

APPLICATION # A-2022-0369
WARD 6

APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **BIJOY PAUL KALLIKKATTUKUDY AND REEMA KURIAKO THEKKEKUNNEL** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Lot 277, Plan 43M-1496 municipally known as **45 SEDGEWICK CIRCLE**, Brampton;

AND WHEREAS the applicants are requesting the following variance(s):

1. To permit a below grade entrance within a required interior side yard whereas the by-law does not permit a below grade entrance in a required interior side yard;
2. To permit an interior side yard setback of 0.15m (0.50 ft.) to a below grade entrance whereas the by-law requires a minimum interior side yard setback of 1.2m (3.94 ft.);
3. To permit an existing accessory structure (gazebo) having a side yard setback and a rear yard setback of 0.15m (0.50 ft.) whereas the by-law requires a minimum setback of 0.6m (1.97 ft.) to the nearest property lines;
4. To permit an existing accessory structure (shed) having a side yard setback and a rear yard setback of 0.3m (0.98 ft.) whereas the by-law requires a minimum setback of 0.6m (1.97 ft.) to the nearest property lines.

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO
Application for Consent: NO

File Number: _____
File Number: _____

The Committee of Adjustment has appointed **TUESDAY, December 6, 2022 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant or another member of the public.

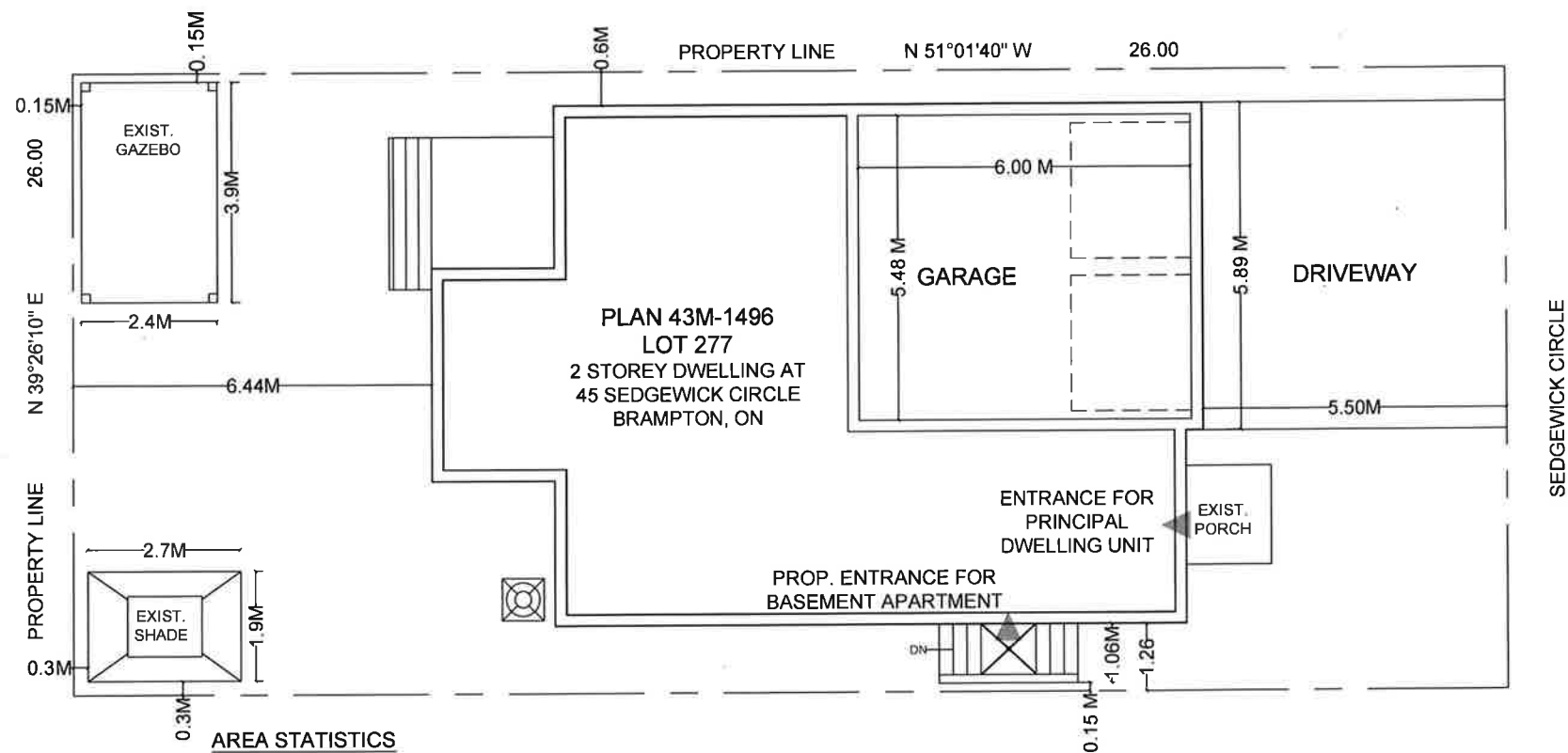
RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this 24th Day of November, 2022

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca



AREA STATISTICS

GROSS FLOOR AREA CALCULATIONS

PRINCIPAL RESIDENCE

EXISTING MAIN FLOOR G.F.A	= 81.5 M ²
EXISTING SECOND FLOOR G.F.A	= 94.3 M ²
TOTAL G.F.A	= 175.8 M²

BASEMENT G.F.A	= 81.56 M ²
OWNER OCCUPIED AREA	= 23.5 M ²
BASEMENT APARTMENT G.F.A	= 57.9 M ²

▲ ENTRANCE / EGRESS

SCOPE OF WORK

- A- PROPOSED BASEMENT APARTMENT
- B-ENLARGEMENT OF ONE EXISTING WINDOW
- C-PROPOSED TWO NEW WINDOWS
- D- PROPOSED SIDE ENTRANCE FROM SIDE YARD

GENERAL NOTES:

DRAWINGS ARE TO BE READ NOT SCALED.
CONTRACTOR MUST VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR THE SAME.
REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE COMMENCING THE WORK. THE DRAWINGS AND DOCUMENTS PROVIDED HERE WITHIN ARE THE EXCLUSIVE PROPERTY OF MECHWAYS INC. REPRODUCTION OF THE DOCUMENTS PROVIDED IS PROHIBITED WITHOUT THE CONSENT OF THE DESIGNER.
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SEAL:



NO.	REVISION	DATE
2	ISSUED FOR BUILDING PERMIT	OCT 02, 2022
1	ISSUED FOR BUILDING PERMIT	OCT 02, 2022

ENGINEER:

Mechways Inc.

ADDRESS : 2751 THAMESGATE DRIVE
MISSISSAUGA, ON L4T 1G5
TEL : 416-627-4100
EMAIL : INFO@MECHWAYS.COM
WEBSITE : WWW.MECHWAYS.COM

CONSULTANT:

PROJECT:

45 SEDGEWICK CIR,
BRAMPTON, ON

SHEET TITLE:

SITE PLAN

CHECKED: MSS
DRAWN: MSA
SCALE: 1/8" = 1'
DATE: OCT 02, 2022

DRAWING:

A0.1

Under the authority of the *Emergency Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

**Electronic/Hybrid Hearing Procedures
How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **December 6, 2022** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

How to Participate in the Hearing:

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, December 1, 2022.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
 1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, December 1, 2022.**
 2. To participate in-person, please email the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, December 1, 2022.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, December 1, 2022.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html>.

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.



The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION
Minor Variance or Special Permission
(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** Bijoy Paul Kallikkattukudy, Reema Thekkekunel Kuriakose
Address 45 Sedgewick Cir, Brampton, L7A 2P6
Phone # 647 881 4402 **Fax #** _____
Email bijoykopal@yahoo.co.in

2. **Name of Agent** Valiuddin Mohammed
Address 2751 Thamesgate Dr, Mississauga, L4T 1G5
Phone # 647 786 5940 **Fax #** _____
Email info@mechways.com

3. **Nature and extent of relief applied for (variances requested):**
To seek relief for the proposed below grade entrance in the side yard with a setback of 0.15 m.due to the encroachment of the stairwell into the side yard
To seek relief for the existing Gazebo with a side yard setback of 0.15 m and rear yard setback of 0.15 m from the property line. To seek relief for the existing shed with a side yard setback of 0.3 m and rear yard setback of 0.3 m from the property line.

4. **Why is it not possible to comply with the provisions of the by-law?**
As per the zoning by law, a minimum setback of 1.2 m is required in the side yard for the proposed below grade entrance. whereas the proposed side yard set back is 0.15m due to the encroachment of the stairwell in the side yard.
As per the by law, a minimum side yard setback of 0.6 m and a rear yard setback of 0.6 m is required from the property line for the existing Gazebo and shed
Hence seeking relief for the shed, existing Gazebo and prop. below grade entrance.

