

**APPLICATION # A-2022-0311**  
**WARD 6**

**APPLICATION FOR MINOR VARIANCE**

WHEREAS an application for minor variance has been made by **PHARAMESAN MEHALA** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Lot 130, Plan 43M-2022 municipally known as **11 JEMIMA ROAD**, Brampton;

AND WHEREAS the applicant is requesting the following variance(s):

1. To permit an as-built above grade door in the side wall where a minimum side yard width of 0.65m (2.13 ft.) is provided extending from the front wall of the dwelling up to the door, whereas the by-law does not permit a door in the side wall unless there is a minimum side yard width of 1.2m (3.94 ft.) extending from the front wall of the dwelling up to and including the door;
2. To permit 0.0m of permeable landscaping between the driveway and the side lot line whereas the by-law requires a minimum of 0.6m (1.97 ft.) of permeable landscaping between the driveway and the side lot line.

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: _____	NO	File Number: _____
Application for Consent: _____	NO	File Number: _____

The Committee of Adjustment has appointed **TUESDAY, October 25, 2022 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

**IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT.** This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant or another member of the public.

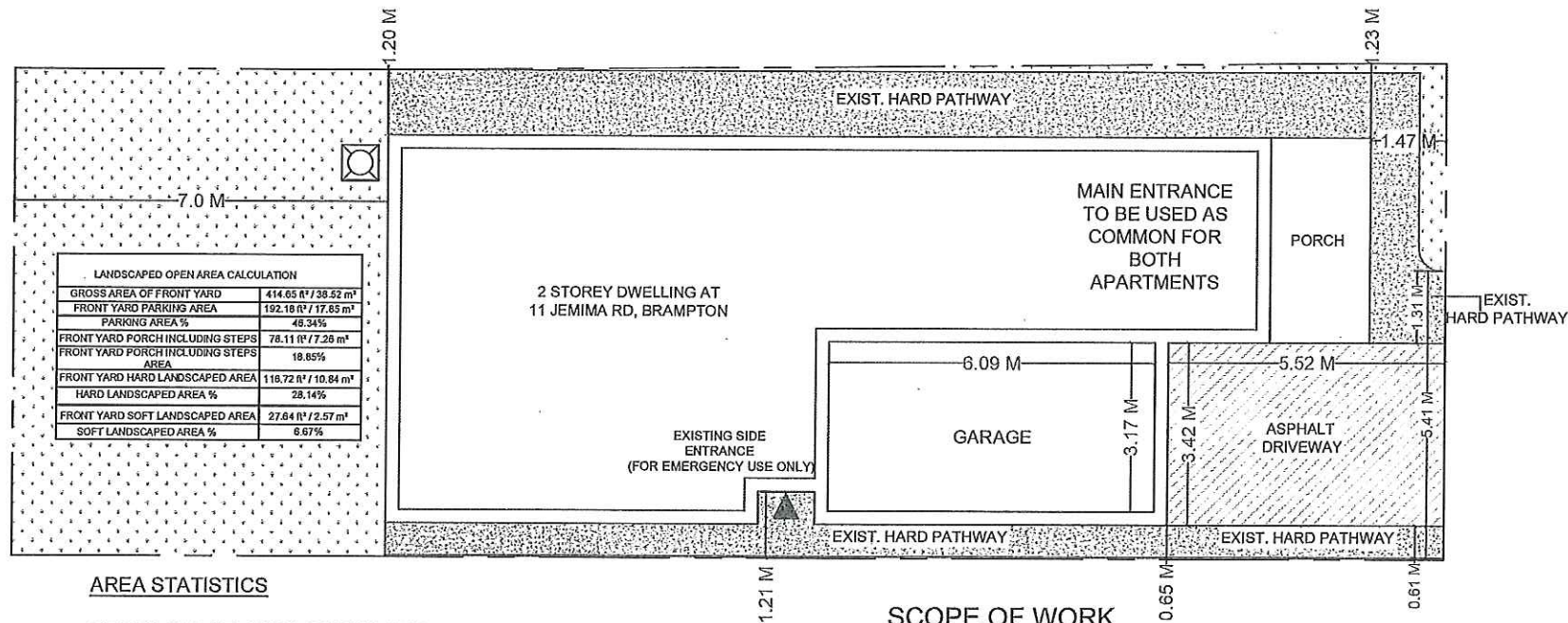
**RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.**

**PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC**

DATED at Brampton Ontario, this 13th Day of October, 2022

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer  
Committee of Adjustment, City Clerk's Office,  
Brampton City Hall, 2 Wellington Street West,  
Brampton, Ontario L6Y 4R2  
Phone: (905)874-2117  
Fax: (905)874-2119  
[jeanie.myers@brampton.ca](mailto:jeanie.myers@brampton.ca)



#### AREA STATISTICS

#### GROSS FLOOR AREA CALCULATIONS

#### PRINCIPAL RESIDENCE

EXISTING MAIN FLOOR G.F.A	= 90.04 M <sup>2</sup>
EXISTING SECOND FLOOR G.F.A	= 113.02 M <sup>2</sup>
TOTAL G.F.A	= 203.06 M <sup>2</sup>

BASEMENT G.F.A = 89.62 M<sup>2</sup>

▲ ENTRANCE / EGRESS

#### GENERAL NOTES:

DRAWINGS ARE TO BE READ NOT SCALED.  
CONTRACTOR MUST VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR THE SAME.  
REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE COMMENCING THE WORK. THE DRAWINGS AND DOCUMENTS PROVIDED HERE WITHIN ARE THE EXCLUSIVE PROPERTY OF MECHWAYS INC. REPRODUCTION OF THE DOCUMENTS PROVIDED IS PROHIBITED WITHOUT THE CONSENT OF THE DESIGNER.  
ALL DESIGN AND CONSTRUCTION DOCUMENTATION ARE FINAL UNLESS REVISED BY THE DESIGNER. IF ANY DISCREPANCIES ARE DISCOVERED HERE WITHIN, THE DESIGNER SHALL BE NOTIFIED.

SEAL:



1 ISSUED FOR BUILDING PERMIT JUNE 21, 2022

NO. DESCRIPTION DATE

ENGINEER:

**Mechways Inc.**

ADDRESS : 2751 THAMESBATE DRIVE  
MISSISSAUGA, ON. L4Y 1G5  
TEL. : 416-627-4100  
EMAIL : INFO@MECHWAYS.COM  
WEBSITE : WWW.MECHWAYS.COM

PROJECT:

TWO STOREY DWELLING UNIT AT  
11 JEMIMA RD,  
BRAMPTON

SHEET TITLE:

SITE PLAN

CHECKED: SS  
DRAWN: MA  
SCALE: 1:100  
DATE: JUNE 21, 2022

DRAWING:

A0.1



Under the authority of the *Emergency Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

**Electronic/Hybrid Hearing Procedures**  
**How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **October 25, 2022** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

**How to Participate in the Hearing:**

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, October 20, 2022.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
  1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at [cityclerksoffice@brampton.ca](mailto:cityclerksoffice@brampton.ca) or [jeanie.myers@brampton.ca](mailto:jeanie.myers@brampton.ca) by **4:30 pm Thursday, October 20, 2022.**
  2. To participate in-person, please email the Secretary-Treasurer at [cityclerksoffice@brampton.ca](mailto:cityclerksoffice@brampton.ca) or [jeanie.myers@brampton.ca](mailto:jeanie.myers@brampton.ca) by **4:30 pm Thursday, October 20, 2022.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, October 20, 2022.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:  
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or  
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to [cityclerksoffice@brampton.ca](mailto:cityclerksoffice@brampton.ca) or [jeanie.myers@brampton.ca](mailto:jeanie.myers@brampton.ca). If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

**NOTE** Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, [www.brampton.ca](http://www.brampton.ca). By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

***The City of Brampton is reviewing its Committee of Adjustment process. As a participant in this process, if you have comments or input you would like to share about your experience with the Committee of Adjustment, please email [cityclerksoffice@brampton.ca](mailto:cityclerksoffice@brampton.ca) to indicate your interest and you will be contacted with more information.***

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION  
Minor Variance or Special Permission  
(Please read Instructions)

**NOTE:** It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. Name of Owner(s) Pharamesan Mehala  
Address 11 JEMIMA RD. Brampton, L7A 4T6  
  
Phone # 647 686 7060 Fax #   
Email pveeresu@yahoo.ca

2. Name of Agent Valiuddin Mohammed  
Address 2751 Thamesgate dr, Mississauga, L4T 1G5  
  
Phone # 647 786 5940 Fax #   
Email info@mechways.com

3. Nature and extent of relief applied for (variances requested):  
1.To allow an above grade side entrance on a recessed wall that does not / cannot provide a 1.2 m continuous path from the front of the dwelling  
2.To permit 0 metres of permeable landscaping whereas the by-law requires a minimum 0.6m wide permeable landscape area between the driveway and the side property line.

