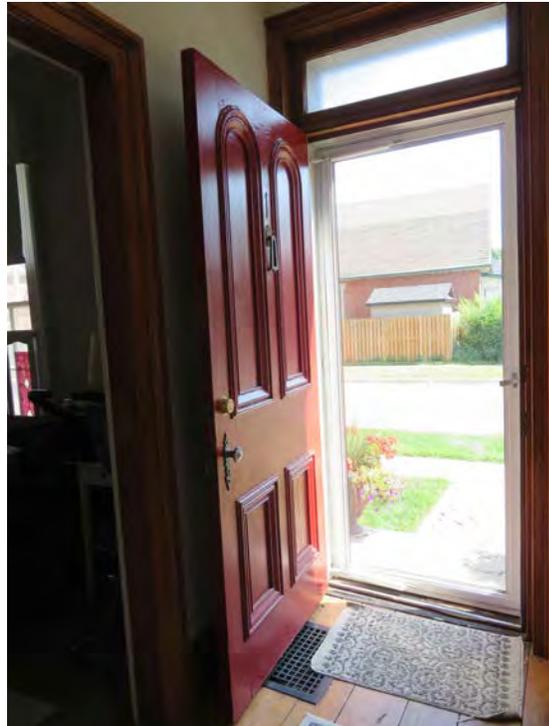


Daisy Dean, 1903

Names carved into the brick in the early 20th century



1st FLOOR – FRONT HALL



FRONT DOOR



1ST FLOOR LIVING ROOM



1ST FLOOR LIVING ROOM



1ST FLOOR DINING ROOM



1ST FLOOR DINING ROOM



KITCHEN – DOOR TO THE SIDE PORCH



1ST FLOOR KITCHEN – DOOR TO STAIRS UP TO THE 2ND FLOOR



1ST FLOOR KITCHEN & BATHROOM



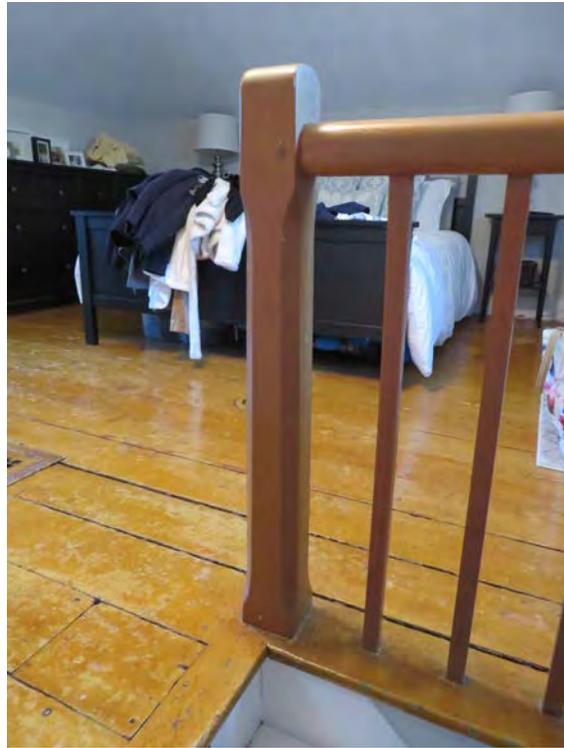
1ST FLOOR BATHROOM



CASEMENT WINDOW IN BATHROOM



STAIRS TO 2ND FLOOR



SIMPLE RAILING & NEWEL POST ON 2ND FLOOR



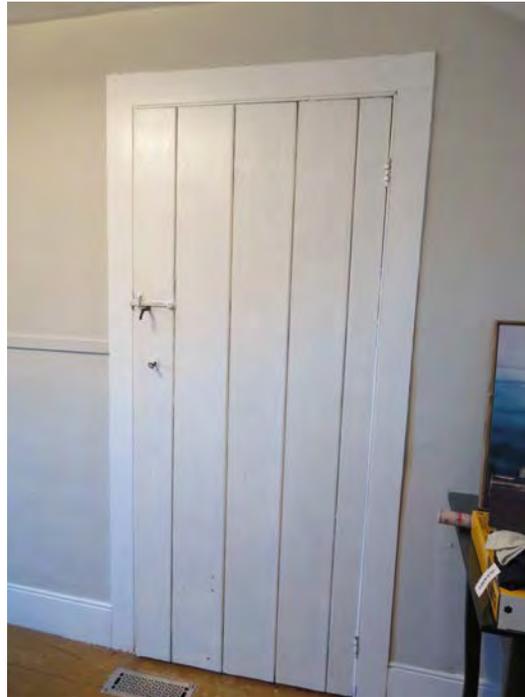
FRONT DORMER WITH SASH WINDOW



BACK DORMER WITH CASEMENT WINDOW



1ST FLOOR RAISED PANEL DOOR



BEDROOM CLOSET PLANK DOOR WITH LATCH



WOOD FLOOR & TRIM



WOOD FLOOR & TRIM – various types of trim



METAL WALL VENT COVER



METAL FLOOR VENT COVER



STAIRS TO BASEMENT



FLOOR FRAMING - circular sawn lumber & wide spacing of the joists are consistent with a mid-19th century date of construction



BASEMENT FURNACE ROOM – rubble stone foundation & full basement in this area



BASEMENT – rubble and concrete below the rear section – originally a crawl space that was later excavated and underpinned



BASEMENT WINDOW – a popular window style in the 1920s & 30s



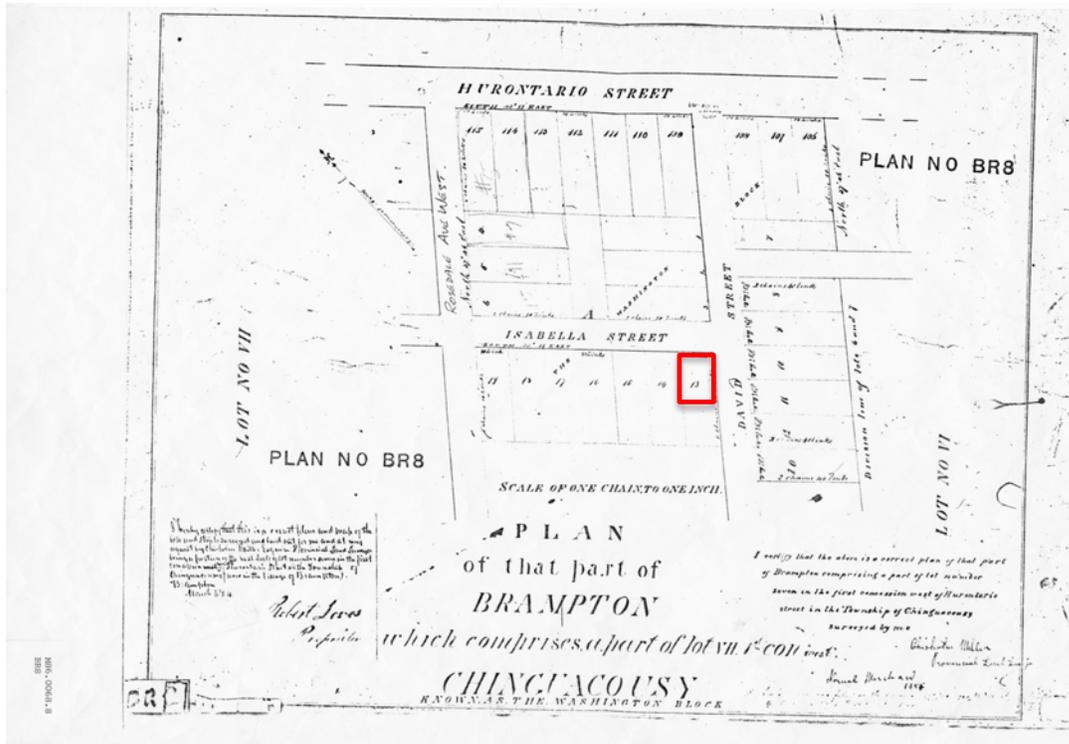
ATTIC – unfinished area under the eaves on the David Street side – the base of a chimney is visible, confirming that there was originally a matching chimney on this side

APPENDIX B: HISTORIC DOCUMENTATION

1 ISABELLA STREET, BRAMPTON: East ½ of Lot 13, BR-8, Chisholm Miller (1854)



1 ISABELLA STREET, BRAMPTON – corner of Isabella & David Streets



1854 BR-8 CHISHOLM MILLER SURVEY – lots were laid out on David & Isabella Streets in 1854 – the subject property corresponds to the **east ½ of Lot 13** [PAMA]



