

**APPLICATION # A-2022-0354**  
**WARD 6**

**APPLICATION FOR MINOR VARIANCE**

WHEREAS an application for minor variance has been made by **SREENATH KUNDORRI AND SHAILAJA KUNDOORI** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Part of Blocks 49 and 119, Plan 43M-2050, Parts 1 and 16, Plan 43R-39851 municipally known as **73 BRUSHWOOD DRIVE**, Brampton;

AND WHEREAS the applicants are requesting the following variance(s):

1. To permit a 5.54m (181.18 ft.) separation distance between a driveway and the point of intersection of two streets whereas the by-law requires a minimum separation distance of 6.0m (19.68 ft.) between a driveway and the point of intersection of two streets.

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO File Number: \_\_\_\_\_  
Application for Consent: NO File Number: \_\_\_\_\_

The Committee of Adjustment has appointed **TUESDAY, December 6, 2022 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

**IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT.** This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant or another member of the public.

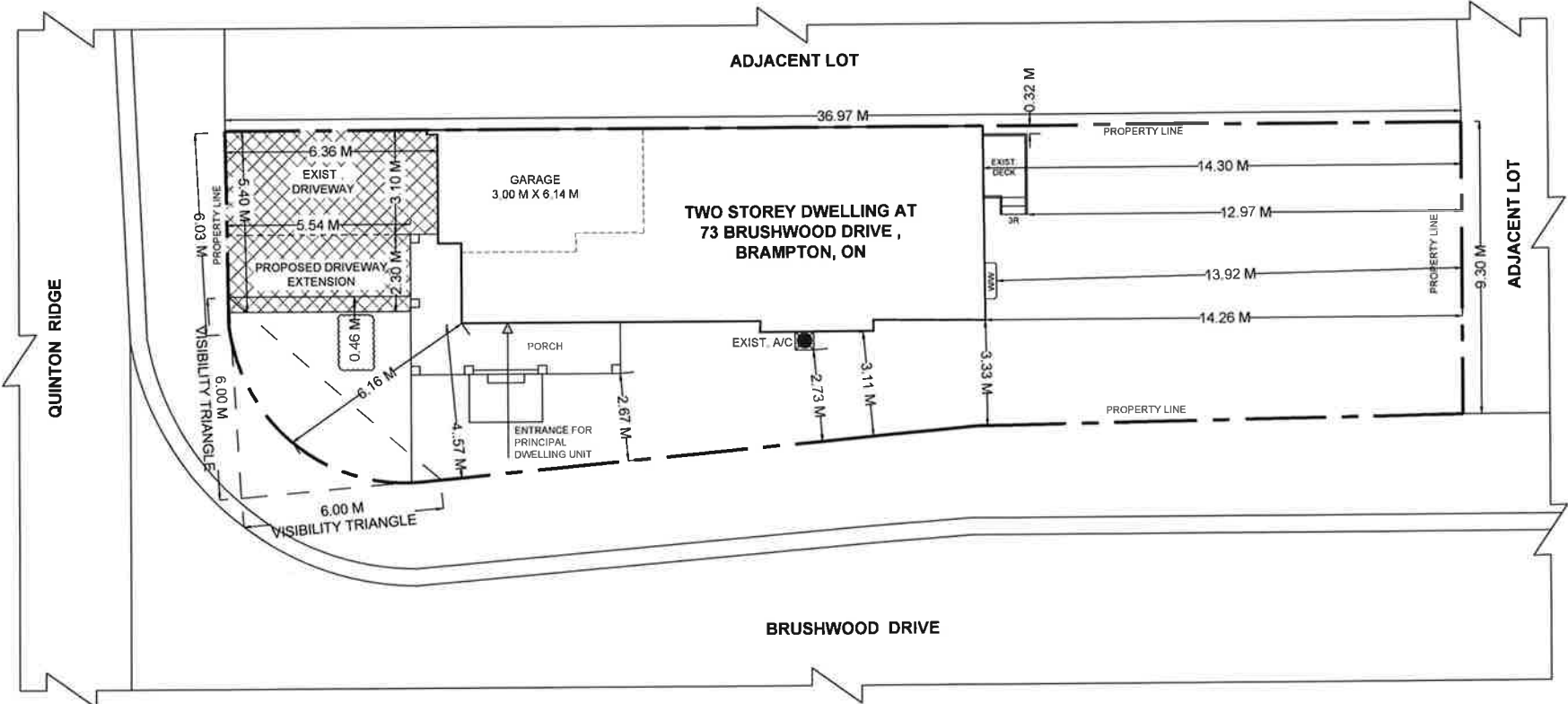
**RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.**

**PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC**

DATED at Brampton Ontario, this 24th Day of November, 2022

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer  
Committee of Adjustment, City Clerk's Office,  
Brampton City Hall, 2 Wellington Street West,  
Brampton, Ontario L6Y 4R2  
Phone: (905)874-2117  
Fax: (905)874-2119  
[jeanie.myers@brampton.ca](mailto:jeanie.myers@brampton.ca)



PROPOSED SITE PLAN

SCOPE OF WORK

1. PROPOSED DRIVEWAY EXTENSION

LANDSCAPED OPEN AREA CALCULATION

GROSS AREA OF FRONT YARD	582.64 ft² / 54.13 m²
FRONT YARD PARKING AREA	346.77 ft² / 32.22 m²
PARKING AREA %	59.52 %
FRONT YARD LANDSCAPED AREA	235.87 ft² / 21.91m²
LANDSCAPED AREA %	40.48%

GENERAL NOTES:  
DRAWINGS ARE TO BE READ NOT  
SQALED.  
CONTRACTOR MUST VERIFY ALL  
DIMENSIONS AND BE RESPONSIBLE  
FOR THE SAME.  
REPORT ANY DISCREPANCIES TO THE  
DESIGNER BEFORE COMMENCING THE  
WORK. THE DRAWINGS AND  
DOCUMENTS PROVIDED HERE WITHIN  
ARE THE EXCLUSIVE PROPERTY OF  
MECHWAYS INC. REPRODUCTION OF  
THE DOCUMENTS PROVIDED IS  
PROHIBITED WITHOUT THE CONSENT  
OF THE DESIGNER.  
ALL DESIGN AND CONSTRUCTION  
DOCUMENTATION ARE FINAL UNLESS  
REVISED BY THE DESIGNER. IF ANY  
DISCREPANCIES ARE DISCOVERED  
HERE WITHIN, THE DESIGNER SHALL  
BE NOTIFIED.




1	ISSUED FOR BUILDING PERMIT	OCT 06, 2022
NO.	DESCRIPTION	DATE

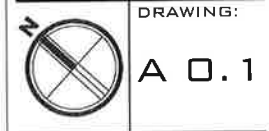
ENGINEER:  
 **Mechways Inc.**  
ADDRESS : 2751 THAMESGATE DRIVE  
MISSISSAUGA, ON L4T 1G5  
TEL : 416-627-4100  
EMAIL : INFO@MECHWAYS.COM  
WEBSITE : WWW.MECHWAYS.COM

CONSULTANT:

PROJECT:  
DRIVE EXTENSION AT  
73 BRUSHWOOD  
DRIVE, BRAMPTON

SHEET TITLE:  
**PROP. SITE  
PLAN**

CHECKED: SB  
DRAWN: GS  
SCALE: 1 : 150  
DATE: OCT /06/ 2022



Under the authority of the *Emergency Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

**Electronic/Hybrid Hearing Procedures**  
**How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **December 6, 2022** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

**How to Participate in the Hearing:**

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, December 1, 2022.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
  1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary–Treasurer at [cityclerksoffice@brampton.ca](mailto:cityclerksoffice@brampton.ca) or [jeanie.myers@brampton.ca](mailto:jeanie.myers@brampton.ca) by **4:30 pm Thursday, December 1, 2022.**
  2. To participate in-person, please email the Secretary–Treasurer at [cityclerksoffice@brampton.ca](mailto:cityclerksoffice@brampton.ca) or [jeanie.myers@brampton.ca](mailto:jeanie.myers@brampton.ca) by **4:30 pm Thursday, December 1, 2022.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, December 1, 2022.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:  
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or  
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to [cityclerksoffice@brampton.ca](mailto:cityclerksoffice@brampton.ca) or [jeanie.myers@brampton.ca](mailto:jeanie.myers@brampton.ca). If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

**NOTE** Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, [www.brampton.ca](http://www.brampton.ca). By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.