4. Why is it not possible to comply with the provisions of the by-law?  
The zoning by-law does not permit an above grade side entrance on a recessed wall that does not / cannot provide a 1.2 m continuous path from the front of the dwelling.  
2. The zoning by law requires 0.6 m wide permeable landscape area between the driveway and the side property line, whereas the site has no set back to the side lot line.

5. Legal Description of the subject land:  
Lot Number 130  
Plan Number/Concession Number 43 M 2022  
Municipal Address 11 Jemima Rd, Brampton, L7A 4T6

6. Dimension of subject land (in metric units)  
Frontage 9.15 m  
Depth 27 m  
Area 247.05 sq.m

7. Access to the subject land is by:  
Provincial Highway ☐ Seasonal Road ☐  
Municipal Road Maintained All Year ☒ Other Public Road ☐  
Private Right-of-Way ☐ Water ☐



8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

**EXISTING BUILDINGS/STRUCTURES** on the subject land: List all structures (dwelling, shed, gazebo, etc.)

A 2 storied detached dwelling with an attached garage. The Gross floor area of the principal residence is 203.06 sq m.

The gross floor area of the basement apartment is 89.62 sq m

**PROPOSED BUILDINGS/STRUCTURES** on the subject land:

There is no proposed new structure except the enlargement of a window in the basement.

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

**EXISTING**

Front yard setback	<u>1.47 m</u>
Rear yard setback	<u>7 m</u>
Side yard setback	<u>1.2 m</u>
Side yard setback	<u>0.65 m</u>

**PROPOSED**

Front yard setback	<u>1.47 m</u>
Rear yard setback	<u>7 m</u>
Side yard setback	<u>1.2 m</u>
Side yard setback	<u>0.65 m</u>

10. Date of Acquisition of subject land: 2021

11. Existing uses of subject property: Residential

12. Proposed uses of subject property: Residential

13. Existing uses of abutting properties: Residential

14. Date of construction of all buildings & structures on subject land: 2017

15. Length of time the existing uses of the subject property have been continued: 2017

16. (a) What water supply is existing/proposed?

Municipal ☒ Other (specify) \_\_\_\_\_  
Well ☐

- (b) What sewage disposal is/will be provided?

Municipal ☒ Other (specify) \_\_\_\_\_  
Septic ☐

- (c) What storm drainage system is existing/proposed?

Sewers ☒ Other (specify) \_\_\_\_\_  
Ditches ☐  
Swales ☐

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # \_\_\_\_\_ Status \_\_\_\_\_

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

\_\_\_\_\_  
Signature of Applicant(s) or Authorized Agent

DATED AT THE \_\_\_\_\_ City \_\_\_\_\_ OF \_\_\_\_\_ Mississauga \_\_\_\_\_

THIS 1 DAY OF September, 2022.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Valiuddin Mohammed, OF THE city OF Mississauga

IN THE Region OF Peel SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

city OF Toronto

IN THE Province OF \_\_\_\_\_

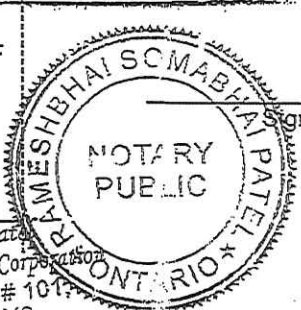
Ontario THIS 6<sup>th</sup> DAY OF \_\_\_\_\_

September, 2022

Valiuddin  
Mohammed

Digitally signed by Valiuddin  
Mohammed  
DN: cn=Valiuddin Mohammed,  
c=CA, o=Mechways Inc.,  
email=info@mechways.com  
Date: 2022.09.12 10:54:30 -04'00'

\_\_\_\_\_  
Signature of Applicant or Authorized Agent



Present Official Plan Designation: \_\_\_\_\_

Present Zoning By-law Classification: \_\_\_\_\_

R1F-9.0 – Section 2452

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

J. Chau  
Zoning Officer

Septemeber 23, 2022

\_\_\_\_\_  
Date

DATE RECEIVED

September 23, 2022



**SURVEYOR'S REAL PROPERTY REPORT  
PART 1  
PLAN OF LOTS 125, 126, 127,  
128, 129, 130, 131, 132 AND 133  
PLAN 43M-2022**

**CITY OF BRAMPTON  
REGIONAL MUNICIPALITY OF PEEL**

SCALE 1:300  
10m 5m 0 10m 20metres

RADY-PENTEK & EDWARD SURVEYING LTD., O.L.S.

METRIC

DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN  
BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

ASSOCIATION OF ONTARIO  
LAND SURVEYORS  
PLAN SUBMISSION FORM  
2026013



**FILE COPY**

THIS REPORT WAS PREPARED FOR  
MATTAMY HOMES  
AND THE UNDERSIGNED ACCEPTS NO  
RESPONSIBILITY FOR USE BY OTHER PARTIES.

©RADY-PENTEK & EDWARD SURVEYING LTD., O.L.S. 2017.

**NOTES**

- M DENOTES MONUMENT FOUND
- FB DENOTES PLASTIC BAR
- D.U.C. DENOTES DWELLING UNDER CONSTRUCTION
- P.I.N. DENOTES PROPERTY IDENTIFIER NUMBER
- P DENOTES PORCH
- S/I DENOTES SUBJECT TO AN EASEMENT AS SET OUT IN PR3072182

ALL FOUND MONUMENTS BY RADY-PENTEK & EDWARD  
SURVEYING LTD., O.L.S.

ALL TIES TO CONCRETE FOUNDATIONS.

BEARINGS ARE GRID AND ARE REFERRED TO THE  
SOUTHEAST LIMIT OF JEMIMA ROAD AS SHOWN ON  
PLAN 43M-2022 HAVING A BEARING OF N38°11'15"E.

**PART 2 (SURVEY REPORT)**

REGISTERED EASEMENTS AND/OR RIGHT-OF-WAYS: PART OF LOTS 126,  
127, 128, 129, 130, 131, 132 AND 133, DESIGNATED AS PARTS 47 TO 56,  
INCLUSIVE, PLAN 43R-37477 ARE SUBJECT TO AN EASEMENT AS SET  
OUT IN PR3072182.

THIS PLAN DOES NOT CERTIFY COMPLIANCE WITH ZONING BY-LAWS

**SURVEYOR'S CERTIFICATE**

I CERTIFY THAT:

1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE  
WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND  
TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON THE 24<sup>th</sup> DAY OF AUGUST, 2017.

