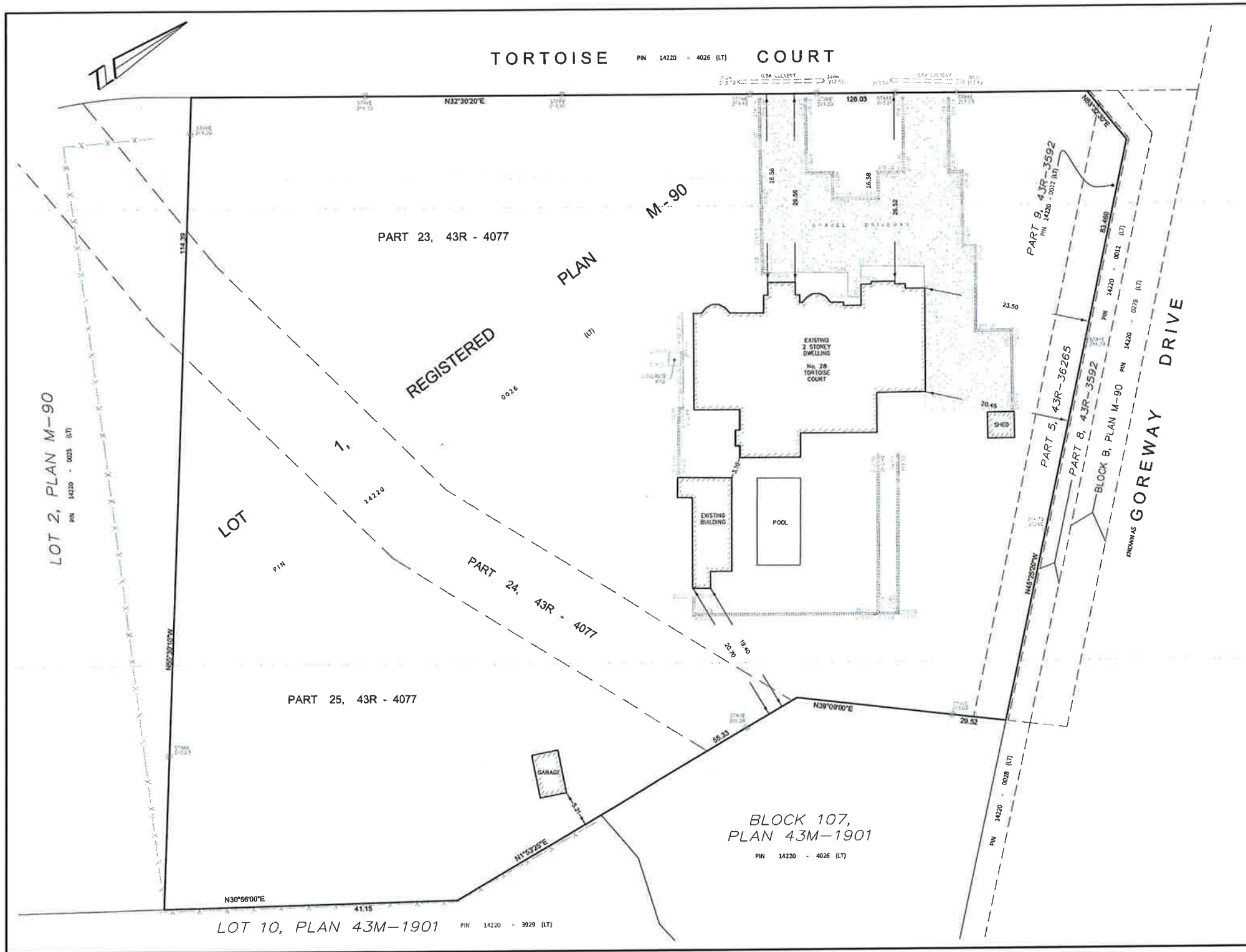




APPLICATION # A-2022-0262
WARD 10

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca



KEY MAP
(N.T.S.)

SUBJECT PROPERTY

LEGEND:

EXISTING ELEVATION
FENCELINE
CONCRETE EDGING
GRAVEL
STONES

SURVEY INFORMATION:

BENCHMARK REFERENCE:

ELEVATIONS ARE BASED ON GPS OBSERVATIONS FROM PERMANENT REFERENCE STATIONS IN THE NAD83 (CSRS-2010) COORDINATE SYSTEM, WITH HEIGHTS CONVERTED TO ORTHOMETRIC ELEVATIONS ON THE CVGD28 DATUM (1978 ADJUSTMENT) WITH GEOID MODEL HTV2.0, AS SUPPLIED BY NATURAL RESOURCES CANADA.

TOPOGRAPHIC SURVEY DATE:
THIS TOPOGRAPHIC SURVEY WAS COMPLETED ON THE 22nd DAY OF OCTOBER, 2022.

AS-BUILT TOPOGRAPHIC SURVEY FOR:

28 TORTOISE COURT
PART OF LOT 1, REGISTERED PLAN M-90
BEING PARTS 23, 24 & 25, DEPOSITED PLAN 43R-4077
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEL

NO.	REVISION	BY	DATE

DRAWING REVISION SCHEDULE

PREPARED FOR: SEWA BASRA

PROJECT No. 24562-17

DRAWING SCALE 1 : 300

CAUTION:
- THIS IS NOT A PLAN OF SURVEY AND SHALL NOT BE USED FOR TRANSACTION OR MORTGAGE PURPOSES
- THIS SKETCH IS PROTECTED BY COPYRIGHT.

PROFESSIONAL LAND SURVEYOR
100135963
NOV 8-22

Van Harten
SURVEYING INC.
LAND SURVEYORS and ENGINEERS

Kitchener
Ph: 519-742-4371

Guelph
Ph: 519-821-2763

Orangeville
Ph: 519-940-4110

www.vanharten.com

info@vanharten.com

DRAWN BY: RICH

CHECKED BY: MARY

Nov 8, 2022-11:36:41 AM
L:\Brampton\M-90\ac adv\ASBUILT TOPO (24562-17 BASRA).dwg

Under the authority of the *Emergency Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

Electronic/Hybrid Hearing Procedures
How to get involved in the Hybrid Hearing

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **December 6, 2022** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

How to Participate in the Hearing:

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, December 1, 2022.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
 1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, December 1, 2022.**
 2. To participate in-person, please email the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, December 1, 2022.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, December 1, 2022.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html>.

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

Flower City



brampton.ca

For Office Use Only
(to be inserted by the Secretary-Treasurer
after application is deemed complete)

FILE NUMBER: A-2022-0262

The Personal information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law 270-2004.

1. Name of Owner(s) Sewa Singh Basra & Harjit Kaur Basra
Address 28 Tortoise Court, Brampton, ON L6P 0A1

Phone # 905-408-5416 Fax # _____
Email harjit@erush.com

2. Name of Agent Anthony Bartolini
Address 48 Cayton Crescent, Bradford ON L3Z 0V9

Phone # 905-966-8888 Fax # _____
Email squaredesigngroup@outlook.com

3. Nature and extent of relief applied for (variances requested):

1.To permit an accessory structure (cabana) having a gross floor area of 103.4 sq. m. whereas the by-law permits a maximum gross floor area of 23 sq. m for an individual accessory structure.

2.To permit a kitchen and washroom in the accessory structure (cabana) whereas the by-law does not permit an accessory structure to be used for human habitation.

4. Why is it not possible to comply with the provisions of the by-law?

can not comply with gross floor area.

can not comply with the cabana having a washroom and kitchen.

5. Legal Description of the subject land:

Lot Number lot 1
Plan Number/Concession Number m-90
Municipal Address 28 Tortoise Court, Brampton, ON L6P 0A1

6. Dimension of subject land (in metric units)

Frontage 114.381
Depth 126.028m
Area 12526.3 M2

7. Access to the subject land is by:

Provincial Highway ☐
Municipal Road Maintained All Year ☒
Private Right-of-Way ☐

Seasonal Road ☐
Other Public Road ☐
Water ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

Existing 2 storey dwelling

House Footprint: 587.8 m2

PROPOSED BUILDINGS/STRUCTURES on the subject land:

Proposed cabana footprint: 103.4 m2

Cabana Height: 3.150m 4.7m

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback 28.584m

Rear yard setback 18.051m

Side yard setback 45.906m

Side yard setback 69.980m

PROPOSED

Front yard setback N/A

Rear yard setback 33.885m

Side yard setback 20.497m

Side yard setback 71.658m

- 10. Date of Acquisition of subject land: Sep 2015
11. Existing uses of subject property: Residential
12. Proposed uses of subject property: Residential
13. Existing uses of abutting properties: Residential
- 14. Date of construction of all buildings & structures on subject land: April 2019
- 15. Length of time the existing uses of the subject property have been continued: 7 YEARS
- 16. (a) What water supply is existing/proposed?
Municipal ☒ Other (specify) _____
Well ☐
- (b) What sewage disposal is/will be provided?
Municipal ☒ Other (specify) _____
Septic ☐
- (c) What storm drainage system is existing/proposed?
Sewers ☒ Other (specify) _____
Ditches ☐
Swales ☐

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

S. Bawa
Signature of Applicant(s) or Authorized Agent

DATED AT THE City OF Brampton
THIS 12th DAY OF August, 2022

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, SEWA SINGH BASKA, OF THE City OF Brampton
IN THE Region OF Peel SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE
City OF Brampton

IN THE Region OF
 Peel THIS 12th DAY OF

August, 2022

Jeanie Cecilia Myers
A Commissioner etc.

