

APPLICATION # A-2022-0288
WARD 10

APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **HARPREET LUTHRA AND PARMINDER LUTHRA** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Lot 21, Plan M-287 municipally known as **42 LEONE LANE**, Brampton;

AND WHEREAS the applicants are requesting the following variance(s):

1. To permit a garage door height of 3.05m (10 ft.) whereas the by-law permits a maximum garage door height of 2.4m (7.87 ft.);
2. To permit a building height of 15.10m (49.54 ft.) whereas the by-law permits a maximum building height of 10.6m (34.78 ft.);
3. To permit a front yard landscaped open space area of 60.70% whereas the by-law requires a minimum landscaped open space area of 70% of the front yard;
4. To permit a fence in the required front yard having a maximum height of 1.8m (5.91 ft.) whereas the by-law permits a maximum height of 1.0m (3.28 ft.) for a fence within a required front yard;
5. To permit two (2) accessory structures (shed and gazebo) with a combined gross floor area of 59.9 sq. m (644.76 sq. ft.) whereas the by-law permits two (2) accessory structures with a maximum combined gross floor area of 40 sq. m (430.56 sq. ft.);
6. To permit an accessory structure (gazebo) with a gross floor area of 41.82 sq. m (450.15 sq. ft.) whereas the by-law permits a maximum gross floor area of 23 sq. m (247.57 sq. ft.) for an individual accessory structure;
7. To permit an accessory structure (gazebo) with a maximum building height of 4.66m (15.29 ft.) whereas the by-law permits a maximum height of 4.5m (14.76 ft.) for an accessory structure.

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO File Number: _____
Application for Consent: NO File Number: _____

The Committee of Adjustment has appointed **TUESDAY, October 4, 2022 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant or another member of the public.

RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this 22nd Day of September, 2022

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117, Fax: (905)874-2119
jeanie.myers@brampton.ca

Under the authority of the *Emergency Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

**Electronic/Hybrid Hearing Procedures
How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **October 4, 2022** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

How to Participate in the Hearing:

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, September 29, 2022.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
 1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, September 29, 2022.**
 2. To participate in-person, please email the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, September 29, 2022.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, September 29, 2022.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

The City of Brampton is reviewing its Committee of Adjustment process. As a participant in this process, if you have comments or input you would like to share about your experience with the Committee of Adjustment, please email cityclerksoffice@brampton.ca to indicate your interest and you will be contacted with more information.

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION
Minor Variance or Special Permission
 (Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. Name of Owner(s) Harpreet Luthra & Parminder Luthra
 Address 42 Leone Lane, Brampton, ON L6P 0K8

 Phone # 416-303-3115 Fax # _____
 Email harpreet@luthralaw.com / parmluthra@gmail.com

2. Name of Agent Shane Edwards / Kurtis Van Keulen (Huis Design Studio Ltd.)
 Address 1A Conestoga Drive, Unit 301, Brampton, ON L6Z 4N5

 Phone # 1-833-456-4847 (ext. 2) Fax # _____
 Email shane@huisdesigns.ca

3. Nature and extent of relief applied for (variances requested):

1) **Zoning By-law Section 10.5 (a) - Attached garage door height shall not exceed 2.4 metres.**
 The proposed garage door total height is 3.05 metres; seeking a relief of 0.65 metres.

2) **Zoning By-law Section 11.2.2 (h) - Maximum building height is 10.6 metres.**
 The proposed building height is 15.10 metres; seeking a relief of 4.50 metres.

3) **Zoning By-law Section 11.2.2 (j) - Minimum front yard landscaped open space is 70.00%.**
 The proposed front yard landscaped open space is 60.70%; seeking a relief of 9.30%.

4) **Zoning By-law Section 10.10 (a) - Fence within required front yard may not exceed 1.0 metres in height.**
 The proposed fence/entrance gate within the required front yard is 1.80 metres; seeking a relief of 0.80 metres.

5) **Zoning By-law Section 10.3 (i) - The combined GFA of permitted accessory buildings in the Residential Estate Zone shall not exceed 40.0 sq.m.**
 The proposed combined GFA of the existing shed and existing gazebo (to be legalized) is 59.90 sq.m; seeking a relief of 19.90 sq.m.

6) **Zoning By-law Section 10.3 (i) - The GFA of any individual accessory building in the Residential Estate Zone shall not exceed 23.00 sq.m.**
 The GFA of the existing gazebo (to be legalized) is 41.82 sq.m; seeking a relief of 18.82 sq.m.

7) **Zoning By-law Section 10.3 (h) - The maximum height of any accessory building in the Residential Estate Zone shall not exceed 4.5 metres.**
 The existing gazebo (to be legalized) has a height of 4.66 m; seeking a relief of 0.16 m.

4. Why is it not possible to comply with the provisions of the by-law?

1) **Section 10.5 (a)** - The proposed garage door height is desired to better aesthetically and functionally suit this style and size of dwelling.

2) **Section 11.2.2 (h)** - Due to the size and sprawling nature of the dwelling, an appropriate roof style/slope was designed to suit the dwelling aesthetically. The steeper slope results in a roof height that exceeds what is permitted under the by-law.

3) **Section 11.2.2 (j)** - Due to the size and style of the dwelling an appropriate driveway design was incorporated, furthermore, the driveway has been designed to accommodate required minimum widths and turning radiuses for fire route access, as required by building code.

4) **Section 10.10 (a)** - The property owners wish to incorporate a front yard fence and entry gate that matches the grandeur of the dwelling and blends in with the proposed architectural aesthetic.

5) **Section 10.3 (i)** - The GFA of both previously constructed accessory dwelling slightly exceeds the permitted maximum, however, due to the lot size, creates little to no impact, noticeably or practically, to the lot overall.

6) **Section 10.3 (i)** - The individual GFA of the existing gazebo (to be legalized) exceeds the maximum permitted. Due to the size of the lot (and rear yard), the overage creates little to no impact, noticeably or practically, to the lot overall.

