

APPLICATION # A-2022-0284
WARD 9

APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **RAYMAN ALILAIN AND IVY ALILAIN** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Lot 32, Plan M-1398 municipally known as **22 WILLOW HEIGHTS**, Brampton;

AND WHEREAS the applicants are requesting the following variance(s):

1. To permit a rear yard setback of 4.88m (16 ft.) to a proposed one storey sunroom addition whereas the by-law requires a minimum rear yard setback of 7.5m (24.60 ft.).

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: _____ NO _____ File Number: _____
Application for Consent: _____ NO _____ File Number: _____

The Committee of Adjustment has appointed **TUESDAY, October 4, 2022 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant or another member of the public.

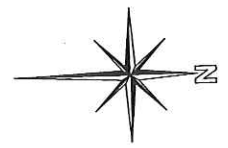
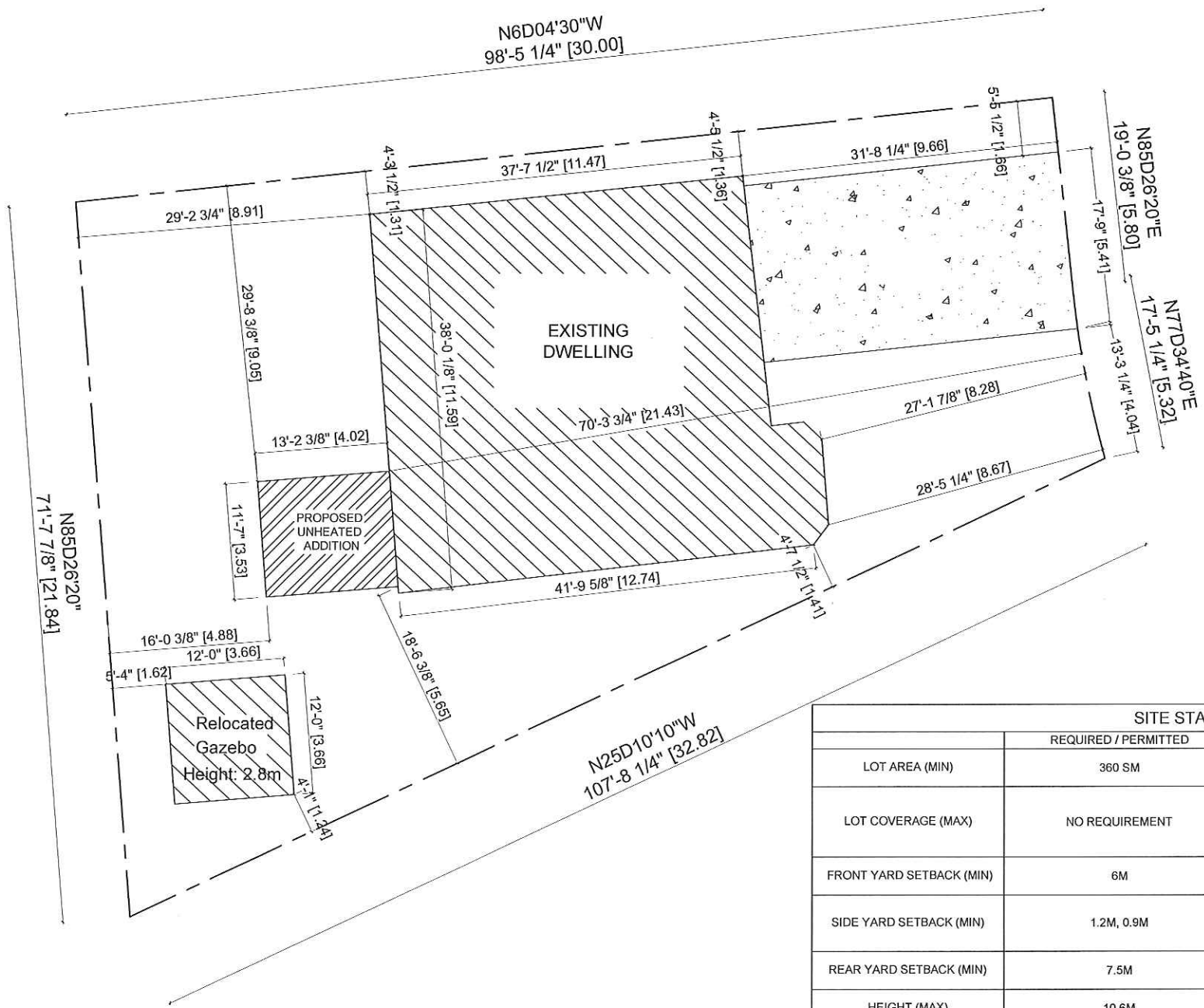
RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this 22nd Day of September, 2022

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca



SITE STATISTICS R1C		
	REQUIRED / PERMITTED	PROVIDED
LOT AREA (MIN)	360 SM	5387.32 Sq. Ft. / 500.50 Sq. M.
LOT COVERAGE (MAX)	NO REQUIREMENT	EXISTING DWELLING = 1499.98 Sq. Ft. / 139.35 Sq. M. = 27.8% EXISTING GAZIBO = 144 Sq. Ft. / 13.38 Sq. M. = 2.6% PROPOSED ADDITION = 152.88 Sq. Ft. / 14.20 Sq. M = 2.8% COVERAGE = 33.4%
FRONT YARD SETBACK (MIN)	6M	21.45M
SIDE YARD SETBACK (MIN)	1.2M, 0.9M	9.05M, 5.65M
REAR YARD SETBACK (MIN)	7.5M	4.88M
HEIGHT (MAX)	10.6M	3.4M +/- (GRADE TO RIDGE)

Site Plan



Customer Approval: _____ Date: _____

Project Name
Rayman and Ivy Alilain
22 Willow Heights Court, Brampton

Scale: 1:125
Date: CONSTANT
Revision #: VARIABLE
Revision Date: VARIABLE

Sheet No.
SP-1

Under the authority of the *Emergency Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

**Electronic/Hybrid Hearing Procedures
How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **October 4, 2022** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

How to Participate in the Hearing:

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, September 29, 2022.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
 1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, September 29, 2022.**
 2. To participate in-person, please email the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, September 29, 2022.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, September 29, 2022.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

The City of Brampton is reviewing its Committee of Adjustment process. As a participant in this process, if you have comments or input you would like to share about your experience with the Committee of Adjustment, please email cityclerksoffice@brampton.ca to indicate your interest and you will be contacted with more information.



For Office Use Only
(to be inserted by the Secretary-Treasurer
after application is deemed complete)

FILE NUMBER: A-2022-6284

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION
Minor Variance or Special Permission
(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law 270-2004.

1. **Name of Owner(s)** Allain, Rayman and Ivy
Address 22 Willow Heights Court
Brampton, ON L6R 2S2
Phone # 416 427-5327 **Fax #** _____
Email rr.allain@gmail.com

2. **Name of Agent** Nour ElGendy of Four Seasons Sunrooms GTA
Address 240 Viceroy Rd. Unit 6
Concord, ON L4K 3N9
Phone # 905-404-2789 Ext 504 **Fax #** _____
Email nour@fourseasons-sunrooms.com

3. **Nature and extent of relief applied for (variances requested):**
 Requesting a rear yard setback of 4.88m whereas the minimum required is 7.5m.

4. **Why is it not possible to comply with the provisions of the by-law?**
 Compromised usable living space.