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024 pm.

S. Bawa
Signature of Applicant or Authorized Agent

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: RE2

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

J. Chau
Zoning Officer

July 20, 2022
Date

DATE RECEIVED August 12, 2022

NOTES:

1. CONFORMITY TO STANDARDS: THIS DRAWING IS MADE IN ACCORDANCE WITH THE STANDARDS OF THE PROFESSIONAL ENGINEERING SOCIETY OF ONTARIO (P.E.S.O.) AND THE STANDARDS OF THE PROFESSIONAL ENGINEERING SOCIETY OF ALBERTA (P.E.S.A.).
2. THE DRAWING IS THE PROPERTY OF THE ENGINEER AND IS NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF THE ENGINEER.
3. THE ENGINEER HAS NOT CONDUCTED A VISUAL INSPECTION OF THE SITE OR THE EXISTING CONDITIONS. THE ENGINEER HAS RELIED ON THE INFORMATION PROVIDED BY THE CLIENT AND THE RECORD DRAWINGS.
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SERVICING NOTES:

1. LOCATION OF THE SANITARY AND WATER SERVICES ARE SHOWN ON THIS DRAWING. THE ENGINEER HAS NOT CONDUCTED A VISUAL INSPECTION OF THE SITE OR THE EXISTING CONDITIONS. THE ENGINEER HAS RELIED ON THE INFORMATION PROVIDED BY THE CLIENT AND THE RECORD DRAWINGS.
2. LOCATION AND ELEVATION OF THE SANITARY AND WATER SERVICES ARE SHOWN ON THIS DRAWING. THE ENGINEER HAS NOT CONDUCTED A VISUAL INSPECTION OF THE SITE OR THE EXISTING CONDITIONS. THE ENGINEER HAS RELIED ON THE INFORMATION PROVIDED BY THE CLIENT AND THE RECORD DRAWINGS.
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REGION OF PEEL SERVICING NOTES:

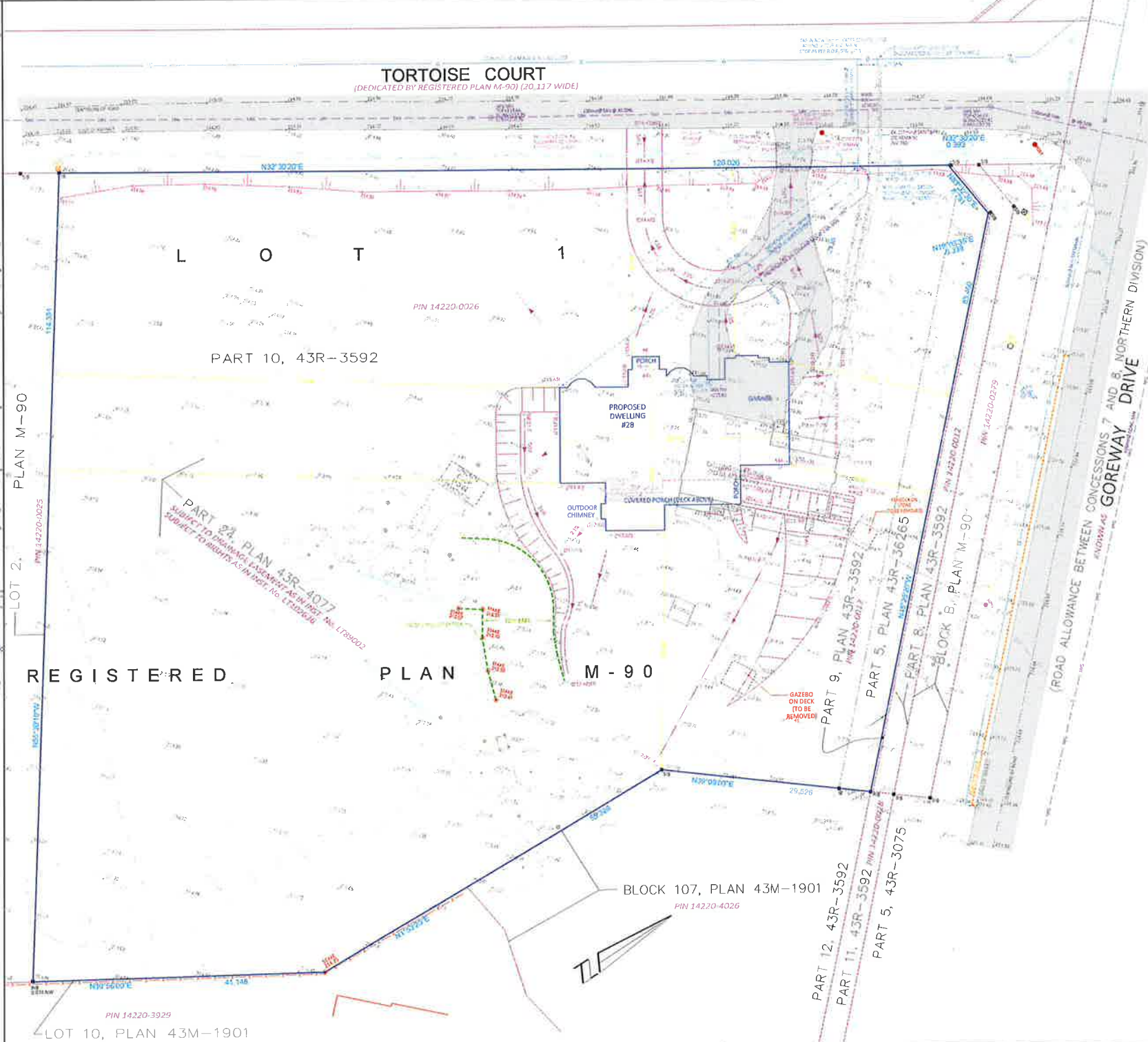
1. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE REGION OF PEEL STANDARDS AND SPECIFICATIONS.
2. THE ENGINEER HAS NOT CONDUCTED A VISUAL INSPECTION OF THE SITE OR THE EXISTING CONDITIONS. THE ENGINEER HAS RELIED ON THE INFORMATION PROVIDED BY THE CLIENT AND THE RECORD DRAWINGS.
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SEDIMENT AND EROSION CONTROL NOTES:

1. ALL EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH THE REGION OF PEEL STANDARDS AND SPECIFICATIONS.
2. THE ENGINEER HAS NOT CONDUCTED A VISUAL INSPECTION OF THE SITE OR THE EXISTING CONDITIONS. THE ENGINEER HAS RELIED ON THE INFORMATION PROVIDED BY THE CLIENT AND THE RECORD DRAWINGS.
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MIGRATORY BIRDS CONVENTION ACT:

ANY TRAIL CLEARING SHALL BE AVOIDED BETWEEN APRIL 1 - AUGUST 31 AS OUTLINED IN THE MIGRATORY BIRDS CONVENTION ACT, AND TRAILS WILL BE INSPECTED FOR NESTS PRIOR TO CLEARING.



KEY MAP (N.T.S.)

SUBJECT PROPERTY

24524562-17 (Sewa (SAM) Basra)\KEYMAP

PROPERTY DESCRIPTION:

ALL OF PIN 14220-0026
PART 1, LOT 10, PLAN M-90
SUBJECT TO A RIGHT OF WAY 10.00M WIDE SUBJECT TO LOT 10
OF 24524562-17 (Sewa (SAM) Basra)\KEYMAP

LEGEND:

EXISTING GRADE	PROPOSED GRADE	DIRECTION OF FLOW	CATCHBASIN	MANHOLE	WATER VALVE	FIRE HYDRANT	HYDRO PILE	CUT WIRE	LIGHT STANDARD	HYDRO METER	GAS METER
NATURAL GAS	WATERMAIN	SANITARY SEWER	STEAM SEWER	FENCE	PROPOSED SWALE	EXISTING TREE	DECIDUOUS TREE	CONIFEROUS TREE	TREE TO BE REMOVED		

CAUTION:

THIS IS NOT A PAVEMENT SURFACE AND SHOULD NOT BE USED FOR
TRANSPORT OF OR STORAGE OF VEHICLES.

