

APPLICATION # A-2022-0296
WARD 6

APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **ASWIN SANZGIRI AND SANIA SANZGIRI** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Lot 231, Plan 43M-2058 municipally known as **57 HAWTREY ROAD**, Brampton;

AND WHEREAS the applicant are requesting the following variance(s):

1. To permit a rear yard setback of 2.5m (8.20 ft.) for a deck off the main floor whereas the by-law requires a minimum rear yard setback of 3.5m (11.48 ft.) to a deck off the main floor;
2. To permit an existing driveway width of 7.0m (22.97 ft.) whereas the by-law permits a maximum driveway width of 6.71m (22 ft.);
3. To permit 0.3m (0.98 ft.) of permeable landscaping adjacent to the side property line whereas the by-law requires a minimum 0.6m (1.97 ft.) wide permeable landscape strip between the driveway and the side property line.

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: _____ **NO** _____ File Number: _____
Application for Consent: _____ **NO** _____ File Number: _____

The Committee of Adjustment has appointed **TUESDAY, October 25, 2022 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant or another member of the public.

RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this 13th Day of October, 2022

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca

Under the authority of the *Emergency Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

Electronic/Hybrid Hearing Procedures How to get involved in the Hybrid Hearing

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **October 25, 2022** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

How to Participate in the Hearing:

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, October 20, 2022.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
 1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, October 20, 2022.**
 2. To participate in-person, please email the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, October 20, 2022.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, October 20, 2022.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

The City of Brampton is reviewing its Committee of Adjustment process. As a participant in this process, if you have comments or input you would like to share about your experience with the Committee of Adjustment, please email cityclerksoffice@brampton.ca to indicate your interest and you will be contacted with more information.



1601- 21 MARKBROOK LANE, TORONTO, ON, M9V 5E4 T: 1-647 967 7937 E: laxman@kalparchitect.com; archlaxmanpatel@gmail.com

AMMENDMENT LETTER


Date: October 06, 2022

To: Committee of Adjustment

Re: Application for Minor Variance
Ashwin Sanzgiri
Lot 231, Plan 43M-2058
57 Hawtrey road, Brampton

Please amend application A 2022-0296 to reflect the following

1. To permit 7.0m wide driveway and 0.3m wide permeable landscape strip where as the by-law permits a maximum width of 6.71m driveway.


Laxman Patel
Applicant/Authorized Agent



FILE NUMBER: A-2022-0296

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1.

Name of Owner(s)

ASHWIN SANZGIRI & SANIA SANZGIRI

Address

57 HAWTREY ROAD, BRAMPTON, ON, L7A5B3

Phone #

6477176679

Fax #

Email

ASHWIN.SANZGIRI@GMAIL.COM

2.

Name of Agent

LAXMAN PATEL

Address

1601-21 MARKBROOK LANE, TORONTO, ON, M9V 5E4

Phone #

6479677937

Fax #

Email

laxman@kalparchitect.com

3.

Nature and extent of relief applied for (variances requested):

1. REAR YARD SETBACK RELIEF REQUIRED FROM THE PROPOSED DECK = 2.5 m

4.

Why is it not possible to comply with the provisions of the by-law?

1. SLIGHTLY LARGER DECK SIZE IS REQUIRED TO ACCOMODATE FAMILY ENTERTAINMENT FUNCTIONS

5.

Legal Description of the subject land:

Lot Number

231

Plan Number/Concession Number

PLAN M2058

Municipal Address

57 HAWTREY ROAD, BRAMPTON

6.

Dimension of subject land (in metric units)

Frontage

12.02 M

Depth

27.00 M

Area

317.38 SQ.M.

7.