5. **Legal Description of the subject land:**
Lot Number 32
Plan Number/Concession Number 43M-1398
Municipal Address 22 Willow Heights Court - Brampton, ON L6R 2S2

6. **Dimension of subject land (in metric units)**
Frontage 11.12m
Depth 32.82m
Area 500.5 Sq m

7. **Access to the subject land is by:**
 Provincial Highway Seasonal Road
 Municipal Road Maintained All Year Other Public Road
 Private Right-of-Way Water

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

Existing dwelling - Height: +-7m 2 storeys
Area: 139.35 Sq m

PROPOSED BUILDINGS/STRUCTURES on the subject land:

Sunroom addition - Height: 3.35m 1 Storey
Area: 14.2 Sq m

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback 8.28m
Rear yard setback 8.91m
Side yard setback 1.31m
Side yard setback 1.41m

PROPOSED

Front yard setback 8.28m
Rear yard setback 4.88m
Side yard setback 9.05
Side yard setback 5.65

10. Date of Acquisition of subject land: April 29, 2016
11. Existing uses of subject property: Residential/ Single Family Dwelling
12. Proposed uses of subject property: Residential/ Single Family Dwelling
13. Existing uses of abutting properties: Residential
14. Date of construction of all buildings & structures on subject land: 2022
15. Length of time the existing uses of the subject property have been continued: 20 Years
16. (a) What water supply is existing/proposed?
Municipal Other (specify) _____
Well
- (b) What sewage disposal is/will be provided?
Municipal Other (specify) _____
Septic
- (c) What storm drainage system is existing/proposed?
Sewers Other (specify) _____
Ditches
Swales

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes No

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes No

19. Has the subject property ever been the subject of an application for minor variance?

Yes No Unknown

If answer is yes, provide details:

File # _____ Decision _____ Relief _____
File # _____ Decision _____ Relief _____
File # _____ Decision _____ Relief _____

[Handwritten Signature]

Signature of Applicant(s) or Authorized Agent

DATED AT THE City OF Brampton
THIS 1st DAY OF Sep, 2022.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Nar Agendy, OF THE City OF Toronto
IN THE province OF Ontario SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE
City OF Brampton
IN THE Region OF
 Peel THIS 1st DAY OF
Sept., 2022

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024.

[Handwritten Signature]

Signature of Applicant or Authorized Agent

Submit by Email

[Handwritten Signature]
A Commissioner etc.

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: RIC-995

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

[Handwritten Signature]

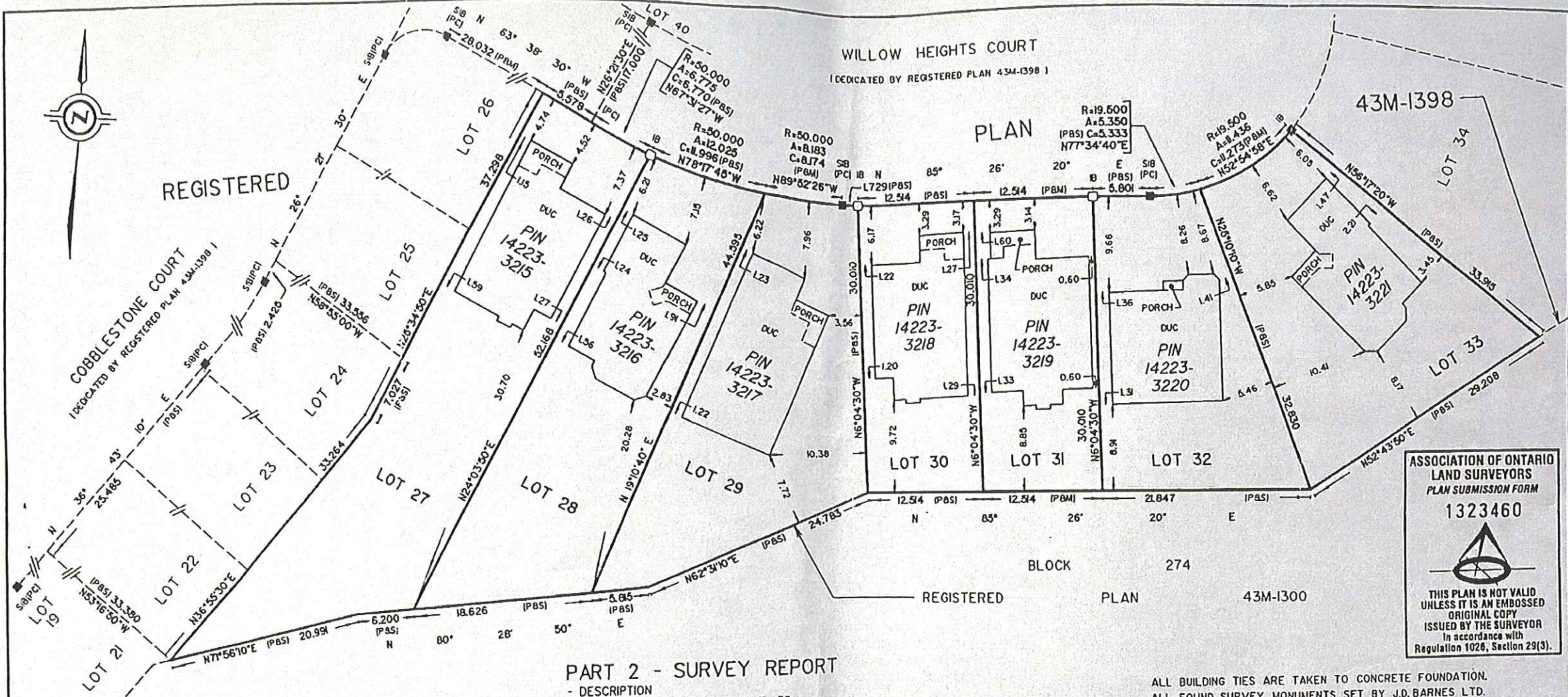
Zoning Officer

SEPT. 1. 22

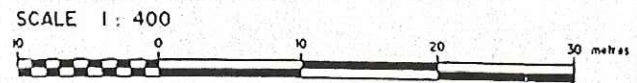
Date

DATE RECEIVED Sept. 17 2022

Date Application Deemed Complete by the Municipality _____



SURVEYOR'S REAL PROPERTY REPORT
 PART 1 - PLAN SHOWING
LOTS 27, 28, 29, 30, 31, 32 AND 33
REGISTERED PLAN 43M-1398
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEL



J. D. BARNES LIMITED
 © COPYRIGHT

METRIC DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

PART 2 - SURVEY REPORT

- DESCRIPTION
 LOTS 27, 28, 29, 30, 31, 32 AND 33
 REGISTERED PLAN 43M-1398, CITY OF BRAMPTON
 REGIONAL MUNICIPALITY OF PEEL
- REGISTERED EASEMENTS AND/OR RIGHTS-OF-WAY
 NONE
- ADDITIONAL REMARKS
 THE LOTS WERE NOT FENCED AT THE TIME OF THE SURVEY
 AND SETBACKS ARE IN CONFORMITY WITH RIC-SECTION 995 ZONING

NOTES

BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE SOUTHERLY LIMIT OF WILLOW HEIGHTS COURT AS SHOWN ON REGISTERED PLAN 43M-1398, HAVING A BEARING OF N 85° 26' 20" E.

- | | | |
|-----|---------|---------------------------------------|
| ■ | DENOTES | SURVEY MONUMENT FOUND |
| □ | DENOTES | SURVEY MONUMENT SET |
| SIB | DENOTES | STANDARD IRON BAR |
| IB | DENOTES | IRON BAR |
| UC | DENOTES | DWELLING UNDER CONSTRUCTION |
| P&S | DENOTES | REGISTERED PLAN 43M-1398 AND SET |
| P&M | DENOTES | REGISTERED PLAN 43M-1398 AND MEASURED |
| PC | DENOTES | POINT OF CURVATURE |

ALL BUILDING TIES ARE TAKEN TO CONCRETE FOUNDATION.
 ALL FOUND SURVEY MONUMENTS SET BY J.D. BARNES LTD.
 UNLESS NOTED OTHERWISE.

SURVEYOR'S CERTIFICATE

- I CERTIFY THAT:
- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT, AND THE REGULATIONS MADE UNDER THEM.
 - THE SURVEY WAS COMPLETED ON DECEMBER 11, 2000.