5. **Legal Description of the subject land:**
Lot Number 277
Plan Number/Concession Number 43 M - 1496
Municipal Address 45 Sedgewick Cir, Brampton, L7A 2P6

6. **Dimension of subject land (in metric units)**
Frontage 11.28 M
Depth 26 M
Area 293.28 SQ M

7. **Access to the subject land is by:**
Provincial Highway ☐ **Seasonal Road** ☐
Municipal Road Maintained All Year ☒ **Other Public Road** ☐
Private Right-of-Way ☐ **Water** ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

A 2 storied detached dwelling with an attached double car garage. The gross floor area is 175.8 sq m

PROPOSED BUILDINGS/STRUCTURES on the subject land:

Legalisation of the proposed basement apartment with a below grade entrance in the side yard.

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback 5.5 M

Rear yard setback 6.4 M

Side yard setback 1.26 M

Side yard setback 0.6 M

PROPOSED

Front yard setback 5.5 M

Rear yard setback 6.4 M

Side yard setback 1.11 M

Side yard setback 0.6 M

10. Date of Acquisition of subject land: 2020
11. Existing uses of subject property: Residential
12. Proposed uses of subject property: Residential
13. Existing uses of abutting properties: Residential
14. Date of construction of all buildings & structures on subject land: 2002
15. Length of time the existing uses of the subject property have been continued: 2002

16. (a) What water supply is existing/proposed?

Municipal ☒

Well ☐

Other (specify) _____

- (b) What sewage disposal is/will be provided?

Municipal ☒

Septic ☐

Other (specify) _____

- (c) What storm drainage system is existing/proposed?

Sewers ☒

Ditches ☐

Swales ☐

Other (specify) _____

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Valiuddin
Mohammed

Digitally signed by Valiuddin
Mohammed
DN: cn=Valiuddin Mohammed,
c=CA, o=Mechways Inc.,
email=info@mechways.com
Date: 2022.11.08 13:42:34 -05'00'

Signature of Applicant(s) or Authorized Agent

DATED AT THE City _____ OF Mississauga

THIS 08 DAY OF November, 20 22.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Valiuddin Mohammed, OF THE city _____ OF Mississauga

IN THE region _____ OF Peel _____ SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

city _____ OF Toronto

IN THE Province _____ OF _____

Ontario THIS 8th DAY OF

November, 20 22.



Valiuddin
Mohammed

Digitally signed by Valiuddin
Mohammed
DN: cn=Valiuddin Mohammed,
c=CA, o=Mechways Inc.,
email=info@mechways.com
Date: 2022.11.08 13:42:44 -05'00'

Signature of Applicant or Authorized Agent

A Commissioner, etc.
Ramesh Patel Law Professional Corporation
127 Westmore Dr. Unit # 101,
Toronto, ON. M9V 3Y6
Tel: 416-742-2999 Fax: 416-742-3888

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Zoning Officer

Date

DATE RECEIVED

November 9, 2022

SEDGEWICK CIRCLE (DEDICATED BY REGISTERED PLAN 43M-1496)

DOCUMENTS RELEASED PURSUANT TO A REQUEST
UNDER THE
MUNICIPAL FREEDOM OF INFORMATION AND
PROTECTION OF PRIVACY ACT R.S.O. 1990c. M56
COPYRIGHT ACT R.S., 1985, c. C-42 APPLIES TO THE
USE AND REPRODUCTION OF THESE DOCUMENTS

SURVEY
PART 1 -
LOTS
272, 273, 274, 275, 276, 277, 278, 279

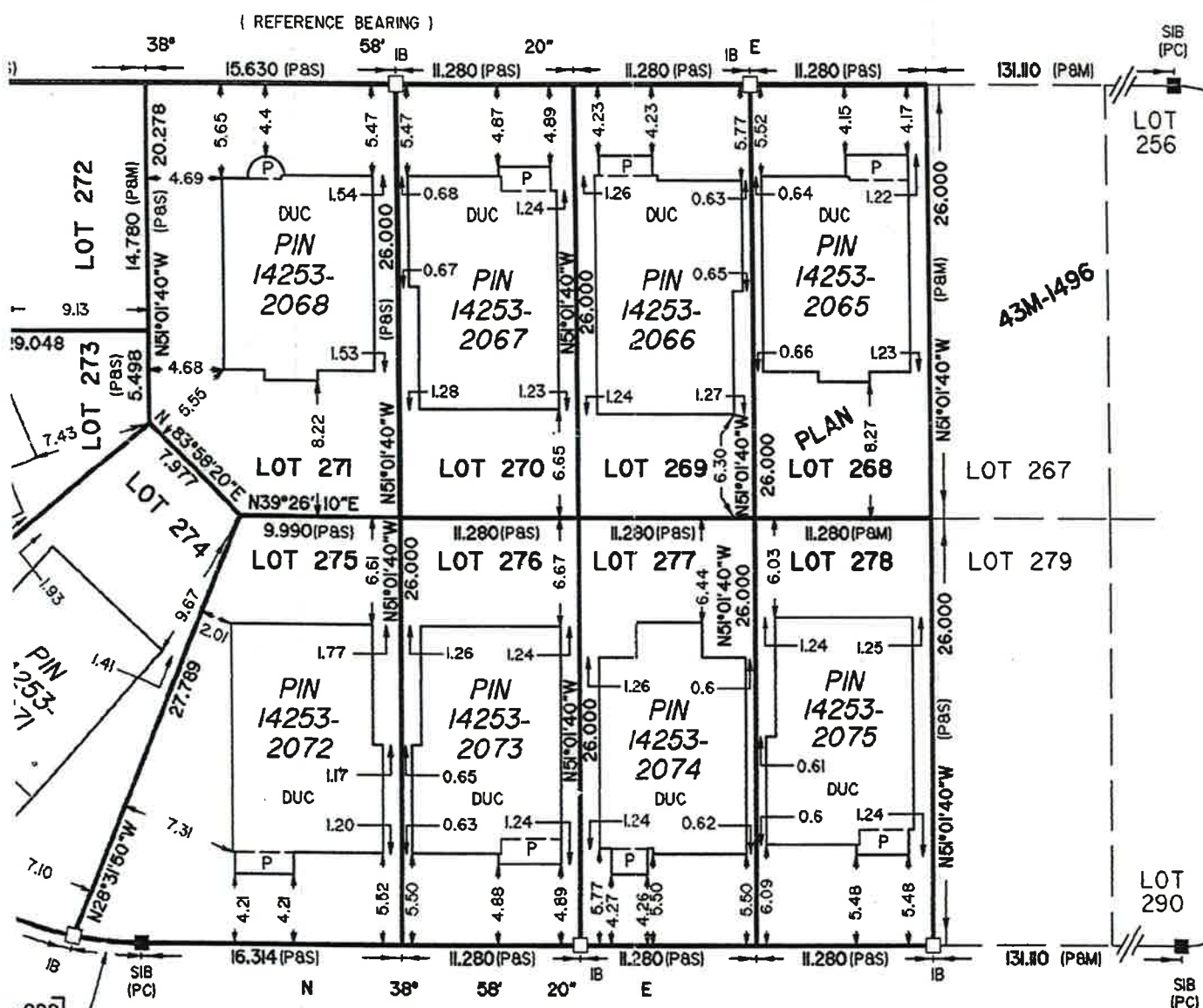
REGIS
CITY
REGIONAL
SCALE 1 : 10

J. D. BAR
© COPYRIGHT
METRIC

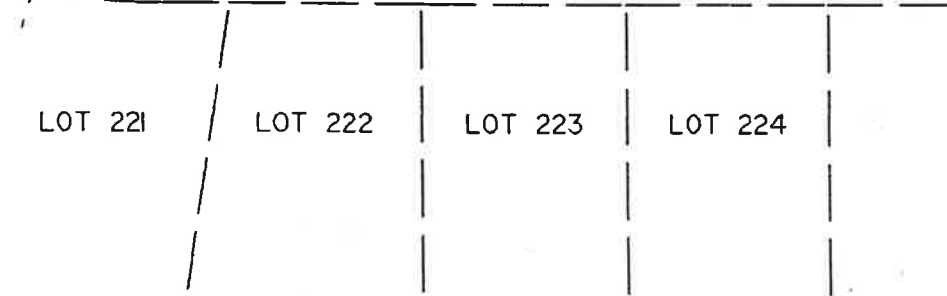
PART 2
- DESCRIPTION
LOTS 268, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279
REGISTERED REGIONAL METRIC
- REGISTERED
NONE
- ADDITIONAL
THE LOTS ARE IN CONFORM

