



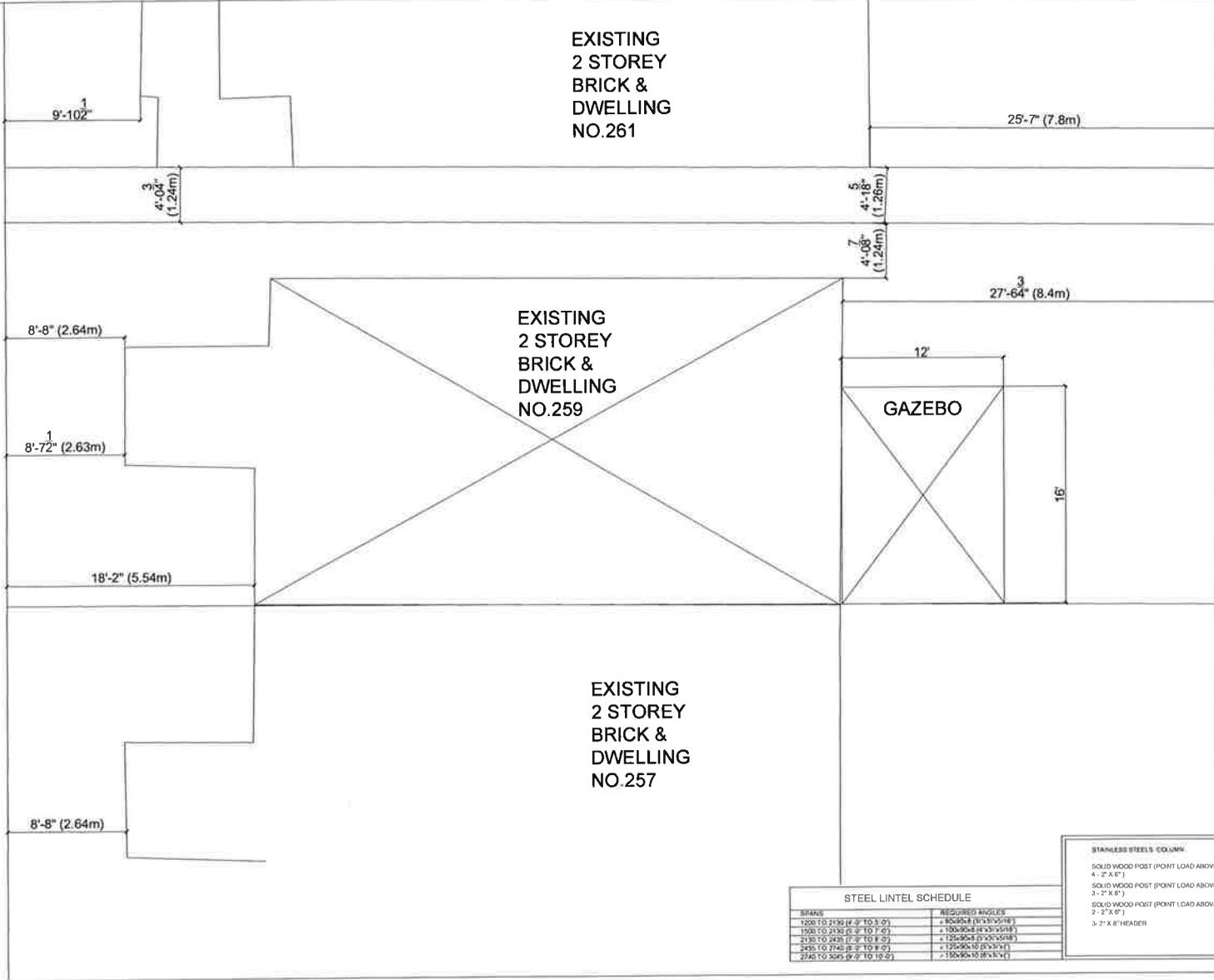
ROBERT PARKINSON DRIVE

EXISTING  
2 STOREY  
BRICK &  
DWELLING  
NO.261

EXISTING  
2 STOREY  
BRICK &  
DWELLING  
NO.259

EXISTING  
2 STOREY  
BRICK &  
DWELLING  
NO.257

GAZEBO



NO	DATE	REVISION DESCRIPTION	NOTE
01	12/06/2022	ISSUED	

**RD**

Rezvani Design Corp  
1505-108 Harrison Garden Blvd,  
North York  
ON, M2N 0C3  
Call: 647-533-4106  
Email: krezvani80@gmail.com