7) **Section 10.3 (h)** - Based on the slope of the grade established grade calculation, the height of the existing gazebo (to be legalized) is slightly over the by-law maximum.

5. Legal Description of the subject land:
 Lot Number 21
 Plan Number/Concession Number RP-M287 / CON. 8 N.D.
 Municipal Address 42 Leone Lane, Brampton, ON L6P 0K8

6. Dimension of subject land (in metric units)
 Frontage 60.99
 Depth 129.51
 Area 8,155.15 sq.m / 0.8155 ha

7. Access to the subject land is by:

| | | | |
|------------------------------------|-------------------------------------|-------------------|--------------------------|
| Provincial Highway | <input type="checkbox"/> | Seasonal Road | <input type="checkbox"/> |
| Municipal Road Maintained All Year | <input checked="" type="checkbox"/> | Other Public Road | <input type="checkbox"/> |
| Private Right-of-Way | <input type="checkbox"/> | Water | <input type="checkbox"/> |

- 8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

• **Existing Dwelling (to be demolished)**
 Ground Floor Area = 155.00 sq.m (approx.), Gross Floor Area = 310.00 sq.m (approx.)
 Building Height = 9.5 m (approx), Building Length & Width = 23.29 m & 12.31 m

• **Existing shed**
 Gross Floor Area = 79.17 sq.m, Width = 3.86 m, Length = 4.88 m

PROPOSED BUILDINGS/STRUCTURES on the subject land:

• **Proposed two storey stone single family dwelling.**
 Ground Floor Area = 406.54 sq.m, Gross Floor Area = 937.76 sq.m
 Building Height = 15.10 m, Building Length & Width = 24.20 m & 43.31 m

• **Proposed gazebo (existing to be legalized).**
 Gross Floor Area = 41.12 sq.m, Width = 6.98 m, Length = 7.19 m

- 9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback Dwelling = 33.18 m
 Rear yard setback Dwelling = 77.46 m
 Side yard setback Dwelling = 25.08 m (east)
 Side yard setback Dwelling = 15.62 m (west)

PROPOSED

Front yard setback Dwelling = 36.44 m
 Rear yard setback Dwelling = 56.53 m
 Side yard setback Dwelling = 8.82 m (east)
 Side yard setback Dwelling = 11.40 m (west)

- 10. Date of Acquisition of subject land: August 2004
- 11. Existing uses of subject property: Residential single family dwelling.
- 12. Proposed uses of subject property: Residential single family dwelling.
- 13. Existing uses of abutting properties: All abutting properties are residential dwellings.
- 14. Date of construction of all buildings & structures on subject land: 1984 (subdivision assumption)
- 15. Length of time the existing uses of the subject property have been continued: 1984 (subdivision assumption)

- 16. (a) What water supply is existing/proposed?
 Municipal Other (specify) _____
 Well
- (b) What sewage disposal is/will be provided?
 Municipal Other (specify) _____
 Septic
- (c) What storm drainage system is existing/proposed?
 Sewers Other (specify) _____
 Ditches
 Swales

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes No

If answer is yes, provide details: File # SPA-2022-0125 Status In review

18. Has a pre-consultation application been filed?

Yes No

19. Has the subject property ever been the subject of an application for minor variance?

Yes No Unknown

If answer is yes, provide details:

File # Decision Relief
File # Decision Relief
File # Decision Relief

Signature of Applicant(s) or Authorized Agent

DATED AT THE CITY OF BRAMPTON
THIS 6 DAY OF SEPTEMBER, 2022

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Shane Edwards (Huis Design Studio Ltd.), OF THE City OF Brampton

IN THE Region OF Peel SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton
IN THE Region OF Peel
THIS 6th DAY OF September, 2022

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024.

Signature of Applicant or Authorized Agent

Submit by Email

A Commissioner etc.