DATE 07 FEBRUARY, 2001. 
 DAVID A. BLACK
 ONTARIO LAND SURVEYOR

ASSOCIATION OF ONTARIO
 LAND SURVEYORS
 PLAN SUBMISSION FORM
 1323460



THIS PLAN IS NOT VALID
 UNLESS IT IS AN EMBOSSED
 ORIGINAL COPY
 ISSUED BY THE SURVEYOR
 In accordance with
 Regulation 1026, Swellon 29(3).

SURVEYING - MAPPING - LAND INFORMATION SERVICES

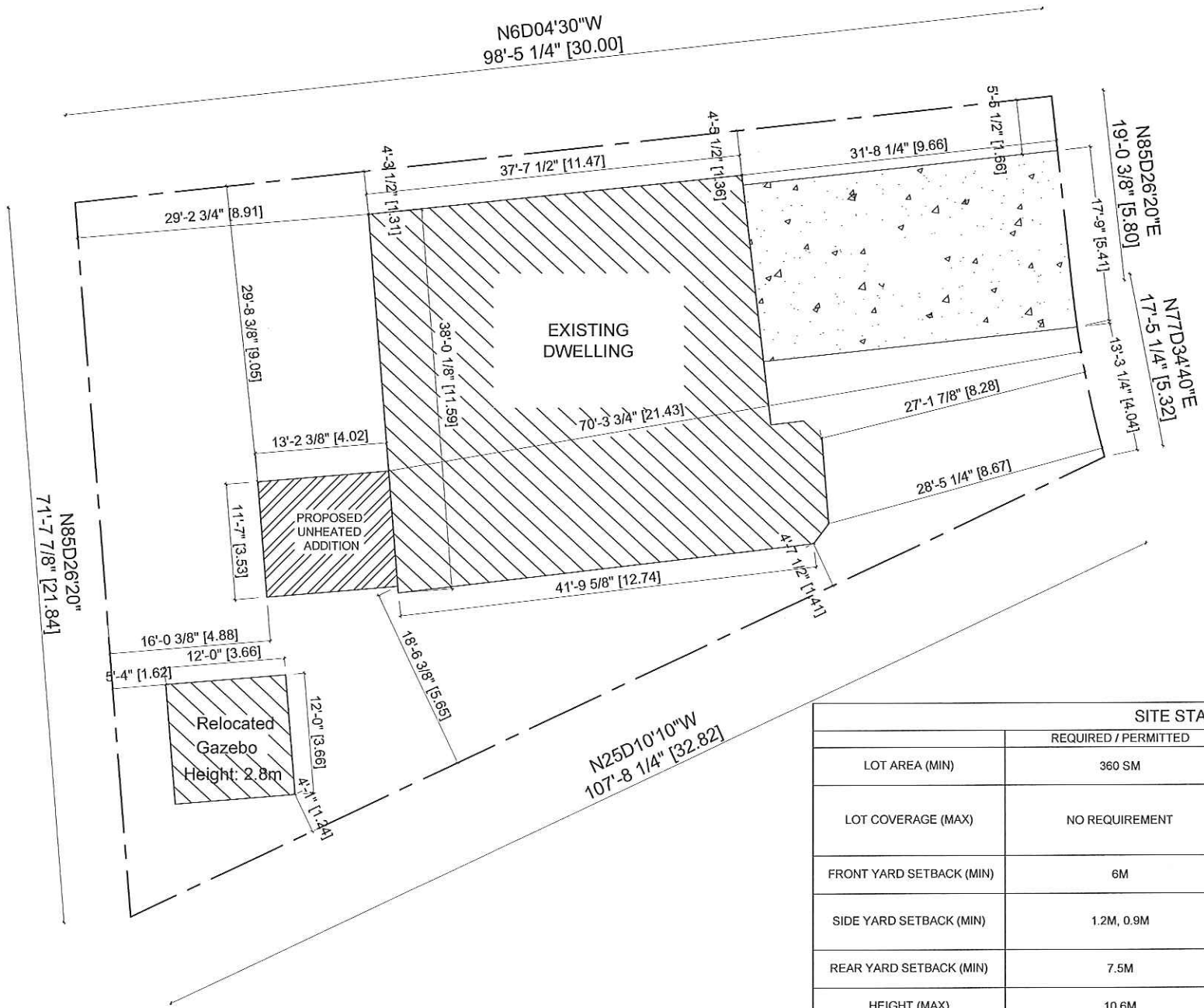
450 BRITANNIA ROAD EAST, SUITE 450B
 MISSISSAUGA, ONTARIO L4Z 1K9
 (905) 507-8787 FAX (905) 507-8977

J.D. BARNES LIMITED

DRAWN BY ML	CHECKED BY (Signature)	REFERENCE BY 00-28-537-00-27
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PREPARED FOR: NATIONAL HOMES

COPYRIGHT ACT R.S., 1985,
 C. C-42 APPLIES TO THE USE AND
 REPRODUCTION OF THESE DOCUMENTS



SITE STATISTICS R1C		
	REQUIRED / PERMITTED	PROVIDED
LOT AREA (MIN)	360 SM	5387.32 Sq. Ft. / 500.50 Sq. M.
LOT COVERAGE (MAX)	NO REQUIREMENT	EXISTING DWELLING = 1499.98 Sq. Ft. / 139.35 Sq. M. = 27.8% EXISTING GAZIBO = 144 Sq. Ft. / 13.38 Sq. M. = 2.6% PROPOSED ADDITION = 152.88 Sq. Ft. / 14.20 Sq. M = 2.8% COVERAGE = 33.4%
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HEIGHT (MAX)	10.6M	3.4M +/- (GRADE TO RIDGE)

Site Plan

Project Name
Rayman and Ivy Alilain
22 Willow Heights Court, Brampton

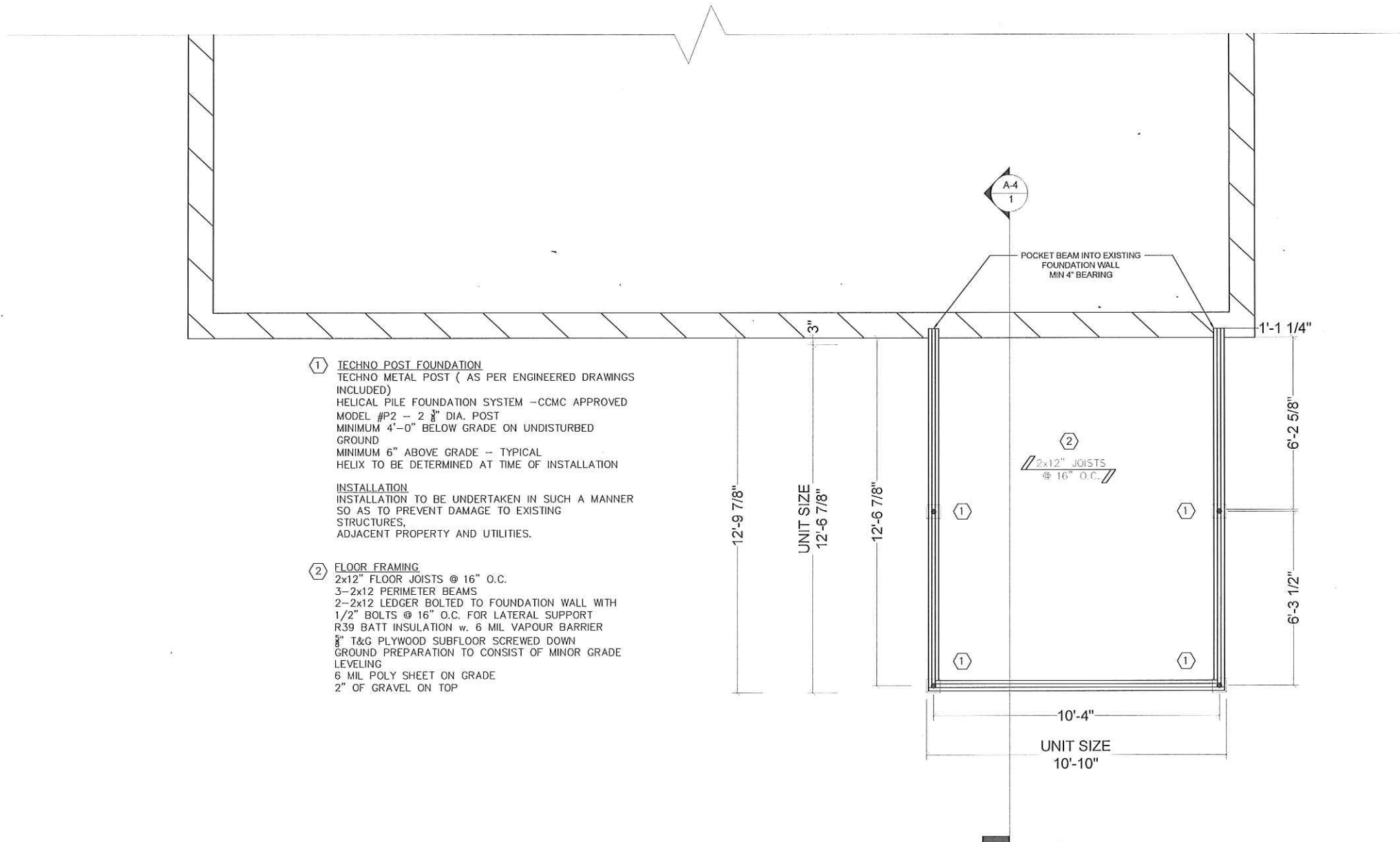
Sheet No.