Access to the subject land is by:

Provincial Highway

☐

Municipal Road Maintained All Year

☒

Private Right-of-Way

☐

Seasonal Road

☐

Other Public Road

☐

Water

☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

1. HOUSE - GROUND COVERAGE AREA = 154.2 SQ.M. GFA= 266.17 SQ. M.

WIDTH= 9.60 m, LENGTH =19.5 m, HEIGHT= 2 STOREY

PROPOSED BUILDINGS/STRUCTURES on the subject land:

PROPOSED DECK - WIDTH 3.50 LENGTH =5.59 m, HEIGHT = 1.83 m

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback 3.87m, 5.53m

Rear yard setback 6.00 m

Side yard setback 1.25m, 1.35m

Side yard setback 0.64m

PROPOSED

Front yard setback 3.87m, 5.53m

Rear yard setback 2.50m

Side yard setback 1.25m, 1.35m

Side yard setback 0.64m

10. Date of Acquisition of subject land: ~~NA~~ 2019

11. Existing uses of subject property: RESIDENTIAL

12. Proposed uses of subject property: RESIDENTIAL

13. Existing uses of abutting properties: RESIDENTIAL

14. Date of construction of all buildings & structures on subject land: JUNE 04, 2021

15. Length of time the existing uses of the subject property have been continued: ~~JUNE 04, 2021~~ 1 YEAR

16. (a) What water supply is existing/proposed?

Municipal ☒

Well ☐

Other (specify) _____

- (b) What sewage disposal is/will be provided?

Municipal ☒

Septic ☐

Other (specify) _____

- (c) What storm drainage system is existing/proposed?

Sewers ☒

Ditches ☐

Swales ☐

Other (specify) _____

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

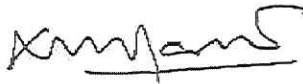
Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____



Digitally signed by Laxman Patel
DN: cn=Laxman Patel, o=LAXMAN PATEL ARCHITECT,
ou, email=archlaxmanpatel@gmail.com, c=CA
Date: 2022.09.09 10:42:40 -0400

Signature of Applicant(s) or Authorized Agent

DATED AT THE _____ CITY _____ OF _____ BRAMPTON _____

THIS _____ DAY OF _____ SEPTEMBER _____, 20 22 _____

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, LAXMAN PATEL, OF THE CITY OF TORONTO


IN THE PROVINCE OF ONTARIO SOLEMNLY DECLARE THAT:

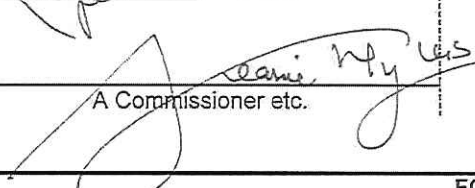
ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City of Brampton
OF Region
IN THE _____ OF
Real THIS 14th DAY OF
Sept., 20 22

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024.


Signature of Applicant or Authorized Agent


A Commissioner etc.

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

R1F-9-2556

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.