For Office Use Only  
(to be inserted by the Secretary-Treasurer  
after application is deemed complete)

FILE NUMBER: A-2022-0354

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

**NOTE:** It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** Sreenath Kundoori, Shailaja Kundoori  
**Address** 73 Brushwood Dr, Brampton, ON, L6Y 0E3

**Phone #** 647 204 4999 **Fax #** \_\_\_\_\_  
**Email** gtarealtor9@gmail.com

2. **Name of Agent** Valiuddin Mohammed  
**Address** 2751 Thamesgate Dr, Mississauga, ON, L4T 1G5

**Phone #** 647 786 5940 **Fax #** \_\_\_\_\_  
**Email** info@mechways.com

3. **Nature and extent of relief applied for (variances requested):**  
To permit a 5.54m separation distance between a driveway and the point of intersection of two streets whereas the by-law requires a minimum separation distance of 6.0m between a driveway and the point of intersection of two streets.

4. **Why is it not possible to comply with the provisions of the by-law?**  
Proposed driveway extension to accommodate two cars and hence require the driveway width to be 5.4 m. The proposed extension is 2.3 m but due to the 0.46 m of the visibility triangle of side 6m is falling into the proposed extension, a minor variance is required for the same width.

5. **Legal Description of the subject land:**  
**Lot Number** BLK 119 R, BLK 49 R  
**Plan Number/Concession Number** M2078, M2050  
**Municipal Address** 73 Brushwood Dr, Brampton, L6Y 0E3

6. **Dimension of subject land (in metric units)**  
**Frontage** 10.49 m  
**Depth** 36.97 M  
**Area** 343.08 sq m

7. **Access to the subject land is by:**  
**Provincial Highway** ☐ **Seasonal Road** ☐  
**Municipal Road Maintained All Year** ☒ **Other Public Road** ☐  
**Private Right-of-Way** ☐ **Water** ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

A 2 storied semi detached dwelling with a single attached garage.

PROPOSED BUILDINGS/STRUCTURES on the subject land:

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

**EXISTING**

Front yard setback 6.16 M

Rear yard setback 12.97 M

Side yard setback N/A

Side yard setback 2.67 M

**PROPOSED**

Front yard setback 6.16 M

Rear yard setback 12.97 M

Side yard setback N/A

Side yard setback 2.67 M

10. Date of Acquisition of subject land: Aug 2021
11. Existing uses of subject property: Aug 2021
12. Proposed uses of subject property: Residential
13. Existing uses of abutting properties: Residential
14. Date of construction of all buildings & structures on subject land: Aug 2021
15. Length of time the existing uses of the subject property have been continued: Aug 2021

16. (a) What water supply is existing/proposed?

Municipal ☒  
Well ☐

Other (specify) \_\_\_\_\_

- (b) What sewage disposal is/will be provided?

Municipal ☒  
Septic ☐

Other (specify) \_\_\_\_\_

- (c) What storm drainage system is existing/proposed?

Sewers ☒  
Ditches ☐  
Swales ☐

Other (specify) \_\_\_\_\_



17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # \_\_\_\_\_ Status \_\_\_\_\_

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

[Signature]  
Signature of Applicant(s) or Authorized Agent

DATED AT THE CITY OF BRAMPTON  
THIS 28<sup>th</sup> DAY OF OCTOBER, 2022

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, SREENATH KUNDOORI, OF THE CITY OF BRAMPTON  
IN THE REGION OF PEEL SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton

IN THE Region OF

Peel THIS 28<sup>th</sup> DAY OF

October, 2022

J.M.  
Jeanie Cecilia Myers  
a Commissioner, etc.,  
Province of Ontario  
for the Corporation of the  
City of Brampton  
Expires April 8, 2024.