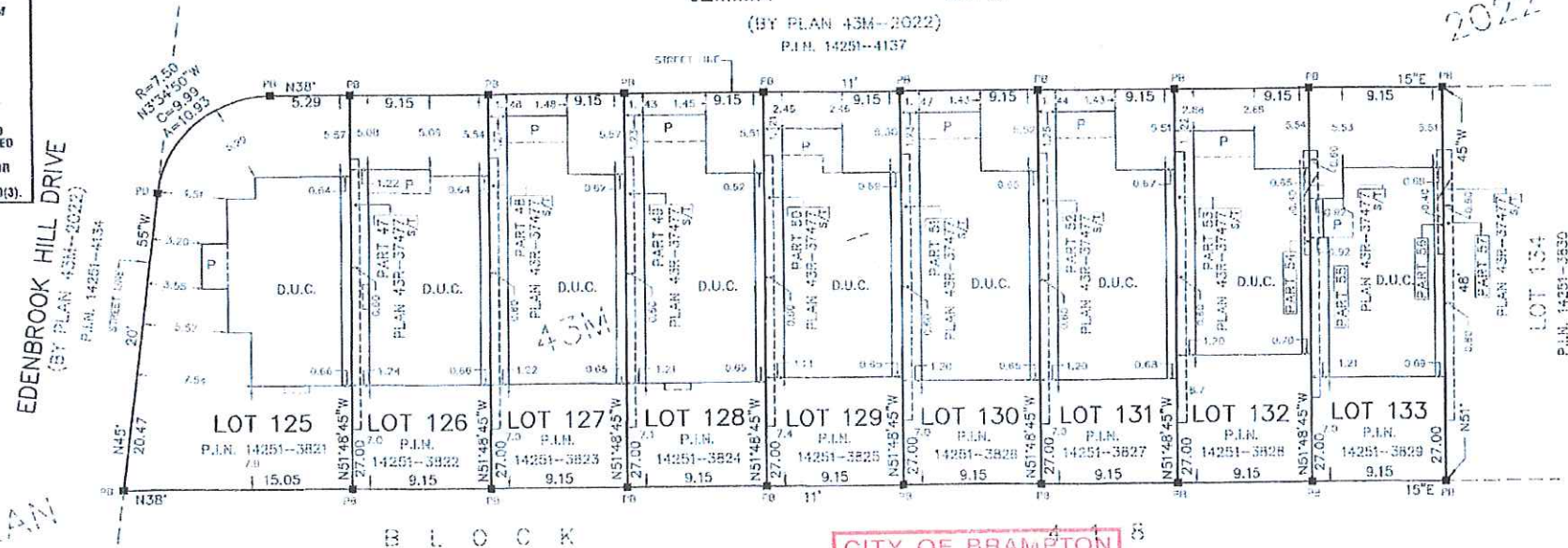
DATE: Aug. 25, 2017.

T. SINGH  
T. SINGH  
ONTARIO LAND SURVEYOR

**JEMIMA ROAD**

(BY PLAN 43M-2022)

P.I.N. 14251-4137



**DOCUMENTS RELEASED PURSUANT TO A REQUEST  
UNDER THE  
MUNICIPAL FREEDOM OF INFORMATION AND  
PROTECTION OF PRIVACY ACT R.S.O. 1990c. M56**

**COPYRIGHT ACT R.S., 1985, c. C-42 APPLIES TO THE  
USE AND REPRODUCTION OF THESE DOCUMENTS**

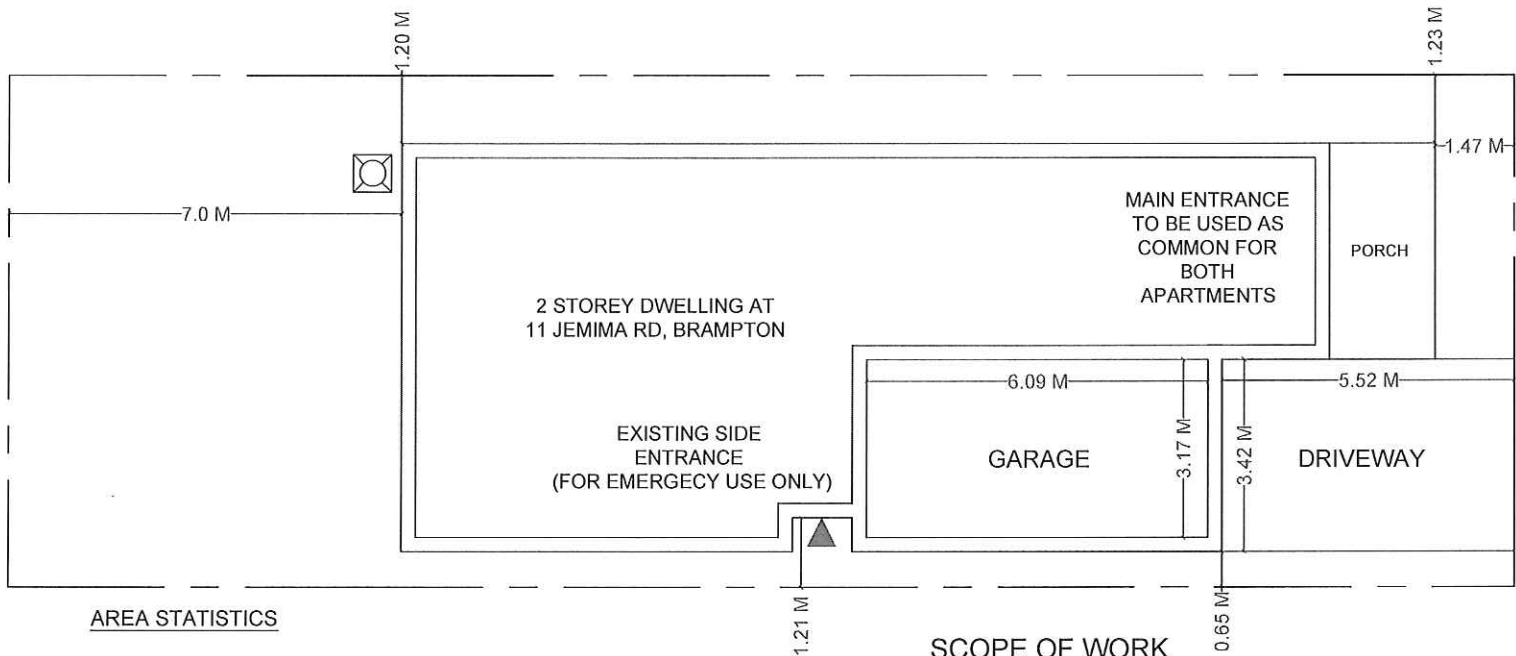
CITY OF BRAMPTON  
BUILDING DIVISION  
ZONING REVIEWED  
PART 2  
DRAWINGS  
MAY 10 2019  
BY BH  
BENNETT HANNAM

RADY-PENTEK & EDWARD SURVEYING LTD.  
ONTARIO LAND SURVEYORS  
643 Chrislea Road, Suite 7  
Woodbridge, Ontario L4L 8A3  
Tel. (416) 635-5000 Fax (416) 635-5001  
Tel. (905) 264-0881 Fax (905) 264-2099  
Website: www.r-pe.ca  
DRAWN: V.K.  
CAD FILE No. 2022-125  
CHECKED: S.G./T.S.  
JOB No. 16-202

\*16-202\* \*43M-2022 L125-133\*







#### AREA STATISTICS

#### GROSS FLOOR AREA CALCULATIONS

<u>PRINCIPAL RESIDENCE</u>	
EXISTING MAIN FLOOR G.F.A	.....
EXISTING SECOND FLOOR G.F.A	.....
TOTAL G.F.A	.....
BASEMENT G.F.A	.....



#### SCOPE OF WORK

- ① LEGALIZATION OF AS BUILT BASEMENT APARTMENT
- ② ENLARGEMENT OF ONE WINDOW
- ③ LEGALIZATION OF AS BUILT SIDE ENTRANCE

#### GENERAL NOTES:

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SEAL:



1	ISSUED FOR BUILDING PERMIT	JUNE 21, 2022
NO.	DESCRIPTION	DATE

ENGINEER:

**Mechways Inc.**

ADDRESS : 2751 THAMESGATE DRIVE  
MISSISSAUGA, ON. L4T 1G5  
TEL. : 416-627-4100  
EMAIL : INFO@MECHWAYS.COM  
WEBSITE : WWW.MECHWAYS.COM

PROJECT:

TWO STOREY  
DWELLING UNIT AT  
11 JEMIMA RD,  
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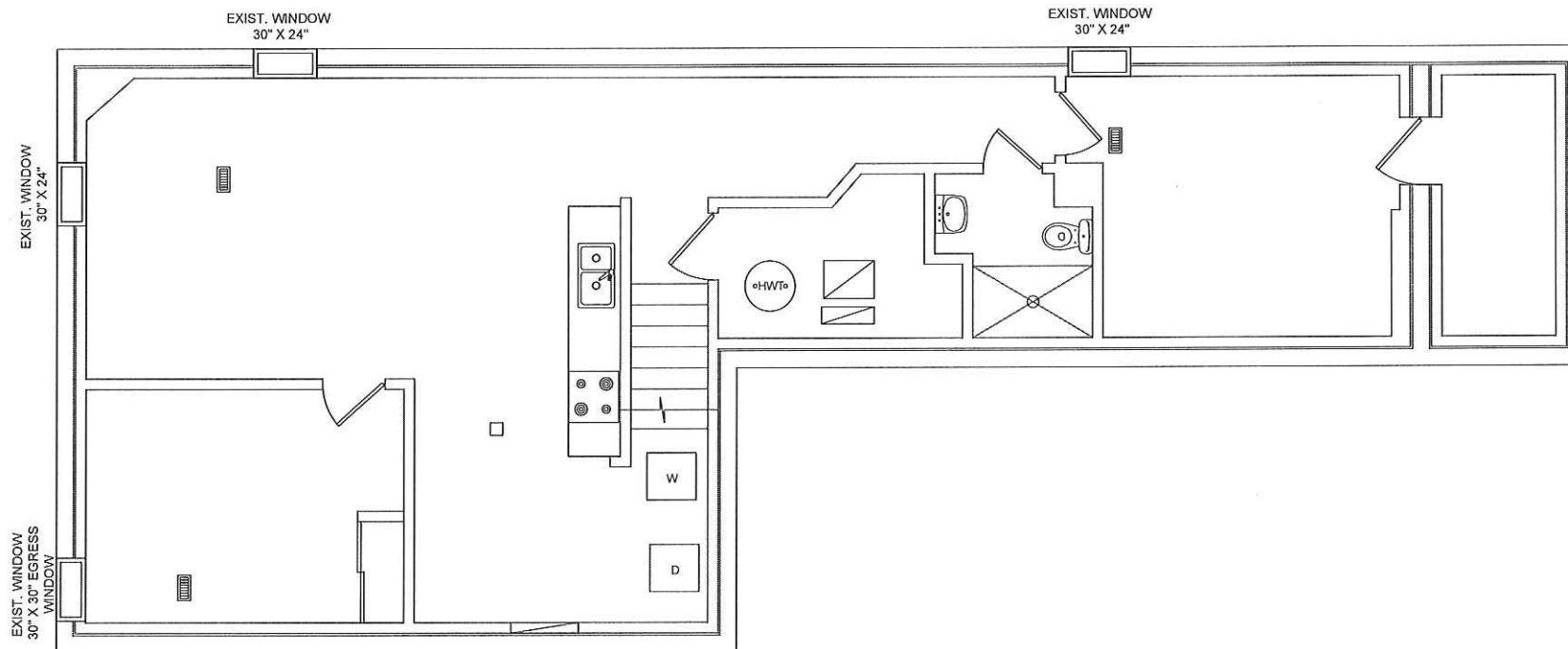
SHEET TITLE:

**SITE PLAN**

CHECKED: SS  
DRAWN: MA  
SCALE: 1:100  
DATE: JUNE 21, 2022

DRAWING:

**AO.1**



# GENERAL NOTES:

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 HERE WITHIN, THE DESIGNER SHALL  
 BE NOTIFIED.

SEAL:



1	ISSUED FOR BUILDING PERMIT	JUNE 21, 2022
NO.	DESCRIPTION	DATE

ENGINEER:

**Mechways Inc.**

ADDRESS : 2751 THAMESGATE DRIVE  
 MISSISSAUGA, ON. L4T 1G6  
 TEL. : 416-627-4100  
 EMAIL : INFO@MECHWAYS.COM  
 WEBSITE : WWW.MECHWAYS.COM

PROJECT:

TWO STOREY  
 DWELLING UNIT AT  
 11 JEMIMA RD,  
 BRAMPTON

SHEET TITLE:
















**EXIST.  
 BASEMENT PLAN**

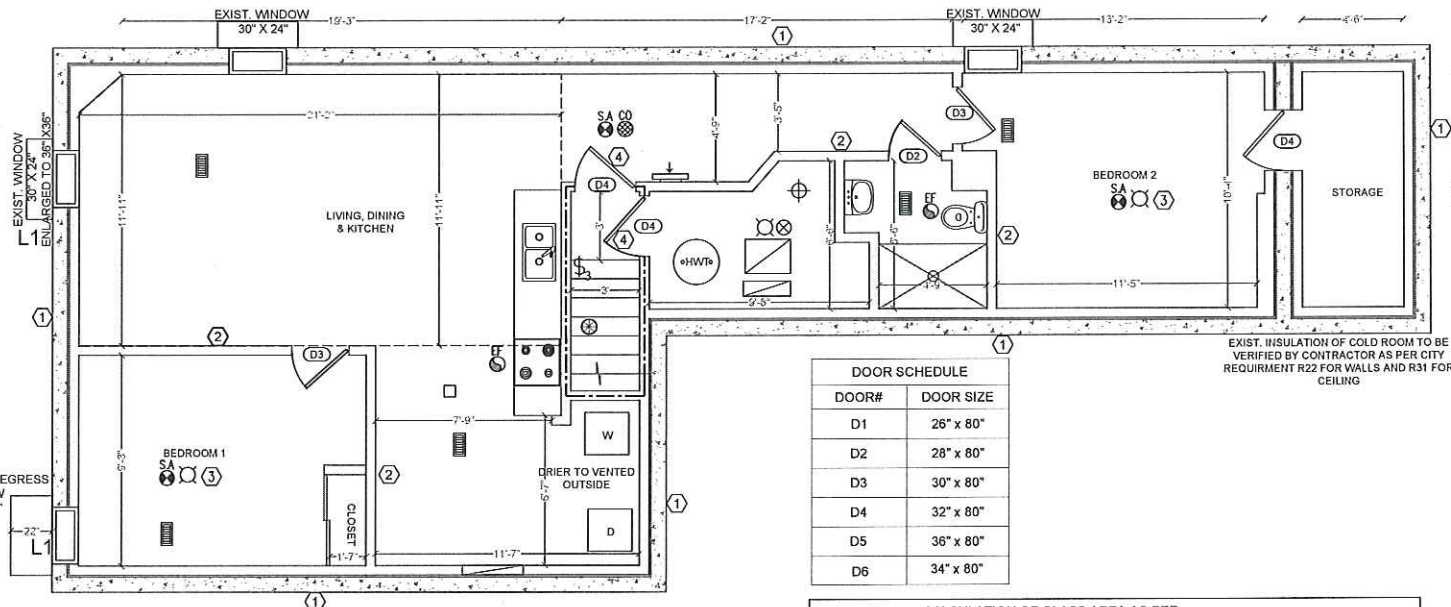
CHECKED: SS  
 DRAWN: MA  
 SCALE: 1/8" = 1'  
 DATE: JUNE 21, 2022

DRAWING:

**A1.1**



-  EXISTING FOUNDATION WALL  
 DRY WALL  
 PROVIDE 30 MINUTE F.R.R. (SB-3 Witc TYPE WALL ASSEMBLY CONSISTING OF 38mm x 89 mm WOOD STUDS SPACED 406 mm O.C.W/ ROCKWOOL INSULATION IN BETWEEN STUDS AND 12.7 mm THICK REGULAR GYPSUM BOARD ON BOTH SIDES) TO NEW EXISTING WALL  
 DUCT-TYPE SMOKE DETECTOR TO BE INSTALLED IN THE SUPPLY OR RETURN AIR DUCT SYSTEM SERVING THE ENTIRE BUILDING THAT MUST TURN OFF THE FUEL SUPPLY AND ELECTRICAL POWER TO THE HEATING SYSTEM UPON ACTIVATION  
 SMOKE ALARMS ARE INSTALLED IN EVERY DWELLING UNIT AND COMMON AREAS IN CONFORMANCE WITH OBC 9.10.19. SMOKE ALARM SHALL BE WIRED AND INTERCONNECTED FOR THE ENTIRE BUILDING  
 CARBON MONOXIDE ALARM  
 SPRINKLER  
 PROP. HORIZONTAL SEPARATION 15 MINUTE F.R.R. (EXISTING 1/2" GYPSUM BOARD CEILING)  
 EXHAUST FAN  
 EMERGENCY LIGHT  
 SAR (SUPPLY AIR REGISTER) 10" X 4"  
 RAG (RETURN AIR GRILLE) 10" X 6"  
 PROVIDE 30 MINUTE F.R.R. (2 NOS TYPE 'X' 5/8" BOARD) UNDER THE STAIR SOFFIT/CEILING AND ON THE WALLS ENCLOSING STAIRWAYS CONNECTING BASEMENT TO MAIN FLOOR  
 20 MIN. FIRE RESISTANCE RATED DOOR FOR COMMON AREA AND BETWEEN BASEMENT APARTMENT AND PRINCIPAL RESIDENCE WITH SELF CLOSING DEVICE  
 2-2"x8" WOOD LINTEL & 1-3.5"x3.5"x0.25" STEEL LINTEL MINIMUM BEARING OF STEEL LINTEL 150 mm EACH SIDE. MINIMUM BEARING OF WOOD LINTEL 90 mm ON EACH SIDE