NOTES
BEARINGS ARE
SOUTHEASTER
ON REGISTER
DENOTE:
FOUNDATIONS.
ALL FOUND SI
UNLESS NOTED
SURVEY

I CERTIFY TH
1. THIS SURVE
THE SURVE
MADE UNDE
2. THE SURVE
DATE MAY 2



SEDGEWICK CIRCLE (DEDICATED BY REGISTERED PLAN 43M-1496)

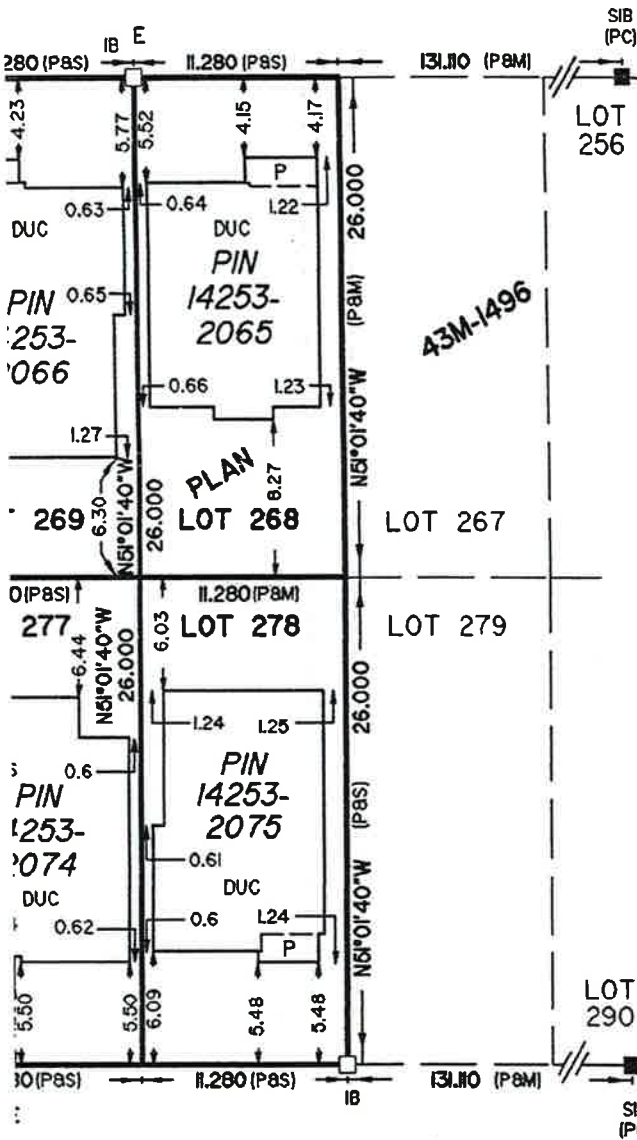


ASSOCIATION OF ONTARIO
LAND SURVEYORS
PLAN SUBMISSION FORM
1394946

THIS PLAN IS NOT VALID
UNLESS IT IS AN EMBOSSED
ORIGINAL COPY
ISSUED BY THE SURVEYOR
In accordance with
Regulation 1025, Section 29(3).

PREPARED FOR: FERNBROOK HOMES

CLE
M-1496)



CLE
M-1496)

24



PREPARED FOR: FERNBROOK HOMES

SURVEYOR'S REAL PROPERTY REPORT
PART 1 - PLAN SHOWING
LOTS 268, 269, 270, 271,
272, 273, 274, 275, 276,
277 AND 278

REGISTERED PLAN 43M-1496
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEL

SCALE 1 : 400



J. D. BARNES LIMITED

© COPYRIGHT

METRIC DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND
CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

PART 2 - SURVEY REPORT

- DESCRIPTION

LOTS 268, 269, 270, 271, 272, 273, 274, 275, 276, 277 AND 278
REGISTERED PLAN 43M-1496, CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEL

- REGISTERED EASEMENTS AND/OR RIGHTS-OF-WAY
NONE

- ADDITIONAL REMARKS

THE LOTS ARE NOT FENCED AND SETBACKS ARE
IN CONFORMITY WITH R1C-SECTION 1074 ZONING.

NOTES

BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE
SOUTHEASTERLY LIMIT OF SEDGWICK CIRCLE, AS SHOWN
ON REGISTERED PLAN 43M-1496, HAVING A BEARING OF N38°58'20"E.

■	DENOTES	SURVEY MONUMENT FOUND
□	DENOTES	SURVEY MONUMENT SET
SIB	DENOTES	STANDARD IRON BAR
IB	DENOTES	IRON BAR
DUC	DENOTES	DWELLING UNDER CONSTRUCTION
P&S	DENOTES	REGISTERED PLAN 43M-1496 AND SET
P&M	DENOTES	REGISTERED PLAN 43M-1496 AND MEASURED
PC	DENOTES	POINT OF CURVATURE
P	DENOTES	PORCH

ALL BUILDING TIES ARE SHOWN TO THE UNFINISHED CONCRETE
FOUNDATIONS.

ALL FOUND SURVEY MONUMENTS SET BY J.D. BARNES LTD.
UNLESS NOTED OTHERWISE.

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

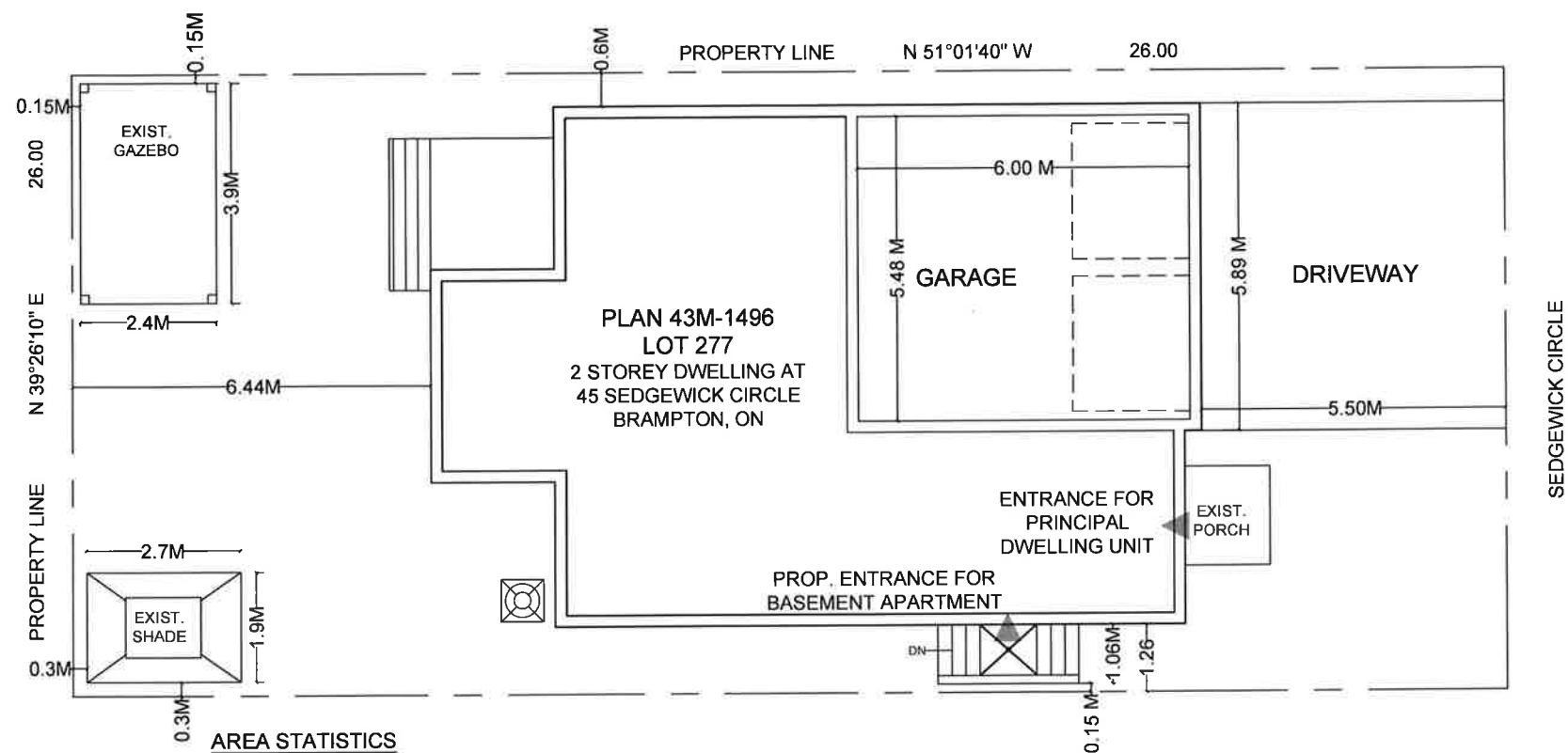
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH
THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS
MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON APRIL 18, 2002.