CONSULTING ENGINEER:

PROPOSED  
TWO STORY DETACHED HOUSE  
FARZIN LOTF ABAD  
269 ROBERT PARKINSON DRIVE  
BRAMPTON  
ON L7A 3Y1

VIEW: EXISTING SITE PLAN

DRAWN BY: Kamran Rezvani

CHECKED BY: KR

SHEET: A101

FILE: 1102

DATE: 12 JUNE, 2022

SCALE: 1/4" = 1'

STEEL LINTEL SCHEDULE

SPAN	REQUIRED ANGLES
1200 TO 2130 (4'-0" TO 3'-0")	2 80X8 (213X213)
1500 TO 2130 (5'-0" TO 7'-0")	2 100X8 (254X254)
2130 TO 2445 (7'-0" TO 8'-0")	2 120X8 (305X305)
2445 TO 2745 (8'-0" TO 9'-0")	2 120X10 (305X305)
2745 TO 3045 (9'-0" TO 10'-0")	2 150X8 (381X381)

STAINLESS STEEL COLUMN  
SOLID WOOD POST (POINT LOAD ABOVE  
4'-2" X 6")  
SOLID WOOD POST (POINT LOAD ABOVE  
3'-2" X 6")  
SOLID WOOD POST (POINT LOAD ABOVE  
2'-2" X 6")  
3'-2" X 8" HEADER

Under the authority of the *Emergency Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

**Electronic/Hybrid Hearing Procedures  
How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **December 6, 2022** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

**How to Participate in the Hearing:**

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, December 1, 2022.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
  1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at [cityclerksoffice@brampton.ca](mailto:cityclerksoffice@brampton.ca) or [jeanie.myers@brampton.ca](mailto:jeanie.myers@brampton.ca) by **4:30 pm Thursday, December 1, 2022.**
  2. To participate in-person, please email the Secretary-Treasurer at [cityclerksoffice@brampton.ca](mailto:cityclerksoffice@brampton.ca) or [jeanie.myers@brampton.ca](mailto:jeanie.myers@brampton.ca) by **4:30 pm Thursday, December 1, 2022.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, December 1, 2022.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:  
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or  
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to [cityclerksoffice@brampton.ca](mailto:cityclerksoffice@brampton.ca) or [jeanie.myers@brampton.ca](mailto:jeanie.myers@brampton.ca). If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

**NOTE** Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, [www.brampton.ca](http://www.brampton.ca). By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

**AMENDMENT LETTER**

November 24, 2022

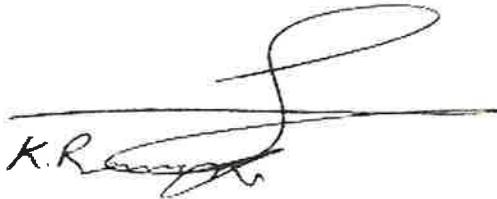
To: Committee of Adjustment

**RE: APPLICATION FOR MINOR VARIANCE  
FARZIN HAKIMI LOTFABAD  
PART OF LOT 4, PLAN 43M-1924  
A-2022-0357 – 259 ROBERT PARKINSON DRIVE**

---

Please **amend** application **A-2022-0357** to reflect the following:

1. To permit a below grade entrance within a required interior side yard whereas the by-law does not permit a below grade entrance within a required interior side yard;
2. To permit an interior side yard setback of 0.0m to a below grade entrance whereas the by-law requires a minimum interior side yard setback of 1.2m (3.94 ft.);
3. To permit an accessory structure (gazebo) having a gross floor area of 17.84 sq. m (192 sq. ft.) whereas the by-law permits a maximum gross floor area of 15 sq. m (161.46 sq. ft.).