1859 TREMAINE MAP OF BRAMPTON – the subject dwelling does not appear – there is a Grist Mill & a creek nearby [PAMA]



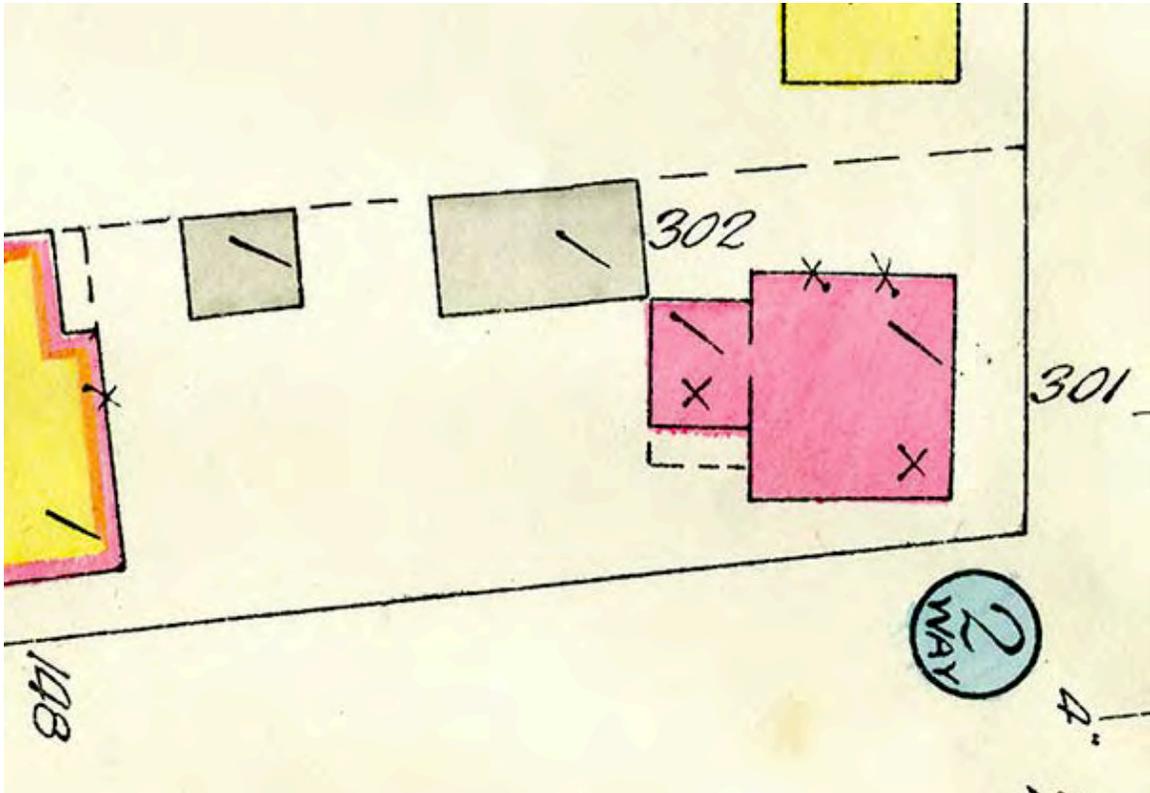
1859 TREMAINE MAP OF PEEL COUNTY – the corner of Isabella & David is on the edge of town [PAMA]



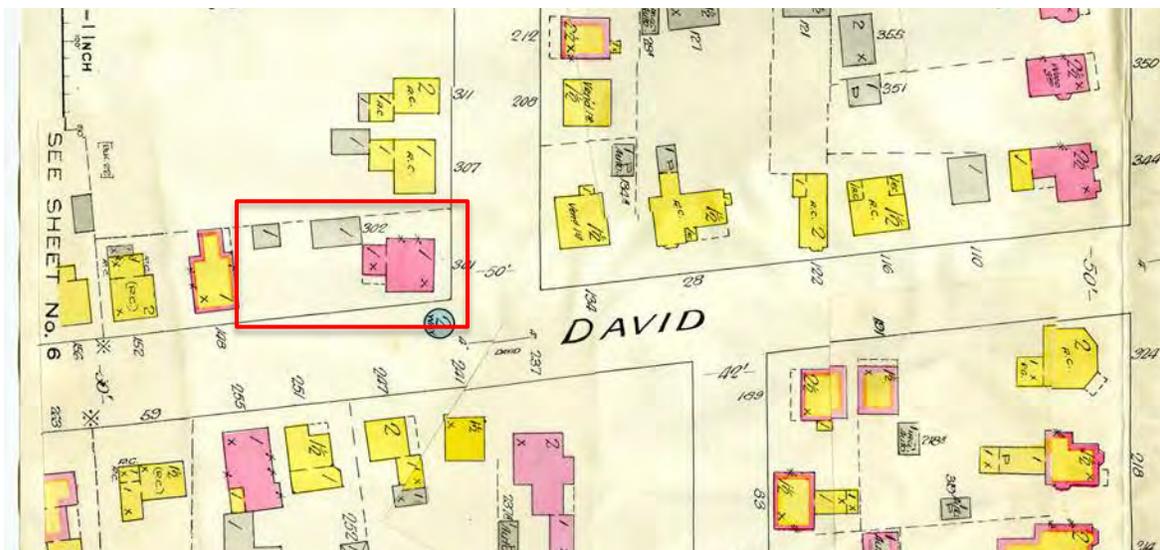
1877 PEEL COUNTY ATLAS – West Ward – building lots have been laid out along Isabella Street including Lot 13 where the subject dwelling is located – Isabella Street is still at the northwest edge of Town. The subject dwelling is part of a residential neighbourhood on the west side of Main Street, north of the Grand Trunk Railway line. [PAMA]

207	Tennant	Francis	gentleman	89	Thomas	mf	T
155	j Taylor	Thomas B.	salesman	13	op.	Isabella & David	mf T
186	j Townsend	Jos.		25		David	mf F
305	j Thompson	Wm.	assembler	22		Railroad	mf F
16	j Thornton	Wm.	teamster	93		Main	mf T
26	Tuke	Wm. H.		100		Main	mf T
353	j Townsley	John	inventor	pt 47		W. Wellington	mf F
74	j Thompson	W.	florist	pt 15	op.	Main and Eng.	mf F
331	j Terry	Louis	traveler	70 71 6 9		Nelson and Mill	mf T
156	Taylor	John	farmer	13		Isbel and David	mf F
102	Taylor	Robert	gentleman	3		English	mf F
165	Taylor	Wm.	laborer	13		David	mf T

1913 VOTER'S LIST – this record shows 3 members of the Taylor family living on Lot 13: John TAYLOR, farmer – Thomas B. TAYLOR, salesman – William TAYLOR, laborer. John owns his property Thomas B. & William are tenants. [PEEL ARCHIVES]



1917 FIRE INSURANCE PLAN, SHEET 7 – the subject dwelling appears with its current configuration including a 2-storey main block with a square plan and a 1-storey tail with a porch facing David Street. The two frame buildings shown here have been demolished. The larger frame building has a separate street address indicating that it was a separate household. It may have been an older dwelling or a stable that was converted to a dwelling. [PAMA]



1924 FIRE INSURANCE PLAN – no changes to the subject property since the 1917 Fire Insurance Plan. The brick dwelling identified as 301 Isabella Street is the subject dwelling. The two frame outbuildings have been demolished; one appears to be converted to a dwelling because it is identified as 302 Isabella Street and the other is probably a privy. [PAMA]

0000 0000 0837

de

DATE PLAN REGISTERED 18 Sept 1855
 OWNERS Robert Lowes
 LOTS SUBDIVIDED Pt E 7 Con 1 W.H.S.

Abstract Index
 Répertoire par lot

Lot 13 Plan/Concession RR-8 Page 1
 David & Isabella Plan By Chisholm Miller 1854



DAY MON YR

Registration Number Numero d'enregistrement	Instrument Type Type d'acte	Registration Date Date d'enregistrement YY MM DD AA MM JJ	Parties from Parties	Parties to Parties	Consideration Contrepartie	Land/Remarks Bien-fonds/Observations
1833	Will	16 Nov 1876	John Pickard	Harriet Pickard		
3040	B. & S.	17 May 1882	Harriet Bell et al	William Taylor	\$1100.00	A11
5214	Q.C.	2 Apr 1892	Robert Taylor et al	Eliza Jane Taylor	1000.00	A11
5227	B. & S.	27 Apr 1892	Eliza Jane Taylor	James Shaw	140.00	W 1/2
5479	Will	6 Apr 1894	James Shaw	Jane Shaw et al		W 1/2 and O.L.
6639	B. & S.	30 Dec 1902	Robert A. Shaw, Walker Wiley, Executors of James Shaw, deceased	Marjory Shaw	1.00	and the premises, etc. A11
10058	Q.C.	15 Apr 1912	Mary A. Johnston	Robert Taylor et al	500.00	E 1/2
11019	Q.C.	14 Jun 1912	Marjory Shaw	Robert Taylor and John Taylor	1.00	E 1/2
12474	B. & S.	31 Mar 1917	Robert Taylor et al	Thomas L. Taylor	1000.00	E 1/2
16910	Grant	25 Oct 1929	Thomas L. Taylor	Emma E. Duggan T. Blake Duggan	1975.00	E 1/2
19596	Grant	8 Feb 1939	Emma E. Duggan Et al	Howard Cundill	2000.00	E 1/2 throughout
See Deposit No. 744						
22452	Grant	19 June 1947	John J. Julian et al Exrs. Marjory Julian Est.	William E. Gray	3600.00	W 1/2 Consents O&D attached.
23922	Grant	25 Oct 1949	William E. Gray et ux	Margaret Blanchard & Kenneth Blanchard as joint tenants	1.00	& C W 1/2