Scale 1:125 Date CONSTANT Revision # VARIABLE Revision Date VARIABLE

SP-1



Customer Approval: _____ Date: _____

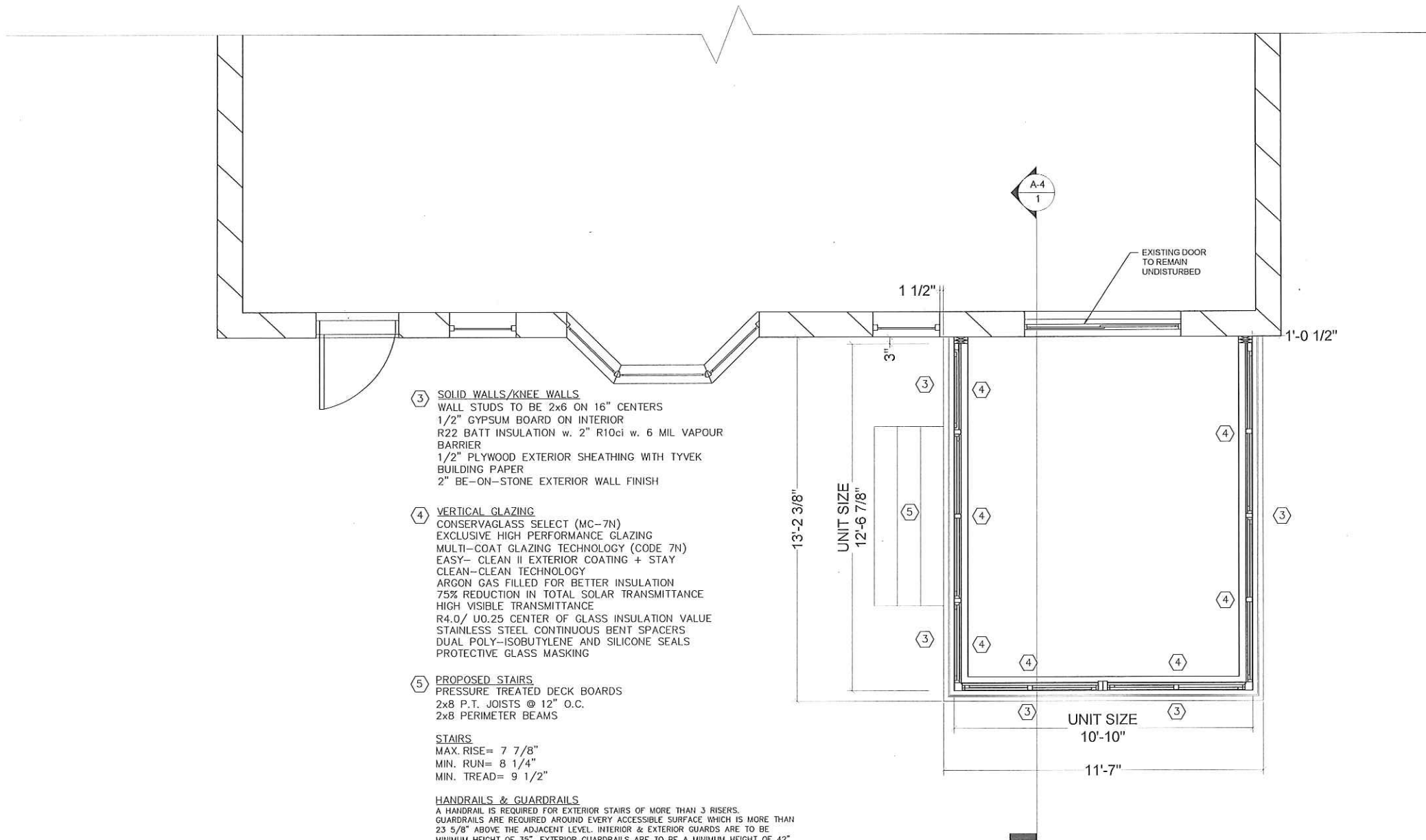


① **TECHNO POST FOUNDATION**
 TECHNO METAL POST (AS PER ENGINEERED DRAWINGS INCLUDED)
 HELICAL PILE FOUNDATION SYSTEM -CCMC APPROVED
 MODEL #P2 - 2 3/8" DIA. POST
 MINIMUM 4'-0" BELOW GRADE ON UNDISTURBED GROUND
 MINIMUM 6" ABOVE GRADE - TYPICAL
 HELIX TO BE DETERMINED AT TIME OF INSTALLATION

INSTALLATION
 INSTALLATION TO BE UNDERTAKEN IN SUCH A MANNER SO AS TO PREVENT DAMAGE TO EXISTING STRUCTURES, ADJACENT PROPERTY AND UTILITIES.

② **FLOOR FRAMING**
 2x12" FLOOR JOISTS @ 16" O.C.
 3-2x12 PERIMETER BEAMS
 2-2x12 LEDGER BOLTED TO FOUNDATION WALL WITH 1/2" BOLTS @ 16" O.C. FOR LATERAL SUPPORT
 R39 BATT INSULATION w. 6 MIL VAPOUR BARRIER
 3/8" T&G PLYWOOD SUBFLOOR SCREWED DOWN
 GROUND PREPARATION TO CONSIST OF MINOR GRADE LEVELING
 6 MIL POLY SHEET ON GRADE
 2" OF GRAVEL ON TOP

Foundation Plan



③ **SOLID WALLS/KNEE WALLS**
 WALL STUDS TO BE 2x6 ON 16" CENTERS
 1/2" GYPSUM BOARD ON INTERIOR
 R22 BATT INSULATION w. 2" R10ci w. 6 MIL VAPOUR BARRIER
 1/2" PLYWOOD EXTERIOR SHEATHING WITH TYVEK BUILDING PAPER
 2" BE-ON-STONE EXTERIOR WALL FINISH