THIS DRAWING IS PROTECTED BY COPYRIGHT.

BENCHMARK

LEVELATIONS ARE BASED ON GPS COORDINATES FOR BENCHMARK
REFERENCE STATION IN THE NORTH BRAS, 2000 COORDINATE SYSTEM AND HAVE BEEN
ADJUSTED TO THE NORTH BRAS, 2000 COORDINATE SYSTEM. THE COORDINATES OF THE
BENCHMARK ARE: 45° 10' 00" N, 75° 10' 00" W. AS SUPPLIED BY NATURAL
RESOURCES CANADA.

SITE DATA:

SITE DATA:

PROPOSED DWELLING

- BASEMENT SLAB ELEVATION - 219.31
- TOP OF FINISH FLOOR ELEVATION - 219.31
- NUMBER OF FLOOR ELEVATION - 219.31
- FINISH TOP OF FOUNDATION TO BASEMENT SLAB - 0.00

ZONING:

RESIDENTIAL RURAL ESTATE 2 (R2)

REQUIRED

- MINIMUM LOT AREA - 0.40A
- MINIMUM LOT WIDTH - 10m
- MINIMUM FRONT YARD - 10m
- MINIMUM SIDE YARD - 10m
- MINIMUM REAR YARD - 10m

LOT DEVELOPMENT PLAN FOR:

28 TORTOISE COURT
ALL OF LOT 1
PLAN M-90
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEL

NO.	REVISION	DESCRIPTION	DATE
1	1	ISSUED FOR PERMIT	APR 26, 2018
2	2	REVISED SITE LAYOUT AND DETAILS	APR 26, 2018
3	3	REVISED HOUSE LAYOUT	APR 26, 2018
4	4	RECA REVISION	APR 26, 2018
5	5	RECA REVISION	APR 26, 2018
6	6	RECA REVISION	APR 26, 2018
7	7	RECA REVISION	APR 26, 2018
8	8	RECA REVISION	APR 26, 2018
9	9	RECA REVISION	APR 26, 2018
10	10	RECA REVISION	APR 26, 2018

DRAWING REVISION SCHEDULE

PREPARED FOR: SEWA BASRA

PROJECT No. 24562-17

DRAWING SCALE 1:250

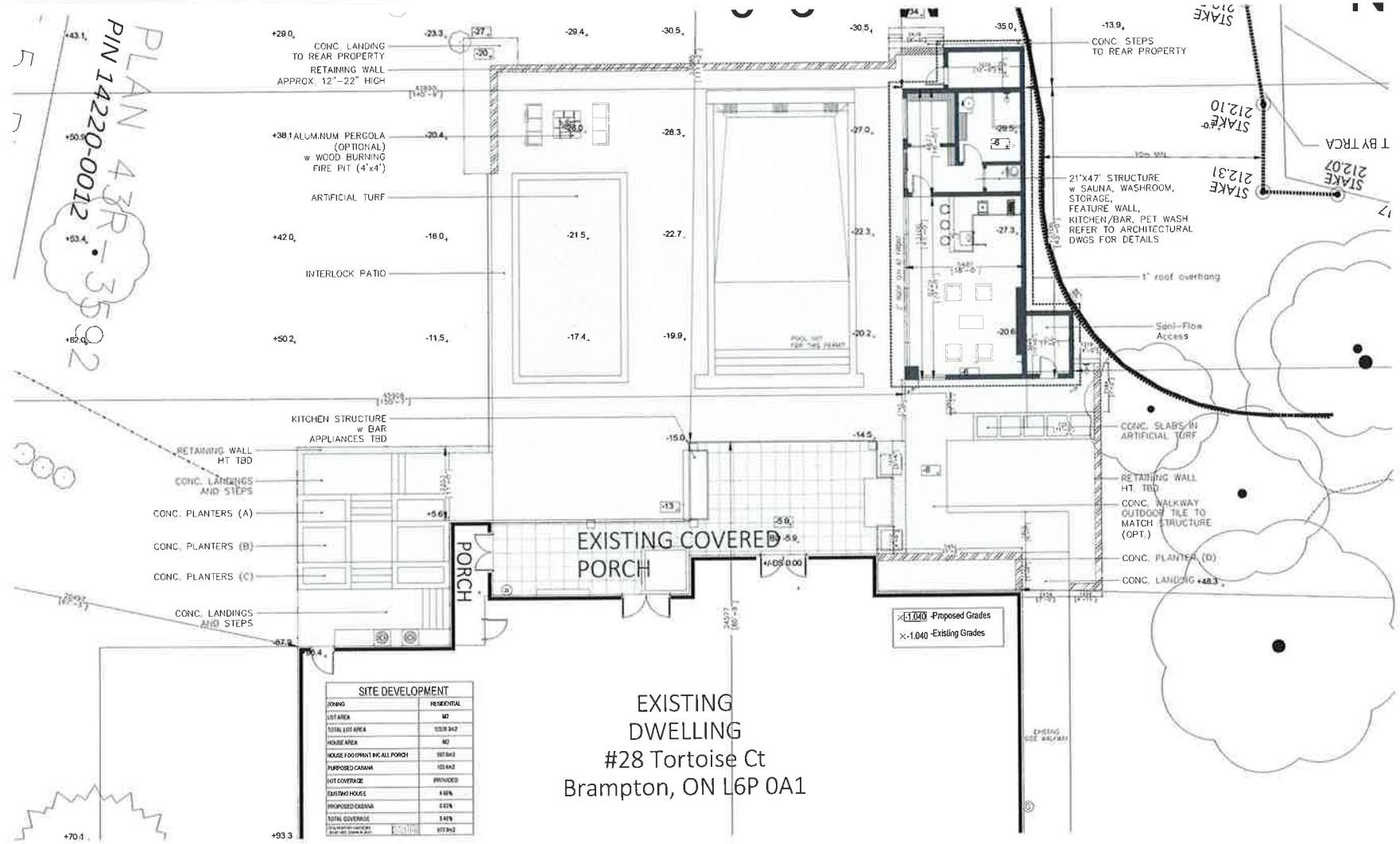
Van Harten SURVEYING

www.vanharten.com info@vanharten.com

PH: 516-660-5070 FAX: 516-660-2753

PROPOSED CABANA
28 Tortoise Ct Brampton, ON L6P 0A1

A00-COVER PAGE
A1.1-SITE PLAN (ZOOMED)
A1-SITE PLAN
A2-FLOOR PLAN
A3-FOUNDATION PLAN
A4-ROOF PLAN
A4.1-ROOF DRAINAGE
A5-ELEVATIONS
A6-ELEVATIONS
A7-ELEVATIONS
A8-WALL FRAMING



PLAN 43R-3592
PIN 14220-0012

SITE DEVELOPMENT	
USE	RESIDENTIAL
LOT AREA	M2
TOTAL LOT AREA	1050.542
HOUSE AREA	M2
HOUSE FOOTPRINT INC. ALL PORCH	100.842
PROPOSED CASANA	100.842
LOT COVERAGE	PROVIDED
EXISTING HOUSE	4.6%
PROPOSED CASANA	9.6%
TOTAL COVERAGE	14.2%

EXISTING DWELLING
#28 Tortoise Ct
Brampton, ON L6P 0A1

FOR STRUCTURAL ONLY

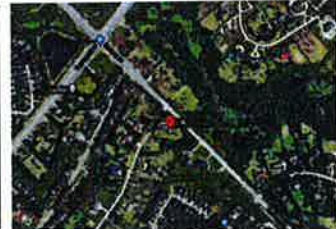


1 SITE PLAN
A1 1:200

GENERAL NOTES
CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION.