10321 (88)

FORM 1

Continued on/Suite à la page..... 2

25x

32x

25x

Abstract Index
Répertoire par lot

Lot 13 Plan/Concession BR-8 Page 2
David & Isabella Plan By Chisholm Miller 1854



Registration Number Numéro d'enregistrement	Instrument Type Type d'acte	Registration Date Date d'enregistrement	Parties from Parties	Parties to Parties	Consideration Contrepartie	Land/Remarks Bien-fonds/Observations
		DAY MON YR YY MM JJ				
33418	Grant	28 Aug 1957	Margaret Blanchard & Kenneth Blanchard	Gloriana Martineau	11000.00	W3
12989G.R.	Cert.	24 May 1961	Treasurer's Consent	James H. Cundell Estate		re: No 19596
42685	Grant	27 Nov. 1961	Hattie M. Cundell Extrx. of James H. Cundell Est.	Hattie M. Cundell	1.00	E3 Dominion Consent attached.
1017	BY-LAW	24 Nov 1965	RE SUBDIV CONTROL			
1954vs	Grant	1 Feb 1966	Gloriana Martineau	James W. Corney & Lillian Corney, as joint tenants	\$1.00 & C	W3
283574vs	Grant	28 Sept 1973	James W. Corney & Lillian Corney	Frank Z. Bozek & Helene M. Bozek as joint tenants	2.00 & C	W3
583940	Grant	02 07 81	BOZEK, Helene M.	GREENWOOD, Nina	\$2.00 & C	W3
650053	Grant	21 07 83	GREENWOOD, Nina	MORRIS, Brian G.	2.00 & C	W3
		YR MON DAY				
917271	Mort	89 11 10	MORRIS, Brian Gilbert	THE Royal Bank of Canada	\$50,000.00	W3
957099	Grant	90 12 03	CUNDELL, Hattie Marie	BUCHANAN, Robert James BABY, Suzanne Marie-Yvette as JT	\$155,000.00	By her Attorney BAILEY, William James Leroy. P. of A No. 957098 E3 as in 42685. Comm. ElyL. Thence NW 53.10' x SW 33.82' x SW 23.25' x SW 28.09' x SE 9.59' x SE 44.05' x NE 81.45' to p. of c.
957100	Mort	90 12 03	BUCHANAN, Robert James BABY, Suzanne Marie-Yvette	CTBC MORT. CORP.	\$116,250.00	E3 as in 42685 (957099)

10321 (88)

FORM 1

Discharged by # R01088423 Asst. Dep. Land Reg. 3
95-4-12

25x

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25x

Abstract Index
Répertoire par lot

Lot 13 Plan/Concession BR-8 Page 3

David & Isabella Plan By Chisholm Miller 1854



Ontario 957100

YR MON DAY

Registration Number Numéro d'enregistrement	Instrument Type Type d'acte	Registration Date Date d'enregistrement YY MM JJ	Parties from Parties	Parties to Parties	Consideration Contrepartie	Land/Remarks Bien-fonds/Observations
957103	Q.C.	90 12 03	IMBER, Anna Madeline Elizabeth	CUNDELL, Hattie Marie	\$250.00	E½ as in 42685 (957099)
RO 1001485	Grant	92 03 30	MORRIS, Brian Gilbert	MORRIS, Steven Douglas MORRIS, Michelle Sarah as JT	125,000.00	W½
RO 1001486	Mort	92 03 30	MORRIS, Steven Douglas MORRIS, Michelle Sarah	London Life Insurance Company	93,750.00	W½
RO 1038745	Mort	93 05 31	MORRIS, Steven Douglas MORRIS, Michelle Sarah	BENEFICIAL Realty Ltd.	21,000.00	W½
				Discharged by #201072-261 Asst. Dep. Land Reg. 77/mg/05		
RO 1069782	Charge	94 07 04	MORRIS, Steven Douglas MORRIS, Michele Sarah	London Life Insurance Company	\$22,030.73	W½
RO 1086284	Transfer	95 03 03	BUCHANAN, Robert James BABY, Suzanne Marie-Yvette	NEWMAN, Ian William NEWMAN, Wendy Ann as JT	\$160,000.00	E½ (Metes & Bounds attached)
RO 1086285	Charge	95 03 03	NEWMAN, Ian William NEWMAN, Wendy Ann	The Toronto-Dominion Bank	\$155,800.00	E½ (Metes & Bounds description attached)
			<p>NOTICE All Documents/Instruments subsequent to JUL 29 1997</p> <p>97-07-16 4</p>			

10321 (88)

FORM 1

also refer to the Land Registry Act
Index set out in subsection 21(5) of the
REGISTRY ACT

Continued on Suite à la page.....

25x

32x

25x

LAND
 REGISTRY
 OFFICE #43

14122-0162 (LT)

* CERTIFIED IN ACCORDANCE WITH THE LAND TITLES ACT * SUBJECT TO RESERVATIONS IN CROWN GRANT *

PROPERTY DESCRIPTION: PT LT 13 PL BR-8 BRAMPTON AS IN R01086284; CITY OF BRAMPTON

PROPERTY REMARKS:

ESTATE/QUALIFIER:
 FEE SIMPLE
 LT CONVERSION QUALIFIED

RECENTLY:
 RE-ENTRY FROM 14122-0361

PIN CREATION DATE:
 1998/12/21

OWNERS' NAMES
 LOU, STEFAN ANDREW
 LOU, CONSTANCE

CAPACITY SHARE
 JTEN
 JTEN

REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	CERT/CHKD
<p>**EFFECTIVE 2000/07/29 THE NOTATION OF THE "BLOCK IMPLEMENTATION DATE" OF 1997/07/29 ON THIS PIN**</p> <p>**WAS REPLACED WITH THE "PIN CREATION DATE" OF 1998/12/21**</p> <p>** PRINTOUT INCLUDES ALL DOCUMENT TYPES (DELETED INSTRUMENTS NOT INCLUDED) **</p> <p>**SUBJECT, ON FIRST REGISTRATION UNDER THE LAND TITLES ACT, TO:</p> <p>** SUBSECTION 44(1) OF THE LAND TITLES ACT, EXCEPT PARAGRAPH 11, PARAGRAPH 14, PROVINCIAL SUCCESSION DUTIES * AND ESCHEATS OR FORFEITURE TO THE CROWN.</p> <p>** THE RIGHTS OF ANY PERSON WHO WOULD, BUT FOR THE LAND TITLES ACT, BE ENTITLED TO THE LAND OR ANY PART OF IT THROUGH LENGTH OF ADVERSE POSSESSION, PRESCRIPTION, MISDESCRIPTION OR BOUNDARIES SETTLED BY CONVENTION.</p> <p>** ANY LEASE TO WHICH THE SUBSECTION 70(2) OF THE REGISTRY ACT APPLIES.</p> <p>**DATE OF CONVERSION TO LAND TITLES: 1998/12/22 **</p>						
BL1017	1965/11/24	BYLAW				C
PR1863424	2010/07/22	BYLAW		THE CORPORATION OF THE CITY OF BRAMPTON		C
REMARKS: BY-LAW NO. 224-2010 DESIGNATES PROPERTY AS BEING OF CULTURAL HERITAGE VALUE OR INTEREST						
PR3190948	2017/08/25	TRANSFER		NEWMAN, IAN WILLIAM NEWMAN, WENDY ANN	LOU, STEFAN ANDREW LOU, CONSTANCE	C
REMARKS: PLANNING ACT STATEMENTS.						
PR3441286	2019/02/01	CHARGE		LOU, STEFAN ANDREW LOU, CONSTANCE		C

NOTE: ADJOINING PROPERTIES SHOULD BE INVESTIGATED TO ASCERTAIN DESCRIPTIVE INCONSISTENCIES, IF ANY, WITH DESCRIPTION REPRESENTED FOR THIS PROPERTY.
 NOTE: ENSURE THAT YOUR PRINTOUT STATES THE TOTAL NUMBER OF PAGES AND THAT YOU HAVE PICKED THEM ALL UP.



THE CORPORATION OF THE CITY OF BRAMPTON

BY-LAW

Number 224-2010

To designate the property 1 Isabella Street as being of cultural heritage value or interest.