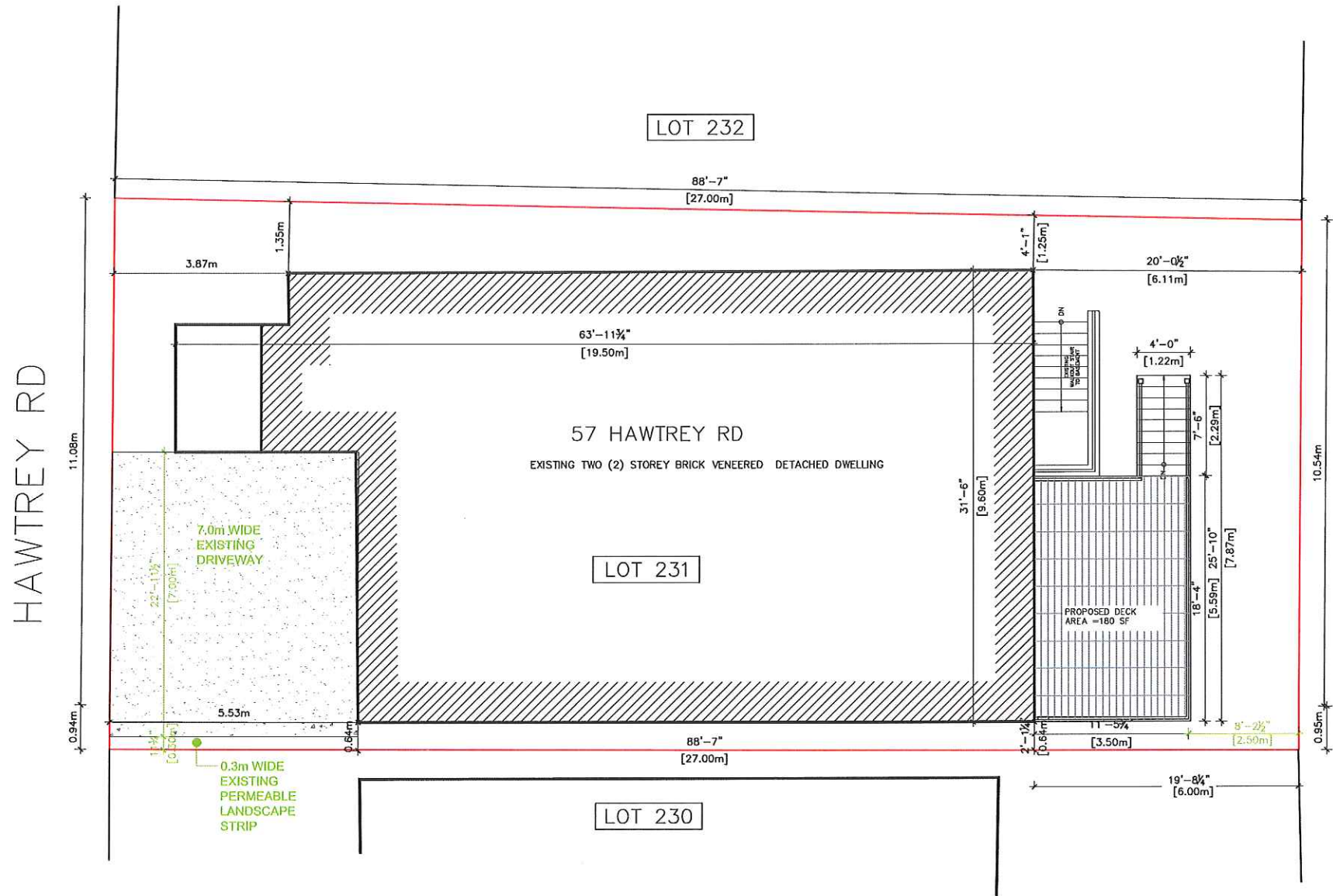
Zoning Officer

SEPT.15.22

Date

DATE RECEIVED _____

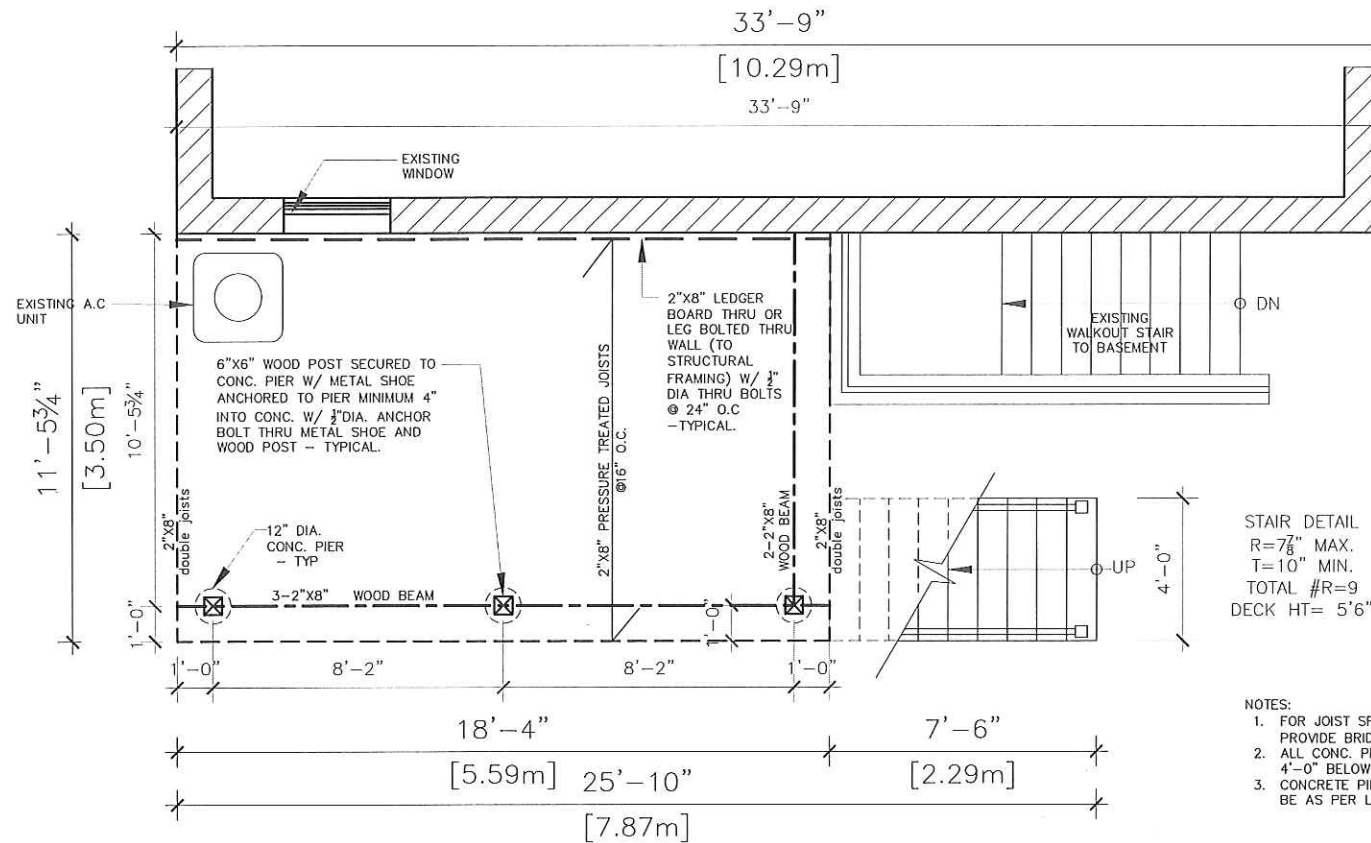
September 14, 2022



57 HAWTREY ROAD, BRAMPTON

SITE PLAN

SCALE : $\frac{3}{32}$ "=1'0" DATE: 2022-10-06



1 DECK FOUNDATION PLAN
A02 SCALE: 1/4"=1'-0"



1601-21 MARKBROOK LANE, TORONTO, ON, M9V 5E4
647 967 7937 E: LAXMAN@KALPARCHITECT.COM

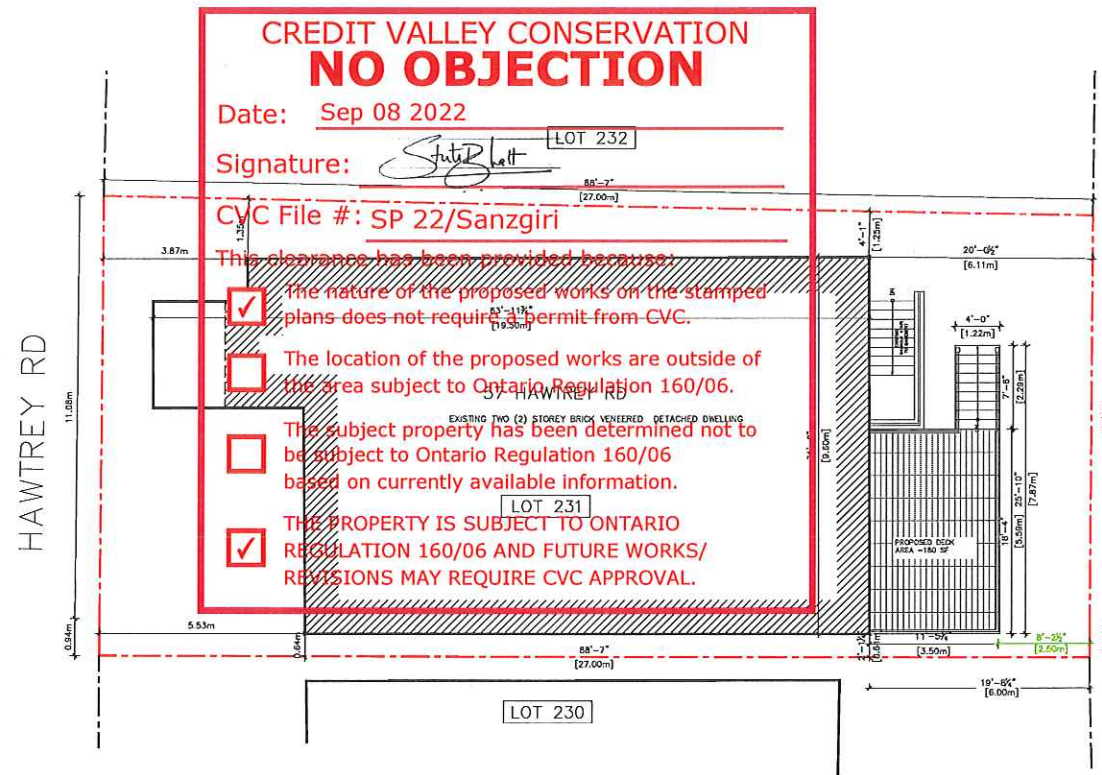
ALL INFORMATION AND DIMENSIONS MUST BE CHECKED AND VERIFIED ON SITE. DO NOT SCALE DRAWINGS. ANY VARIANCES OR DISCREPANCIES MUST BE REPORTED TO THE DESIGNER