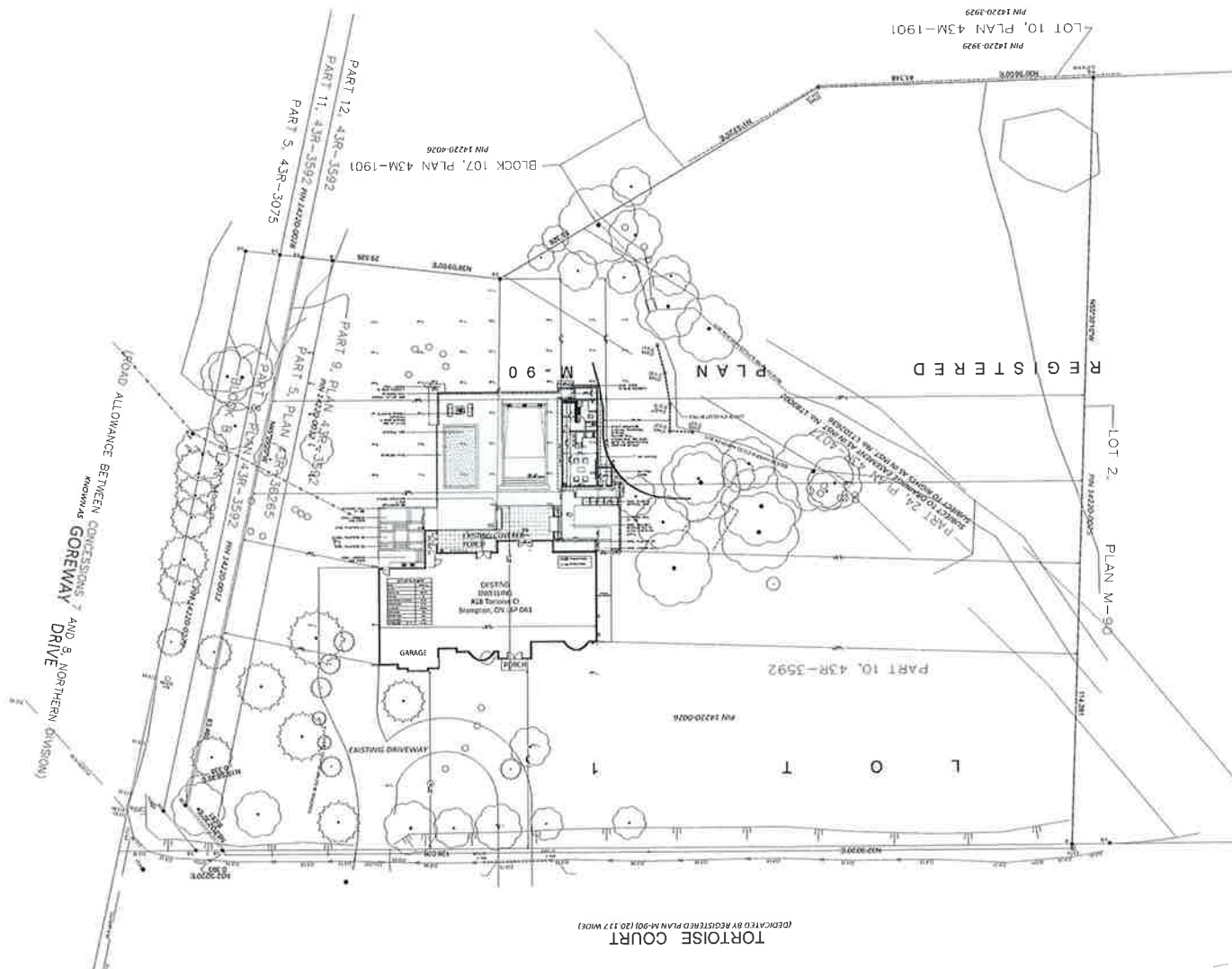
THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL SEALED AND SIGNED BY THE DESIGNER.

PROJECT NAME: 28 Tortoise Ct Brampton, ON L6P 0A1			
DRAWING TITLE: Site Plan (ZOOMED)			
DRAWN BY:	CHECKED BY:	APPROVED BY:	DATE:



SHEET NO: A1

rev	description	by	date
REV:	DESCRIPTION:	BY:	DATE:



FOR STRUCTURAL ONLY



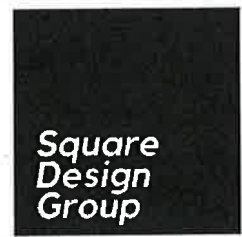
rev	description	by	date
REV:	DESCRIPTION:	BY:	DATE:

1 SITE PLAN
A1.1 1:750

GENERAL NOTES
CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION.

THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL SEALED AND SIGNED BY THE DESIGNER.

PROJECT NAME: 28 Tortoise Ct Brampton, ON L6P 0A1			
DRAWING TITLE: Site Plan (FULL)			
DRAWN BY:	CHECKED BY:	APPROVED BY:	DATE:



SHEET NO:
A1.1

STRUCTURAL NOTES:

1. Workmanship and materials shall be in accordance with part 9 of the Ontario Building Code and local regulations.
2. See Architectural drawings for dimensions, elevations and finishes.
3. All structural components shall be interconnected to resist code mandated live, dead and environmental loads.
4. DESIGN LIVE LOADS ARE:
ROOF : SS 1/50 = 1.3KPA, SR = 0.4 KPA
FLOORS : 40 PSF
WIND 1/50 : 0.44 KPA BASIC
EARTHQUAKE : SA (0.2) 0.21
5. Contractor is responsible for safe execution of work, as per osha and other applicable safety codes. a temporary shoring plan and construction sequence duly signed by an Ontario licensed professional engineer to be submitted for approval before start of any relevant work. Approved shop drawings along with approve permit drawings shall be always available at site for reference.
- Foundations

1. Footings shall be placed on undisturbed soil capable of supporting 2000 psf.
2. Footings excavations shall be inspected by soils engineer before concrete is placed.
3. Footings exposed to freezing shall be placed at least 4'-0" below finished grade.
4. Protect footings exposed to frost action during construction by 4'-0" minimum of soil or its equivalent.
5. The line of slope between adjacent footings or excavations or along stepped footings shall not exceed a rise of 7 in a run of 10. maximum step shall be 2'-0".
6. Where a foundation wall retains soil on each side, place backfill on both sides simultaneously.
7. Foundation walls retaining earth between slabs at different levels shall be shored until the slab at higher level is in place and has reached its required strength.

Concrete specification

1. The ultimate 28 days compressive strength of concrete shall be 20.0 MPA unless noted otherwise.
2. The ultimate 28 days compressive strength of concrete exposed to freezing and thawing (exterior slabs, garage floor slab, side walks, curbs, retaining walls, etc.) shall be 32 MPA with minimum air entrainment content of 5%-8% and maximum water/cement ratio by mass of 0.45.
3. Do not use calcium chloride or other salts in concrete.
4. Reinforcing steel shall be deformed bars to CSA G30.18 with a minimum yield strength of 400 MPA.
5. Welded wire mesh shall conform to CSA G30.5, welded steel wire fabric for concrete reinforcement.
6. Detail reinforcing in accordance with reinforcing steel manual of standard practice prepared by RSIO.
7. Only ready mix concrete is permitted on this job. the concrete supplier shall be responsible for concrete mix design.
8. Supply and install concrete, reinforcing steel and formwork including placing, finishing and curing as shown on the drawings in accordance with CSA A23 and CSA G 30.
9. Non-shrink, non-metallic grout shall be used by Sikka Canada Inc. or an approved equal.

Structural Steel

1. Structural steel shall be as follows
W, S, HP, WWF SHAPES CAN/CSA G40.21-350W.
HSS CAN/CSA G40.21-350W. CLASS C
L, PL. CAN/CSA G40.21-300W
2. Obtain field measurements as required.
3. Provide holes where required for attachment of other work to steel, place holes so as not to cause any appreciable reduction in strength of the member.
4. Fabricate, supply and erect structural steel work in accordance with the following standards:
Design, fabrication and erection CSA-S16.1
Welding CSA-W47
Cleaning SSPC-SP3-63
Bolts 3/4" Ø U.N.O ASTM-325-80A
Paint (1 shop coat + field touch up) CGSB-1.40-M89
5. Design connections for the reactions produced by the loading conditions.
6. No splices in new beams and columns shall be allowed unless approved by the engineer.
7. All steel lintels bearing on masonry to have minimum 6" bearing