DOOR SCHEDULE	
DOOR#	DOOR SIZE
D1	26" x 80"
D2	28" x 80"
D3	30" x 80"
D4	32" x 80"
D5	36" x 80"
D6	34" x 80"

CALCULATION OF GLASS AREA AS PER COMPLIANCE ALTERNATIVE C107 PART 11 OF OBC 2012				
ROOM TYPE	ROOM AREA (SFT)	GLASS AREA REQUIRED (SFT)	WINDOW SIZE	EXIST. / PROP. GLASS AREA (SFT)
LIVING, DINING & KITCHEN	250.67	@ 5% =12.53	36" X 36" + 30" X 24"	12.60
BEDROOM 1	108.29	@ 2.5% =2.70	30" X 30"	5.62
BEDROOM 2	124.87	@ 2.5% =3.12	30" X 24"	4.50

**PROP. BASEMENT PLAN**

.....  
 CEILING HEIGHT = 7'-7"  
 CEILING HEIGHT U/S OF DUCT = 6'-9"  
 CEILING HEIGHT SHALL NOT BE LESS THAN 6'-5" OVER ALL REQUIRED ROOM AREAS, UNDER BEAMS, DUCTS AND ANY LOCATION NORMALLY USED AS A MEANS OF EGRESS

**GENERAL NOTES:**  
 DRAWINGS ARE TO BE READ NOT SCALE.  
 CONTRACTOR MUST VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR THE SAME.  
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1	ISSUED FOR BUILDING PERMIT	JUNE 21, 2022
NO.	DESCRIPTION	DATE

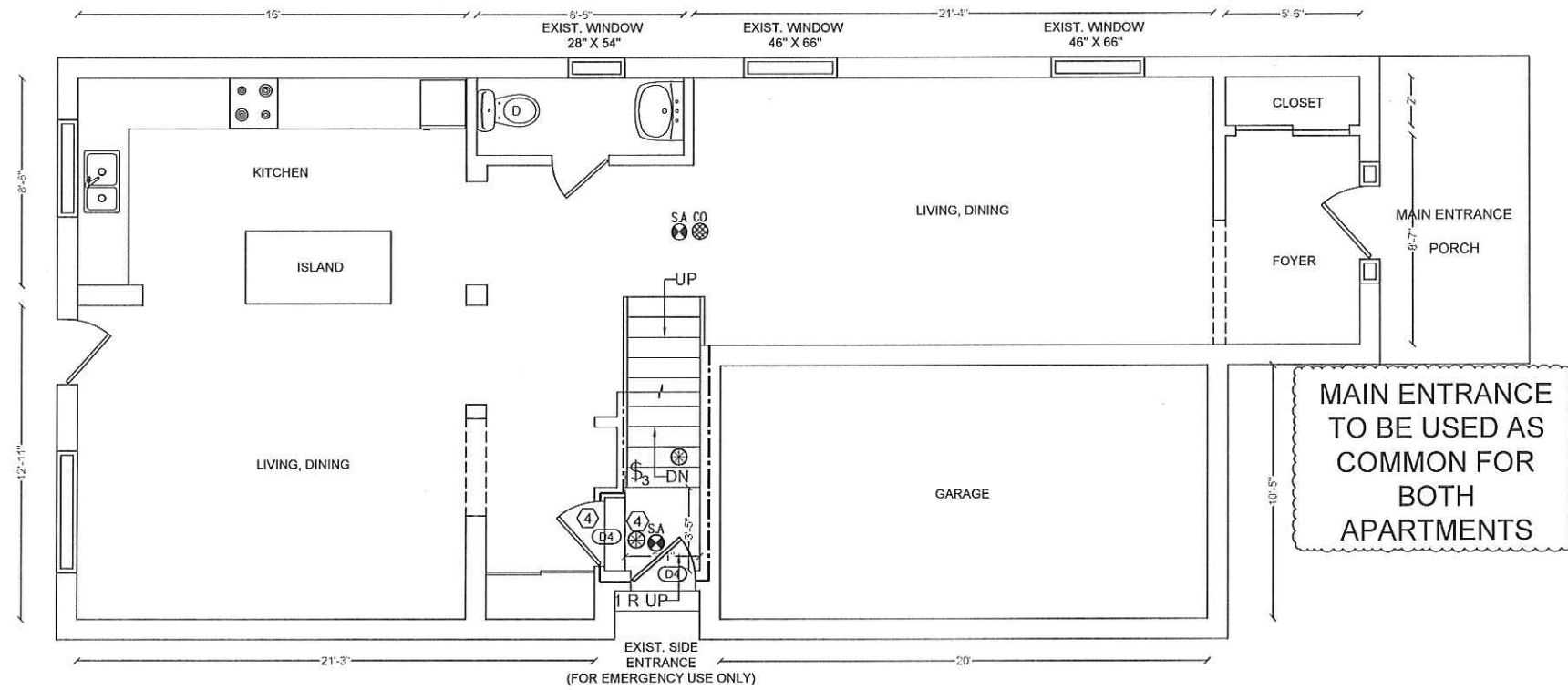
**ENGINEER:**  
  
 ADDRESS : 2751 THAMESGATE DRIVE, MISSISSAUGA, ON. L4T 1G5  
 TEL : 416-627-4100  
 EMAIL : INFO@MECHWAYS.COM  
 WEBSITE : WWW.MECHWAYS.COM

**PROJECT:**  
 TWO STOREY DWELLING UNIT AT 11 JEMIMA RD, BRAMPTON

**SHEET TITLE:**  
 PROP. BASEMENT PLAN

CHECKED: SS  
 DRAWN: MA  
 SCALE: 1/8" = 1'  
 DATE: JUNE 21, 2022

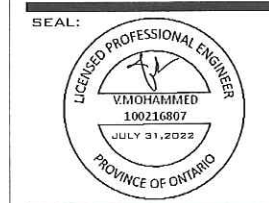
**DRAWING:**  
 A1.2



GROUND FLOOR PLAN

**GENERAL NOTES:**

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2	REVISION	JULY 31, 2022
1	ISSUED FOR BUILDING PERMIT	JUNE 21, 2022
NO.	DESCRIPTION	DATE

ENGINEER:

Mechways Inc.