[Signature]  
Signature of Applicant or Authorized Agent

Submit by Email

[Signature]  
A Commissioner etc.

FOR OFFICE USE ONLY

Present Official Plan Designation: \_\_\_\_\_

Present Zoning By-law Classification: \_\_\_\_\_

R2D - 2434

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

HOTHU S.

Zoning Officer

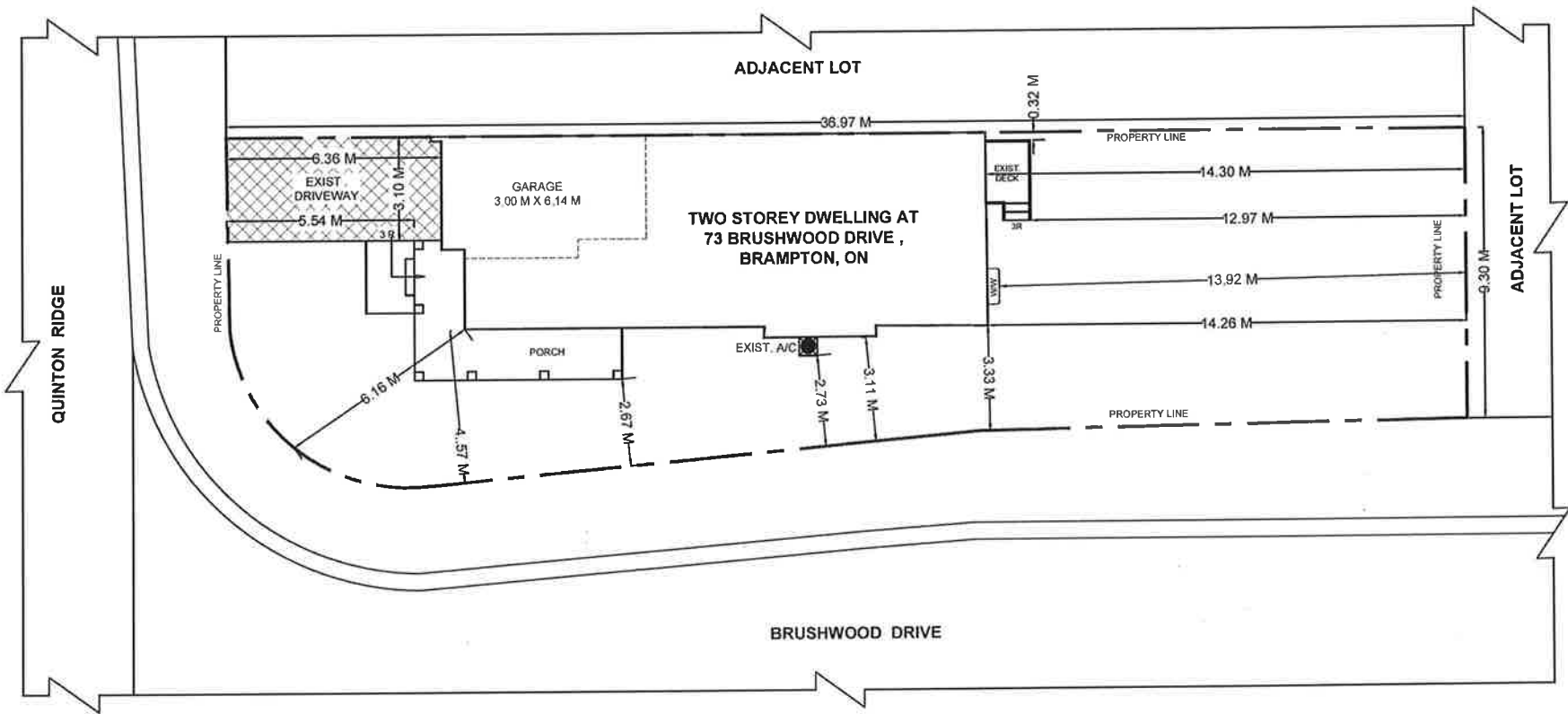
OCT 28 2022

Date

DATE RECEIVED October 28, 2022

Date Application Deemed  
Complete by the Municipality

Revised 2022/02/17



**GENERAL NOTES:**

DRAWINGS ARE TO BE READ NOT SCALED. CONTRACTOR MUST VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR THE SAME. REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE COMMENCING THE WORK. THE DRAWINGS AND DOCUMENTS PROVIDED HERE WITHIN ARE THE EXCLUSIVE PROPERTY OF MECHWAYS INC. REPRODUCTION OF THE DOCUMENTS PROVIDED IS PROHIBITED WITHOUT THE CONSENT OF THE DESIGNER. ALL DESIGN AND CONSTRUCTION DOCUMENTATION ARE FINAL UNLESS REVISED BY THE DESIGNER. IF ANY DISCREPANCIES ARE DISCOVERED HERE WITHIN, THE DESIGNER SHALL BE NOTIFIED.