FOR OFFICE USE ONLY

Present Official Plan Designation: RE2 - 1500

Present Zoning By-law Classification: RE2 - 1500

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

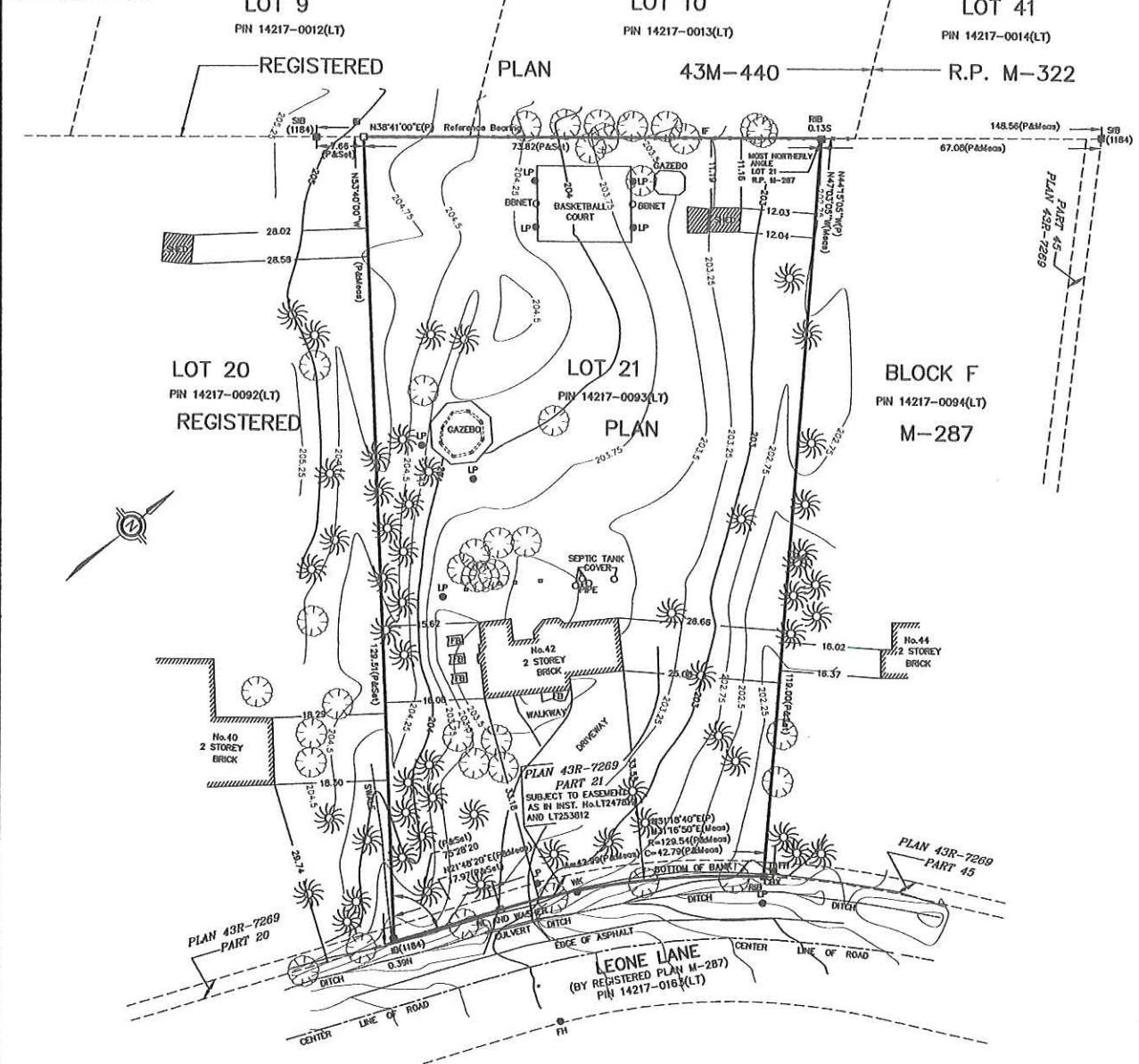
HOTHIS.
Zoning Officer

SEPT 07 2022
Date

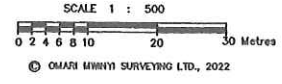
DATE RECEIVED September 6, 2022

Date Application Deemed Complete by the Municipality

M METRIC
 DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048



SURVEYOR'S REAL PROPERTY REPORT WITH TOPOGRAPHIC DETAIL
PART 1
PLAN OF LOT 21
REGISTERED PLAN M-287
CITY OF BRAMPTON
 (REGIONAL MUNICIPALITY OF PEEL)



HOUSE TIES WERE TAKEN TO BRICK WALLS
 THIS REPORT WAS PREPARED FOR HARPREET LUTHRA AND PARMINDER LUTHRA AND THE UNDERSIGNED ACCEPTS NO RESPONSIBILITY FOR USE BY OTHER PARTIES.

PART 2
 SURVEY REPORT SUMMARY:
 PROPERTY DESCRIPTION:
 LOT 21, REGISTERED PLAN M-287, CITY OF BRAMPTON
 PIN 14217-0093(LT)(HOUSE No.42)
 REGISTERED EASEMENTS AND/OR RIGHT OF WAYS:
 SUBJECT TO EASEMENT AS IN INST. No.LT247819 AND LT253012
 COMPLIANCE WITH MUNICIPAL ZONING BY-LAWS:
 THIS PLAN DOES NOT CERTIFY COMPLIANCE WITH ZONING BY-LAWS.
 BOUNDARY FEATURES AND ISSUES:
 POSITION OF THE FENCES ARE AS SHOWN.

LEGEND:

| | | | |
|------|---------------------------------|------|---------------------------|
| ■ | DENOTES SURVEY MONUMENT FOUND | WK | DENOTES WATER KEY |
| □ | DENOTES SURVEY MONUMENT PLANTED | CBX | DENOTES COMMUNICATION BOX |
| IB | DENOTES IRON BAR | BNBT | DENOTES BASKETBALL NET |
| SIB | DENOTES STANDARD IRON BAR | FB | DENOTES PLANTER |
| RIB | DENOTES ROUND IRON BAR | S | DENOTES SOUTH |
| P | DENOTES REGISTERED PLAN M-287 | W | DENOTES WEST |
| FH | DENOTES FIRE HYDRANT | N | DENOTES NORTH |
| IF | DENOTES IRON FENCE | E | DENOTES EAST |
| LP | DENOTES LIGHT POST | | |
| ⊙ | DENOTES DECIDUOUS TREE | | |
| ⊙ | DENOTES CONIFEROUS TREE | | |
| 1184 | DENOTES ERNEST BIASON, O.L.S. | | |

ELEVATIONS:
 ELEVATIONS SHOWN HEREON ARE GEODETIC AND ARE DERIVED FROM BENCH MARK No. 804194, WOODBRIDGE HIGHWAY No.7, C.N.R. OVERPASS, 4.1KM WEST OF JUNCTION WITH HIGHWAY No.50, 0.7KM EAST OF JUNCTION WITH AIRPORT ROAD, TABLET IN TOP OF EAST CONCRETE ABUTMENT AT SOUTHEAST CORNER OF OVERPASS (RETAINING WALL), 10CM FROM SOUTHWEST EDGE, 12CM SOUTH OF CONCRETE END POST, 20CM ABOVE SIDEWALK HAVING AN ELEVATION OF 103.764M.

BEARINGS:
 BEARINGS HEREON ARE ASTROMONIC AND ARE REFERRED TO THE NORTHERLY LIMIT OF LOT 21 HAVING A BEARING OF N38°41'00"E AS SHOWN ON REGISTERED PLAN BY M-287.

SURVEYOR'S CERTIFICATE:
 I CERTIFY THAT:
 1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
 2. THE SURVEY WAS COMPLETED ON THE 4TH DAY OF MARCH 2022.