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MISSISSAUGA, ON. L4T 1G6  
TEL : 416-627-4100  
EMAIL : INFO@MECHWAYS.COM  
WEBSITE : WWW.MECHWAYS.COM

PROJECT:

TWO STOREY DWELLING UNIT AT 11 JEMIMA RD, BRAMPTON

SHEET TITLE:

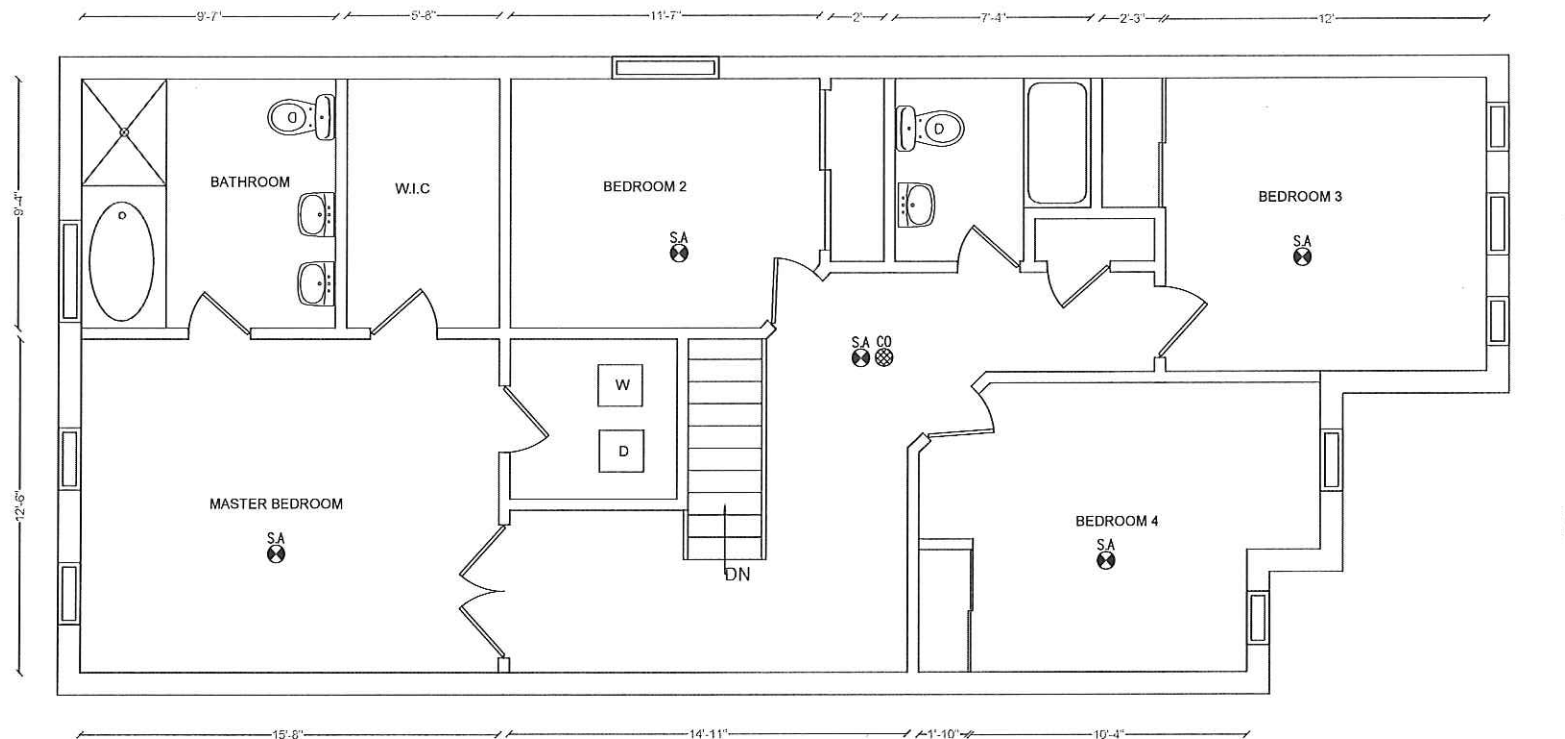
GROUND FLOOR PLAN

CHECKED: SS  
DRAWN: MA  
SCALE: 1/8" = 1'  
DATE: JUNE 21, 2022

DRAWING:

A1.3





# GENERAL NOTES:

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SEAL:



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NO.	DESCRIPTION	DATE

ENGINEER:

**Mechways Inc.**

ADDRESS : 2751 THAMESGATE DRIVE, MISSISSAUGA, ON. L4T 1G5  
TEL : 416-627-4100  
EMAIL : INFO@MECHWAYS.COM  
WEBSITE : WWW.MECHWAYS.COM

PROJECT:

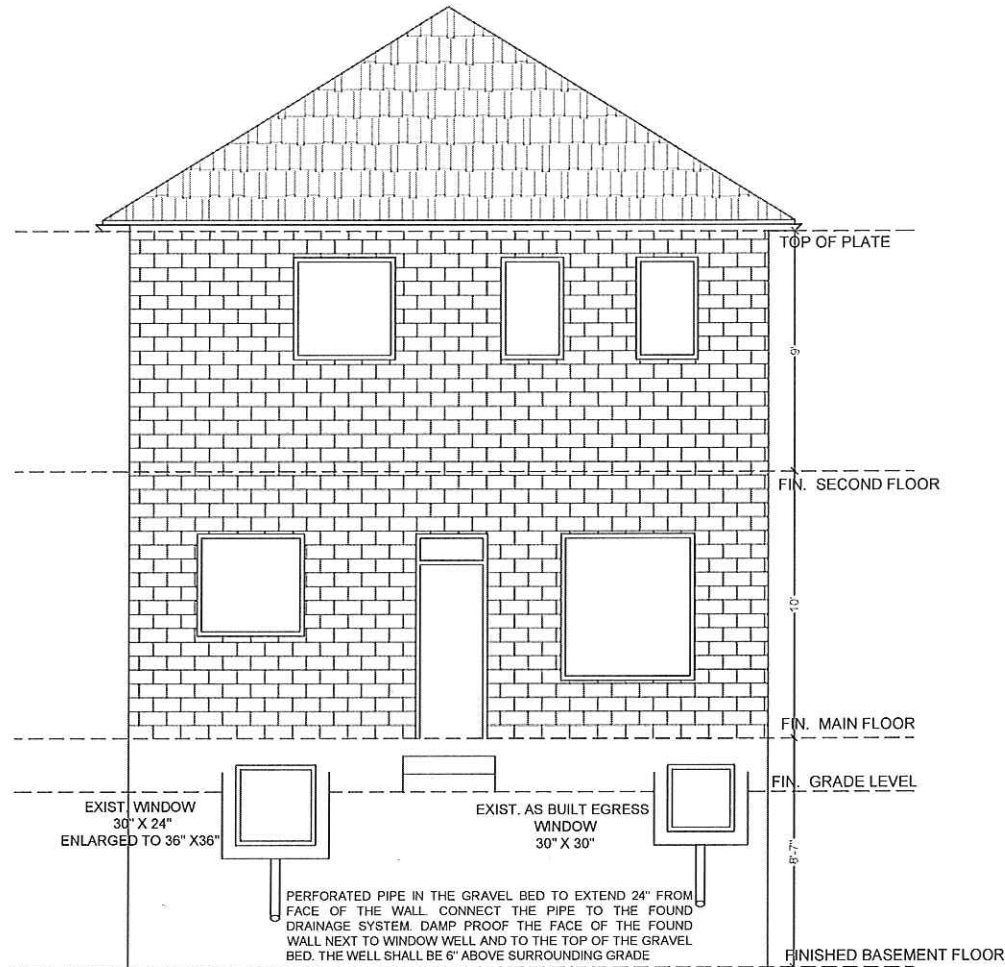
TWO STOREY DWELLING UNIT AT 11 JEMIMA RD, BRAMPTON

SHEET TITLE:  
**SECOND FLOOR PLAN**

CHECKED: SS  
DRAWN: MA  
SCALE: 1/4" = 1'  
DATE: JUNE 21, 2022

DRAWING:

**A1.4**



REAR SIDE ELEVATION

GENERAL NOTES:

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PROJECT:

TWO STOREY  
DWELLING UNIT AT  
11 JEMIMA RD,  
BRAMPTON

SHEET TITLE:

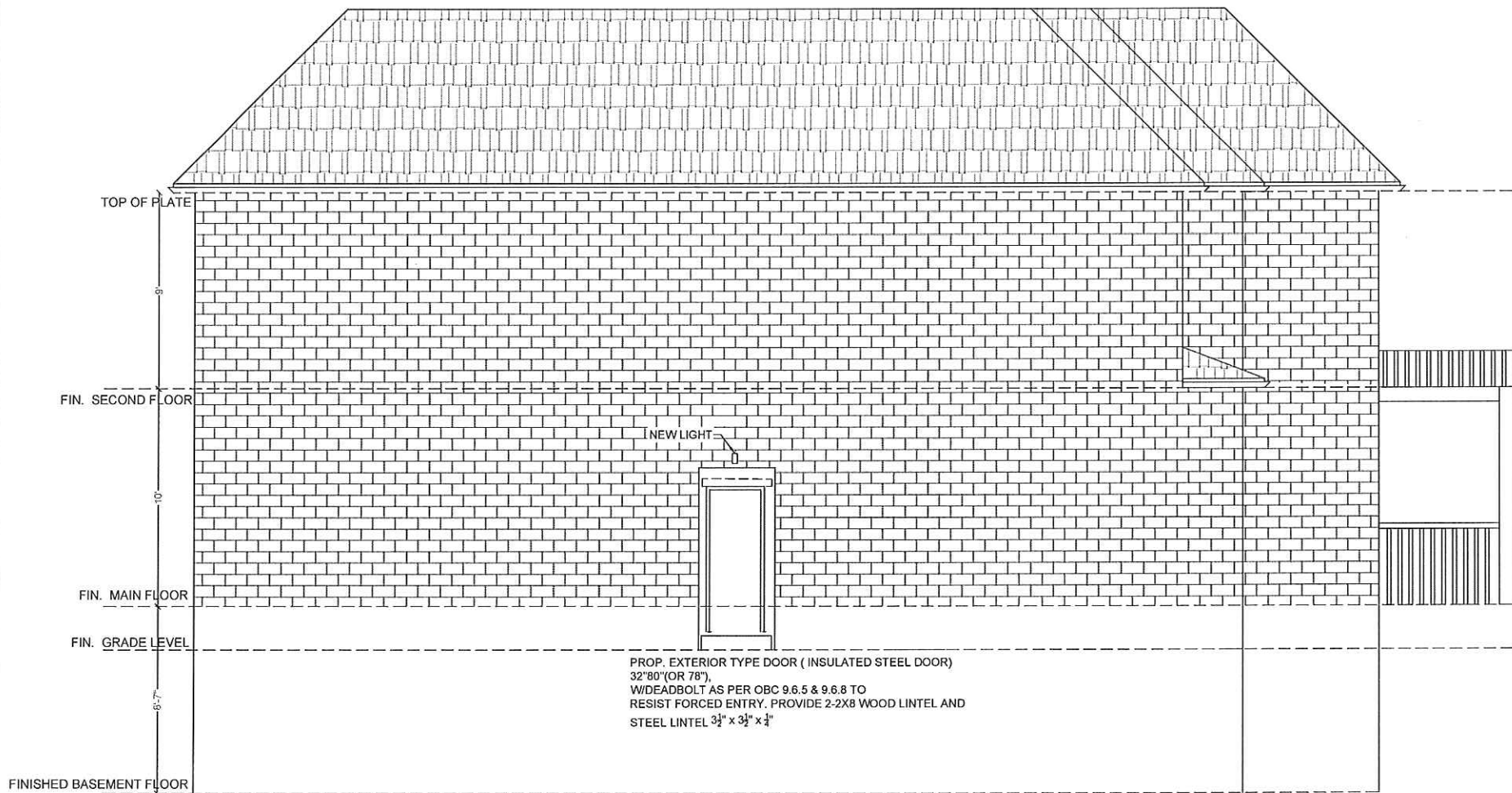
REAR ELEVATION

CHECKED: SS  
DRAWN: MA  
SCALE: 1/8" = 1'  
DATE: JUNE 21, 2022

DRAWING:

A2.1





**LEFT SIDE ELEVATION**

PROP. EXTERIOR TYPE DOOR ( INSULATED STEEL DOOR)  
 32"80"(OR 78"),  
 W/DEADBOLT AS PER OBC 9.6.5 & 9.6.8 TO  
 RESIST FORCED ENTRY. PROVIDE 2-2X8 WOOD LINTEL AND  
 STEEL LINTEL 3/4" x 3/4" x 1/4"

**GENERAL NOTES:**

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PROJECT:

TWO STOREY  
 DWELLING UNIT AT  
 11 JEMIMA RD,  
 BRAMPTON

SHEET TITLE:

**LEFT SIDE  
 ELEVATION**

CHECKED: SS  
 DRAWN: MA  
 SCALE: 1/8" = 1'  
 DATE: JUNE 21, 2022

DRAWING:

**A2.2**

ROOM FINISHED SCHEDULE - BASEMENT										
ROOM NAME	FLOOR		BASE		WALL		CEILING		HEIGHT	REMARKS
	MATERIAL	FININSH	MATERIAL	FININSH	MATERIAL	FININSH	MATERIAL	FININSH		
LIVING, DINING/ KITCHEN	WOOD	STAIN	VINYL		DRYWALL	PAINT	GYPSUM BD.	PAINT	2311	
BEDROOMS	WOOD	STAIN	VINYL		DRYWALL	PAINT	GYPSUM BD.	PAINT	2311	
WASHROOM	CERAMIC	STAIN	VINYL		DRYWALL	PAINT	GYPSUM BD.	PAINT	2311	
UTILITY	CONCRETE		VINYL		DRYWALL	PAINT	GYPSUM BD.			

DOOR SCHEDULE

1. ALL INTERIOR DOORS ARE SLAB DOOR 1-3/8 TH. HOLLOW CORE. THE SIZES ARE MENTIONED ON THE FLOOR PLAN. THE HEIGHT OF ALL DOORS ARE 78"
2. EGRESS DOOR - EXIST. ABOVE GRADE EXTERIOR TYPE STEEL DOOR PROVIDES ACCESS TO THE OUTSIDE

WINDOW SCHEDULE

ONE WINDOW PER FLOOR TO HAVE AN UNOBSTRUCTED OPEN PORTION W/A MIN. AREA OF 0.35m2 W/ NO DIMENSION LESS THAN 380mm & MAXIMUM SILL HEIGHT OF 1M ABOVE FLOOR WINDOW SIZES HAVE BEEN PROVIDED ON THE FLOOR PLANS

CONSTRUCTION NOTES

- ① EXISTING 8" CONC. FOUNDATION WALL MOISTURE BARRIER  
2X4 SPF#2 STUDS @ 16" O.C WALL W/6MIL POLY WITH EXIST. INSULATION 6MIL POLY VAPOR BARRIER ½" GYPSUM BOARD
- ② NEW/ EXISTING DRYWALL - ½" GYPSUM BOARD, ON BOTH SIDES  
2"x4" STUDS @16" OC
- ③ EXISTING / PROPOSED CEILING  
EXISTING CEILING ATTACHED TO BOTTOM OF FLOOR JOISTS OF GROUND FLOOR ASSEMBLY SHALL SATISFIES THE HORIZONTAL FIRE SEPARATION REQUIREMENT 15 MINUTE F.R.R (1/2" GYPSUM BOARD ). REMOVE 24"x48" CEILING TILE IF EXIST AND REPLACE WITH 1/2" GYPSUM BOARD CEILING
- ④ 20 MIN. FIRE RESISTANCE RATED DOOR FOR WALL BETWEEN PRINCIPAL RESIDENCE AREA AND THE BASEMENT APARTMENT
- ⑤ EXISTING DUCT WORK LOCATED IN THE CEILING SHALL BE RELOCATED SO THAT THE DIRECTION OF THE HEAT FLOW IS TOWARDS THE FLOOR
- ⑥ MECHANICAL VENTILATION  
24 L/S EXHAUST FANS IN KITCHEN AND WASHROOM AND 37.5 L.S FOR PRINCIPAL EXHAUST
- ⑦ IN COMPLIANCE WITH C152(b) SMOKE ALARMS ARE INSTALLED IN EVERY DWELLING UNIT AND COMMON AREAS IN CONFORMANCE WITH OBC 9.10.19. SMOKE ALARM SHALL BE WIRED AND INTERCONNECTED FOR THE ENTIRE BUILDING AND HAVE A VISUAL SIGNALING COMPONENT
- ⑧ PROVIDE CARBON MONOXIDE ALARM CONFIRMING TO CAN/CSA-6.19 "RESIDENTIAL CARBON MONOXIDE ALARMING DEVICES" ADJACENT TO EACH SLEEPING AREA WITHIN EACH DWELLING UNIT. CARBON MONOXIDE ALARMS MAY BE HARDWIRED, BATTERY OPERATED OR THE TYPE THAT CAN BE PLUGGED INTO ELECTRICAL OUTLET
- ⑨ FOR ALL ELECTRICAL WORK AND PERMIT CONTACT ELECTRICAL SAFETY AUTHORITY