DATE MAY 21, 2002

David A. Black
DAVID A. BLACK
ONTARIO LAND SURVEYOR

	J.D. BARNES LIMITED	SURVEYING MAPPING GIS	DRAWN BY: WG/WJ/VI
			CHECKED BY: <u>Boyd</u>
MARKED BY INNOVATION . MEASURED BY REPUTATION™			DATE: 05/02/2002
450 BRITANNIA ROAD EAST, SUITE 450B MISSISSAUGA, ON L4Z 1X9 T: (905) 507-6767 F: (905) 507-6977 www.jdbarnes.com			Ref. No. 01-28-678-00-268

g:\12867800\srpr\sr268-278.dgn
PLOTTED 21 MAY 2002



AREA STATISTICS

GROSS FLOOR AREA CALCULATIONS

PRINCIPAL RESIDENCE

EXISTING MAIN FLOOR G.F.A	= 81.5 M ²
EXISTING SECOND FLOOR GFA	= 94.3 M ²
TOTAL GFA	= 175.8 M²

BASEMENT G.F.A	= 81.56 M ²
OWNER OCCUPIED AREA	= 23.5 M ²
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▲ ENTRANCE / EGRESS

SCOPE OF WORK

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SEAL:



NO.	REVISION	DATE
2	REVISION	NOV 18, 2022
1	ISSUED FOR BUILDING PERMIT	OCT 02, 2022

ENGINEER:

Mechways Inc.
ADDRESS : 2751 THAMESGATE DRIVE
MISSISSAUGA, ON L4T 1G5
TEL : 416-627-4100
EMAIL : INFO@MECHWAYS.COM
WEBSITE : WWW.MECHWAYS.COM

CONSULTANT:

PROJECT:

45 SEDGEWICK CIR,
BRAMPTON, ON

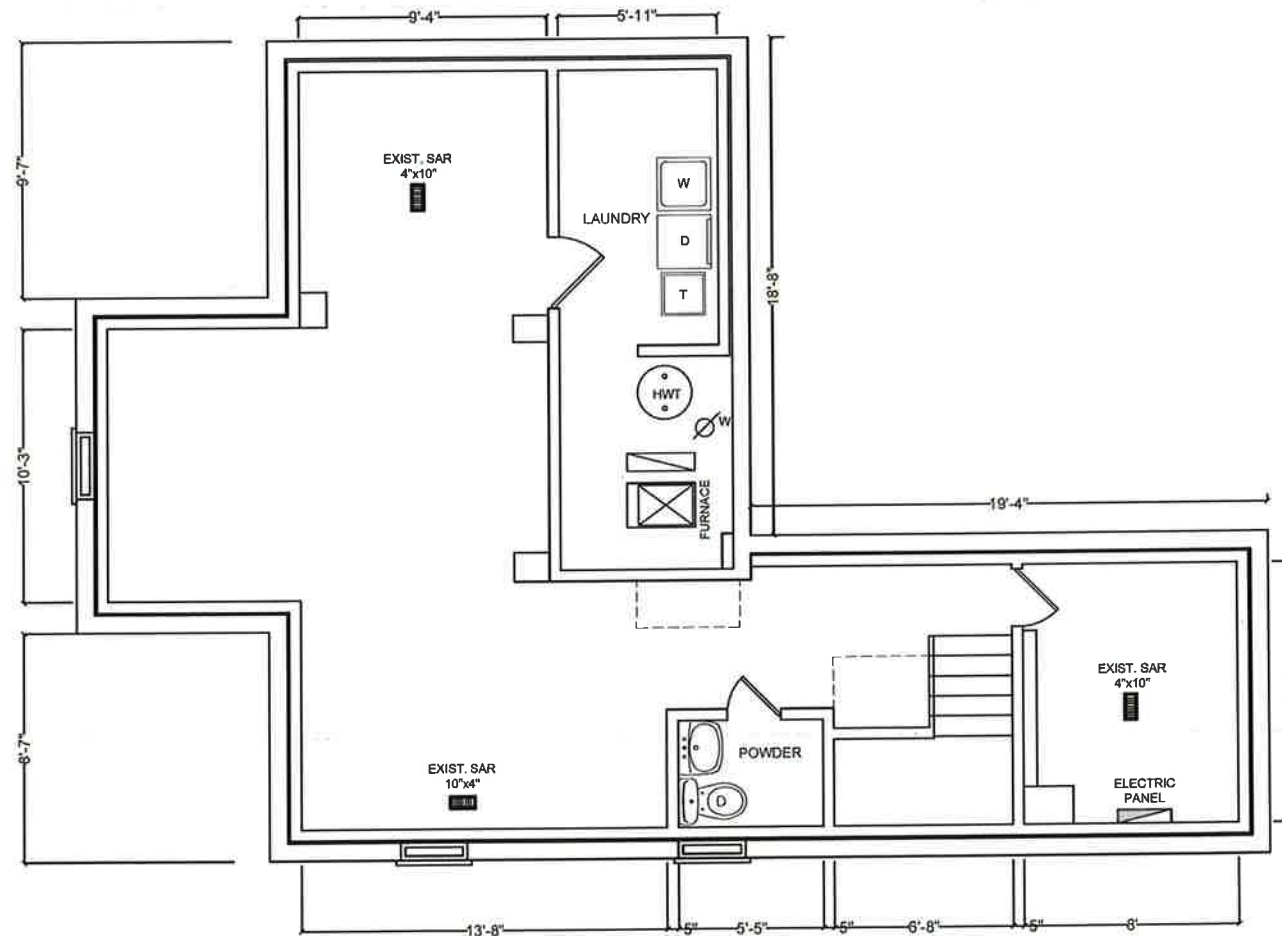
SHEET TITLE:

SITE PLAN

CHECKED: MBS
DRAWN: MSA
SCALE: 1/8" = 1'
DATE: OCT 02, 2022

DRAWING:

A0.1



EXISTING BASEMENT PLAN

GENERAL NOTES:

DRAWINGS ARE TO BE READ NOT SCALED. CONTRACTOR MUST VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR THE SAME. REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE COMMENCING THE WORK. THE DRAWINGS AND DOCUMENTS PROVIDED HERE WITHIN ARE THE EXCLUSIVE PROPERTY OF MECHWAYS INC. REPRODUCTION OF THE DOCUMENTS PROVIDED IS PROHIBITED WITHOUT THE CONSENT OF THE DESIGNER. ALL DESIGN AND CONSTRUCTION DOCUMENTATION ARE FINAL UNLESS REVISED BY THE DESIGNER. IF ANY DISCREPANCIES ARE DISCOVERED HERE WITHIN, THE DESIGNER SHALL BE NOTIFIED.

SEAL:



1	ISSUED FOR BUILDING PERMIT	OCT 02, 2022
NO.	DESCRIPTION	DATE

ENGINEER:

Mechways Inc.

ADDRESS : 2751 THAMESDALE DRIVE
MISSISSAUGA, ON. L4T 1G5
TEL : 416-527-4100
EMAIL : INFO@MECHWAYS.COM
WEBSITE : WWW.MECHWAYS.COM

CONSULTANT:

PROJECT:

45 SEDGEWICK CIR.
BRAMPTON, ON

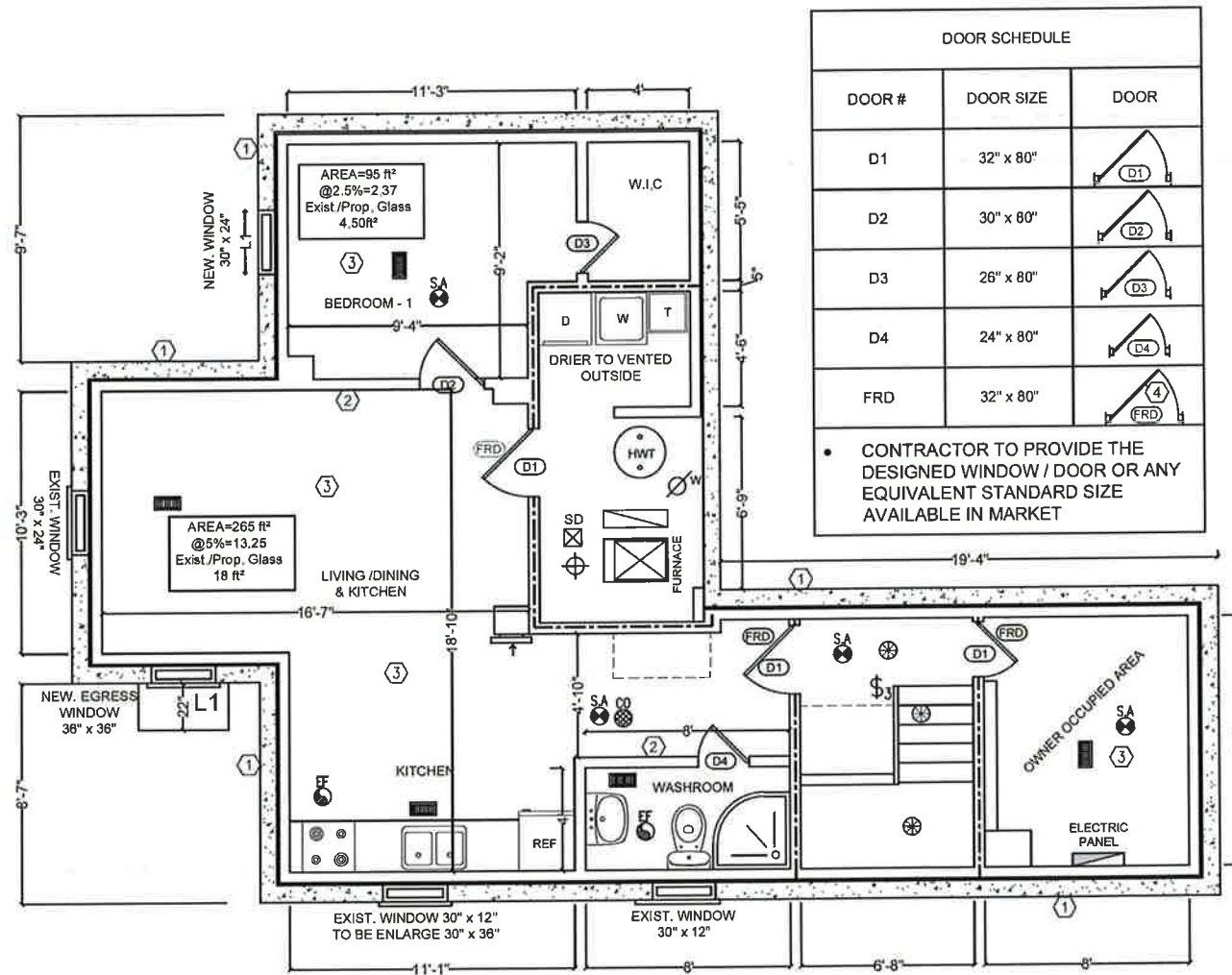
SHEET TITLE:

EXIST.
BASEMENT PLAN

CHECKED: MBS
DRAWN: MSA
SCALE: 1/8" = 1'
DATE: OCT 02, 2022

DRAWING:

A1.1



PROPOSED BASEMENT PLAN

BASEMENT G.F.A = 878 ft² / 81.56 m²
 BASEMENT APARTMENT G.F.A = 624 ft² / 57.9m²
 OWNER OCCUPIED G.F.A = 256 ft² / 23.5 m²
 CEILING HEIGHT = 7'-6"
 CEILING HEIGHT U/S OF DUCT = 6'-5"

- CEILING HEIGHT SHALL NOT BE LESS THAN 6'-5" OVER ALL REQUIRED ROOM AREAS, UNDER BEAMS, DUCTS AND ANY LOCATION NORMALLY USED AS A MEANS OF EGRESS
- CONTRACTOR TO PROVIDE THE DESIGNED WINDOW / DOOR OR ANY EQUIVALENT STANDARD SIZE AVAILABLE IN MARKET

DOOR SCHEDULE

DOOR #	DOOR SIZE	DOOR
D1	32" x 80"	(D1)
D2	30" x 80"	(D2)
D3	26" x 80"	(D3)
D4	24" x 80"	(D4)
FRD	32" x 80"	(FRD)

CONTRACTOR TO PROVIDE THE DESIGNED WINDOW / DOOR OR ANY EQUIVALENT STANDARD SIZE AVAILABLE IN MARKET

LEGEND

	EXISTING FOUNDATION WALL
	DRY WALL
	PROVIDE 30 MINUTE F.R.R. (SB3 W1C 38 x 89 mm WOOD STUDS @ 610 mm O.C. W/ 12.7 mm REGULAR GYPSUM ON EACH SIDE W/ 89 mm THICK ABSORPTIVE MATERIAL (ROCKWOOL INSULATION)) TO NEW/EXISTING WALL
	DUCT-TYPE SMOKE DETECTOR TO BE INSTALLED IN THE SUPPLY OR RETURN AIR DUCT SYSTEM SERVING THE ENTIRE BUILDING THAT MUST TURN OFF THE FUEL SUPPLY AND ELECTRICAL POWER TO THE HEATING SYSTEM UPON ACTIVATION
	SMOKE ALARMS ARE INSTALLED IN EVERY DWELLING UNIT AND COMMON AREAS IN CONFORMANCE WITH OBC 9.10.19. SMOKE ALARM SHALL BE WIRED AND INTERCONNECTED FOR THE ENTIRE BUILDING
	CARBON MONO OXIDE ALARM
	SPRINKLER
	NEW/ EXISTING HORIZONTAL SEPARATION 15 MINUTE F.R.R. (EXISTING 1/2" GYPSUM BOARD CEILING)
	EXHAUST FAN
	EMERGENCY LIGHT
	SAR (SUPPLY AIR REGISTER) 10" x 4"
	RAG (RETURN AIR GRILLE) 12" x 6"
	PROVIDE 30 MINUTE F.R.R. (2 x 1/2" THICK TYPE 'X' BOARD) UNDER THE STAIR SOFFIT/CEILING AND ON THE WALLS ENCLOSING STAIRWAYS CONNECTING BASEMENT TO MAIN FLOOR
	LIGHT
	20 MIN. FIRE RESISTANCE RATED DOOR FOR COMMON AREA AND BETWEEN BASEMENT APARTMENT AND PRINCIPAL RESIDENCE WITH SELF CLOSING DEVICE
	2-2"x8" WOOD LINTEL & 1-3.5"x3.5"x0.25" STEEL LINTEL. MINIMUM BEARING OF STEEL LINTEL 150 mm EACH SIDE. MINIMUM BEARING OF WOOD LINTEL 90 mm ON EACH SIDE
	STEEL POST

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SEAL:



NO.	DESCRIPTION	DATE
1	ISSUED FOR BUILDING PERMIT	OCT 02, 2022

ENGINEER:

Mechways Inc.
 ADDRESS : 2751 THAMESGATE DRIVE, MISSISSAUGA, ON, L4T 1G8
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 WEBSITE : WWW.MECHWAYS.COM

CONSULTANT:

PROJECT:

45 SEDGEWICK CIR, BRAMPTON, ON

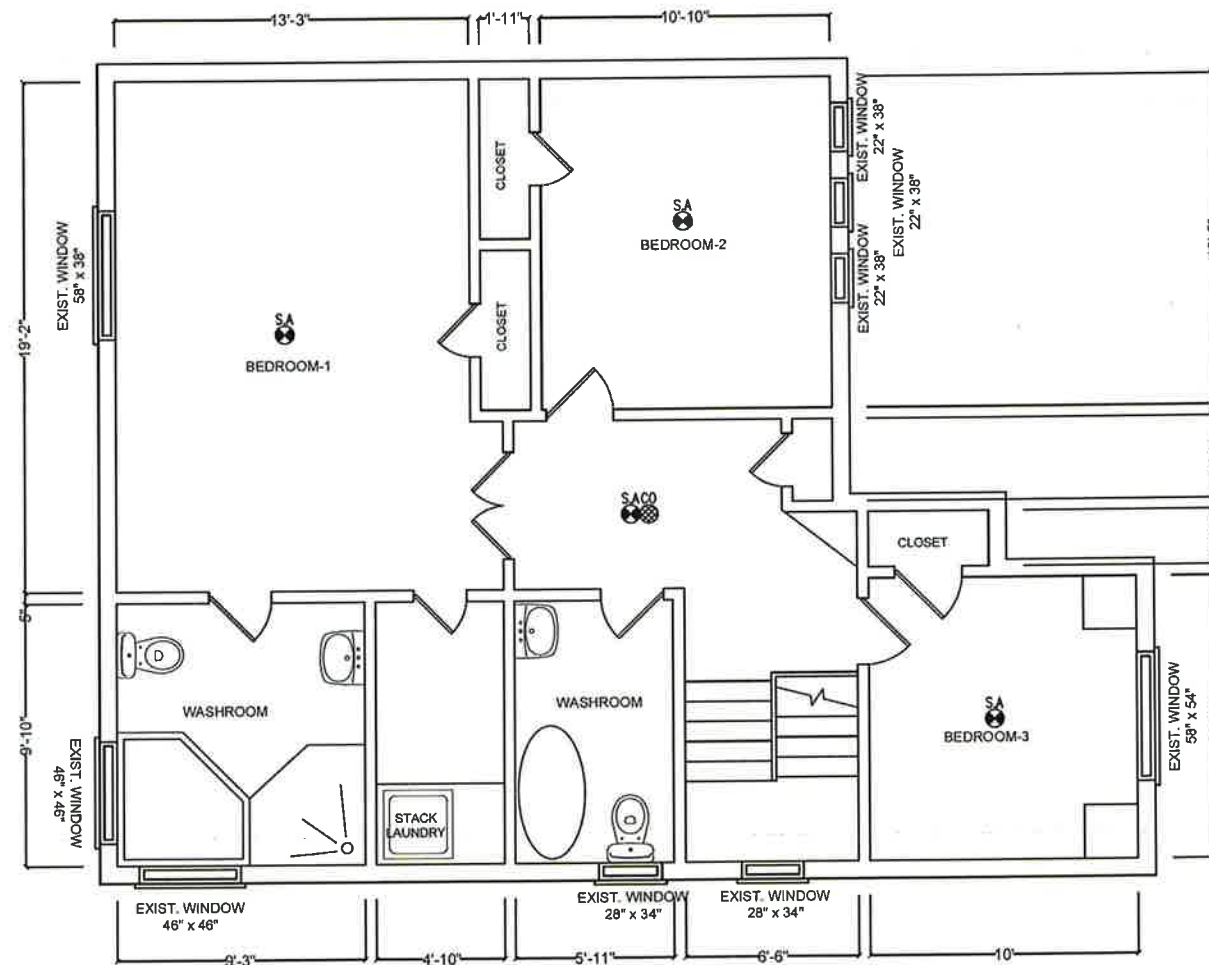
SHEET TITLE:

PROP. BASEMENT PLAN

CHECKED: MBS
 DRAWN: MSA
 SCALE: 1/8"=1'-0"
 DATE: OCT 02, 2022

DRAWING:

A1.2



SECOND FLOOR PLAN

GENERAL NOTES:

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CONSULTANT:

PROJECT:

45 SEDGEWICK CIR,
 BRAMPTON, ON

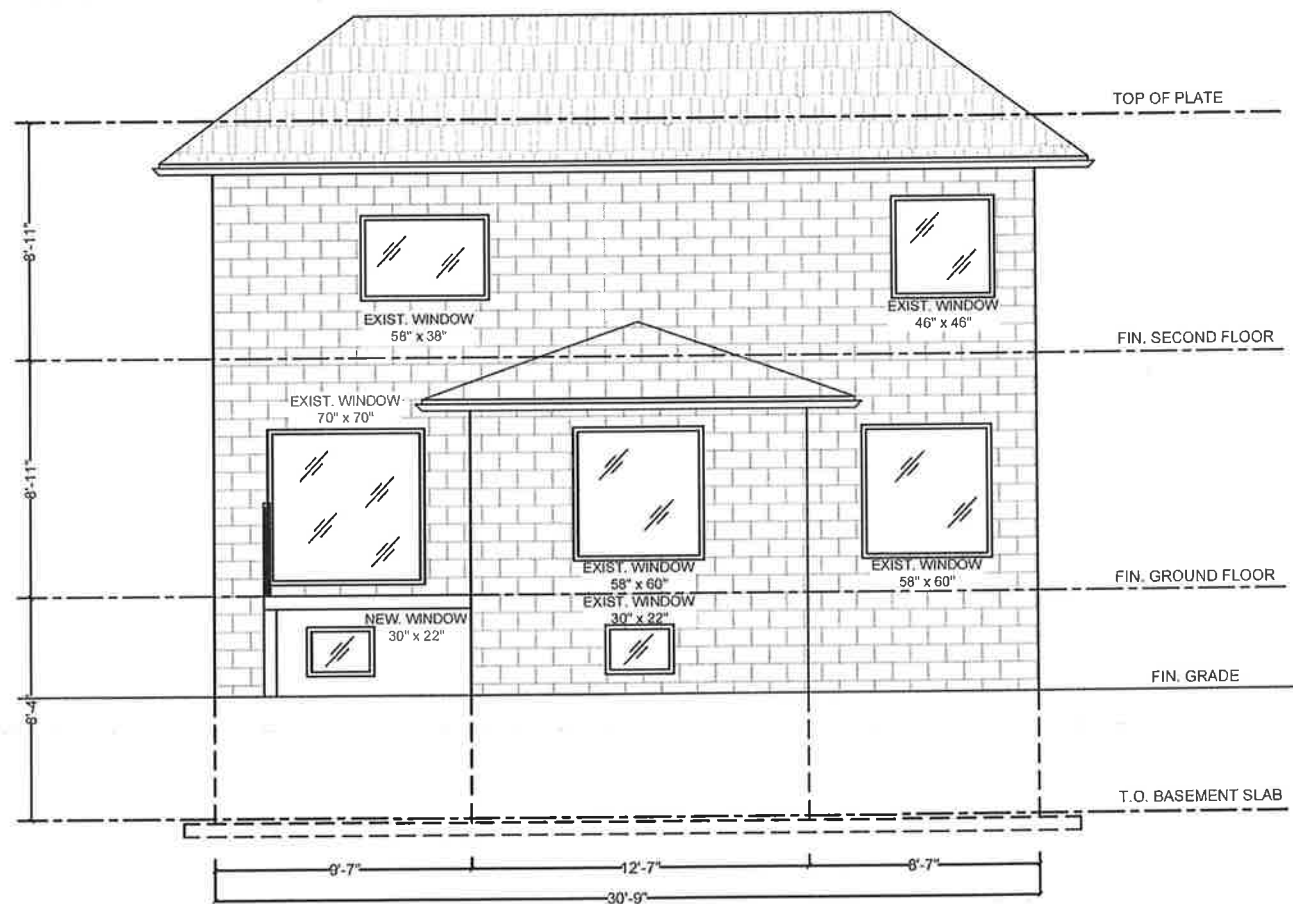
SHEET TITLE:

**SECOND FLOOR
 PLAN**

CHECKED: M89
 DRAWN: M5A
 SCALE: 3/8" = 1'
 DATE: OCT 02, 2022

DRAWING:

A1.4



REAR SIDE ELEVATION

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 WEBSITE : WWW.MECHWAYS.COM

CONSULTANT:

PROJECT:

45 SEDGEWICK CIR,
 BRAMPTON, ON

SHEET TITLE:

REAR SIDE
 ELEVATION

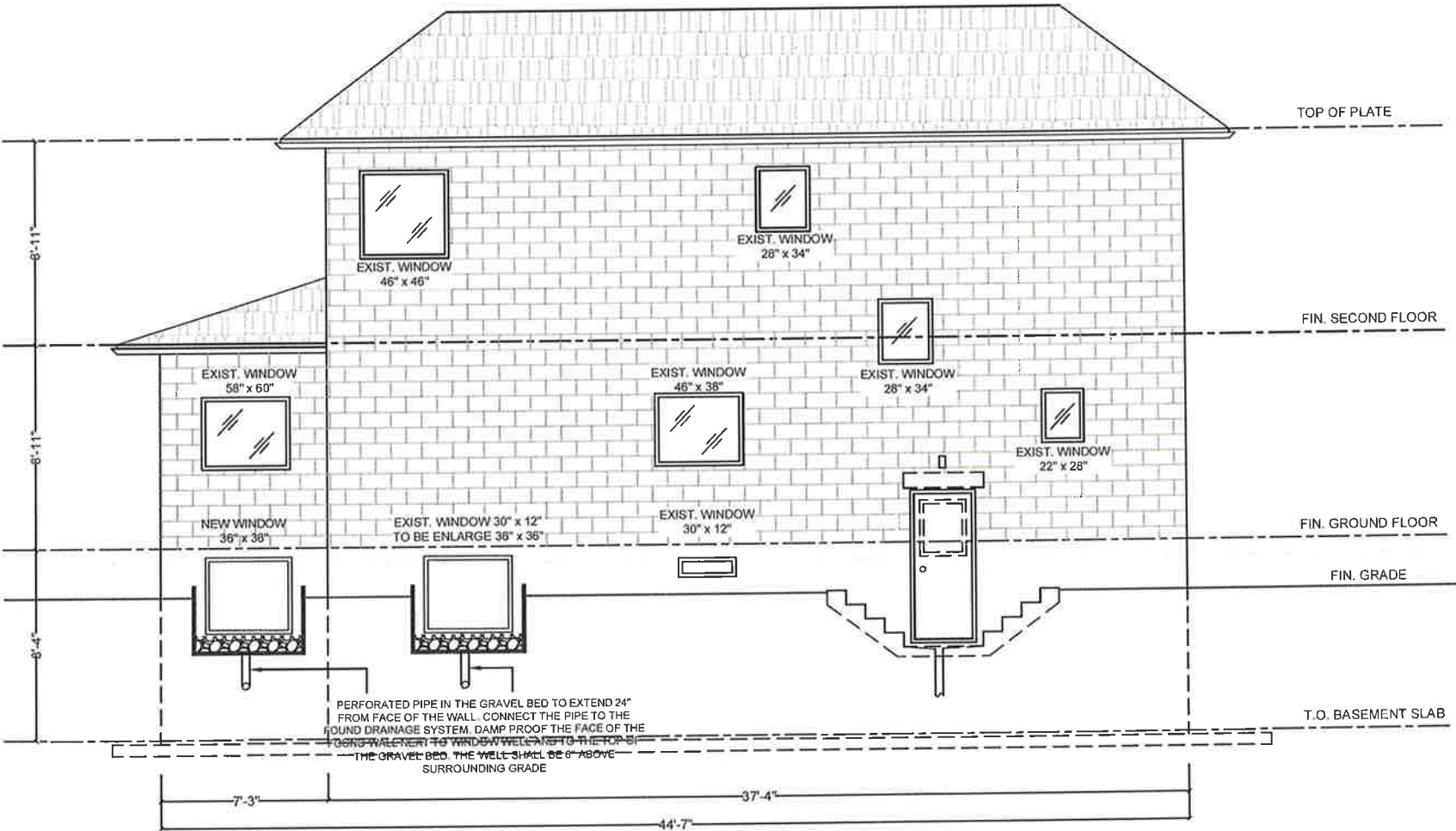
CHECKED: MSS
 DRAWN: MSA
 SCALE: 3/8" = 1'
 DATE: OCT 02, 2022