March 7, 2022
 DATE

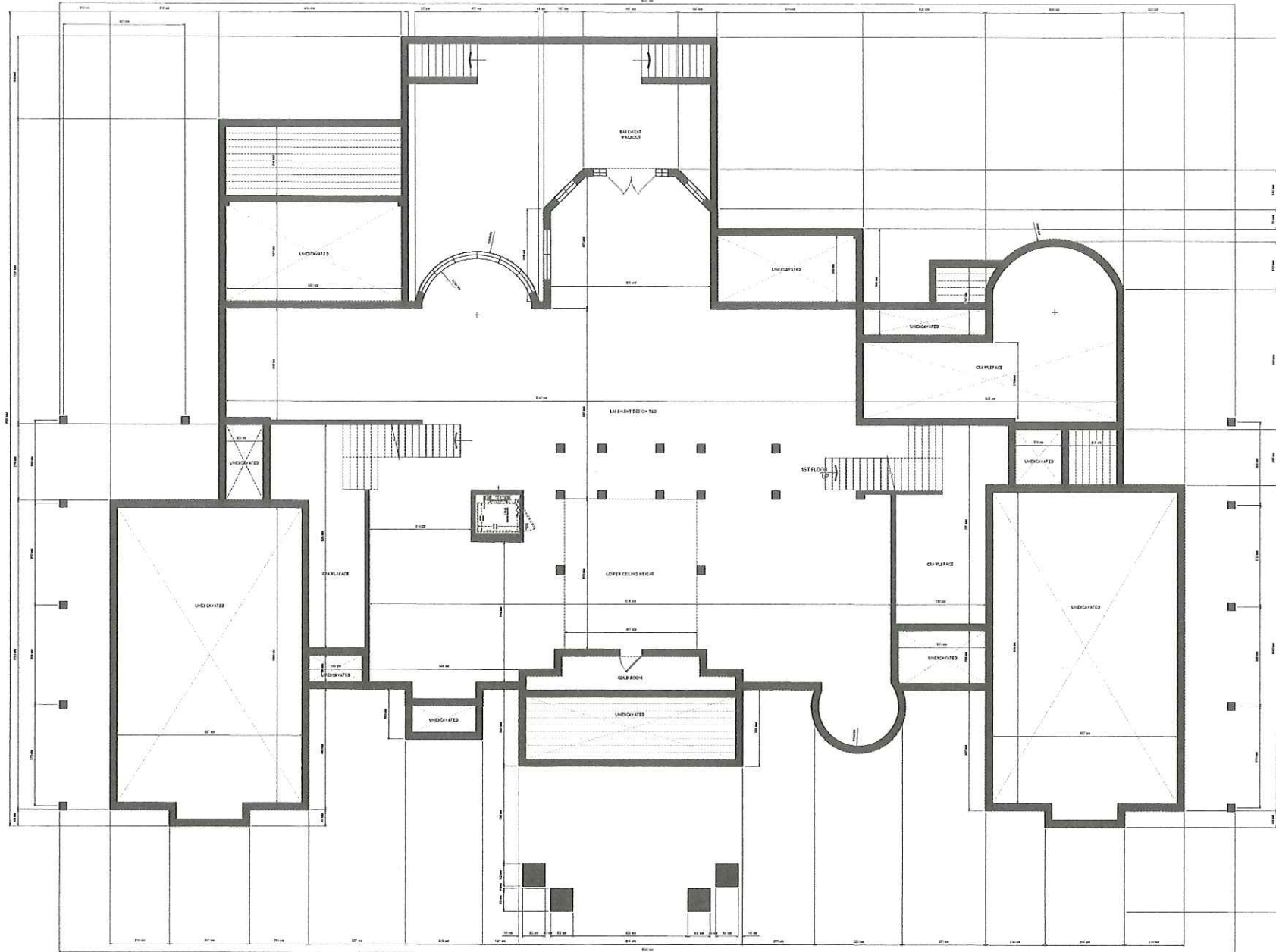
 OMAS B. MWINYI
 ONTARIO LAND SURVEYOR

ASSOCIATION OF ONTARIO LAND SURVEYORS
 PLAN REGISTRATION DIVISION
 V-23418

 THIS PLAN IS NOT VALID UNLESS IT IS AN EXPRESSED ORIGINAL COPY ISSUED BY THE SURVEYOR in accordance with Regulation 1028, Section 20(3)

| | |
|---|-----------------------|
| OMARI MWINYI SURVEYING LTD | |
| 1905 PINEGROVE AVENUE PICKERING ON, L1V 6T1 PH: (905) 831 5465 Email: omahy@rogers.com | |
| PROJECT | PROJECT No. |
| 42 LEONE LANE | 22-005-S |
| DRAFTSPERSON | CALCULATIONS |
| SUGI | E:\O\SL\22-005\22-005 |
| CHECKED BY | O.M. |