Wood

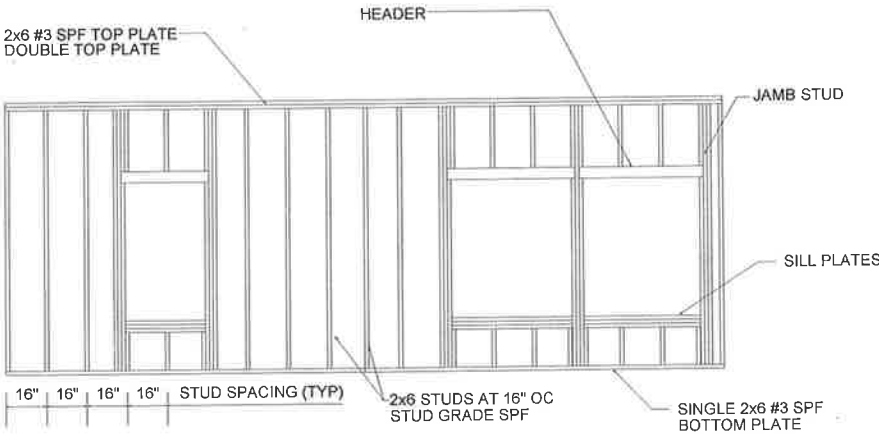
1. All wood construction to be in accordance with CSA standard CAN3-086-01.
2. All lumber to be grade stamped and shall be dry spruce #1 or #2 conforming to CSA-086-01 u/n otherwise.
3. Lumber for stud walls shall be spruce stud grade u/n otherwise.
4. Trus joists, LSL and PSL beams shall be as manufactured by Trus Joist Canada ltd. or an approved equal, the supplier shall be responsible for design of all connections and shall submit shop drawings bearing a stamp of P. Eng. responsible for the design.
5. All connections, unless noted otherwise, to be in accordance with O.B.C. 2012
6. All load bearing stud walls shall have one row of solid blocking at mid height unless noted otherwise.
7. Bridging for trus joists shall be as recommended by the manufacturer, however, spacing of bridging shall not exceed 12 feet.
8. Metal hangers shall be made from light gauge galvanized metal and shall have allowable load capacity (as per manufacturer's data) greater than reactions produced by loading conditions. Use Simpson Strong-tie or equal.
9. Protect lumber in direct contact with concrete or mortar with 10 mil. polyethylene sheet.
10. Provide adequate temporary bracing for all stud walls during construction.
11. Double up studs at each end of an opening unless noted otherwise.
12. Plywood as per CSA O 86.1

STEEL LINTEL SCHEDULE

Up to 4'-6" Opening	L 3 1/2" x 3 1/2" x 5/16"
Up to 5'-6" Opening	L 4" x 3 1/2" x 5/16"
Up to 6'-6" Opening	L 5" x 3 1/2" x 5/16"
Up to 7'-6" Opening	L 5" x 3 1/2" x 3/8"
Up to 9'-10" Opening	L 6" x 4" x 3/8"
Up to 11'-0" Opening	L 7" x 4" x 3/8"
Up to 25' Opening	(I-BEAM) W8x15 BEARING ON BRICK

WOOD LINTEL SCHEDULE

Up to 3'-6" Opening	3 - 2" x 6"
Up to 5'-6" Opening	3 - 2" x 8"
Up to 6'-6" Opening	3 - 2" x 10"
Up to 7'-6" Opening	3 - 2" x 12"



TYP. WALL

NOTES:

1. TOP AND BOTTOM PLATE TO STUD WITH (3) .131x3" P.D. NAILS.
2. WALL TO FLOOR #8x3" SREW 16" O.C. AND (2) .131x3" P.D. NAILS
3. WALL TO WALL AND CEILING #8x3" SCREW 16" O.C.

rev	description	by	date
REV:	DESCRIPTION:	BY:	DATE:

1 SITE NOTES
A1.2

GENERAL NOTES

CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION.

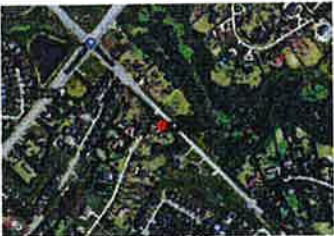
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PROJECT NAME:
28 Tortoise Ct Brampton, ON L6P 0A1

DRAWING TITLE:
SITE NOTES

DRAWN BY: CHECKED BY: APPROVED BY: DATE:

Square
Design
Group



SHEET NO:
A1.2

1 FLOOR PLAN
A2 1:75

GENERAL NOTES
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PROJECT NAME:
28 Tortoise Ct Brampton, ON L6P 0A1

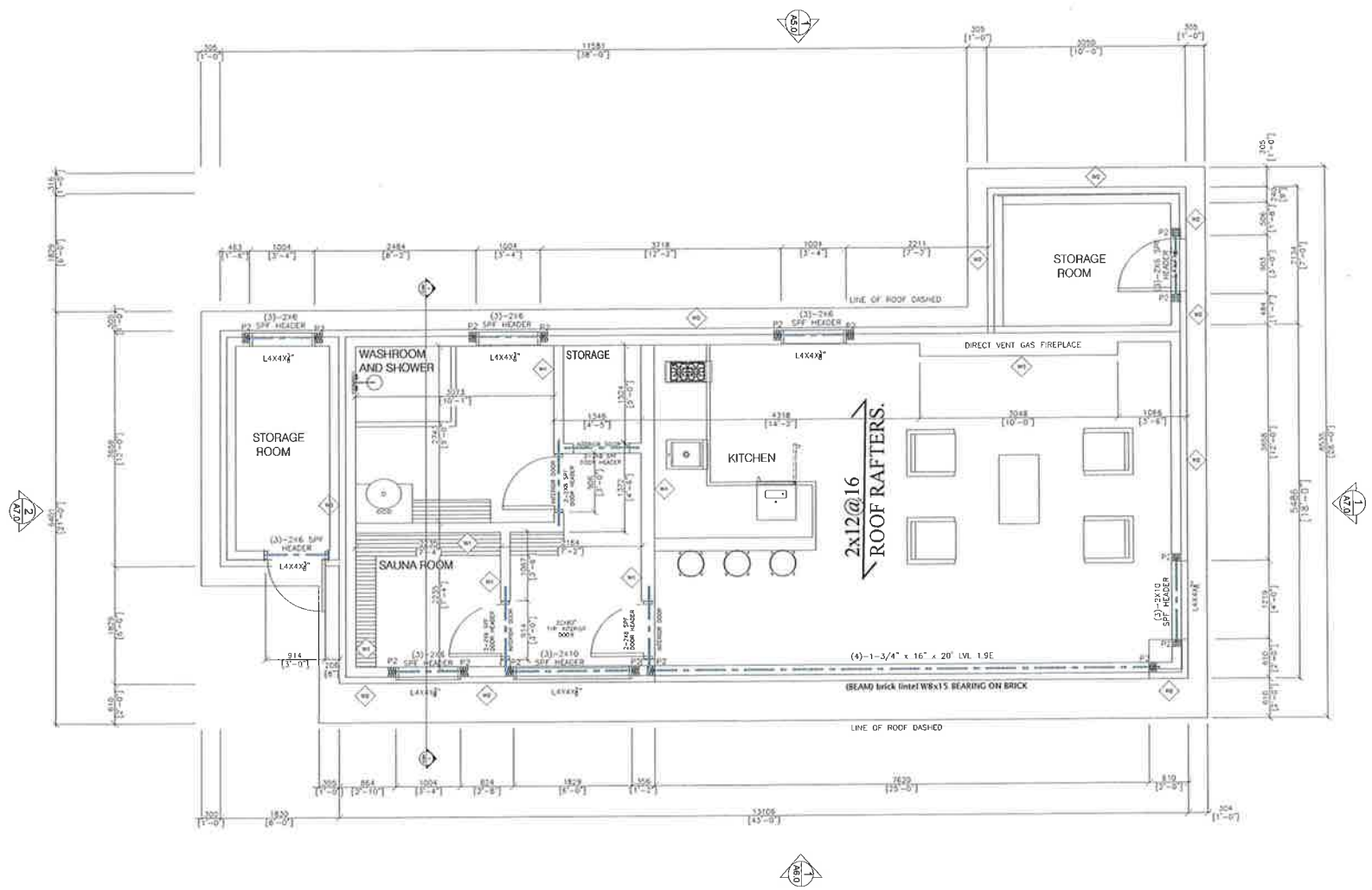
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FLOOR PLAN

DRAWN BY: CHECKED BY: APPROVED BY: DATE:



SHEET NO:
A2

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REV:	DESCRIPTION:	BY:	DATE:



INTERIOR WALL PARTITION
DRYWALL INTERIOR FINISH
OR VERTICAL WOOD SIDING T & G
2X4" WOOD STUDS @ 406mm O.C. DBL
TOP PLATE VERTICAL WOOD SITING
T & G or DRYWALL INTERIOR FINISH

STONE WALL
1/2 in gypsum board
2 in x 6 in wood studs @ 406 O.C DBL TOP
PLATE - Exterior sheeling
Air-barrier
1 in air gap
3 1/2 Masonry Veneer