WHEREAS Section 29 of the Ontario Heritage Act, R.S.O. 1990, Chapter O. 18 (as amended) authorizes the Council of a municipality to enact by-laws to designate real property, including all the buildings and structures thereon, to be of cultural heritage value or interest;

WHEREAS the Brampton Heritage Board supports the designation of the properties described herein;

WHEREAS a Notice of Intention to Designate has been published and served in accordance with the Act, and there has been no Notice of Objection served on the Clerk;

NOW THEREFORE the Council of the Corporation of the City of Brampton HEREBY ENACTS as follows:

- 1. The property at 1 Isabella Street more particularly described in Schedule "A" is hereby designated as being of cultural heritage value or interest pursuant to Part IV of the Ontario Heritage Act.
2. The City Clerk shall cause a copy of this by-law to be registered against the property described in Schedule "A" to this by-law in the proper Land Registry Office.
3. The City Clerk shall cause a copy of this by-law to be served upon the owners of the property at 1 Isabella Street and upon the Ontario Heritage Trust and to cause notice of this by-law to be published to the City's website in accordance with Council's Procedure By-law.
4. The City Clerk shall serve and provide notice of this by-law in accordance with the Act.
5. The short statement of the reason for the designation of the property, including a description of the heritage attributes are set out in Schedule "B" to this by-law.
6. The affidavit of Peter Fay attached, as Schedule "C" hereto shall form part of this by-law.

READ A FIRST, SECOND AND THIRD TIME AND PASSED IN OPEN COUNCIL THIS 23rd DAY OF June, 2010

Approved as to form JB June 10/10

Susan Fennell signature SUSAN FENNELL - MAYOR

Peter Fay signature PETER FAY - CLERK

Approved as to Content: Karl Walsh signature

Karl Walsh, Director, Community Design, Parks Planning and Development

SCHEDULE "A" TO BY-LAW *224-2010*

LEGAL DESCRIPTION

14122-0162 (LT)

PT LT 13 PL BR-8 BRAMPTON AS IN RO1086284 ; BRAMPTON

SCHEDULE "B" TO BY-LAW 224.2010

STATEMENT OF THE REASON FOR THE DESIGNATION OF 1 ISABELLA STREET:

The property at 1 Isabella Street is worthy of designation under Part IV of the Ontario Heritage Act for its cultural heritage value. The property meets the criteria for designation prescribed by the Province of Ontario under the three categories of design or physical value, historical value and contextual value.

STATEMENT EXPLAINING THE CULTURAL HERITAGE VALUE OR INTEREST OF THE PROPERTY:

The cultural heritage value of 1 Isabella Street is related to its design or physical value as a representative and early example of a house designed in the Regency Ontario Cottage style. It reflects a high degree of craftsmanship as exhibited by the dichromatic brick detailing, wood sash windows, front door architrave and balanced proportions and massing. Carpenter John Pickard built the one and a half storey masonry house in the mid 1850s for him and his wife Harriett Scott Pickard.

The property also has historical or associative value as it reflects the life and work of John Pickard, a Brampton carpenter and his wife Harriett Scott. Pickard is believed to have also been Brampton's first tax collector. The Pickard family owned the property until 1882 when, following John Pickard's death, Harriett Scott Pickard sold the house to Thomas Taylor, a miller and farmer on Lot 12, Concession 8 in the Toronto-Gore. Taylor was also a Reeve in Toronto-Gore. The Taylor family moved to the house at 1 Isabella Street following Mr. Taylor's retirement. The Taylor's owned the house until 1929.

The house was built in one of the earliest residential subdivisions in Brampton and at a time when the town was entering a residential building boom following incorporation, along with the arrival of the railway and the emergence of the local flower industry.

The cultural heritage value of the property is also connected to its contextual value as it maintains, supports and defines the character of an intact Victorian residential neighbourhood, known as the "Washington Block". The house is very representative of the single detached dwelling houses built in this well-established Victorian neighbourhood beginning in the 1850s. The house is situated on a relatively small corner lot with shallow setbacks, and as a result, is highly conspicuous, exhibiting landmark status.

The house at 1 Isabella Street is one of the best preserved mid 19th century dwellings in the "Washington Block" neighbourhood. There are at least two other houses of a similar style in the area (also possibly built by Pickard) but they are not as well preserved as the subject property.

DESCRIPTION OF THE HERITAGE ATTRIBUTES OF THE PROPERTY:

Unless otherwise indicated, the reason for designation apply generally to all exterior elevations, facades, foundation, roof and roof trim, all doors, windows, other structural openings and associated trim, all architectural detailing, construction materials of wood, stone, brick, plaster parging, metal and glazing and related building techniques, fencing, all trees, shrubs, hedgerows, other vegetation and the grounds and vistas generally.

To ensure that the cultural heritage value of this property is conserved, certain heritage attributes that contribute to its value have been identified specifically and they include:

Design / Physical Value:

- excellent and well preserved example of Regency style of architecture in the Ontario Cottage variant;
- unpainted load bearing masonry walls;
- brick courses of front facade laid in alternating running bond;
- brick courses of side and rear facades laid in common bond;
- single brick chimney stack;
- red and buff dichromatic brick patterning and details as seen in quoining, voussoirs and frieze;
- random fieldstone foundation;
- three bay front fenestration with single dormer window in dormer gable;
- 6/6 wood sash windows, original window glass with distinguishing characteristics, window surrounds and wood sills;
- one and a half storey height;
- single leafed paneled wood front door, door architrave and transom;
- dormer gable window over front entrance;
- cottage hip roof;
- rear, one storey masonry wing with pitched gable roof (presumably the original summer kitchen);
- cantilevered wood overhang over back door on rear one storey wing;
- wood verandah with posts and railing on rear one storey masonry wing.
- rear dormer window.

Historical / Associative Value:

- reflects life and work of local carpenter and Brampton's first tax collector, John Pickard (1825-1876) and his wife Harriett Scott;
- reflects life of miller and farmer William Taylor (1817-1892) and his wife Elizabeth;
- documents evolution of "Washington Block" neighbourhood;
- part of construction boom following introduction of railway and local flower industry in the mid 1850s;

Contextual Value:

- contributes to character and identity of "Washington Block" as a cohesive mid Victorian/late Edwardian residential neighbourhood;
- massing, proportions and detailing of house highly compatible and well integrated within the neighbourhood;
- helps define the history and evolution of this neighbourhood;
- well preserved building;
- landmark status on conspicuous corner lot;

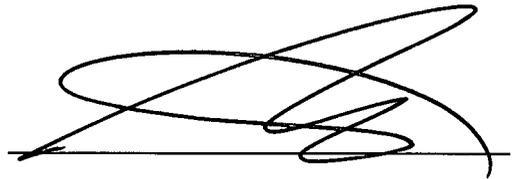
SCHEDULE "C" TO BY-LAW 224.2010

AFFIDAVIT OF PETER FAY

I, **PETER FAY**, of the City of Mississauga in the Region of Peel, **MAKE OATH AND SAY:**

1. I am the Clerk for the Corporation of the City of Brampton and as such I have knowledge of the facts herein contained.
2. The public notice of intention to designate the property at 1 Isabella Street was served on the owner of the property and was advertised, in the form attached as Exhibit A to this my affidavit, on the City's website in accordance with Council's Procedure By-law.
3. The by-law to designate the property at 1 Isabella Street came before City Council at a Council meeting on *June 23,* 2010 and was approved.
4. A copy of the by-law, including a short statement of the reason for the designation has been served upon the owner of the property and the Ontario Heritage Trust and notice of such by-law was published on the City of Brampton website on *November 25, 2010.*

SWORN before me at the City)
of Brampton, in the Region)
of Peel, this *28~~th~~*)
day of *JUNE*, 2010)



A Commissioner for Taking Affidavits, etc.

EARL EVANS, Deputy City Clerk
The Corporation of The City of Brampton
2 Wellington Street West
Brampton, Ontario L6Y 4R2
A Commissioner, etc.,
in the Regional Municipality of Peel

All Construction To Comply With The Requirements Of The Ontario Building Code (OBC) 2012
Report Discrepancies Immediately

THE GENERAL CONTRACTOR MUST BE FAMILIAR WITH ONTARIO LAWS INCLUDING THE BUILDING CODE AND OCCUPATIONAL HEALTH AND SAFETY.

THESE DRAWINGS WERE CREATED ON ASSUMPTIONS OF UNSEEN EXISTING CONSTRUCTION. IF ASSUMPTIONS ARE FOUND TO BE INCORRECT NOTIFY THE DESIGNER AND/OR ENGINEER IMMEDIATELY.

THE GENERAL CONTRACTOR THAT IS CONSTRUCTING THE BUILDING IS TO CONFIRM ALL SITE DIMENSIONS AND NEW-BUILT DIMENSIONS PRIOR TO ORDERING MATERIALS, ENGINEERED OR MANUFACTURED PRODUCTS.

ALTERATION AND REPAIRS TO THE EXISTING BUILDING MAY BE CARRIED OUT TO MAINTAIN THE EXISTING PERFORMANCE LEVEL OF ALL OR PART OF THE EXISTING BUILDING. WHERE THE CONSTRUCTION DOES NOT ADVERSELY AFFECT EARLY WARNING AND EVACUATION SYSTEMS, FIRE SEPARATIONS OR THE STRUCTURAL ADEQUACY OR WILL NOT CREATE AN UNHEALTHY ENVIRONMENT IN THE BUILDING. PART 11 T.11.3.3.1

EXISTING WOOD FRAMING IS ACCEPTABLE EXCEPT WHERE THE EXISTING INTERFACE WITH NEW LOADS OR STRUCTURAL MEMBERS IS REINFORCED ACCORDINGLY 11.5.1.1.C187

REG'D PLAN BR-8 PART OF LOT 13
 CITY OF BRAMPTON, PEEL REGION
 PER SURVEY DATED SEPT 12 1990
 BY DONALD P. McLEAN O.L.S.