Kamran Rezvani  
Applicant/Authorized Agent

Flower City



brampton.ca

For Office Use Only  
(to be inserted by the Secretary-Treasurer  
after application is deemed complete)

FILE NUMBER: A-2022-0357

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

**APPLICATION**  
**Minor Variance or Special Permission**  
(Please read instructions)

**NOTE:** It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law 270-2004.

1. **Name of Owner(s)** Farzin Hakimi Lotfabad  
**Address** 259 Robert Parkinson Drive Brampton Ontario, Canada L7A 3Y1  
**Phone #** (437) 234-5279 **Fax #** \_\_\_\_\_  
**Email** hakimi\_farzin@hotmail.com

2. **Name of Agent** Kamran Rezvani  
**Address** 1505-105 Harrison Garden Boulevard, North York ON M2N0C3  
**Phone #** (647) 535-4408 **Fax #** \_\_\_\_\_  
**Email** krezvani80@gmail.com

3. **Nature and extent of relief applied for (variances requested):**  
Owner wants to have a side door which needs two steps goes below grade to access into the building  
the building department won't issue the permit unless committee of adjustment agrees onto it, because it is semi detach house  
but other neighbors got permit and they have done it.  
*To permit a below grade entrance in the regular yard.  
To permit a 0.0 meters side yard set back to a below grade entrance*  
4. **Why is it not possible to comply with the provisions of the by-law?**  
Building department requires for the site doors to be over the ground if the door goes below the ground it needs to go to committee of adjustment to get permit for it otherwise they wont issue the permit to add a side door

5. **Legal Description of the subject land:** Part of lot 4, Plan 43M-1924, Being Part 3 on Plan 43R-35544, City of Brampton  
**Lot Number** Part of lot 4, plan 43M-1924, being part 3 on plan 43R-35544 City of brampton  
**Plan Number/Concession Number** Plan 43M-1924 Being Part on Plan 43R-35544  
**Municipal Address** 259 Robert Parkinson Drive, Brampton, ON

6. **Dimension of subject land (in metric units)**  
**Frontage** 8.65m 8.65 m  
**Depth** 27m 27.1 m  
**Area** 233.11 233.11 Squire Meter

7. **Access to the subject land is by:**  
Provincial Highway  Seasonal Road   
Municipal Road Maintained All Year  Other Public Road   
Private Right-of-Way  Water

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

Ground Floor Area: 97m
Gross Floor Area: 183m
Stories: 2
Width: 7.29m
Depth: 15.9m

PROPOSED BUILDINGS/STRUCTURES on the subject land:

Build on March 2013
---------------------

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

**EXISTING**

Front yard setback	5.86m North left side and 5.54 North right side
Rear yard setback	8.4m
Side yard setback	1.27m Left Side
Side yard setback	Attached Right side

**PROPOSED**

Front yard setback	_____
Rear yard setback	_____
Side yard setback	_____
Side yard setback	_____

10. Date of Acquisition of subject land: 2014
11. Existing uses of subject property: Residential
12. Proposed uses of subject property: Residential
13. Existing uses of abutting properties: Residential
14. Date of construction of all buildings & structures on subject land: 2013
15. Length of time the existing uses of the subject property have been continued: ~~2~~ 9 Years

16. (a) What water supply is existing/proposed?  
Municipal  Other (specify) \_\_\_\_\_  
Well
- (b) What sewage disposal is/will be provided?  
Municipal  Other (specify) \_\_\_\_\_  
Septic
- (c) What storm drainage system is existing/proposed?  
Sewers  Other (specify) \_\_\_\_\_  
Ditches   
Swales

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes  No

If answer is yes, provide details: File # \_\_\_\_\_ Status \_\_\_\_\_

18. Has a pre-consultation application been filed?

Yes  No

19. Has the subject property ever been the subject of an application for minor variance?

Yes  No  Unknown

If answer is yes, provide details:

File # \_\_\_\_\_ Decision \_\_\_\_\_ Relief \_\_\_\_\_  
File # \_\_\_\_\_ Decision \_\_\_\_\_ Relief \_\_\_\_\_  
File # \_\_\_\_\_ Decision \_\_\_\_\_ Relief \_\_\_\_\_

*K.R.*

Signature of Applicant(s) or Authorized Agent

DATED AT THE 10 August, 2022 OF \_\_\_\_\_

THIS 10 DAY OF August, 2022.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Kamran Rezvani, OF THE Owner OF Rezvani Design Corp.