DRAWING:

A2.1

SPATIAL AREA CALCULATION

TOTAL WALL AREA / BUILDING FACE	= 731 ft ² / 67.91 m ²
LIMITING DISTANCE	= 1.26 m
MAXIMUM ALLOWABLE GLAZED AREA @ 7%	= 51.17 ft ² / 4.7 m ²
EXISTING GLAZED AREA ABOVE GRADE	= 43.6 ft ² / 4 m ²
PROPOSED GLAZED AREA ABOVE GRADE	= 3.69 ft ² / 0.3 m ²
TOTAL GLAZED AREA ABOVE GRADE	= 47.2 ft ² / 4.3 m ² = 6.4 %



LEFT SIDE ELEVATION

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WEBSITE | WWW.MECHWAYS.COM

CONSULTANT:

PROJECT:

45 SEDGEWICK CIR.
BRAMPTON, ON

SHEET TITLE:

**LEFT SIDE
ELEVATION**

CHECKED: MBS
DRAWN: MSA
SCALE: 3/8" = 1'
DATE: OCT 02, 2022

DRAWING:

A2.2

ROOM FINISHED SCHEDULE - BASEMENT								
ROOM NAME	FLOOR		WALL		CEILING		HEIGHT	REMARKS
	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH		
LIVING, DINING, & KITCHEN	WOOD		DRYWALL	PAINT	GYP SUM BD.	PAINT	2286	
BEDROOM	WOOD		DRYWALL	PAINT	GYP SUM BD.	PAINT	2286	
OWNER OCCUPIED	WOOD		DRYWALL	PAINT	GYP SUM BD.	PAINT	2286	
WASHROOM	CERAMIC		DRYWALL	PAINT	GYP SUM BD.	PAINT	2286	
COLD ROOM	CONCRETE		CONCRETE		CONCRETE			
UTILITY ROOM	CONCRETE		DRYWALL		GYP SUM BD.		2286	

DOOR SCHEDULE

1.
- ALL INTERIOR DOORS ARE SLAB DOOR 1-3/8 TH. HOLLOW CORE. THE SIZES ARE MENTIONED ON THE FLOOR PLAN. THE HEIGHT OF ALL DOORS ARE 80"
2.
- EGRESS DOOR - EXISTING ABOVE GRADE EXTERIOR TYPE STEEL DOOR PROVIDES ACCESS TO THE OUTSIDE

WINDOW SCHEDULE

ONE WINDOW PER FLOOR TO HAVE AN UNOBSTRUCTED OPEN PORTION W/A MIN. AREA OF 0.35m² W/ NO DIMENSION LESS THAN 380mm & MAXIMUM SILL HEIGHT OF 1m ABOVE FLOOR WINDOW SIZES HAVE BEEN PROVIDED ON THE FLOOR PLANS

CONSTRUCTION NOTES

- ①
- FOUNDATION WALL INSULATION
FOUNDATION WALL, MOISTURE BARRIER, 2x4 STUDS @ 16" O.C. WITH EXIST. INSULATION, 1/2" GYPSUM DRYWALL JOINTS TAPED AND SEALED AND PAINTED
- ②
- INTERNAL WALLS
EXISTING WOOD FRAMED WALL CONSISTING OF 2x4 WOOD STUDS @ 16" O.C. WITH 1/2" DRY WALL ON BOTH SIDES
- ③
- EXISTING CEILING
EXISTING DRYWALL CEILING (1/2" GYPSUM BOARD) ATTACHED TO BOTTOM OF FLOOR JOISTS OF GROUND FLOOR ASSEMBLY SATISFIES THE HORIZONTAL FIRE SEPARATION OF 15 MINUTES AS PER COMPLIANCE ALTERNATIVE C-152(b)
- ④
- 20 MIN. FIRE RESISTANCE RATED DOOR FOR COMMON AREA AND BETWEEN BASEMENT APARTMENT AND PRINCIPAL RESIDENCE WITH SELF CLOSING DEVICE
- ⑤
- EXISTING DUCT WORK LOCATED IN THE CEILING AND WALL HAS THE DIRECTION OF THE HEAT FLOW TOWARDS THE FLOOR
- ⑥
- MECHANICAL VENTILATION
50 CFM EXHAUST FANS IN KITCHEN AND WASHROOM
- ⑦
- IN COMPLIANCE WITH C152(b) SMOKE ALARMS ARE INSTALLED IN EVERY DWELLING UNIT AND COMMON AREAS IN CONFORMANCE WITH OBC 9.10.19. SMOKE ALARM SHALL BE WIRED AND INTERCONNECTED FOR THE ENTIRE BUILDING
- ⑧
- PROVIDE CARBON MONOXIDE ALARM CONFIRMING TO CAN/CSA-6.19 "RESIDENTIAL CARBON MONOXIDE ALARMING DEVICES" ADJACENT TO EACH SLEEPING AREA WITHIN EACH DWELLING UNIT. CARBON MONOXIDE ALARMS MAY BE HARDWIRED, BATTERY OPERATED OR THE TYPE THAT CAN BE PLUGGED INTO ELECTRICAL OUTLET
- ⑨
- FOR ALL ELECTRICAL WORK AND PERMIT CONTACT ELECTRICAL SAFETY AUTHORITY

GENERAL NOTES

-
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, SITE CONDITIONS AND ELEVATIONS WITH ARCHITECTURAL DRAWINGS AND RESOLVE ANY DISCREPANCIES WITH THE ENGINEER PRIOR TO START OF WORK
-
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH PART 9 AND 4 OF ONTARIO BUILDING CODE 2012 AND CITY BY-LAWS AND STANDARDS
-
- IT IS ASSUMED THAT THE WORK DEPICTED WILL BE PERFORMED BY AN EXPERIENCED CONTRACTOR AND/OR WORKMEN HAVING WORKING KNOWLEDGE OF THE APPLICABLE CODE, STANDARDS, INSURANCES AND REQUIREMENTS OF INDUSTRY ACCEPTED STANDARD. AS NOT EVERY CONDITION OR ELEMENT IS (OR CAN BE) EXPLICITLY SHOWN ON THESE DRAWINGS.
-
- BY COMMENCING CONSTRUCTION OF A BUILDING FROM THESE DRAWINGS, THE OWNER AND/OR BUILDER ACKNOWLEDGES THAT THE GENERAL NOTES HAVE BEEN READ AND UNDERSTOOD
-
- THE DRAWNGS PREPARED BY THE DESIGNER IS FOR THE PERMIT IN COMPLIANCE WITH OBC AND CITY BY-LAWS.
-
- THE DESIGNER IS NOT LIABLE FOR COST INCURRED FOR RE-WORK, ALTERATION, DISCREPANCIES OR ANY KIND OF CONSTRUCTION RELATED WORK
-
- ALL WOOD USED IN THE CONSTRUCTION SHALL BE SPF NO.1 OR NO.2
-
- MINIMUM BEARING OF STEEL LINTELS 150 MM.
-
- MINIMUM BEARING OF WOOD BEAM / LINTELS 90 MM
-
- MINIMUM BEARING OF WOOD JOISTS 40MM
-
- VERIFY EXISTING SUPPORT SYSTEM, INCLUDING FOUNDATIONS, FOR LOADS IMPOSED BY THE PROPOSED CONSTRUCTION
-
- PROVIDE ALL BRACING, SHORING AND NEEDLING NECESSARY FOR THE SAFE EXECUTION OF THIS WORK
-
- INFORM CITY OF ALL INSPECTION AHEAD OF TIME AND AT EACH STAGE OF CONSTRUCTION
-
- ANY DISCREPANCIES SHALL BE BROUGHT TO THE NOTICE OF ENGINEER PRIOR TO START OF WORK
-
- CONTRACTOR TO PROVIDE THE DESIGNED WINDOW / DOOR OR ANY EQUIVALENT STANDARD SIZE AVAILABLE IN MARKET