④ **VERTICAL GLAZING**
 CONSERVAGLASS SELECT (MC-7N)
 EXCLUSIVE HIGH PERFORMANCE GLAZING
 MULTI-COAT GLAZING TECHNOLOGY (CODE 7N)
 EASY-CLEAN II EXTERIOR COATING + STAY CLEAN-CLEAN TECHNOLOGY
 ARGON GAS FILLED FOR BETTER INSULATION
 75% REDUCTION IN TOTAL SOLAR TRANSMITTANCE
 HIGH VISIBLE TRANSMITTANCE
 R4.0/ U0.25 CENTER OF GLASS INSULATION VALUE
 STAINLESS STEEL CONTINUOUS BENT SPACERS
 DUAL POLY-ISOBUTYLENE AND SILICONE SEALS
 PROTECTIVE GLASS MASKING

⑤ **PROPOSED STAIRS**
 PRESSURE TREATED DECK BOARDS
 2x8 P.T. JOISTS @ 12" O.C.
 2x8 PERIMETER BEAMS

STAIRS
 MAX. RISE= 7 7/8"
 MIN. RUN= 8 1/4"
 MIN. TREAD= 9 1/2"

HANDRAILS & GUARDRAILS
 A HANDRAIL IS REQUIRED FOR EXTERIOR STAIRS OF MORE THAN 3 RISERS.
 GUARDRAILS ARE REQUIRED AROUND EVERY ACCESSIBLE SURFACE WHICH IS MORE THAN 23 5/8" ABOVE THE ADJACENT LEVEL. INTERIOR & EXTERIOR GUARDS ARE TO BE MINIMUM HEIGHT OF 35". EXTERIOR GUARDRAILS ARE TO BE A MINIMUM HEIGHT OF 42" WHERE THE HEIGHT ABOVE THE ADJACENT SURFACE EXCEEDS 5'-11"
 GUARDRAILS MUST HAVE NO OPENINGS GREATER THAN 4", AND NO MEMBER BETWEEN 4" AND 35" IN HEIGHT THAT WILL FACILITATE CLIMBING

Floor Plan

Project Name
 Rayman and Ivy Alilain
 22 Willow Heights Court, Brampton

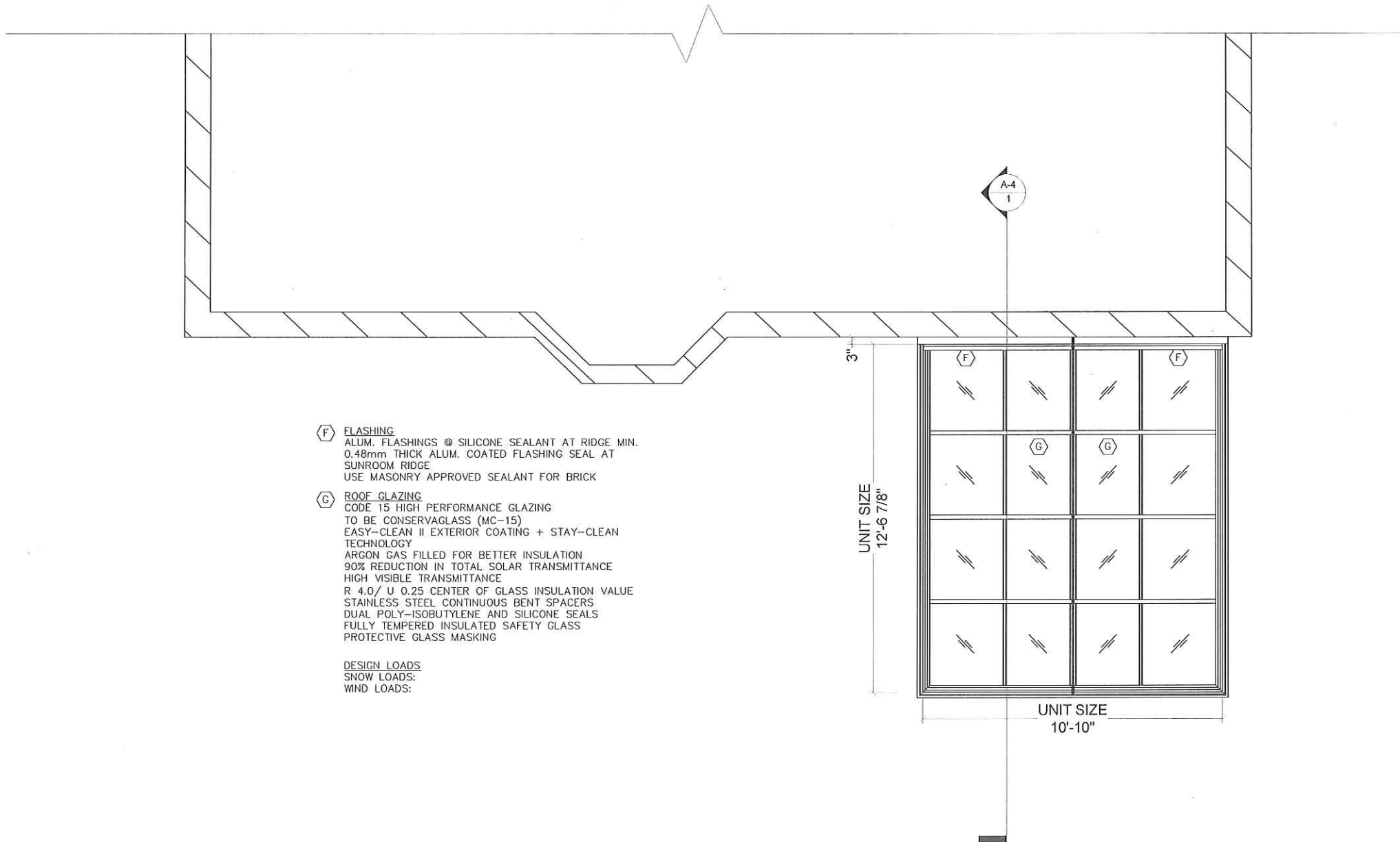
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A-2



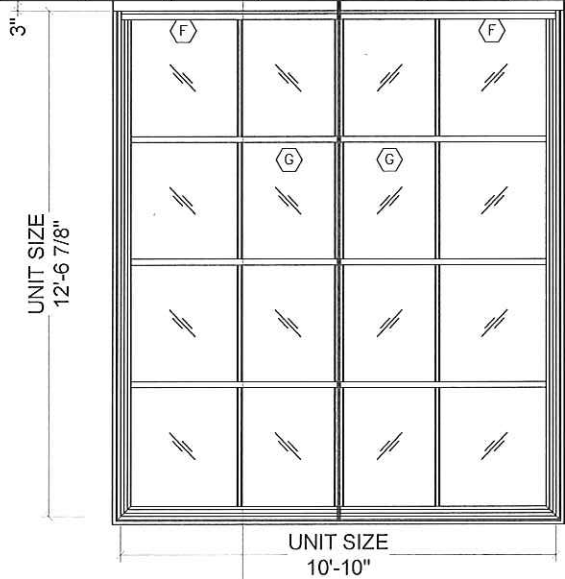
Customer Approval: _____ Date: _____



F FLASHING
 ALUM. FLASHINGS @ SILICONE SEALANT AT RIDGE MIN.
 0.48mm THICK ALUM. COATED FLASHING SEAL AT
 SUNROOM RIDGE
 USE MASONRY APPROVED SEALANT FOR BRICK

G ROOF GLAZING
 CODE 15 HIGH PERFORMANCE GLAZING
 TO BE CONSERVAGLASS (MC-15)
 EASY-CLEAN II EXTERIOR COATING + STAY-CLEAN
 TECHNOLOGY
 ARGON GAS FILLED FOR BETTER INSULATION
 90% REDUCTION IN TOTAL SOLAR TRANSMITTANCE
 HIGH VISIBLE TRANSMITTANCE
 R 4.0/ U 0.25 CENTER OF GLASS INSULATION VALUE
 STAINLESS STEEL CONTINUOUS BENT SPACERS
 DUAL POLY-ISOBUTYLENE AND SILICONE SEALS
 FULLY TEMPERED INSULATED SAFETY GLASS
 PROTECTIVE GLASS MASKING

DESIGN LOADS
 SNOW LOADS:
 WIND LOADS:



Roof Plan

Project Name
 Rayman and Ivy Alilain
 22 Willow Heights Court, Brampton

Sheet No.