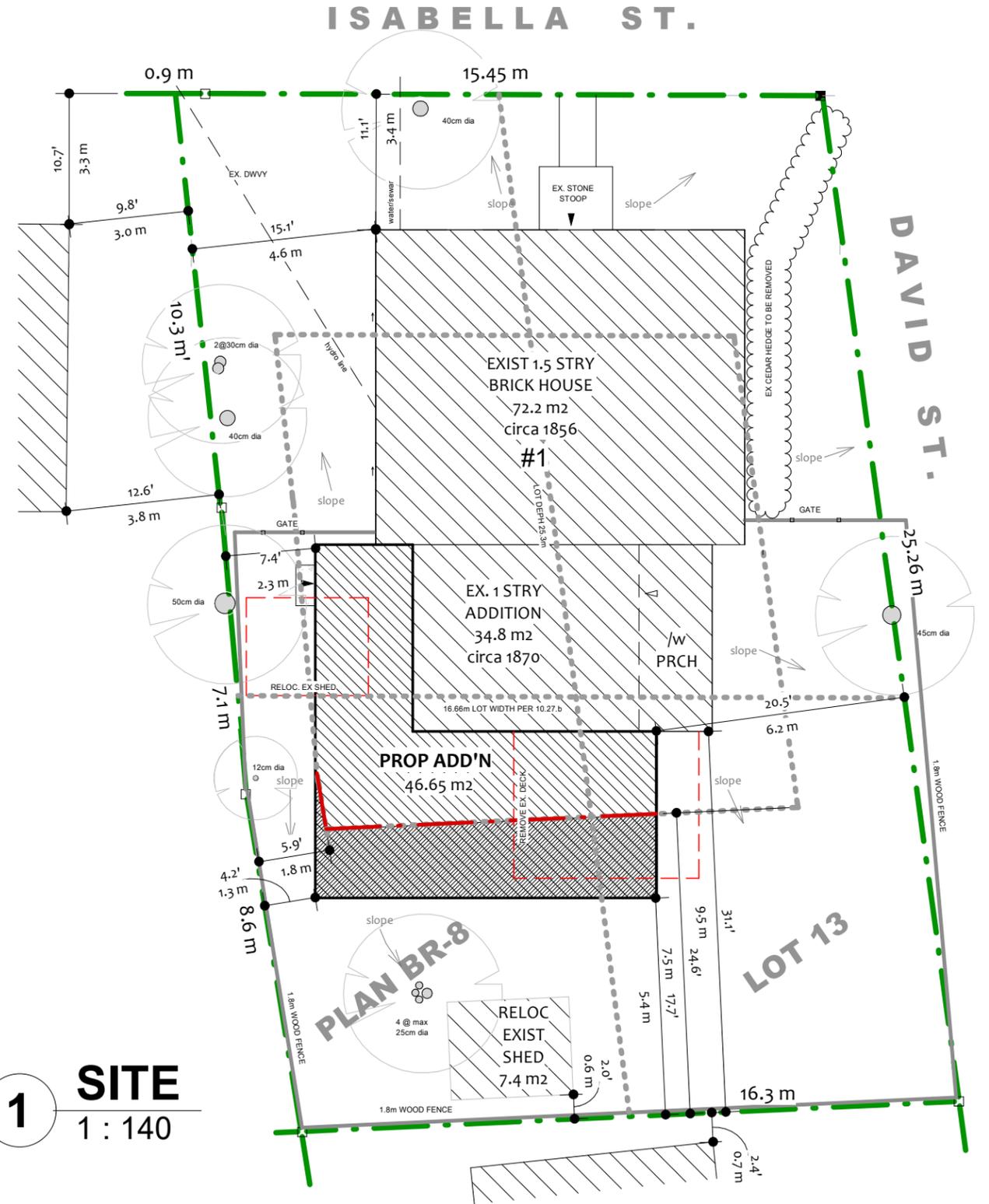
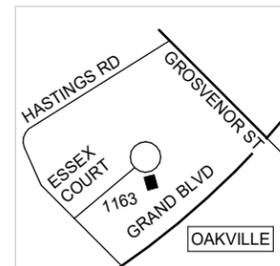
DETACHED SINGLE FAMILY DWELLING
 HERITAGE LISTED ASSET
 ZONING R1B [10.27 MATURE NEIGHBORHOOD]

LOT AREA 422 m²
 *COVERAGE 30% [10.27] = 126.6 m²
 EX CVRG (incl. Porch) 107 m²
 PROP ADD'N 46.6 m²
TOTAL COVERAGE 153.6 m² = 36.4%
MINOR VAR. COVERG. OVER 26.6 m² = 6.4%

LOT WIDTH 16.66 m (CONVERGING TO REAR)
 LOT DEPTH 25.3 m
 SHED COVERAGE 7.4 m²

GROSS FLOOR AREA
 EXISTING MAIN FL 86.3 m²
 EXISTING 2nd FL 30.4
 PROPOSED ADD'N 42.6
 TOTAL GFA 159.3 m²

SETBACKS
 *FRONT 6m
 EX FRONT 3.4m LEGAL NON CONFORM.
 *INSIDE MIN 1.8m 1 STOREY
 EX INSIDE SIDE 3.8m
PROP IN. SIDE ADD'N 1.3m
MINOR VAR ENCROACH 0.5m
 *EXTERIOR SIDE MIN 3m
 EXISTING EXT. S. SIDE 2.4m
 PROP. EXT SIDE ADD'N 6.2m
 *REAR [10.27] 7.5m
 EX REAR 9.5m
PROP REAR 5.4m
MINOR VAR ENCROACH = 2.1m
 *HEIGHT [10.27] 8.5m
 EXIST HEIGHT 5.1m
 PROP ADD'N HT 3.9 m
 *OPEN FRONT LANDSCP 70% EXISTING



1 SITE
 1 : 140

**** THE GENERAL CONTRACTOR THAT IS CONSTRUCTING THE BUILDING IS TO CONFIRM ALL SITE AND AS-BUILT DIMENSIONS PRIOR TO ORDERING MATERIALS, ENGINEERED OR MANUFACTURED PRODUCTS AND REPORT ANY DISCREPANCIES. ****

EZDimensions
 renovation experiences made easy!
 erinzagar@live.com 905-866-8358

PROPOSED REAR ADDITION
 1 ISABELLA ST

No.	Description	Date
1	CONCEPT DESIGN FOR SITE PLAN APPROVAL	MARCH 21 22

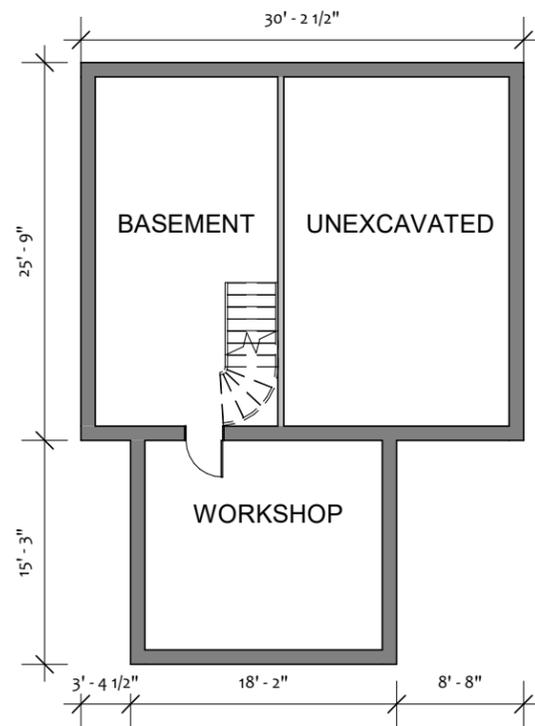
I review and take responsibility for the design and am qualified in the appropriate category as an 'other designer' under sub-section 3.2.5 of Division C as per exception 3.2.4.3 (d) of the Ontario Building Code.