IN THE \_\_\_\_\_ OF \_\_\_\_\_ SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton

IN THE Region OF

Peel THIS 10<sup>th</sup> DAY OF

August Nov, 2022

*Jeanie Myers*  
A Commissioner etc.

Jeanie Cecilia Myers  
a Commissioner, etc.,  
Province of Ontario  
for the Corporation of the  
City of Brampton  
Expires April 8, 2024.

*K.R.*

Signature of Applicant or Authorized Agent

Submit by Email

FOR OFFICE USE ONLY

Present Official Plan Designation: \_\_\_\_\_

Present Zoning By-law Classification: R2E-7.2-2229

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

*[Signature]*  
Zoning Officer

SEPT. 27. 22  
Date

DATE RECEIVED November 3, 2022

Date Application Deemed Complete by the Municipality \_\_\_\_\_

**PLAN OF SURVEY OF  
LOTS 3, 4, 5, 6, 7, 8, 9,  
10, 11 AND 12 AND  
BLOCKS 78, 79, 80 AND 81  
PLAN 43M-1924  
CITY OF BRAMPTON  
REGIONAL MUNICIPALITY OF PEEI**

SCALE 1:300  
RADY-PENTEK & EDWARD SURVEYING LTD., O.L.S.

METRIC  
DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN  
METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

**NOTES**

- DENOTES MONUMENT FOUND
- DENOTES MONUMENT SET
- DENOTES IRON BAR
- SSB DENOTES SHORT STANDARD IRON BAR
- P.L.N. DENOTES PROPERTY RECEIVER NUMBER
- D.C. DENOTES DWELLING UNDER CONSTRUCTION
- DENOTES PORCH
- DENOTES CENTRELINE OF WALL
- (WT) DENOTES WITNESS
- DENOTES FACE OF WALL
- DENOTES SPECIFIED CONTROL POINT

ALL FOUND MONUMENTS BY RADY-PENTEK & EDWARD SURVEYING LTD., O.L.S.  
ALL SET MONUMENTS ARE IRON BARS UNLESS NOTED OTHERWISE.  
ALL TIES TO CONCRETE FOUNDATION.

BEARINGS ARE GRID, UTM ZONE 17, NAD83 (ORIGINAL), DERIVED FROM:  
SCP 042188001-0 NORTH 483040.514 EAST 951336.029  
SCP 010188001-1 NORTH 482918.188 EAST 950581.488  
COORDINATES ARE UTM ZONE 17, NAD83 (ORIGINAL), TO URBAN ACCURACY PER  
SEC. 14 (2) OF O.R.C. 216/10, AND CANNOT, IN THEMSELVES, BE USED TO  
RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.  
DISTANCES ARE GROUND AND CAN BE CONVERTED TO GMS BY MULTIPLYING BY  
THE GROUND SCALE FACTOR OF 0.999785.

**SURVEYOR'S CERTIFICATE**

- I CERTIFY THAT:  
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE  
SURVEY ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND  
THE REGULATIONS MADE UNDER THEM.  
2. THE SURVEY WAS COMPLETED ON THE 12<sup>th</sup> DAY OF SEP., 2013