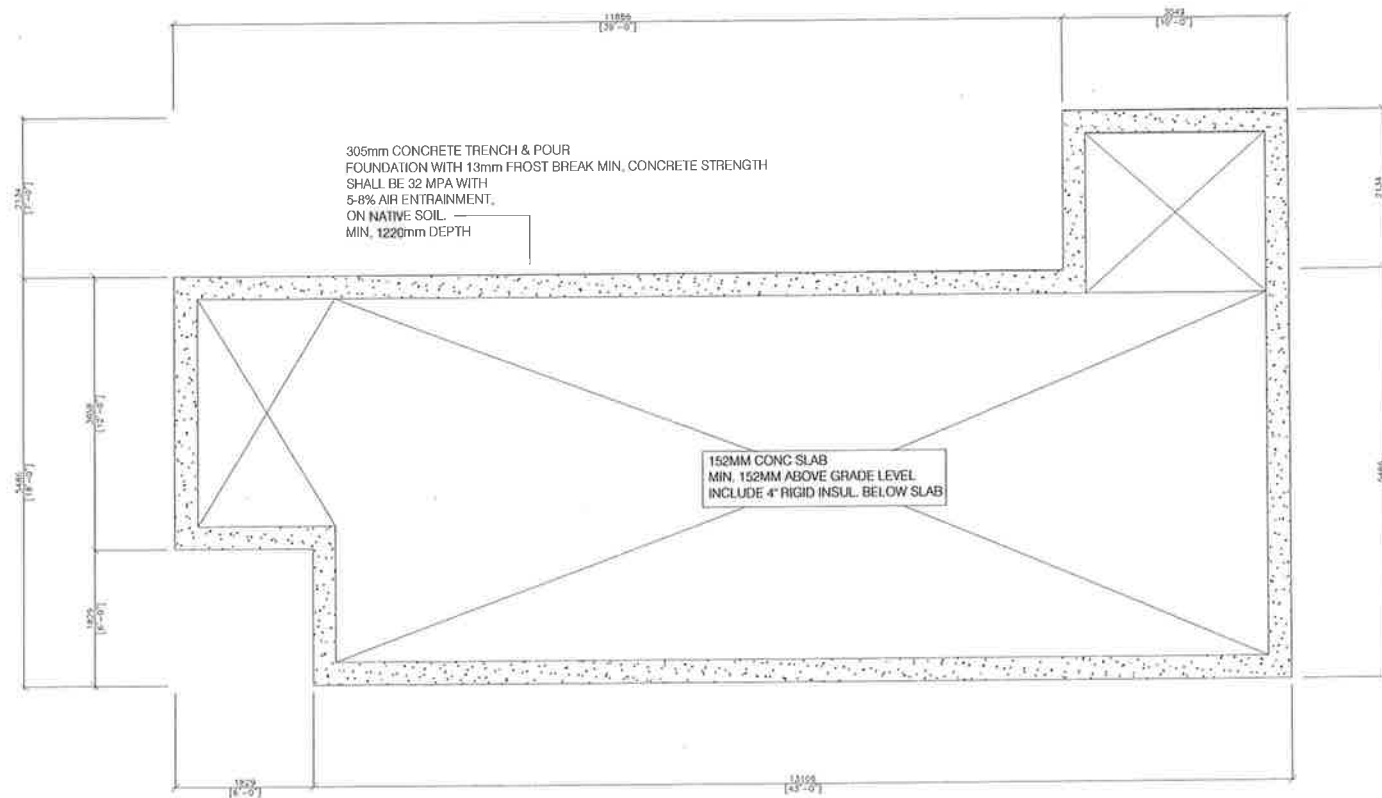
FIRE PLACE WALL PARTITION
VERTICAL WOOD SIDING T & G
TYVEC AIR BARRIER
13mm EXTERIOR PLYWOOD SHEATHING
36X89 STEEL STUDS @ 406mm O.C (SEE
MANUFACTURE INSTALLATION DETAILS)

P1 (6"X6") BUILT UP PST.
P2 (2"X6") BUILT UP PST.

STEEL LINTEL SCHEDULE
L1 L4X4X 3/8"
L2 L7X4X3/8 L.L.V
L3 (BEAM) WBX15 BEARING ON BRICK

FLASHING PAPER ROOF PROTECTION DETAIL
DETAIL: ROOF FLASHING PAPER PROTECTION DETAIL
4" WOOD INSULATION
FLASHING DRIVEN
NOTE: Equalize separation between the
Roofing paper and the water supply pipe.
Flashing to meet waterproofing and all exposed to the basement.
All joints to be waterproofed to prevent leaking during water
penetration. Flashing to be done out and about with all joints and
seams.

WATER PAPER ROOF PROTECTION DETAIL
DETAIL: ROOF FLASHING PAPER PROTECTION DETAIL
4" WOOD INSULATION
FLASHING DRIVEN
NOTE: Equalize separation between the
Roofing paper and the water supply pipe.
Flashing to meet waterproofing and all exposed to the basement.
All joints to be waterproofed to prevent leaking during water
penetration. Flashing to be done out and about with all joints and
seams.



rev	description	by	date
REV:	DESCRIPTION:	BY:	DATE:

1 FOUNDATION PLAN A3.0 1:75

GENERAL NOTES

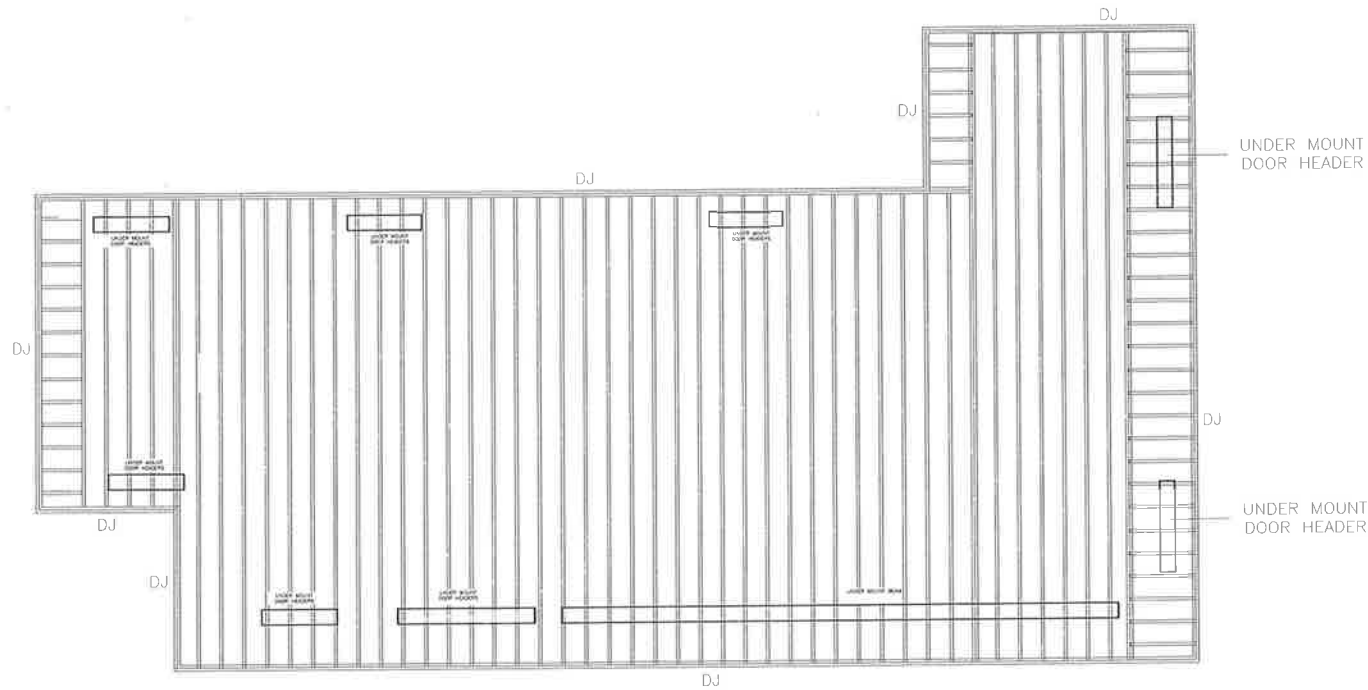
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PROJECT NAME: 28 Tortoise Ct Brampton, ON L6P 0A1			
DRAWING TITLE: FOUNDATION PLAN			
DRAWN BY:	CHECKED BY:	APPROVED BY:	DATE:



SHEET NO: A3



1 ROOF FRAMING PLAN
A4.0 1:75

GENERAL NOTES

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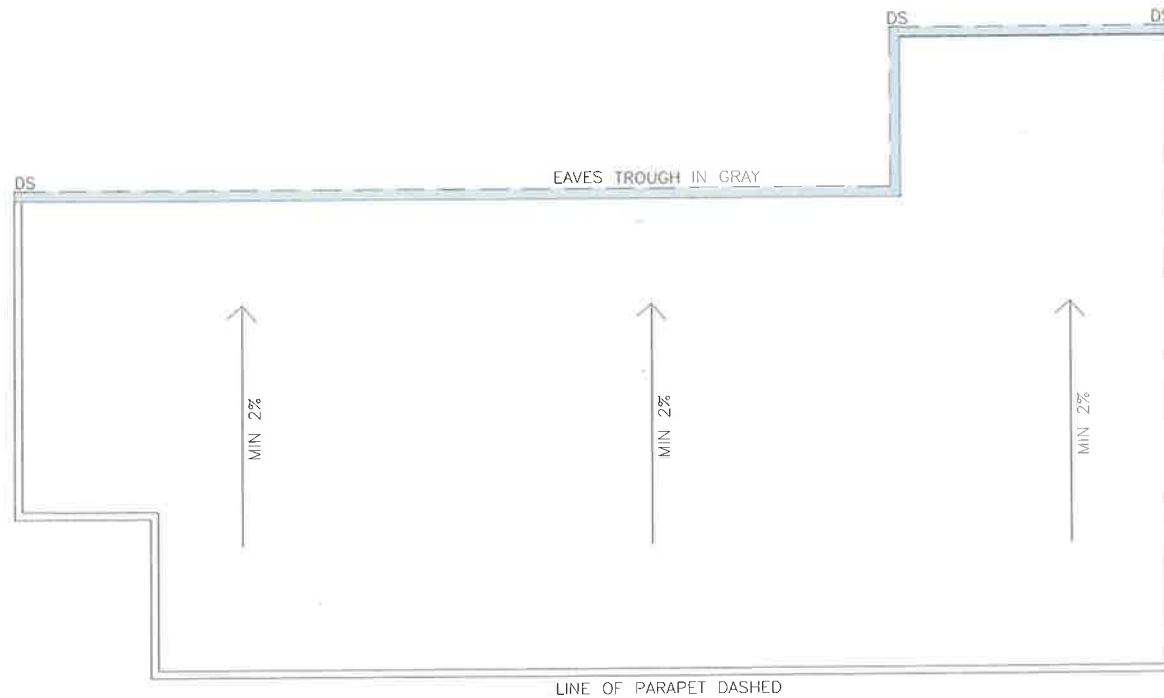
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DRAWING TITLE: ROOF FRAMING PLAN			
DRAWN BY:	CHECKED BY:	APPROVED BY:	DATE:



SHEET NO:
A4

rev	description	by	date
REV:	DESCRIPTION:	BY:	DATE:



1 ROOF DRAINAGE PLAN
A4.1 1:75

GENERAL NOTES

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28 Tortoise Ct Brampton, ON L6P 0A1

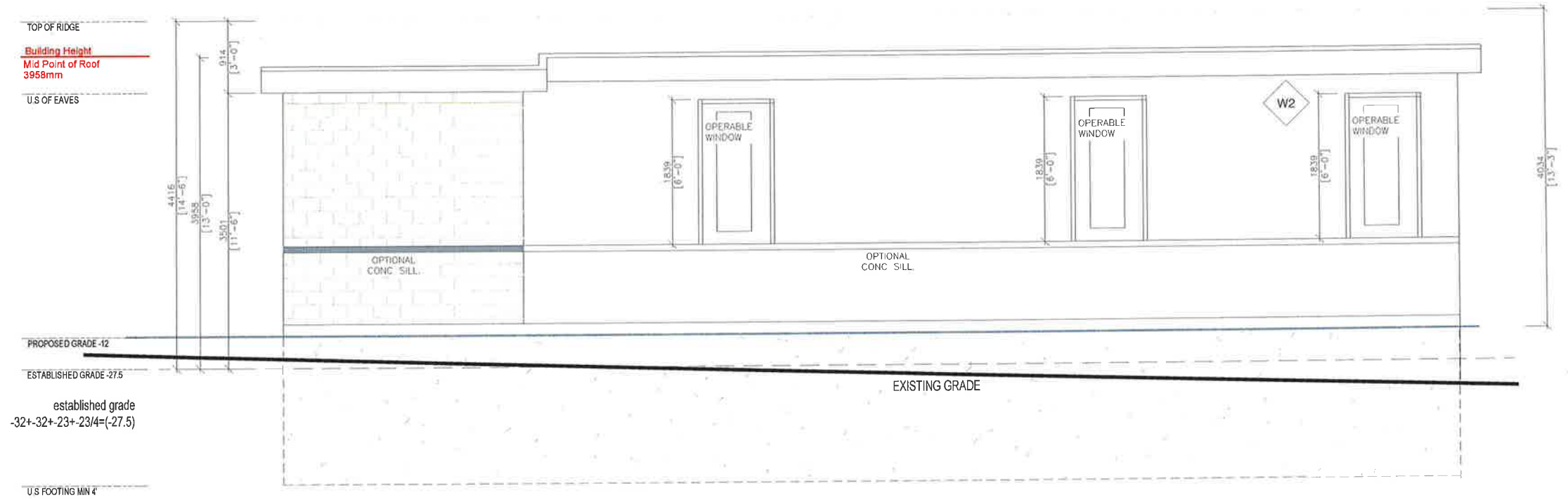
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ROOF DRAINAGE PLAN

DRAWN BY:	CHECKED BY:	APPROVED BY:	DATE:



SHEET NO:
A4.1

rev	description	by	date
REV:	DESCRIPTION:	BY:	DATE:



1 ELEVATION B
A6.0 1:50



rev	description	by	date
REV	DESCRIPTION	BY	DATE

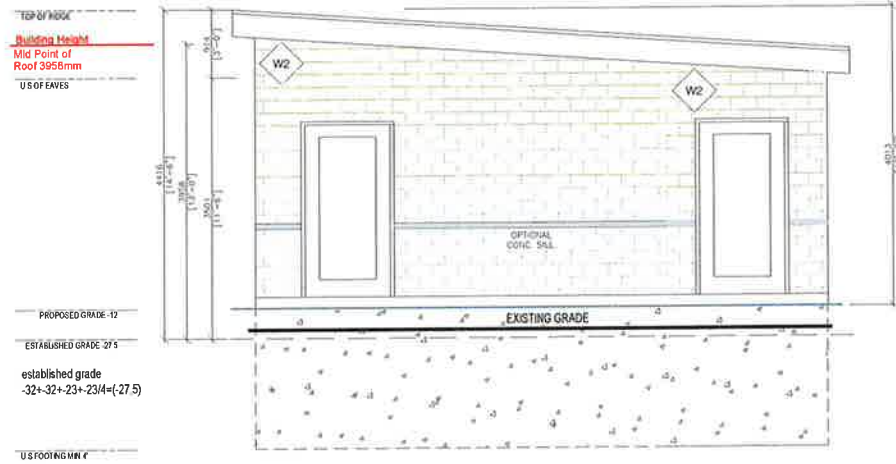
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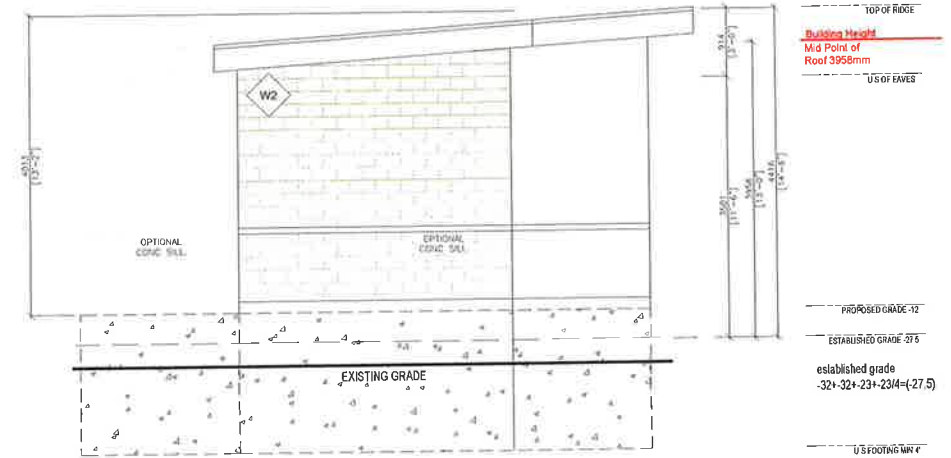
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DRAWING TITLE: ELEVATION			
DRAWN BY:	CHECKED BY:	APPROVED BY:	DATE:

Square Design Group

SHEET NO:
A6.0



1 ELEVATION
A7.0 1:75



2 ELEVATION
A7.0 1:75



rev	description	by	date
REV:	DESCRIPTION:	BY:	DATE:

GENERAL NOTES

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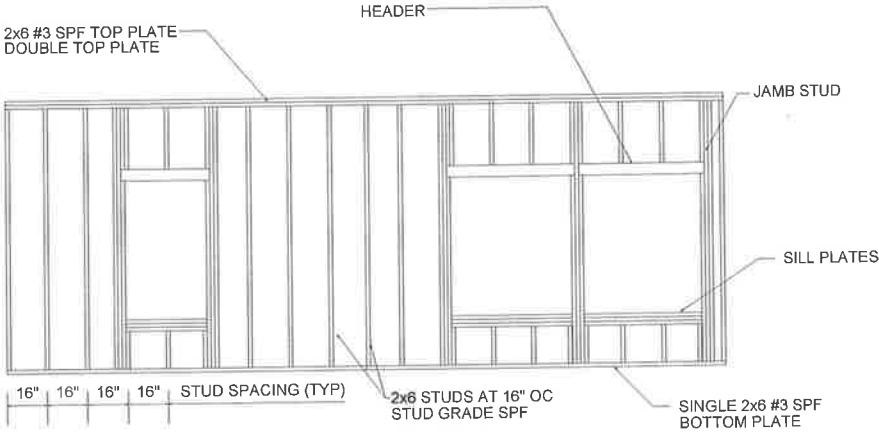
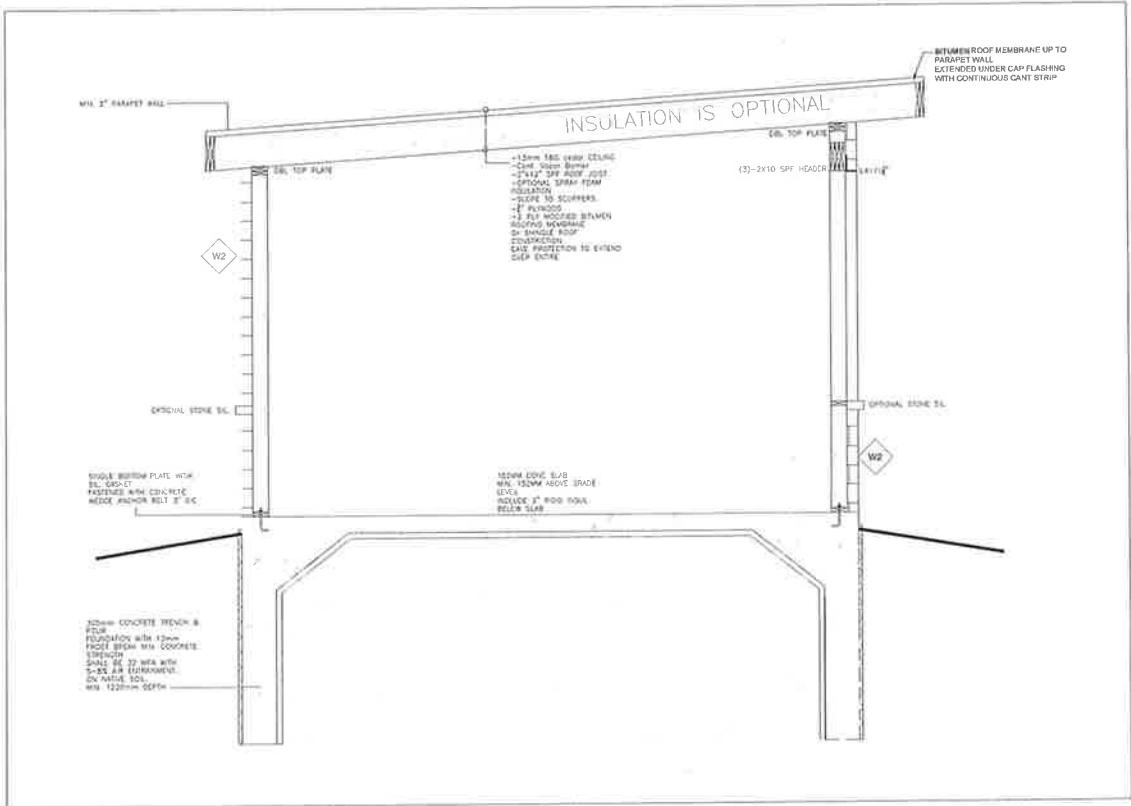
PROJECT NAME:
28 Tortoise Ct Brampton, ON L6P 0A1

DRAWING TITLE:
DETAIL

DRAWN BY: CHECKED BY: APPROVED BY: DATE:

**Square
Design
Group**

SHEET NO:
A7.0



TYP. WALL

- NOTES:
1. TOP AND BOTTOM PLATE TO STUD WITH (3) .131x3" P.D. NAILS.
 2. WALL TO FLOOR #8x3" SREW 16" O.C. AND (2) .131x3" P.D. NAILS
 3. WALL TO WALL AND CEILING #8x3" SCREW 16" O.C.

2 WALL SECTION
A8.0 1:50

GENERAL NOTES

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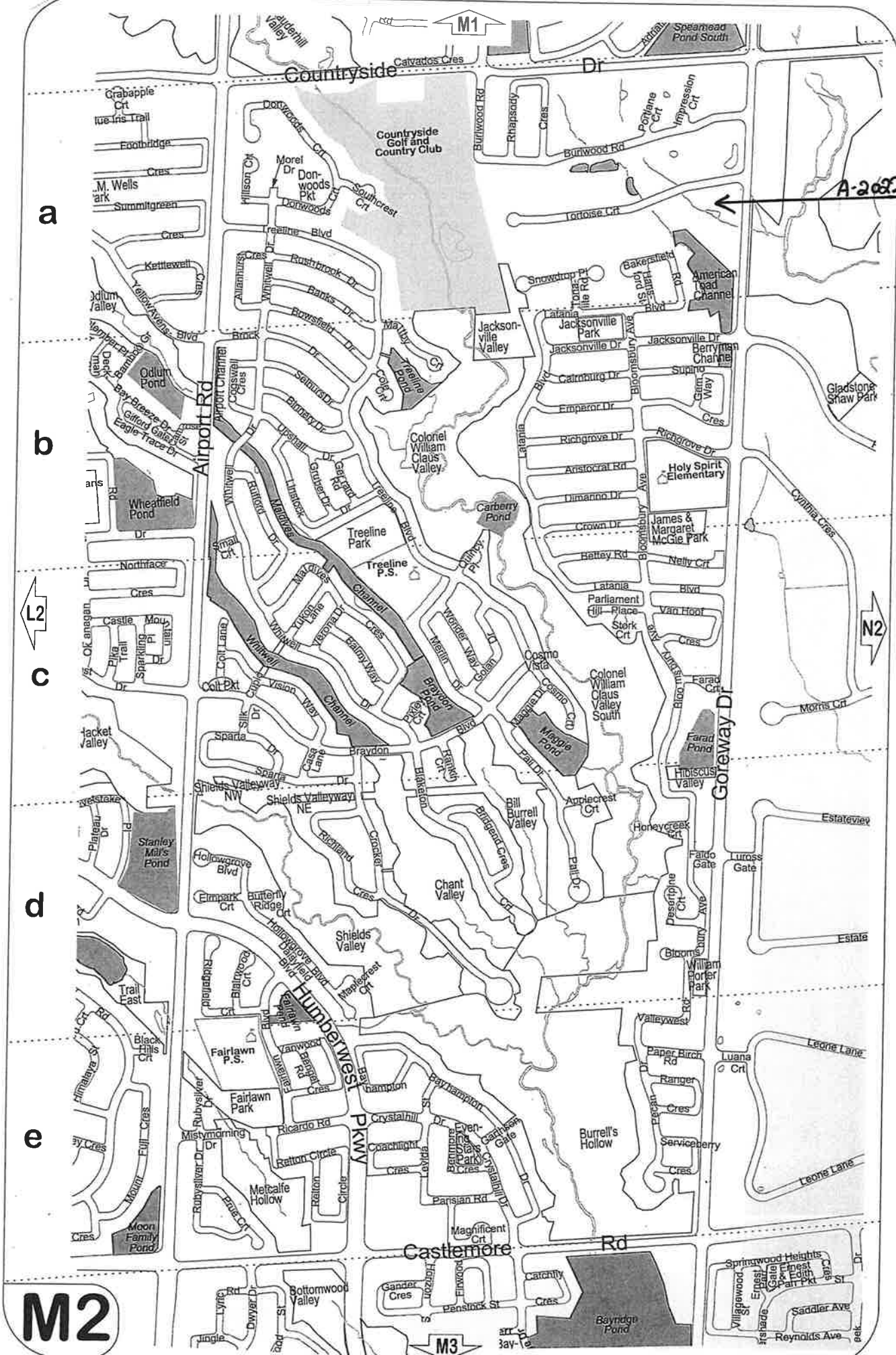
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PROJECT NAME: 28 Tortoise Ct Brampton, ON L6P 0A1			
DRAWING TITLE: DETAILS			
DRAWN BY:	CHECKED BY:	APPROVED BY:	DATE:



SHEET NO:
A8.0

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REV:	DESCRIPTION:	BY:	DATE:



A-2022-0262

a

b

c

d

e

M2

M3