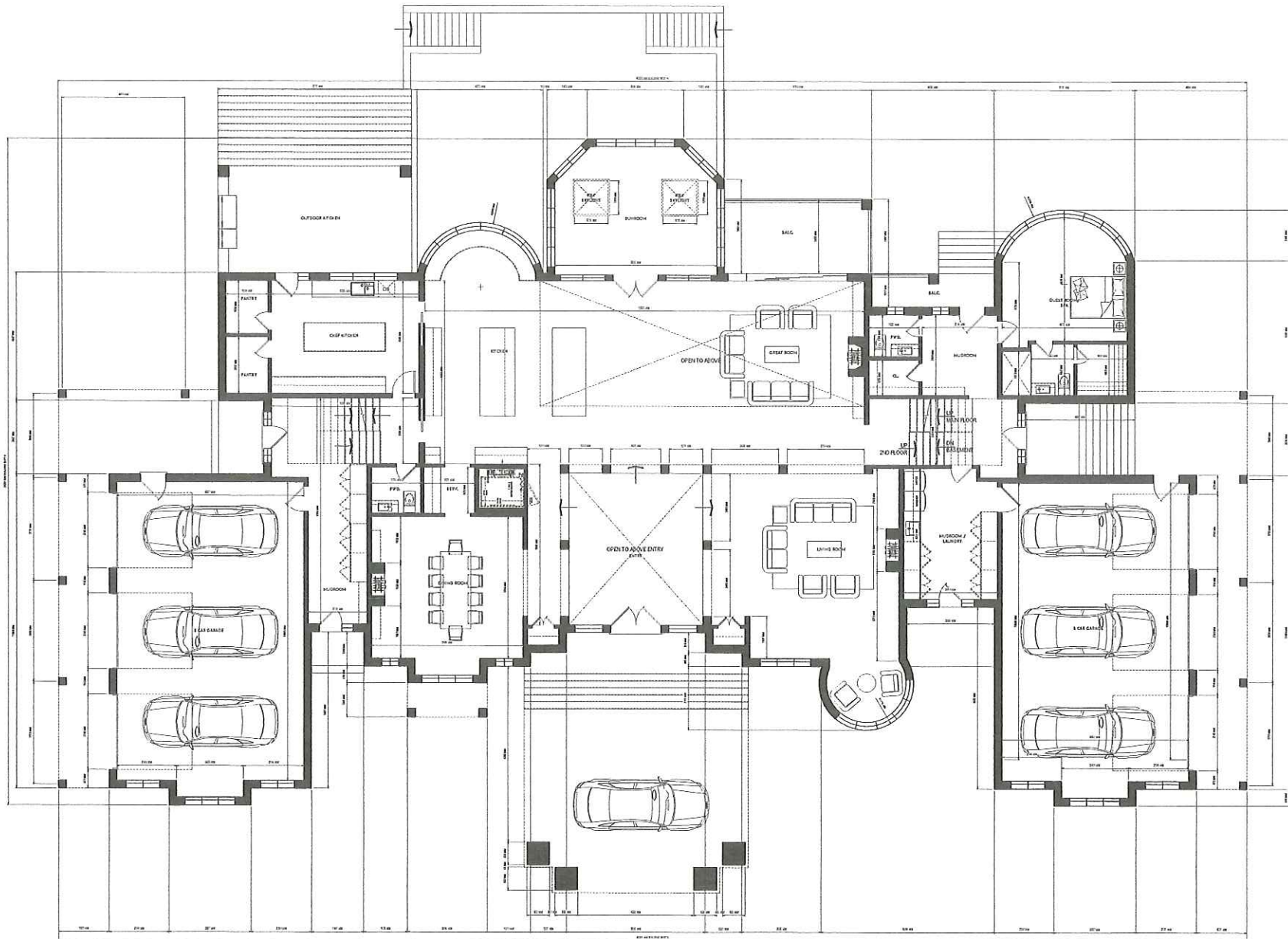
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|-------------|----------------------|
| PROJECT NO. | 1000000000 |
| DATE | 01/15/10 |
| SCALE | AS SHOWN |
| DESIGNER | ALAN W. HARRIS, INC. |
| CLIENT | ALAN W. HARRIS, INC. |



BASEMENT FLOOR PLAN

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| | PROJECT NO. 1000000000 DATE 01/15/10 SCALE AS SHOWN DESIGNER ALAN W. HARRIS, INC. CLIENT ALAN W. HARRIS, INC. | SHEET NO. A101 TOTAL SHEETS 10 | PROJECT NO. 1000000000 DATE 01/15/10 SCALE AS SHOWN DESIGNER ALAN W. HARRIS, INC. CLIENT ALAN W. HARRIS, INC. |
| | PROJECT NO. 1000000000 DATE 01/15/10 SCALE AS SHOWN DESIGNER ALAN W. HARRIS, INC. CLIENT ALAN W. HARRIS, INC. | SHEET NO. A101 TOTAL SHEETS 10 | PROJECT NO. 1000000000 DATE 01/15/10 SCALE AS SHOWN DESIGNER ALAN W. HARRIS, INC. CLIENT ALAN W. HARRIS, INC. |