DATE SEP 17 2013  
7/10  
ONTARIO LAND SURVEYOR

I REQUIRE THIS PLAN TO BE DEPOSITED  
UNDER THE LAND TITLES ACT.  
DATE SEP 17 2013

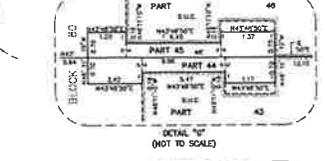
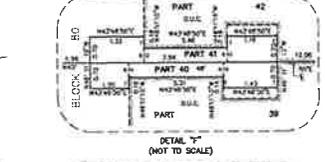
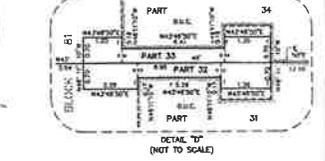
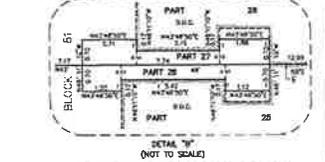
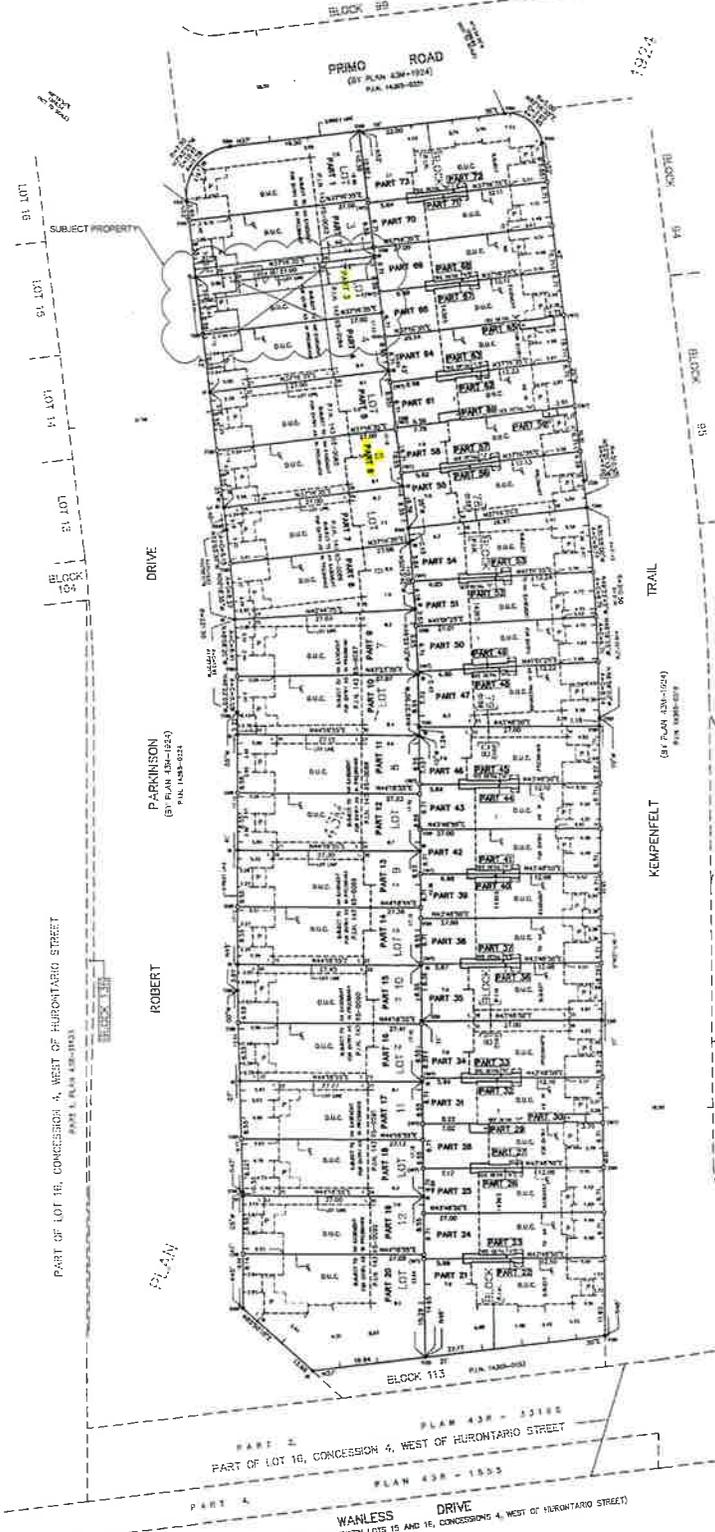
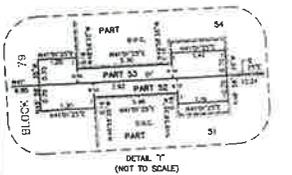
**PLAN 43R-38614**