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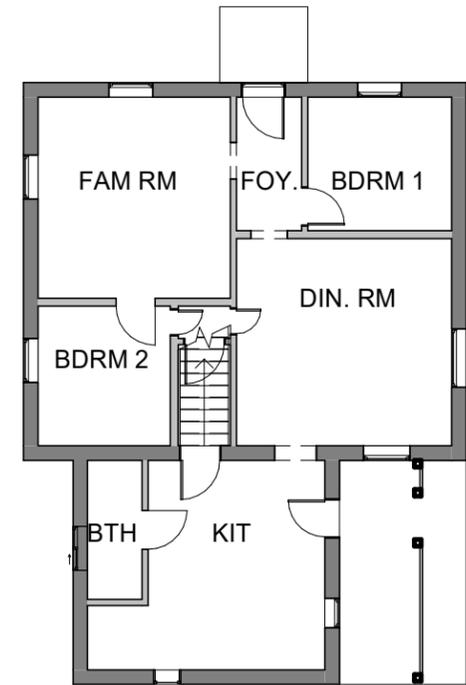
SITE PLAN		A-1
Project number	Project Number	
Date	DEC 2021	
Drawn by	ERIN ZAGAR	
Checked by	Checker	Scale As indicated



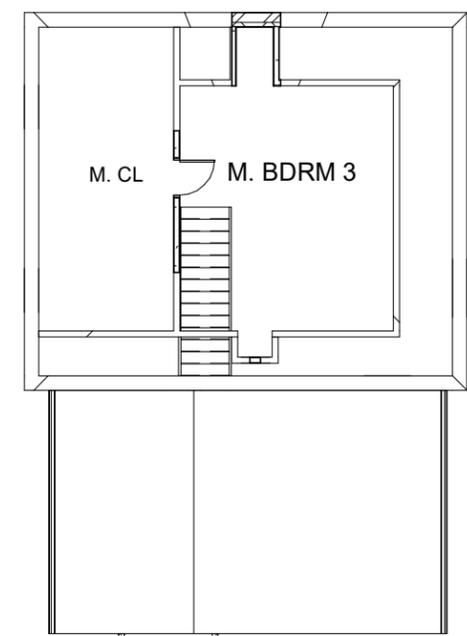
4 **EXIST FRONT (E)**
1 : 150



1 **BASEMENT**
1 : 150



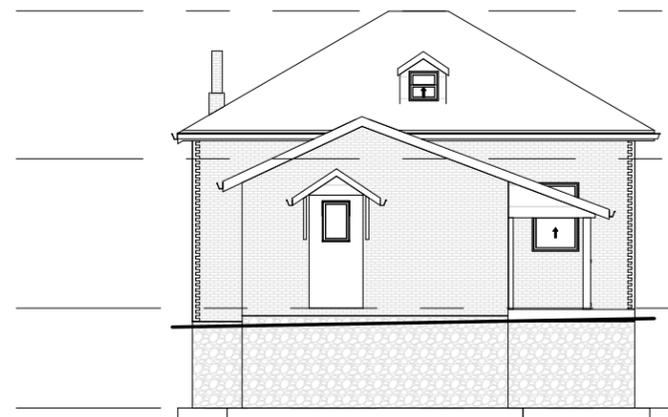
2 **MAIN FL**
1 : 150



3 **SECOND FL**
1 : 150



5 **DRIVE (N)**
1 : 150



6 **REAR (W)**
1 : 150



7 **SIDE (S)**
1 : 150

** THE GENERAL CONTRACTOR THAT IS CONSTRUCTING THE BUILDING IS TO CONFIRM ALL SITE AND AS-BUILT DIMENSIONS PRIOR TO ORDERING MATERIALS, ENGINEERED OR MANUFACTURED PRODUCTS AND REPORT ANY DISCREPANCIES. **

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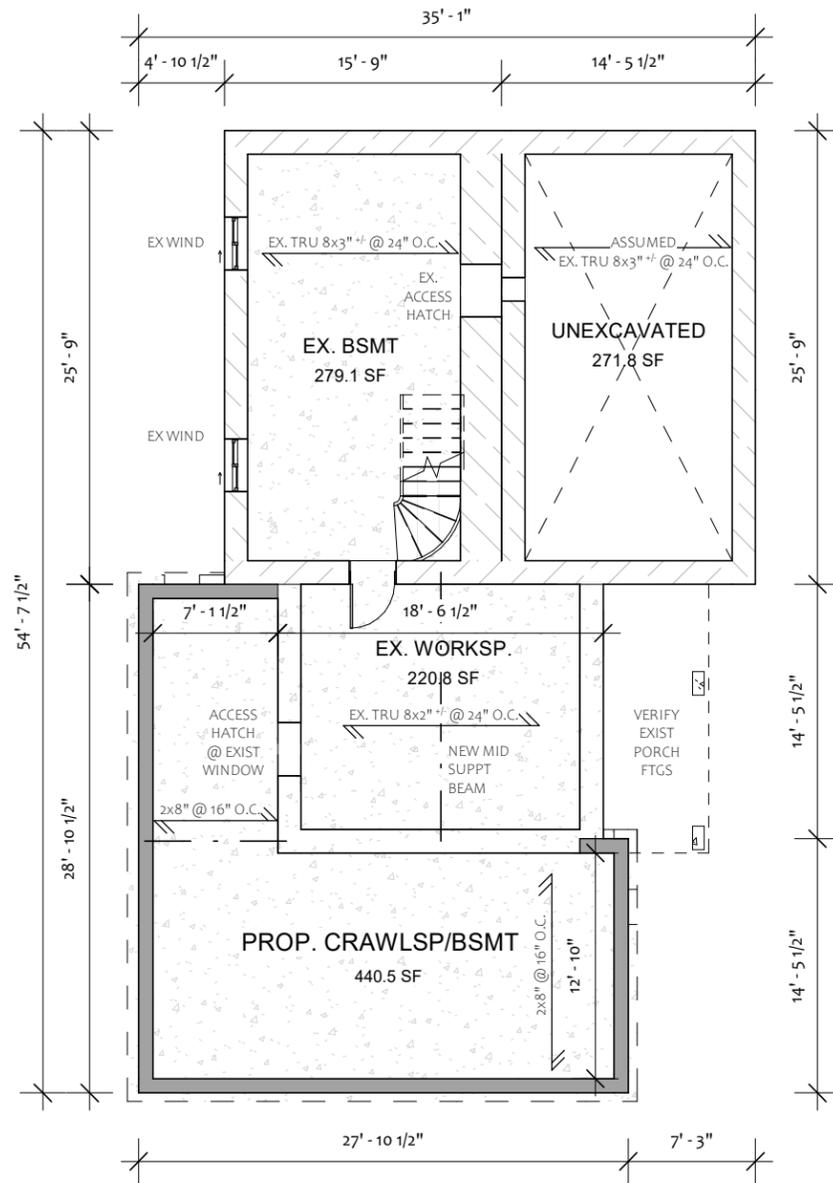
1 ISABELLA ST

No.	Description	Date
1	CONCEPT DESIGN FOR SITE PLAN APPROVAL	MAR 21 22

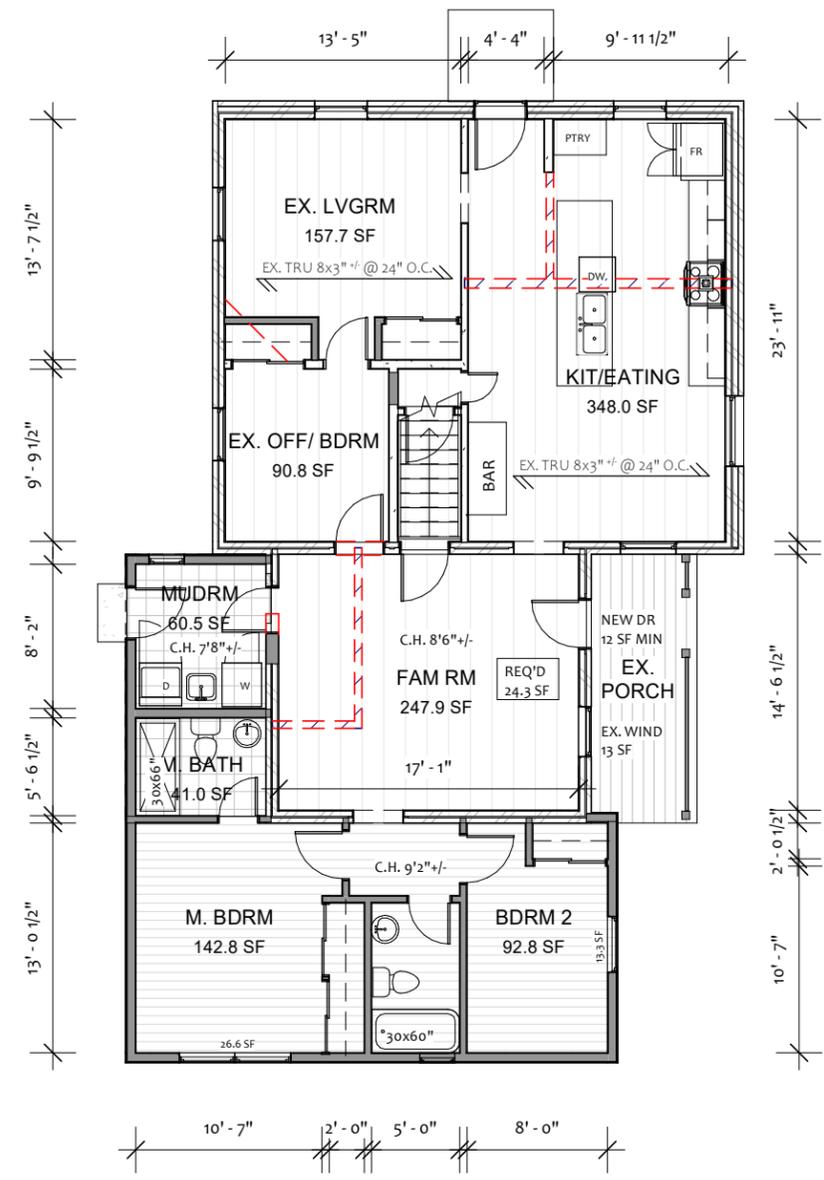
I review and take responsibility for the design and am qualified in the appropriate category as an 'other designer' under sub-section 3.2.5 of Division C as per exception 3.2.4.3 (d) of the Ontario Building Code.
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 reg. BCIN 20904