PRIOR TO COMMENCEMENT OF THE WORK. ALL WORKS SHALL BE CARRIED OUT IN ACCORDANCE WITH ALL BY-LAWS AND CODES HAVING JURISDICTION OVER THIS CONSTRUCTION SITE. THE DESIGN AND CONTRACT DOCUMENTS ARE THE COPYRIGHT OF THE DESIGNER AND MAY NOT BE REPRODUCED, REUSED OR ALTERED WITHOUT THE WRITTEN PERMISSION OF THE DESIGNER.

3			
2			
1	LP	ISSUED FOR PERMIT	2022.09.06
NO.	BY	DESCRIPTION	DATE

PROJECT:
PROPOSED DECK
57 HAWYREY RD, BRAMPTON, ON
DRAWING TITLE:
DECK PLANS

DRAWN BY:	LP
CHECKED BY:	LP
DATE:	2022.09.01
SCALE:	AS NOTED
DRAWING NO.	A02
	N





1
A01

SITE PLAN
SCALE: 3/32"=1'-0"




1601-21 MARKBROOK LANE, TORONTO, ON, M9V 5E4
647 967 7937 E: LAXMAN@KALPARCHITECT.COM

ALL INFORMATION AND DIMENSIONS MUST BE CHECKED AND VERIFIED ON SITE. DO NOT SCALE DRAWINGS. ANY VARIANCES OR DISCREPANCIES MUST BE REPORTED TO THE DESIGNER PRIOR TO COMMENCEMENT OF THE WORK. ALL WORKS SHALL BE CARRIED OUT IN ACCORDANCE WITH ALL BY-LAWS AND CODES HAVING JURISDICTION OVER THIS CONSTRUCTION SITE. THE DESIGN AND CONTRACT DOCUMENTS ARE THE COPYRIGHT OF THE DESIGNER AND MAY NOT BE REPRODUCED, REUSED OR ALTERED WITHOUT THE WRITTEN PERMISSION OF THE DESIGNER.