RECEIVED AND DEPOSITED  
DATE SEP 03 2013

REGISTRATION OF THE PLAN AND REGISTRATION FOR THE LAND  
TITLES ACT UNDER THE LAND TITLES ACT.

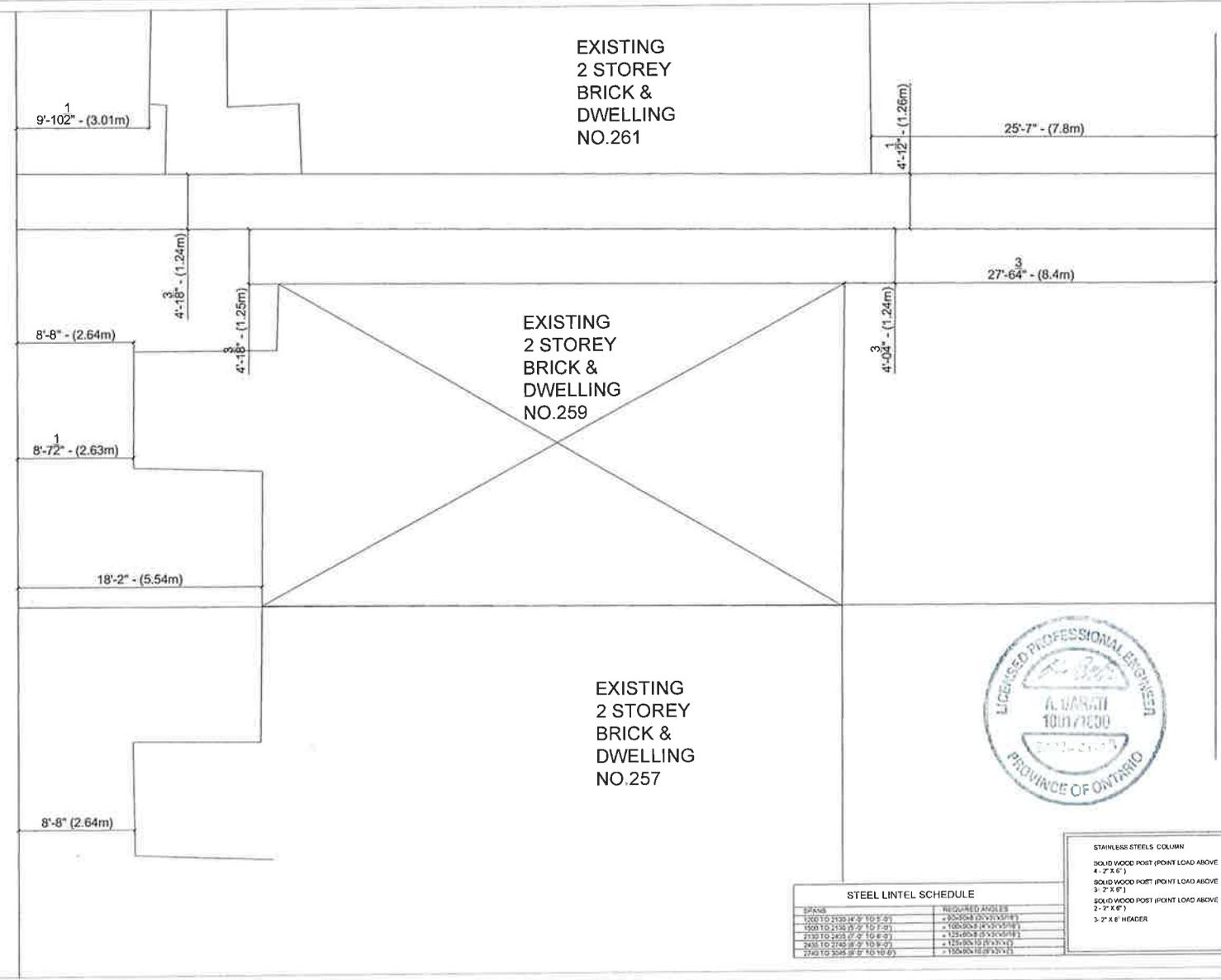
PART	ALL OF	PLAN	ALL OF PLAN	REGISTERED TO AN
1 & 2	14301-0001	PLAN	14301-0001	PRE2304417
3 & 4	14301-0001	PLAN	14301-0001	PRE2304418
5 & 6	14301-0001	PLAN	14301-0001	PRE2304419
7 & 8	14301-0001	PLAN	14301-0001	PRE2304420
9 & 10	14301-0001	PLAN	14301-0001	PRE2304421
11 & 12	14301-0001	PLAN	14301-0001	PRE2304422
13 & 14	14301-0001	PLAN	14301-0001	PRE2304423
15 & 16	14301-0001	PLAN	14301-0001	PRE2304424
17 & 18	14301-0001	PLAN	14301-0001	PRE2304425
19 & 20	14301-0001	PLAN	14301-0001	PRE2304426
21 TO 24	14301-0001	PLAN	14301-0001	PRE2304427
25 TO 28	14301-0001	PLAN	14301-0001	PRE2304428
29 TO 32	14301-0001	PLAN	14301-0001	PRE2304429
33 TO 36	14301-0001	PLAN	14301-0001	PRE2304430
37 TO 40	14301-0001	PLAN	14301-0001	PRE2304431
41 TO 44	14301-0001	PLAN	14301-0001	PRE2304432
45 TO 48	14301-0001	PLAN	14301-0001	PRE2304433
49 TO 52	14301-0001	PLAN	14301-0001	PRE2304434
53 TO 56	14301-0001	PLAN	14301-0001	PRE2304435
57 TO 60	14301-0001	PLAN	14301-0001	PRE2304436
61 TO 64	14301-0001	PLAN	14301-0001	PRE2304437