GENERAL NOTES

- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, SITE CONDITIONS AND ELEVATIONS WITH ARCHITECTURAL DRAWINGS AND RESOLVE ANY DISCREPANCIES WITH THE ENGINEER PRIOR TO START OF WORK
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH PART 9 AND 4 OF ONTARIO BUILDING CODE 2012 AND CITY BY-LAWS AND STANDARDS
- IT IS ASSUMED THAT THE WORK DEPICTED WILL BE PERFORMED BY AN EXPERIENCED CONTRACTOR AND/OR WORKMEN HAVING WORKING KNOWLEDGE OF THE APPLICABLE CODE, STANDARDS, INSURANCES AND REQUIREMENTS OF INDUSTRY ACCEPTED STANDARD, AS NOT EVERY CONDITION OR ELEMENT IS (OR CAN BE) EXPLICITLY SHOWN ON THESE DRAWINGS.
- BY COMMENCING CONSTRUCTION OF A BUILDING FROM THESE DRAWINGS, THE OWNER AND/OR BUILDER ACKNOWLEDGES THAT THE GENERAL NOTES HAVE BEEN READ AND UNDERSTOOD
- THE DRAWINGS PREPARED BY THE DESIGNER IS FOR THE PERMIT IN COMPLIANCE WITH OBC AND CITY BY-LAWS.
- THE DESIGNER IS NOT LIABLE FOR COST INCURRED FOR RE-WORK, ALTERATION, DISCREPANCIES OR ANY KIND OF CONSTRUCTION RELATED WORK
- ALL WOOD USED IN THE CONSTRUCTION SHALL BE SPF NO.1 OR \*\*\*\*\*
- MINIMUM BEARING OF STEEL LINTELS 150 MM.
- MINIMUM BEARING OF WOOD BEAM / LINTELS 90 MM
- MINIMUM BEARING OF WOOD JOISTS 40MM
- VERIFY EXISTING SUPPORT SYSTEM, INCLUDING FOUNDATIONS, FOR LOADS IMPOSED BY THE PROPOSED CONSTRUCTION
- PROVIDE ALL BRACING, SHORING AND NEEDLING NECESSARY FOR THE SAFE EXECUTION OF THIS WORK
- INFORM CITY OF ALL INSPECTION AHEAD OF TIME AND AT EACH STAGE OF CONSTRUCTION
- ANY DISCREPANCIES SHALL BE BROUGHT TO THE NOTICE OF ENGINEER PRIOR TO START OF WORK
- CONTRACTOR TO PROVIDE THE DESIGNED WINDOW OR ANY EQUIVALENT STANDARD SIZE AVAILABLE IN MARKET
- CONTRACTOR TO VERIFY ANY SERVICES OR ANY EQUIPMENT THAT REQUIRES RELOCATION TO BE PLAN IN ADVANCE BEFORE CONSTRUCTION AND IF REQUIRE DISCUSS WITH ENGINEER.

- \$ 3 WAY SWITCH  
INSTALL AT 3'-3" AFF  
3 DENOTES 3-WAY SWITCH  
SPECIFICATION GRADE WHITE,  
WITH WHITE COVER PLATE  
SHALL BE INSTALLED AT THE  
ENDS OF EACH STAIRWAYS
- GFI WP 15A, 120V DUPLEX RECEPTACLE  
SPECIFICATION GRADE WHITE,  
C/W WHITE COVER PLATE  
GFI - GROUND FAULT TYPE  
WP -WEATHERPROOF COVER  
C - ABOVE COUNTER
- RECEPTACLE 50A, 208V,  
STOVE OR DRIER OUTLET.
- RECEPTACLE
- LIGHT
- SPOT LIGHT
- EMERGENCY LIGHT
- FD: FLOOR DRAIN
- SPRINKLER
- DUCT TYPE SMOKE DETECTOR
- SMOKE ALARM
- CARBON MONOXIDE DETECTOR
- EXHAUST FAN

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NO.	DESCRIPTION	DATE

ENGINEER:

**Mechways Inc.**

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MISSISSAUGA, ON. L4T 1G5  
TEL : 416-627-4100  
EMAIL : INFO@MECHWAYS.COM  
WEBSITE : WWW.MECHWAYS.COM

PROJECT:

TWO STOREY  
DWELLING UNIT AT  
11 JEMIMA RD,  
BRAMPTON

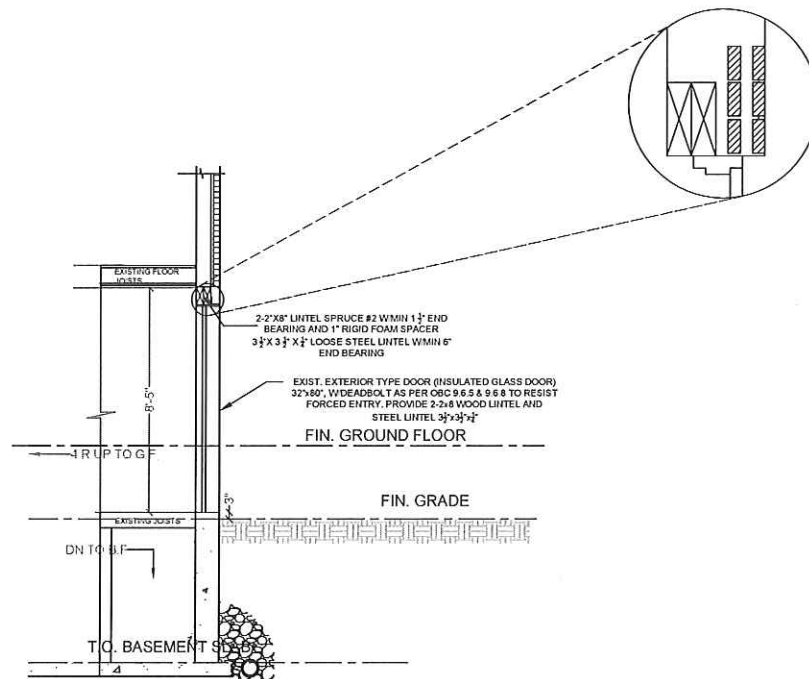
SHEET TITLE:  
**GENERAL NOTES**

CHECKED: SS  
DRAWN: MA  
SCALE: NTS  
DATE: JUNE 21, 2022

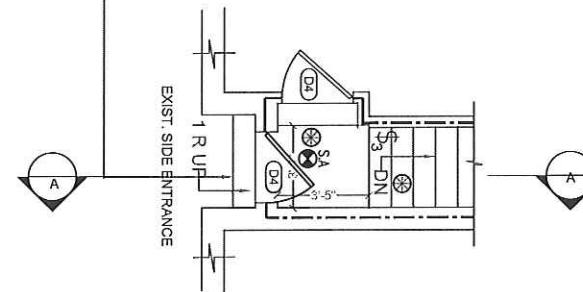
DRAWING:

**A4.1**





EXIST. EXTERIOR TYPE DOOR (INSULATED GLASS DOOR) 32"x80",  
W/DEADBOLT AS PER OBC 9.6.5 & 9.6.8 TO RESIST FORCED ENTRY.  
PROVIDE 2-2"x8" WOOD LINTEL AND STEEL LINTEL 3 1/2"x3 1/2"x1"



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PROJECT:

TWO STOREY  
DWELLING UNIT AT  
11 JEMIMA RD,  
BRAMPTON

SHEET TITLE:

SECTION PLAN

CHECKED: SS  
DRAWN: MA  
SCALE: 3/8" = 1"  
DATE: JUNE 21, 2022

DRAWING:

S1

A-2022-0311

a

b