NO.	BY	DESCRIPTION	DATE
3			
2	LP	ISSUED FOR Minor Variance CoA	2022.09.08
1	LP	ISSUED FOR PERMIT	2022.09.08

PROJECT:
PROPOSED DECK
57 HAWTREY RD, BRAMPTON, ON
DRAWING TITLE:
SITE PLAN

DRAWN BY:	LP
CHECKED BY:	LP
DATE:	2022.09.01
SCALE:	AS NOTED
DRAWING NO.	A01
	

SURVEYOR'S REAL PROPERTY REPORT
PART 1
PLAN OF LOTS 230 AND 231
PLAN 43M-2058
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEL

SCALE 1:300
 10m 5m 0 10m 20metres

R-PE SURVEYING LTD., O.L.S.

METRIC

DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

NOTES

- DENOTES MONUMENT FOUND
- PB DENOTES PLASTIC BAR
- D.U.C. DENOTES DWELLING UNDER CONSTRUCTION
- P.I.N. DENOTES PROPERTY IDENTIFIER NUMBER
- P DENOTES PORCH
- TOW DENOTES TOP OF WALL ELEVATION

ALL FOUND MONUMENTS BY RODY PENTEK & EDWARD SURVEYING LTD., O.L.S.

ALL TIES TO CONCRETE FOUNDATIONS

BEARINGS ARE GRID AND ARE REFERRED TO THE NORTH LIMIT OF HAWTREY ROAD AS SHOWN ON PLAN 43M-2058 HAVING A BEARING OF N73°36'20"W.

PART 2 (SURVEY REPORT)

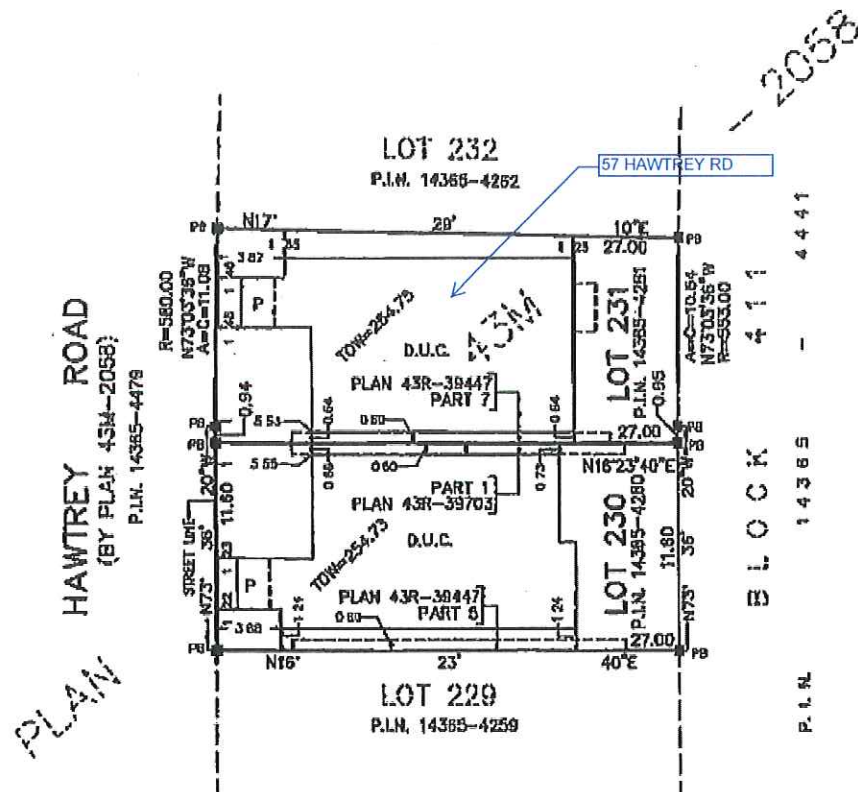
REGISTERED EASEMENTS AND/OR RIGHT-OF-WAYS: NONE
 THIS PLAN DOES NOT CERTIFY COMPLIANCE WITH ZONING BY-LAWS