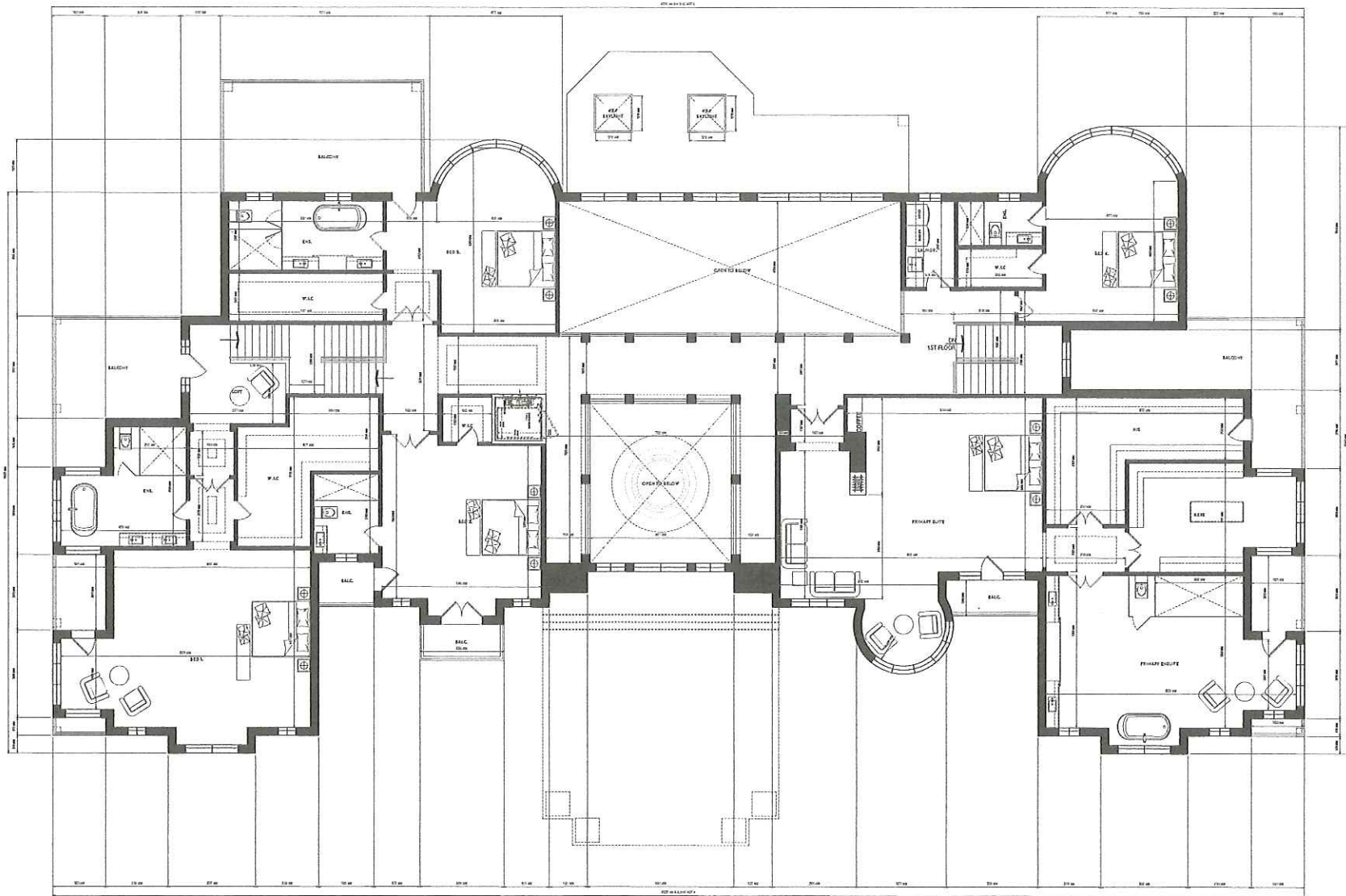
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| PROJECT NO. | 1000000000 |
| DATE | 10/10/2010 |
| SCALE | 1/8" = 1'-0" |
| DESIGNER | BUIS |
| CLIENT | BUIS |



GROUND FLOOR PLAN

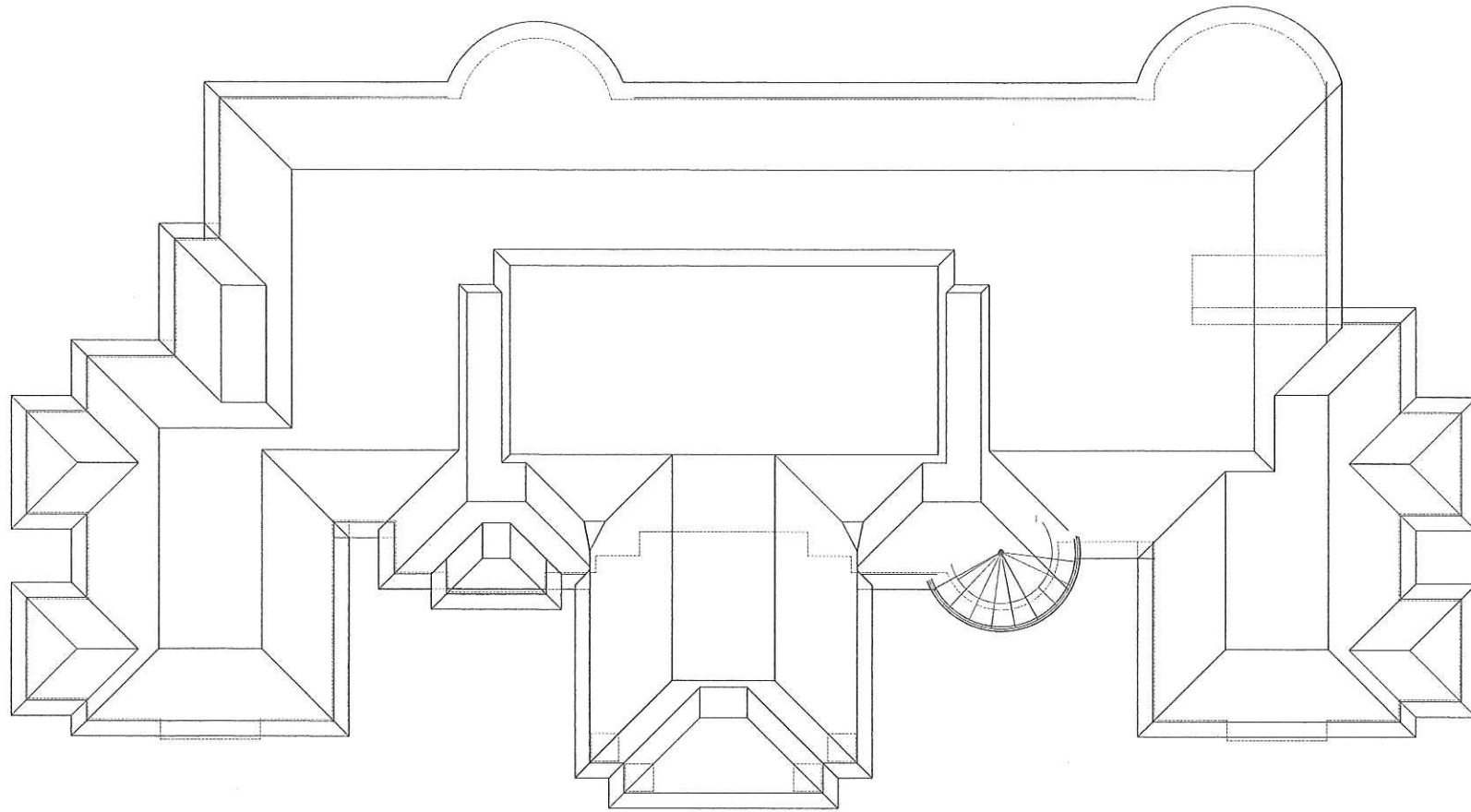
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| | <p>1000000000</p> <p>10/10/2010</p> <p>1/8" = 1'-0"</p> <p>BUIS</p> <p>BUIS</p> | <p>PROJECT NO.</p> <p>DATE</p> <p>SCALE</p> <p>DESIGNER</p> <p>CLIENT</p> | <p>PROJECT NO.</p> <p>DATE</p> <p>SCALE</p> <p>DESIGNER</p> <p>CLIENT</p> | <p>PROJECT NO.</p> <p>DATE</p> <p>SCALE</p> <p>DESIGNER</p> <p>CLIENT</p> |
| | <p>1000000000</p> <p>10/10/2010</p> <p>1/8" = 1'-0"</p> <p>BUIS</p> <p>BUIS</p> | <p>PROJECT NO.</p> <p>DATE</p> <p>SCALE</p> <p>DESIGNER</p> <p>CLIENT</p> | <p>PROJECT NO.</p> <p>DATE</p> <p>SCALE</p> <p>DESIGNER</p> <p>CLIENT</p> | <p>PROJECT NO.</p> <p>DATE</p> <p>SCALE</p> <p>DESIGNER</p> <p>CLIENT</p> |