Scale
 1:40

Date
 CONSTANT

Revision #
 VARIABLE

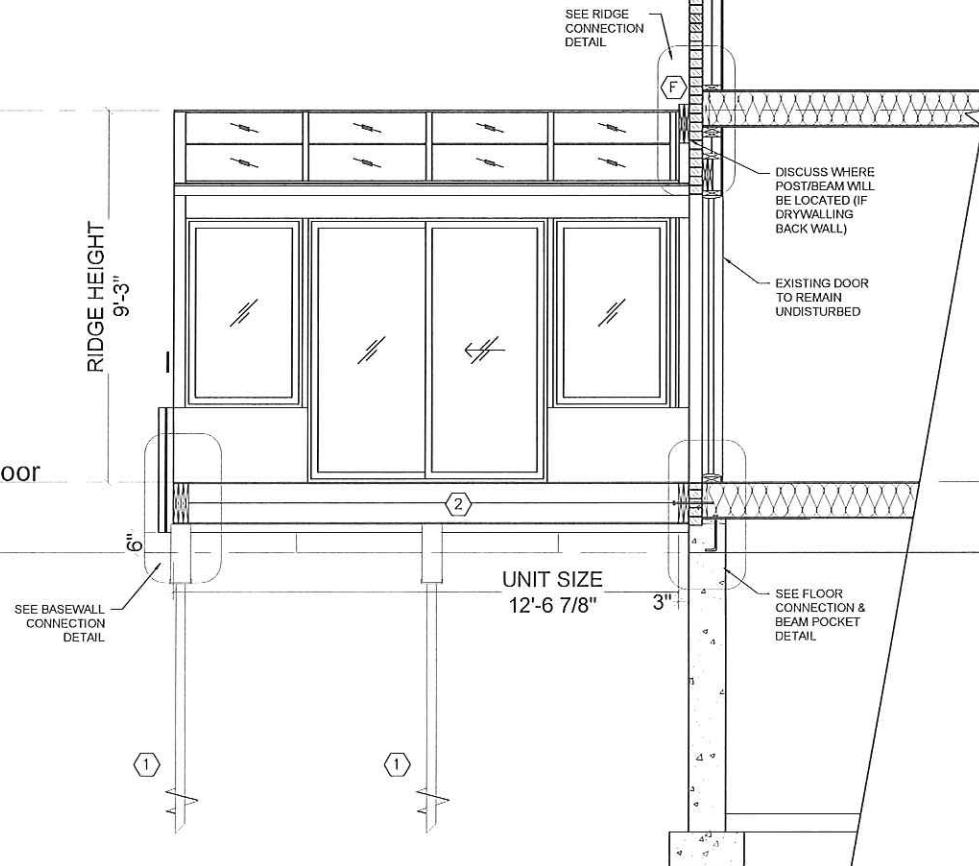
Revision Date
 VARIABLE

A-3

Peak Height
11' - 0"

Exist/Addition Finished Floor
1' - 9"

Grade
0' - 0"



Section

Project Name
Rayman and Ivy Alilain
22 Willow Heights Court, Brampton

Sheet No.

Scale 1:40 Date CONSTANT Revision # VARIABLE Revision Date VARIABLE

A-4

F FLASHING
 ALUM. FLASHINGS @ SILICONE SEALANT AT RIDGE MIN.
 0.48mm THICK ALUM. COATED FLASHING SEAL AT
 SUNROOM RIDGE
 USE MASONRY APPROVED SEALANT FOR BRICK

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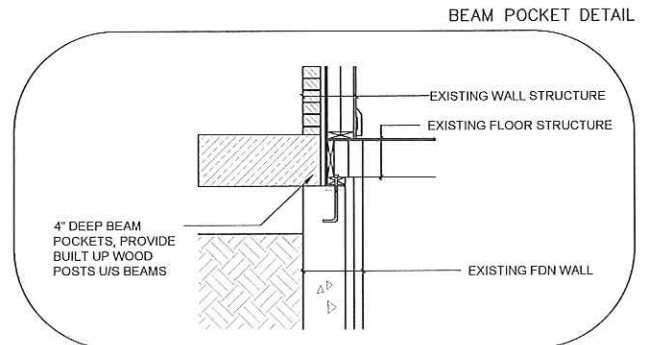
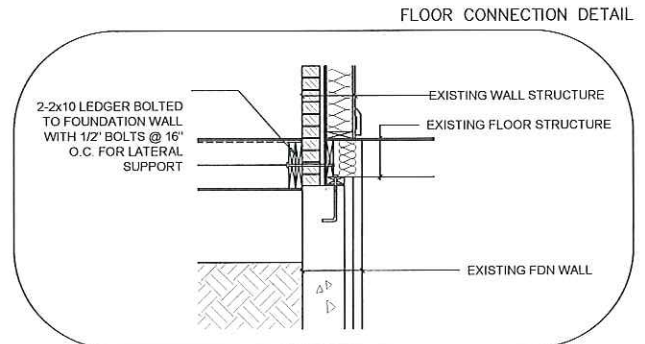
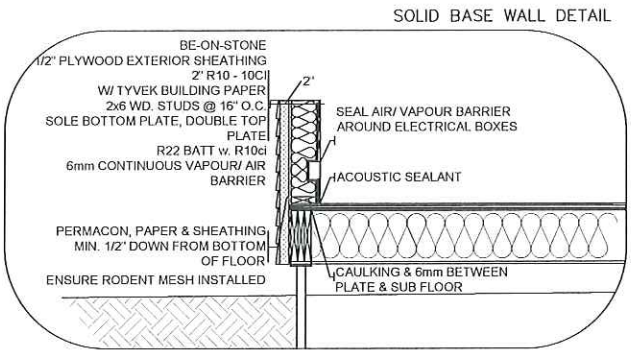
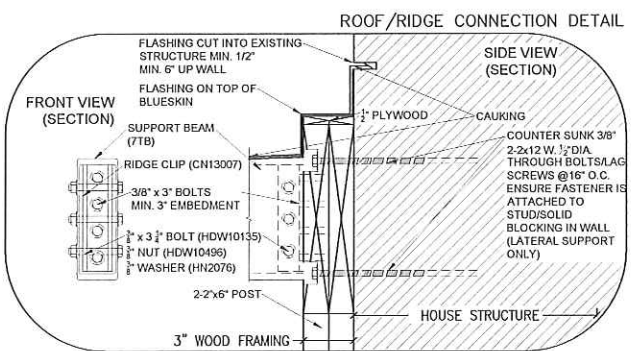
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 R22 BATT INSULATION w. 2" R10ci w. 6 MIL VAPOUR
 BARRIER
 1/2" PLYWOOD EXTERIOR SHEATHING WITH TYVEK
 BUILDING PAPER
 2" BE-ON-STONE EXTERIOR WALL FINISH

5 PROPOSED STAIRS
 PRESSURE TREATED DECK BOARDS
 2x8 P.T. JOISTS @ 12" O.C.
 2x8 PERIMETER BEAMS

STAIRS
 MAX. RISE= 7 7/8"
 MIN. RUN= 8 1/4"
 MIN. TREAD= 9 1/2"
 WIDTH= 4'

HANDRAILS & GUARDRAILS
 A HANDRAIL IS REQUIRED FOR EXTERIOR STAIRS OF
 MORE THAN 3 RISERS.
 GUARDRAILS ARE REQUIRED AROUND EVERY ACCESSIBLE
 SURFACE WHICH IS MORE THAN 23 5/8" ABOVE THE
 ADJACENT LEVEL. INTERIOR & EXTERIOR GUARDS ARE
 TO BE MINIMUM HEIGHT OF 35". EXTERIOR GUARDRAILS
 ARE TO BE A MINIMUM HEIGHT OF 42" WHERE THE
 HEIGHT ABOVE THE ADJACENT SURFACE EXCEEDS 5'-11"
 GUARDRAILS MUST HAVE NO OPENINGS GREATER THAN
 4", AND NO MEMBER BETWEEN 4" AND 35" IN HEIGHT
 THAT WILL FACILITATE CLIMBING



Details & Notes

Project Name
 Rayman and Ivy Alilain
 22 Willow Heights Court, Brampton

Sheet No.