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
 - THE SURVEY WAS COMPLETED ON THE 12th DAY OF NOVEMBER, 2020.
- DATE NOVEMBER 26, 2020.

T. Singh
 T. SINGH
 ONTARIO LAND SURVEYOR



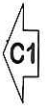
THIS REPORT WAS PREPARED FOR
 OPUS HOMES
 AND THE UNDERSIGNED ACCEPTS NO
 RESPONSIBILITY FOR USE BY OTHER PARTIES
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 Website: www.r-pe.ca
 DRAWN: V.K. CHECKED: G.Y./T.S.
 JOB No. 18-279 CAD FILE No. 2058-230

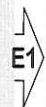
18-279 *43M-2058 L230+231*



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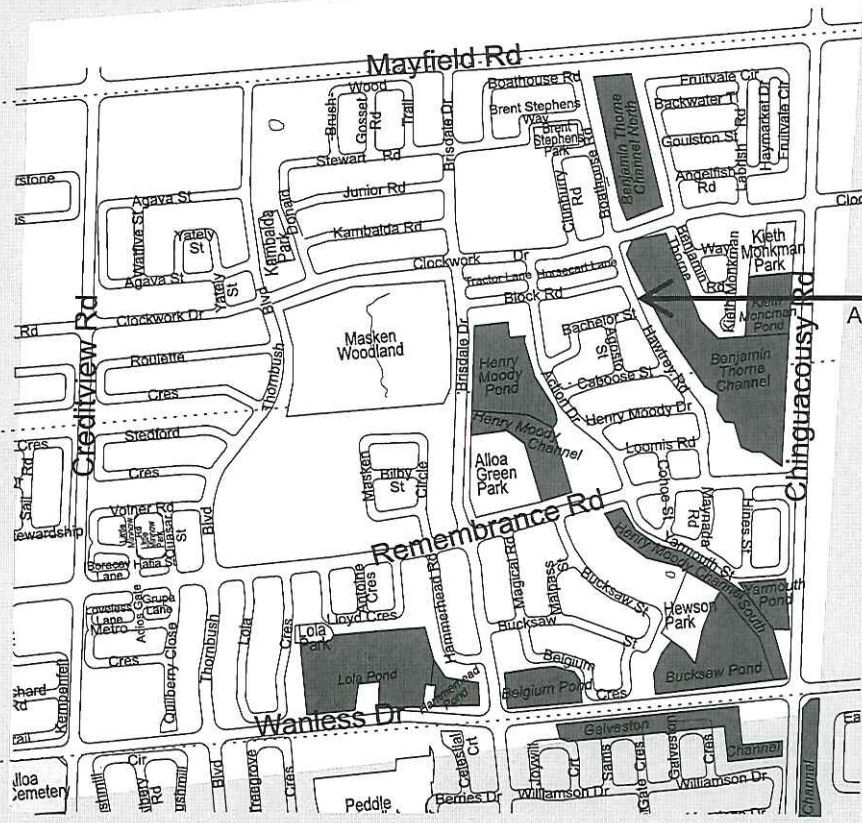
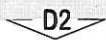


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A-2022-0296

D1



Hewson Pond