1. ALL DIMENSIONS ARE IN METERS
 2. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE
 3. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE
 4. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE



SECOND FLOOR PLAN

| | | | | |
|--|--|--|---|--|
| huis CUSTOMER DESIGN 11000 14th Avenue S.E. Bellevue, WA 98006 (206) 453-1100 www.huis.com | PROJECT NO. 11000 14th Avenue S.E. Bellevue, WA 98006 (206) 453-1100 www.huis.com | DATE 11/11/11 | SCALE 1/8" = 1'-0" | PROJECT NO. 11000 14th Avenue S.E. Bellevue, WA 98006 (206) 453-1100 www.huis.com |
| | DESIGNER HUIS ARCHITECTURE 11000 14th Avenue S.E. Bellevue, WA 98006 (206) 453-1100 www.huis.com | CLIENT HUIS ARCHITECTURE 11000 14th Avenue S.E. Bellevue, WA 98006 (206) 453-1100 www.huis.com | ARCHITECT HUIS ARCHITECTURE 11000 14th Avenue S.E. Bellevue, WA 98006 (206) 453-1100 www.huis.com | DATE 11/11/11 |

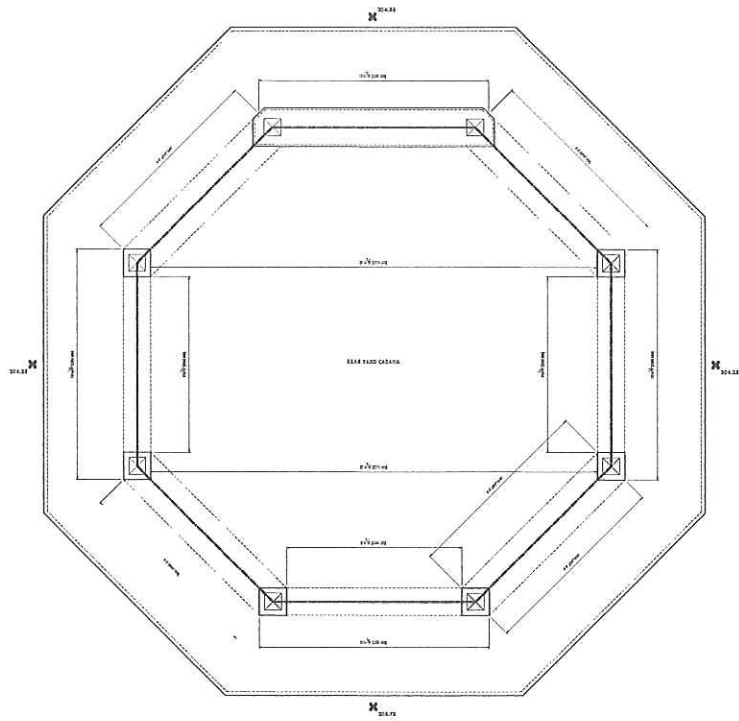


ROOF PLAN

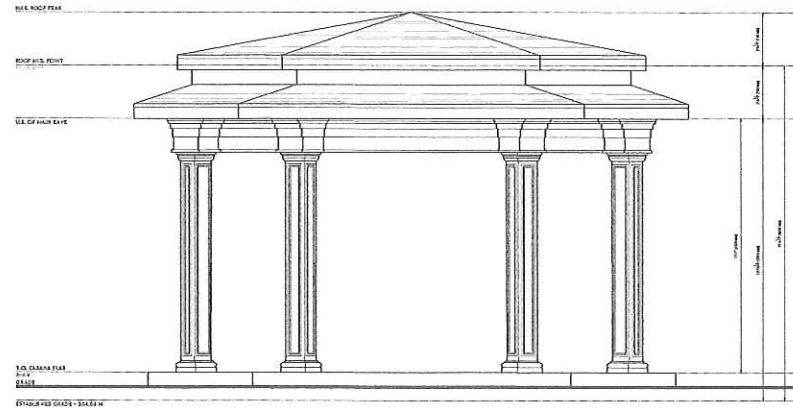
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| buis ARCHITECTURE 1000 West 10th Street, Suite 100 Vancouver, BC V6H 2G6 Tel: (604) 681-1111 Fax: (604) 681-1112 www.buis.ca | PROJECT NO. 1000 DRAWING NO. 1000-01 DATE: 2010-01-01 | CLIENT: [REDACTED] ARCHITECT: [REDACTED] ENGINEER: [REDACTED] | DRAWN BY: [REDACTED] CHECKED BY: [REDACTED] APPROVED BY: [REDACTED] | PROJECT NO. 1000 DRAWING NO. 1000-01 DATE: 2010-01-01 |
| | PROJECT NO. 1000 DRAWING NO. 1000-01 DATE: 2010-01-01 | PROJECT NO. 1000 DRAWING NO. 1000-01 DATE: 2010-01-01 | PROJECT NO. 1000 DRAWING NO. 1000-01 DATE: 2010-01-01 | PROJECT NO. 1000 DRAWING NO. 1000-01 DATE: 2010-01-01 |