Scale 1:30 Date CONSTANT Revision # VARIABLE Revision Date VARIABLE

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Customer Approval: _____ Date: _____

GLAZED OPENING CALCULATIONS

PER O.B.C. TABLE 9.10.15.4

East Elevation

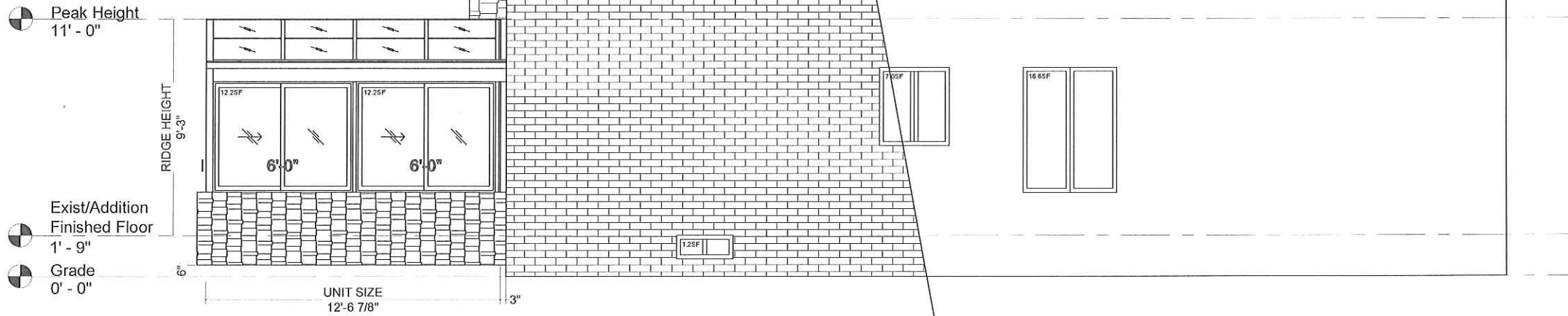
#	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F)
1	Existing		42.6
1	New		24.4

Spatial Calculations

Exposing Building Face	854.9 S.F.
	79.4 S.M.

Portion Wall Area

Limiting Distance	5.7M
Max. % Openings	34%
Openings Allowed	290.7 S.F.
Openings Provided	66.0 S.F.



East/Side Elevation



Customer Approval:

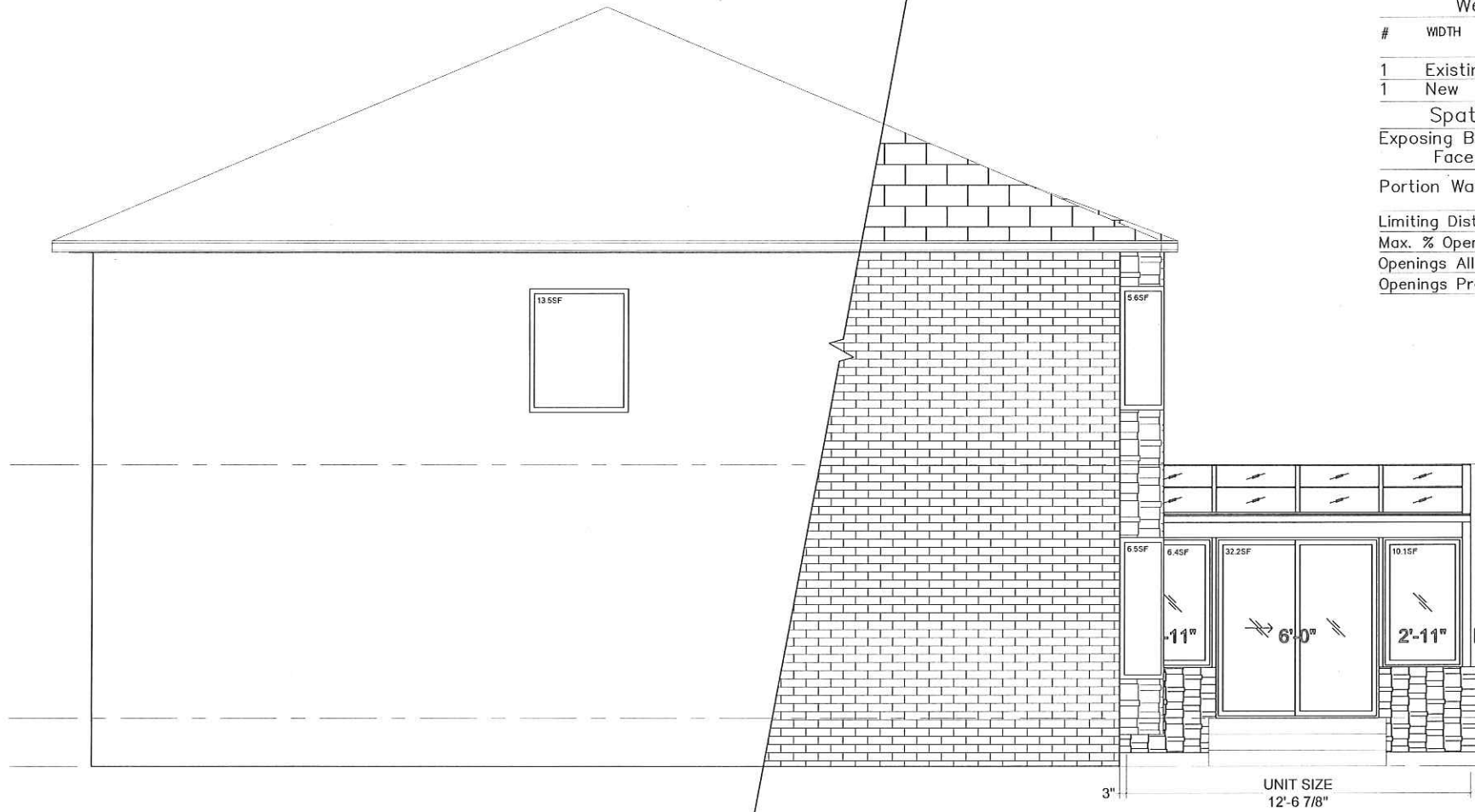
Date:

Project Name
Rayman and Ivy Alilain
22 Willow Heights Court, Brampton

Sheet No.