EXIST PLANS & ELEV.		
Project number	Project Number	AB-2
Date	DEC 2021	
Drawn by	ERIN ZAGAR	
Checked by	Checker	
		Scale As indicated

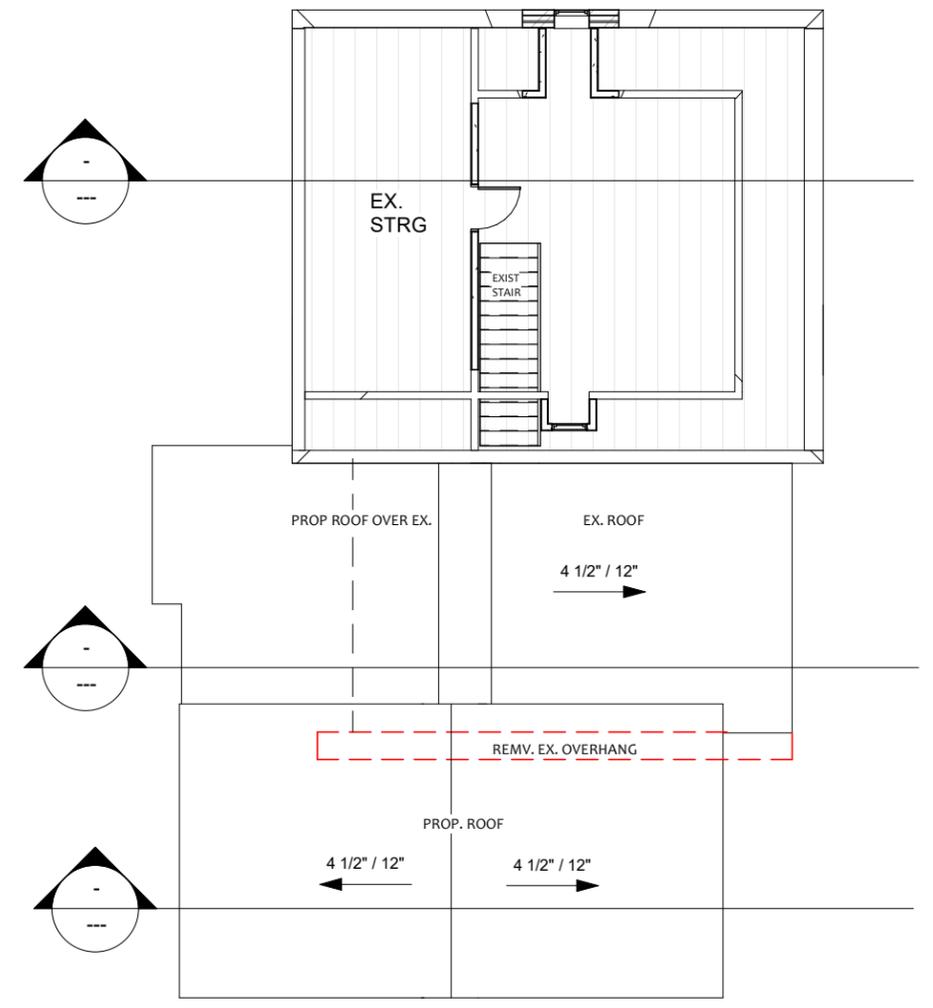
2022-03-18 5:33:37 PM



1 BASEMENT
1 : 125



2 MAIN FL
1 : 125



3 SECOND FL
1 : 125

**** THE GENERAL CONTRACTOR THAT IS CONSTRUCTING THE BUILDING IS TO CONFIRM ALL SITE AND AS-BUILT DIMENSIONS PRIOR TO ORDERING MATERIALS, ENGINEERED OR MANUFACTURED PRODUCTS AND REPORT ANY DISCREPANCIES. ****

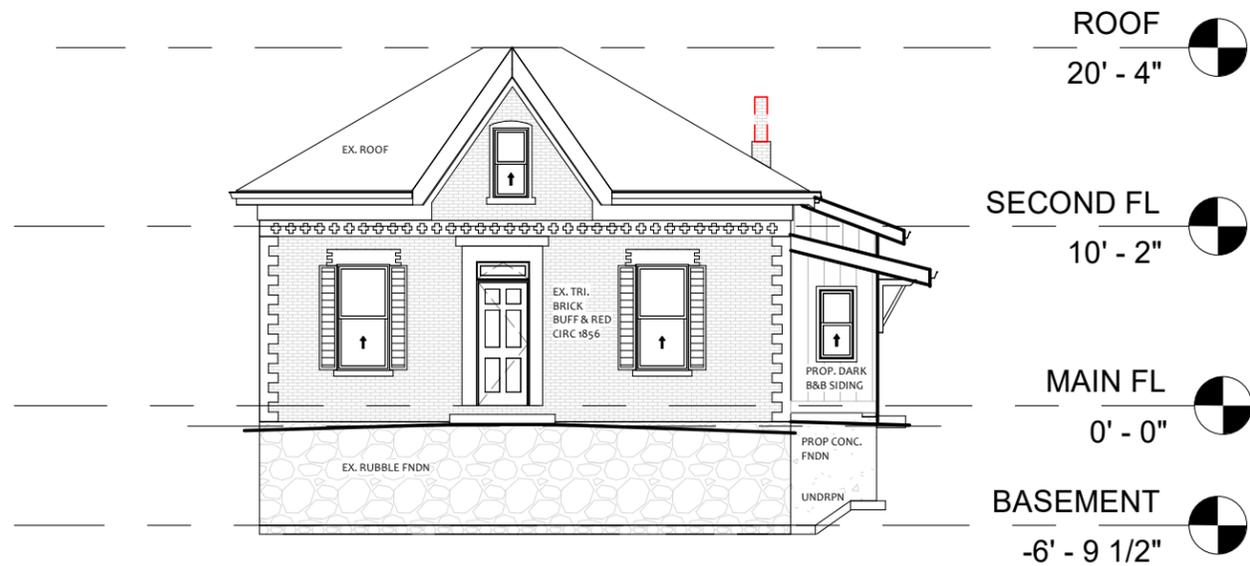
PROPOSED REAR ADDITION
1 ISABELLA ST

No.	Description	Date
1	CONCEPT DESIGN FOR SITE PLAN APPROVAL	MARCH 21_22

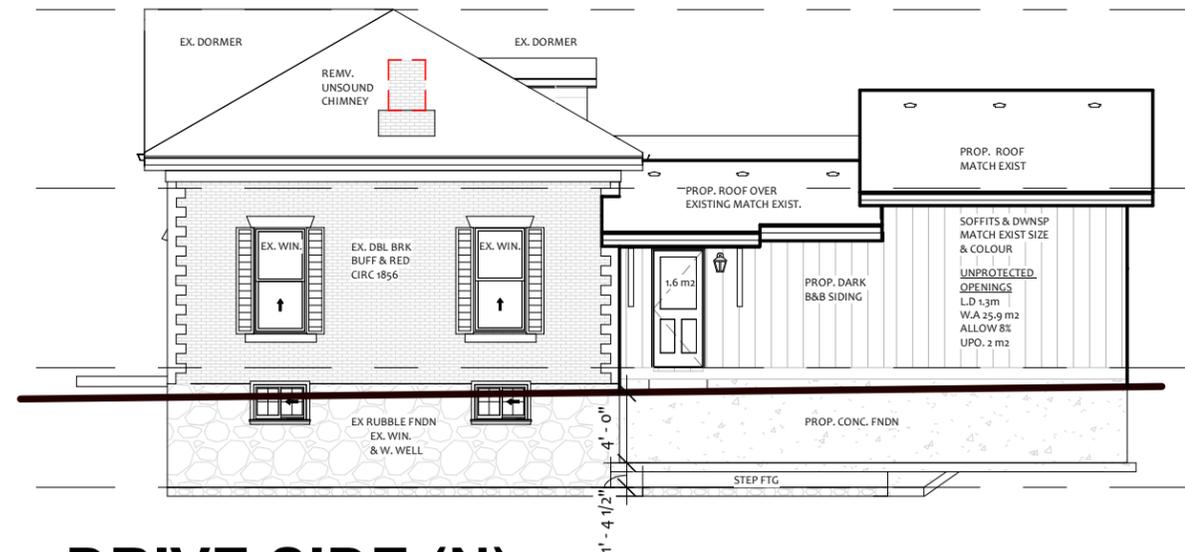
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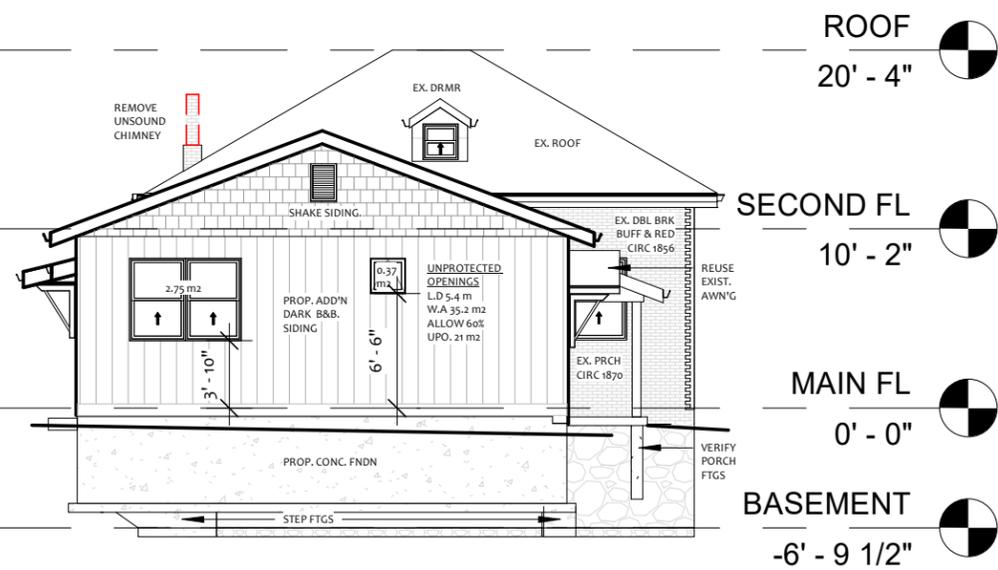
CONCEPT 2 PLANS		A-2
Project number	Project Number	
Date	DEC 2021	
Drawn by	ERIN ZAGAR	
Checked by	Checker	Scale As indicated