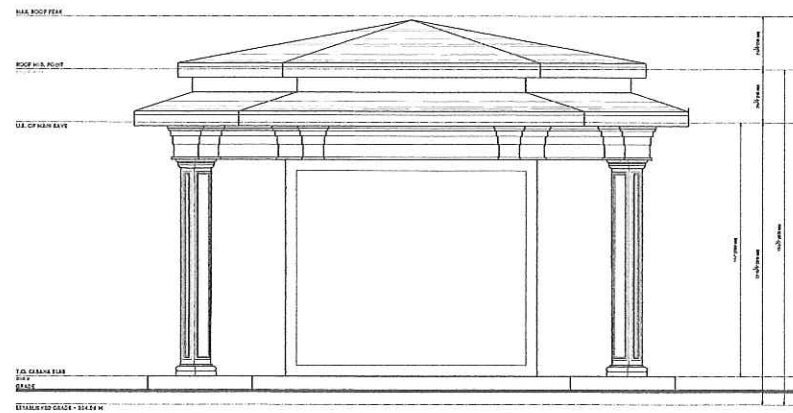
3D CONCEPTUAL IMAGES



RÉAR YARD CABANA FLOOR PLAN

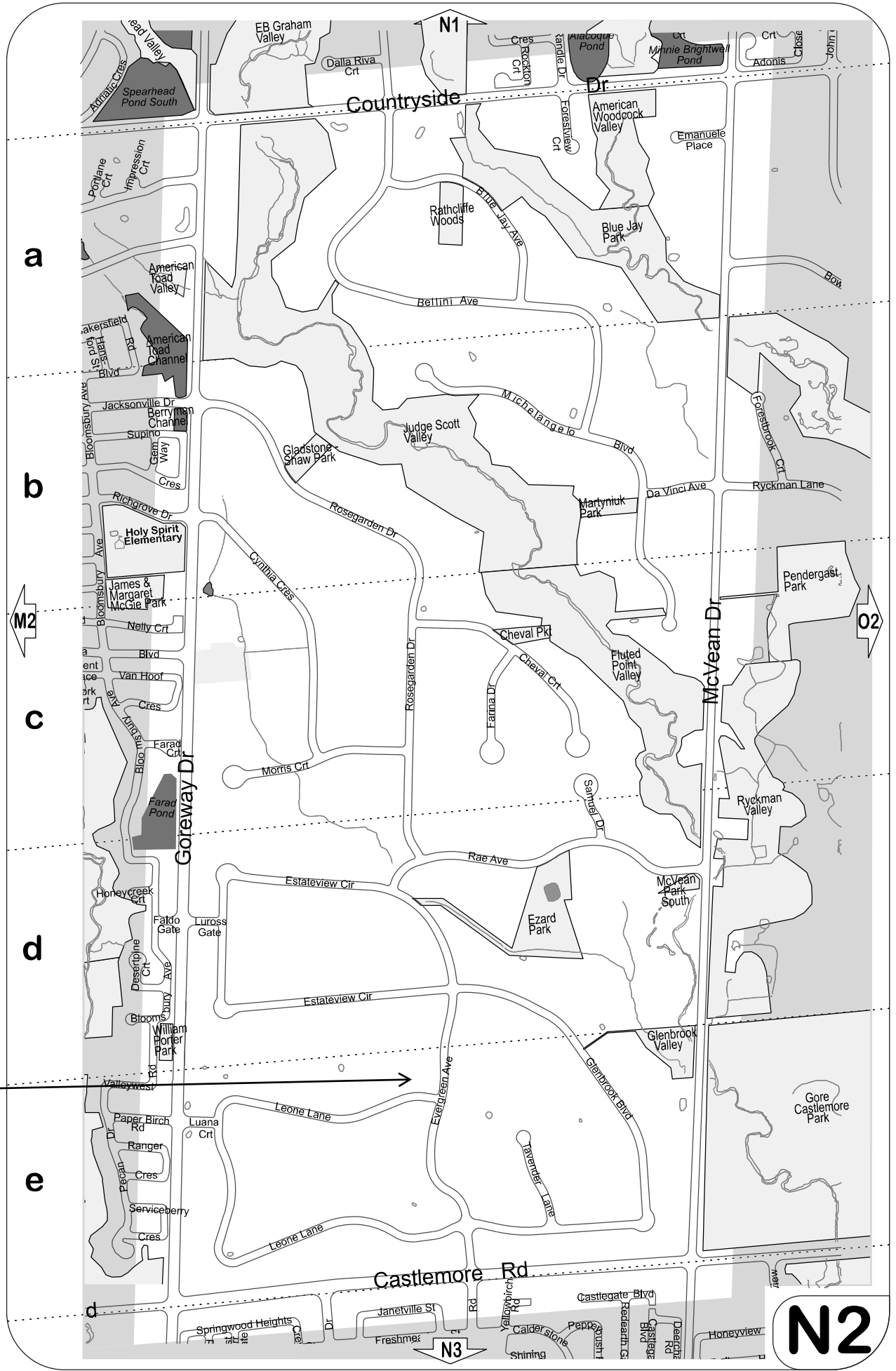


RÉAR YARD CABANA FRONT ELEVATION



RÉAR YARD CABANA REAR ELEVATION

A-2022-0288



a

b

c

d

e

M2

O2

N1

N2

N3