Scale 1:50 Date CONSTANT Revision # VARIABLE Revision Date VARIABLE

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GLAZED OPENING CALCULATIONS

PER O.B.C. TABLE 9.10.15.4

West Elevation

#	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F)
1	Existing		25.6
1	New		48.7

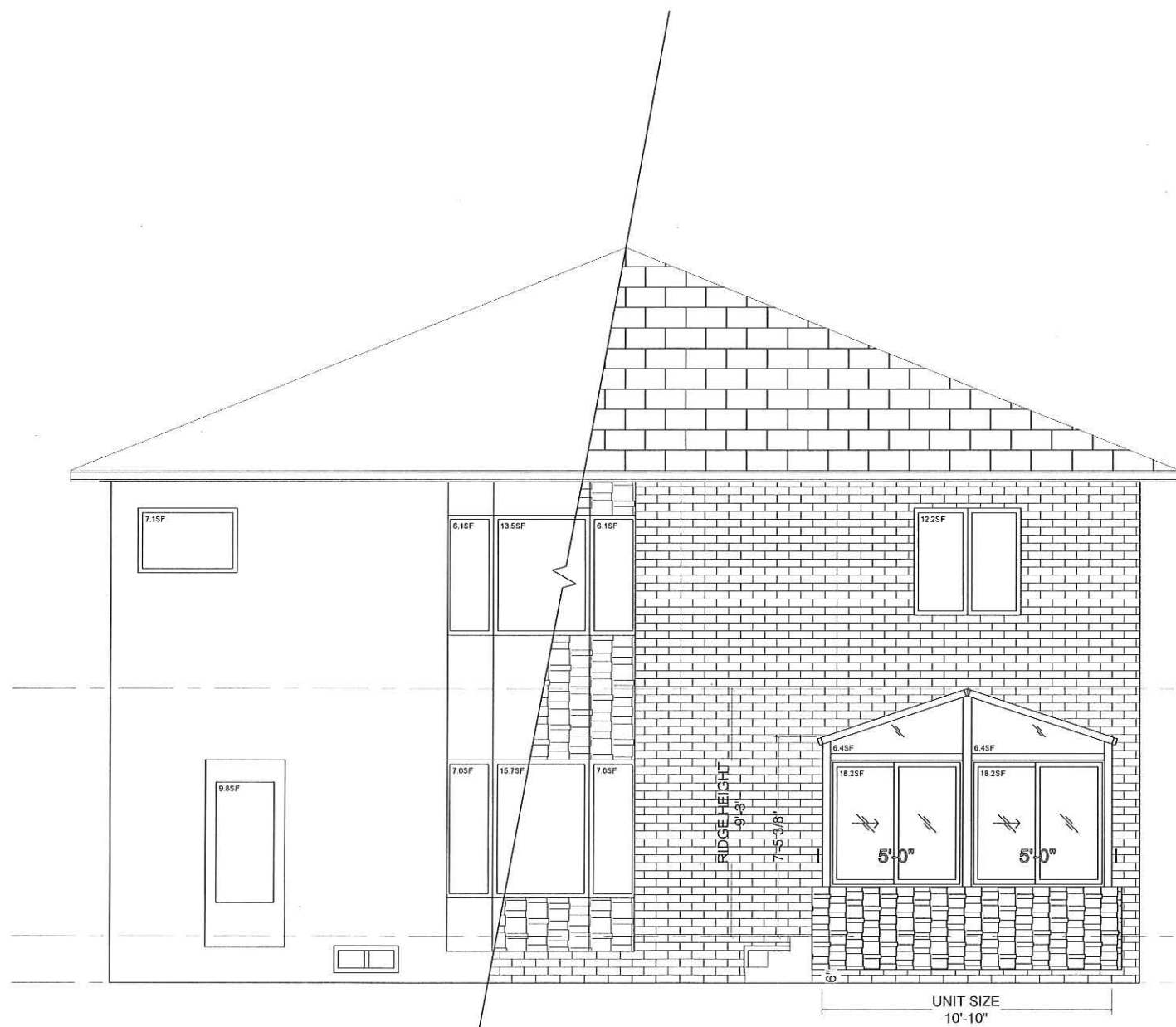
Spatial Calculations

Exposing Building Face	820.22 S.F.
	76.20 S.M.

Portion Wall Area

Limiting Distance	9.1M
Max. % Openings	56%
Openings Allowed	459.32 S.F.
Openings Provided	74.3 S.F.

West/Side Elevation



GLAZED OPENING CALCULATIONS

PER O.B.C. TABLE 9.10.15.4

South Elevation

#	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F)
1	Existing		84.5
1	New		49.2

Spatial Calculations

Exposing Building Face	723.4 S.F.
	67.2 S.M.

Portion Wall Area _____

Limiting Distance	4.9M
Max. % Openings	28%
Openings Allowed	202.5 S.F.
Openings Provided	133.7 S.F.

Peak Height 11' - 0"

Exist/Addition Finished Floor 1' - 9"

Grade 0' - 0"

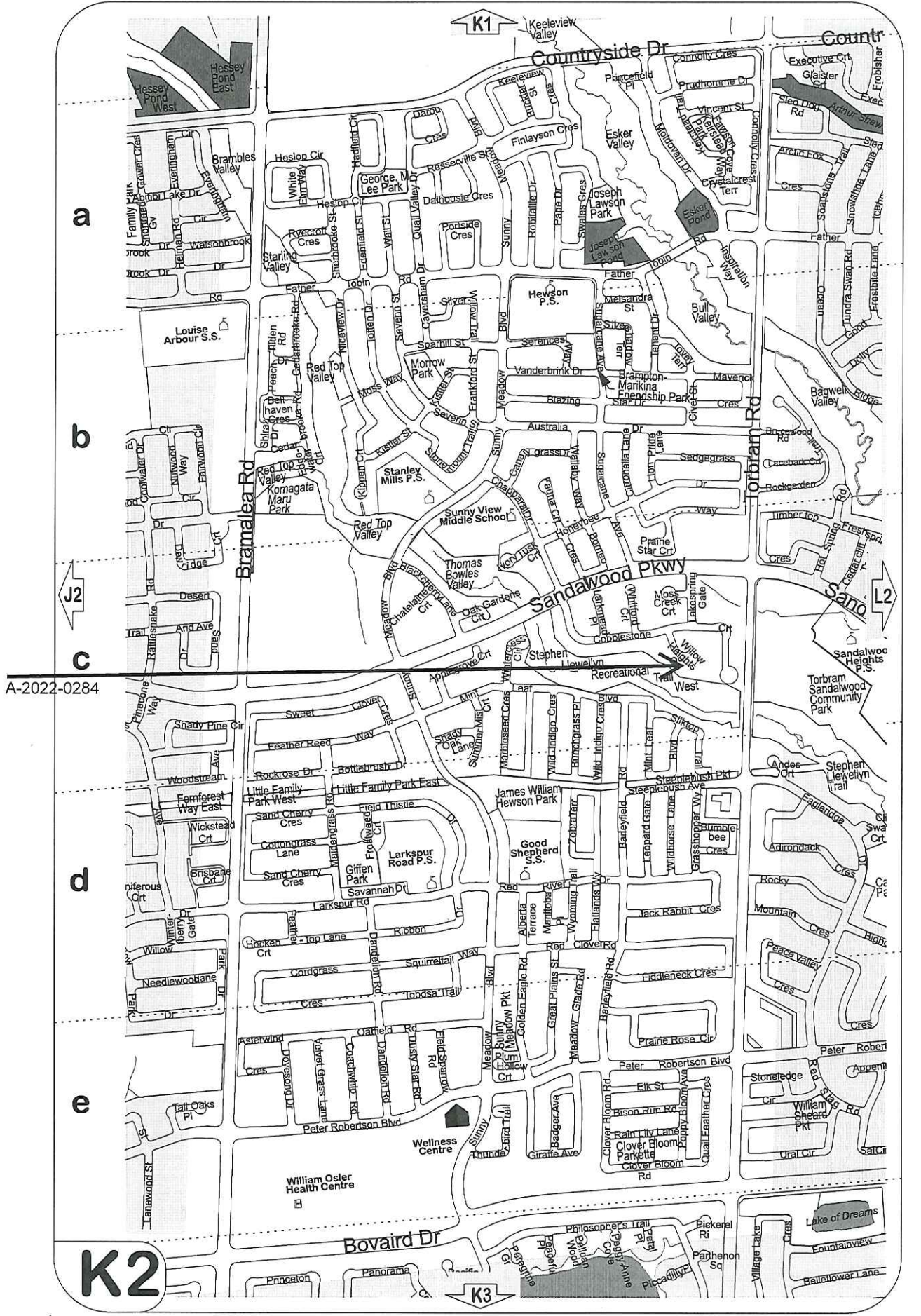
South/Rear Elevation

Project Name
Rayman and Ivy Alilain
22 Willow Heights Court, Brampton

Sheet No.

Scale 1:50 Date CONSTANT Revision # VARIABLE Revision Date VARIABLE

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A-2022-0284

K2

K1

L2

K3