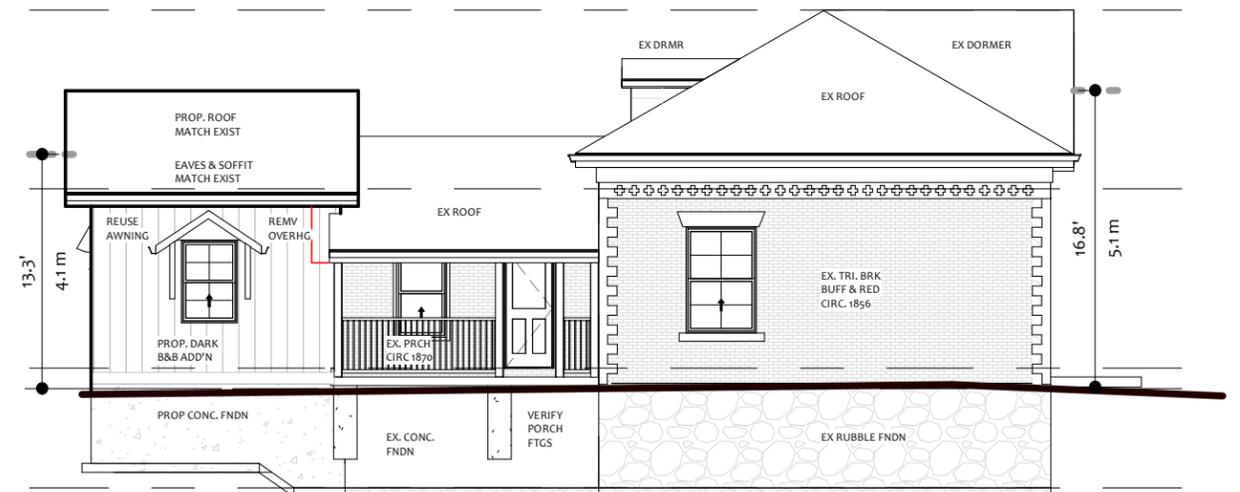
1 **EXIST FRONT (E)**
1 : 125



2 **DRIVE SIDE (N)**
1 : 125



3 **REAR (W)**
1 : 125



4 **DAVID ST SIDE (S)**
1 : 125

No.	Description	Date
1	CONCEPT DESIGN FOR SITE PLAN APPROVAL	MARCH 21 22

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CONCEPT 2 ELEV

Project number	Project Number
Date	DEC 2021
Drawn by	Author
Checked by	Checker

A-3

Scale 1 : 125

- 'A' PROPOSED:**
- REMOVE UPPER CHIMNEY
 - CAP ORIGINAL CHIMNEY
 - REPAIR BRICK
 - VERIFY NECESSARY STRUCTURAL MEMBERS

EXISTING BRICK DAMAGE

ORIGINAL CHIMNEY

NON SYMPATHETIC CHIMNEY EXTENTION



INTERIOR CHIMNEY SUPPORT



CHIMNEY NOT IN USE



EXISTING 1856 ELEVATION FRONT & DRIVEWAY VIEW

- 'C' PROPOSED:**
- ADDITION PROVIDES FOR WEATHER PROTECTION OF BRICK AND FOUNDATION
 - IMPROVE GRADE SLOPE TO DRAIN WATER AWAY FROM BLDG
 - ROOF VENTING ON NORTH SIDE TO NOT BE SEEN FROM STREET

- 'B' PROPOSED:**
- REPLICATE SIMPLE AWNING BRACKET OVER NEW SIDE DOOR



← EXTENSIVE BRICK DAMAGE
POOR BRICK REPOINTING
NORTH EXPOSURE
SHADDED & WET



ISABELLA STREET VIEW



DRIVEWAY VIEW (NORTH FACING)

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PROPOSED REAR ADDITION
1 ISABELLA ST

No.	Description	Date
1	CONCEPT DESIGN FOR SITE PLAN APPROVAL	MARCH 21_22

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HERITAGE PLAN

Project number	Project Number
Date	DEC 2021
Drawn by	Author
Checked by	Checker

A-4

Scale



EXISTING 1870 REAR ADDITION AND PORCH

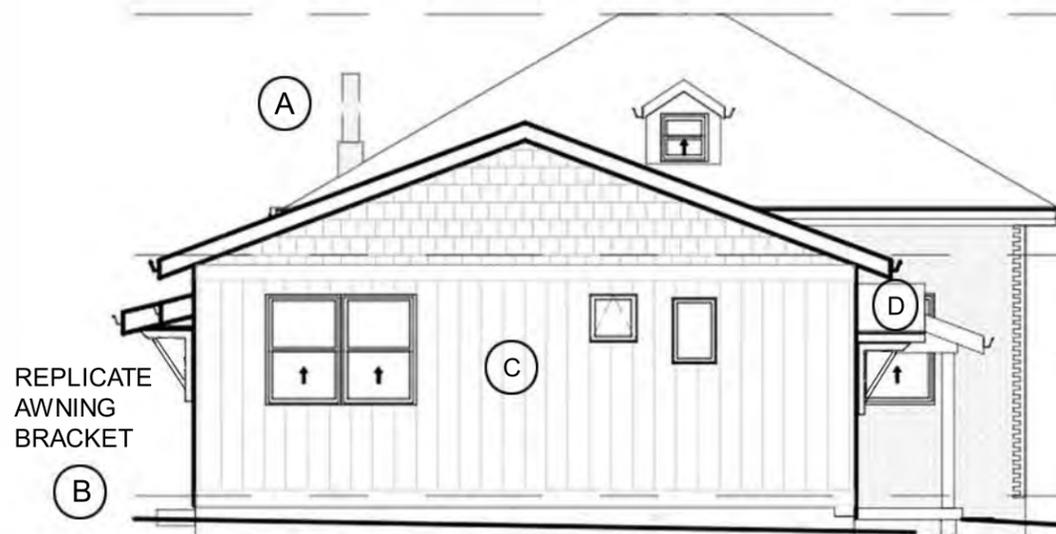
- 'F' PROPOSED*:**
- REMOVE OVERGROWN HEDGES
 - SLOPE GRADE AWAY FROM BLDG
 - REPAIR BRICK & FNDN
 - NEW LOWER PLANTINGS AWAY FROM WALL TO KEEP DRY AND AVOID SOIL EROSION



- 'E' PROPOSED:**
- EXISTING DOOR OPENING
 - NEW DOOR WITH LARGER WINDOW FOR INTERIOR NATURAL LIGHT & THERMAL IMPROVEMENT



- 'D' PROPOSED:**
- EXISTING AWNING TO BE REUSED FACING DAVID STREET



REAR VIEW (WEST FACING)



VERIFY EX. PORCH POST FOUNDATION

DAVID STREET VIEW

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PROPOSED REAR ADDITION
1 ISABELLA ST

No.	Description	Date
1	CONCEPT DESIGN FOR SITE PLAN APPROVAL	MARCH 21_22

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reg. BCIN 20904

HERITAGE PLAN

Project number	Project Number
Date	DEC 2021
Drawn by	Author
Checked by	Checker

A-5

Scale