1	ISSUED FOR BUILDING PERMIT	OCT 06, 2022
NO.	DESCRIPTION	DATE

**ENGINEER:**

**Mechways Inc.**

**ADDRESS:** 2751 THAMESGATE DRIVE, MISSISSAUGA, ON, L4T 1G5

**TEL:** 905-627-1100

**EMAIL:** INFO@MECHWAYS.COM

**WEBSITE:** WWW.MECHWAYS.COM

**CONSULTANT:**

**PROJECT:**

**DRIVE EXTENSION AT 73 BRUSHWOOD DRIVE, BRAMPTON**

**SHEET TITLE:**

**EXIST. SITE PLAN**

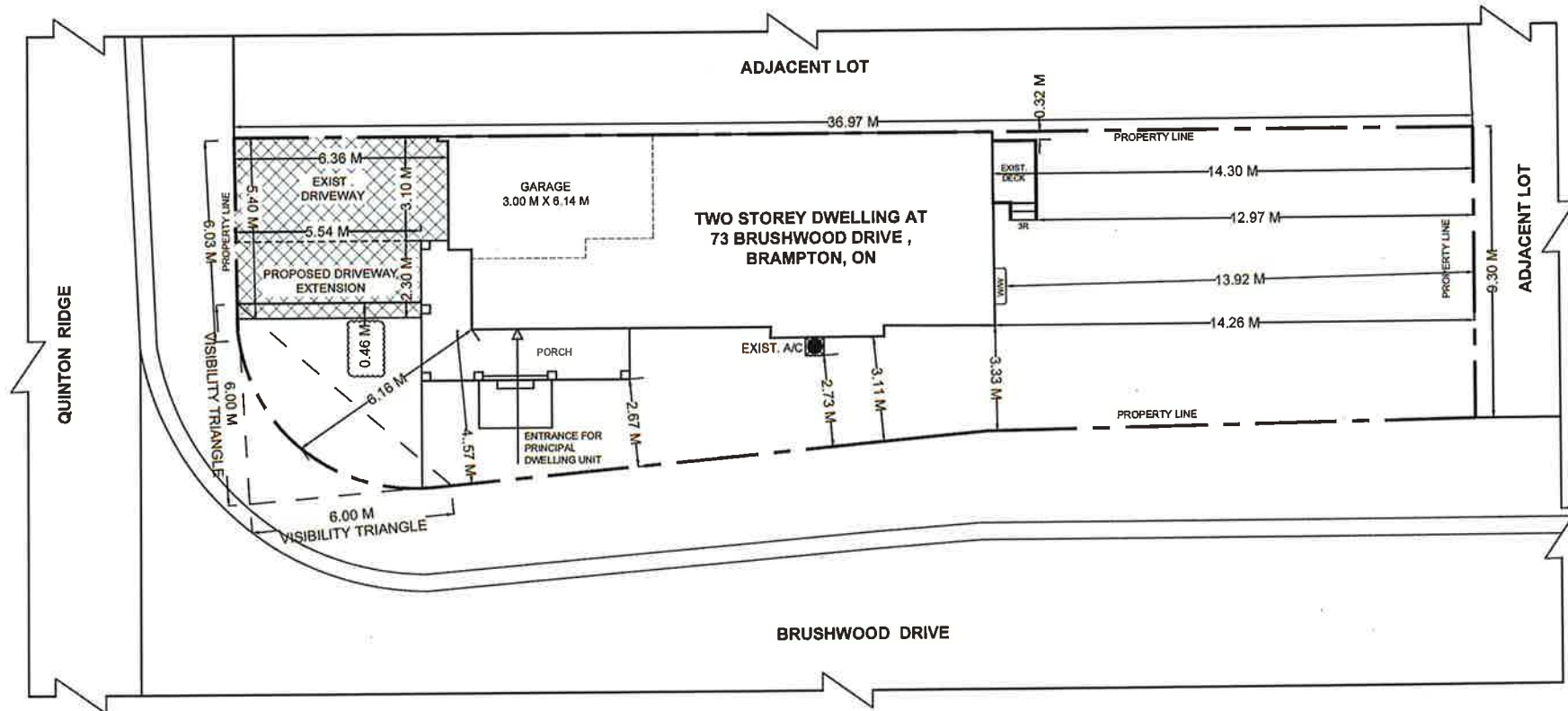
**CHECKED:** SS

**DRAWN:** SS

**SCALE:** 1 : 150

**DATE:** OCT /06/ 2022





PROPOSED SITE PLAN

SCOPE OF WORK

1. PROPOSED DRIVEWAY EXTENSION

LANDSCAPED OPEN AREA CALCULATION

GROSS AREA OF FRONT YARD	582.64 ft <sup>2</sup> / 54.13 m <sup>2</sup>
FRONT YARD PARKING AREA	346.77 ft <sup>2</sup> / 32.22 m <sup>2</sup>
PARKING AREA %	59.52 %
FRONT YARD LANDSCAPED AREA	235.87 ft <sup>2</sup> / 21.91 m <sup>2</sup>
LANDSCAPED AREA %	40.48%

GENERAL NOTES:

DRAWINGS ARE TO BE READ NOT SCALED.  
CONTRACTOR MUST VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR THE SAME.  
REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE COMMENCING THE WORK. THE DRAWINGS AND DOCUMENTS PROVIDED HERE WITHIN ARE THE EXCLUSIVE PROPERTY OF MECHWAYS INC. REPRODUCTION OF THE DOCUMENTS PROVIDED IS PROHIBITED WITHOUT THE CONSENT OF THE DESIGNER.  
ALL DESIGN AND CONSTRUCTION DOCUMENTATION ARE FINAL UNLESS REVISED BY THE DESIGNER. IF ANY DISCREPANCIES ARE DISCOVERED HERE WITHIN, THE DESIGNER SHALL BE NOTIFIED.

SEAL:



1	ISSUED FOR BUILDING PERMIT	OCT 06, 2022
NO.	DESCRIPTION	DATE

ENGINEER:

 **Mechways Inc.**  
ADDRESS : 2751 THAMESGATE DRIVE  
MISSISSAUGA, ON, L4T 1B5  
TEL : 416-627-4100  
EMAIL : INFO@MECHWAYS.COM  
WEBSITE : WWW.MECHWAYS.COM

CONSULTANT:

PROJECT:

DRIVE EXTENSION AT  
73 BRUSHWOOD  
DRIVE, BRAMPTON

SHEET TITLE:

**PROP. SITE  
PLAN**

CHECKED: SS  
DRAWN: GS  
SCALE: 1 : 150  
DATE: OCT /06/ 2022

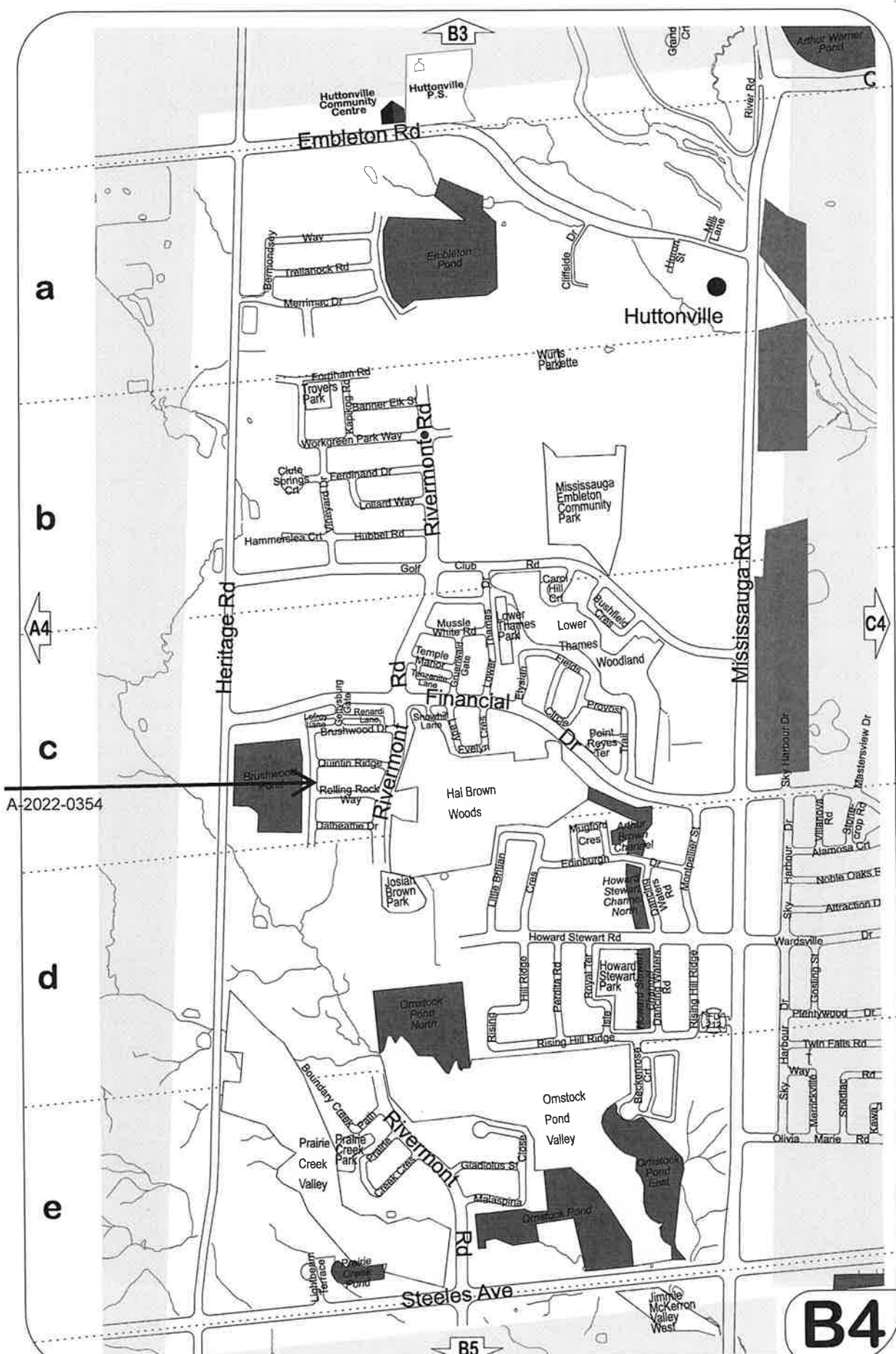


DRAWING:

**A 0.1**







A-2022-0354

B4