- \$
- SWITCH
- \$3
- 3 WAY SWITCH
INSTALL AT 3'-3" AFF
3 DENOTES 3-WAY SWITCH
SPECIFICATION GRADE WHITE,
WITH WHITE COVER PLATE
SHALL BE INSTALLED AT THE
ENDS OF EACH STAIRWAYS
- ⏻
- 15A, 120V DUPLEX RECEPTACLE
SPECIFICATION GRADE WHITE,
C/W WHITE COVER PLATE
GFI - GROUND FAULT TYPE
WP - WEATHERPROOF COVER
C - ABOVE COUNTER
- 🔌
- RECEPTACLE 50A, 208V,
STOVE OR DRIER OUTLET.
- ⚡
- RECEPTACLE
- 💡
- LIGHT
- 💡
- SPOT LIGHT
- 🚒
- EMERGENCY LIGHT
-
- FD: FLOOR DRAIN
- ⚙️
- SPRINKLER
- ⊗
- DUCT TYPE SMOKE DETECTOR
- SA
- SMOKE ALARM
- 👤
- CARBON MONOXIDE DETECTOR
- 🌀
- EXHAUST FAN

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CONSULTANT:

PROJECT:

45 SEDGEWICK CIR,
BRAMPTON, ON

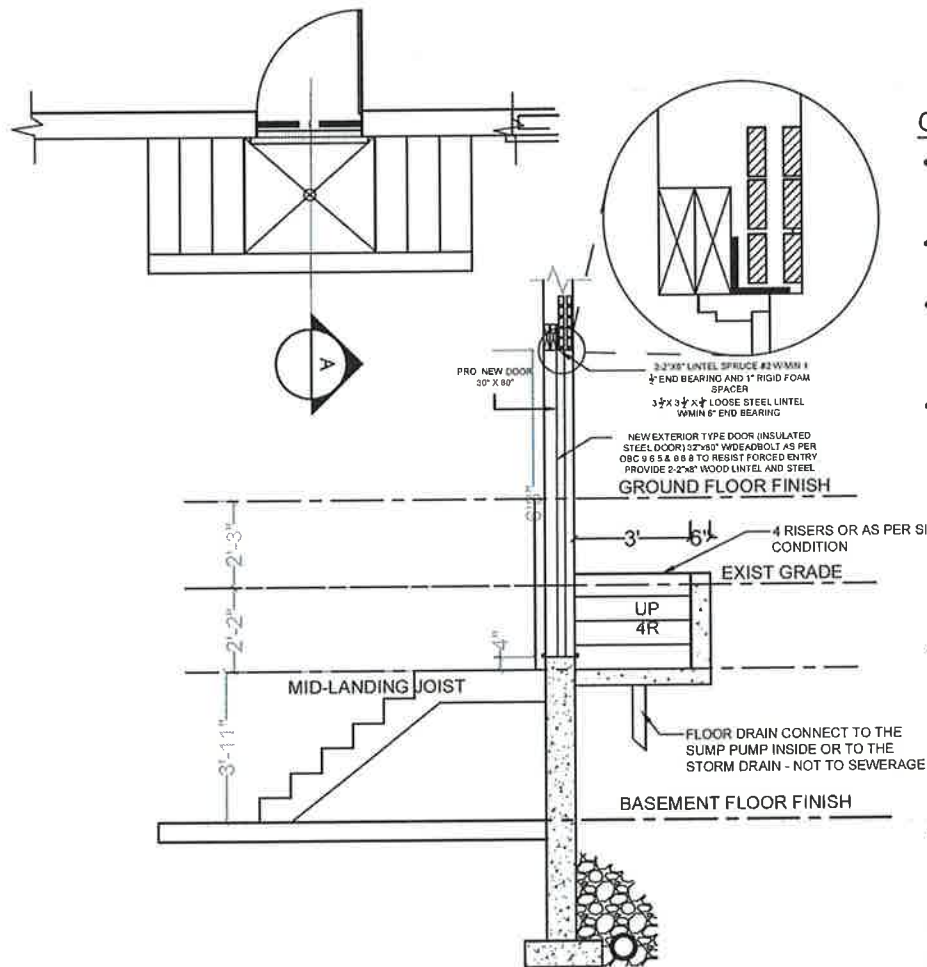
SHEET TITLE:

GENERAL NOTES

CHECKED: MBB
DRAWN: NTS
SCALE: 1/8"=1'-0"
DATE: OCT 02, 2022

DRAWING:

A 4.1



GENERAL NOTES

- ALL WORK ACCORDING TO ONTARIO BUILDING CODE 2012 AND CITY OF BRAMPTON BY-LAWS
- ALL WORKING ACCORDING TO GOOD CONSTRUCTION PRACTICES
- ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OR COMPACTED GRANULAR FILL WITH A MINIMUM BEARING CAPACITY OF 75 KPA
- WHERE THE FOUNDATIONS OF A BUILDING ARE TO BE CONSTRUCTED BELOW THE LEVEL OF THE FOOTINGS OF AN ADJACENT BUILDING AND WITHIN THE ANGLE OF REPOSE OF THE SOIL, OR THE UNDERPINNING EXCEEDS 1200mm OF LATERALLY UNSUPPORTED HEIGHT OR THE SOIL IS CLAY OR SILT, THE UNDERPINNING & RELATED CONSECUTION SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER.
- EXCAVATION SHALL BE UNDERTAKEN IN A MANNER SO AS TO PREVENT MOVEMENT WHICH WOULD CAUSE DAMAGE TO ADJACENT PROPERTIES, STRUCTURES, UTILITIES, ROADS & SIDEWALKS. CONTACT YOUR LOCAL UTILITIES PRIOR TO COMMENCING EXCAVATION.
- SHORE & BRACE WHERE NECESSARY TO ENSURE THE SAFETY & STABILITY OF THE EXISTING STRUCTURE DURING UNDERPINNING.

1. CONCRETE

- MINIMUM COMPRESSIVE STRENGTH OF CONCRETE 32MPa @ 28 DAYS W/5% TO 8% AIR ENTRAINMENT.
- MINIMUM YIELD STRENGTH OF STEEL 60 KSI.

3. EXTERIOR STAIRS

RISE 7 7/8" MAXIMUM 4 7/8" MINIMUM
RUN 8 1/2" MINIMUM 14" MAXIMUM
TREAD 9 1/4" MINIMUM 14" MAXIMUM
ADJUST STEP SIZE TO SUIT SITE

4. INSULATION

- MIN. RSI 2.11 (R12) INSULATION & VAPOR BARRIER ON THE INSIDE FACE OF THE EXPOSED FOUNDATION WALL.
- PROVIDE 4" THICK RIGID STYROFOAM INSULATION UNDER THE STAIR SLAB AND LOWER LANDING AND OUTWARD FACE OF RETAINING WALLS.

5. RETAINING WALL

10" POURED CONCRETE WALL W/NO REINFORCING REQUIRED FOR WALL HEIGHTS TO A MAX. OF 1200mm, UNLESS MENTIONED OTHERWISE.

PROVIDE 15M VERTICAL STEEL REINFORCEMENT @ 12" O.C. AND 10M DISTRIBUTION REINFORCEMENT @ 12" O.C. PROVIDE MINIMUM 3" CONCRETE COVER FOR MAIN REINFORCEMENT PLACED TOWARD EARTH SIDE

6. GUARDS -

42" HIGH WHERE DISTANCE FROM GRADE TO BOTTOM OF WALKOUT EXCEEDS 5'-11" 36" FOR LESSER HEIGHTS, MAXIMUM 4" BETWEEN VERTICAL PICKETS

7. EXTERIOR DOOR

EXTERIOR TYPE DOOR (42MM INSULATED STEEL DOOR) SIZE 2'-8"x6'-8", W/ DEADBOLT AS PER OBC 9.6.5 & 9.6.8 TO RESIST FORCED ENTRY. PROVIDE LINTEL AS FOLLOWS:
WOOD LINTEL: 2-2x8 SPF NO.1 OR NO.2
STEEL LINTEL: 1L 3 1/2"x3 1/2"x1/4" THICK
ANGLE STEEL LINTELS WITH MINIMUM BEARING OF 150MM

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45 SEDGEWICK CIR,
BRAMPTON, ON

SHEET TITLE:

SECTION PLAN

CHECKED: MSS
DRAWN: MSA
SCALE: NTS
DATE: OCT 02, 2022

DRAWING:

S 1



A-2022-0369