65 TO 68	14301-0001	PLAN	14301-0001	PRE2304438
69 TO 72	14301-0001	PLAN	14301-0001	PRE2304439
73 TO 76	14301-0001	PLAN	14301-0001	PRE2304440
77 TO 80	14301-0001	PLAN	14301-0001	PRE2304441
81 TO 84	14301-0001	PLAN	14301-0001	PRE2304442
85 TO 88	14301-0001	PLAN	14301-0001	PRE2304443
89 TO 92	14301-0001	PLAN	14301-0001	PRE2304444
93 TO 96	14301-0001	PLAN	14301-0001	PRE2304445
97 TO 100	14301-0001	PLAN	14301-0001	PRE2304446
101 TO 104	14301-0001	PLAN	14301-0001	PRE2304447

DO NOT SCALE DISTANCES FROM THIS PLAN TO DETERMINE  
DISTANCES OR COORDINATES. ALL DISTANCES AND COORDINATES  
SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET  
BY DIVIDING BY 0.3048.



**rpe** RADY-PENTEK & EDWARD SURVEYING LTD.  
ONTARIO LAND SURVEYORS  
843 Dundas Street West  
Woodbridge, Ontario L4L 6A2  
Tel: (905) 875-2000 Fax: (905) 875-2001  
Toll Free: (800) 264-0881 Fax: (905) 264-2095  
Website: www.rpe.ca  
DRAWN: Y.K. CHECKED: G.F./T.S.  
JOB NO: 12-125 CAD FILE NO: 12-125R01

ROBERT PARKINSON DRIVE



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Email: krezvani80@gmail.com

CONSULTING ENGINEER:

PROPOSED  
TWO STORY DETACHED HOUSE  
FARZIN LOTF ABAD  
259 ROBERT PARKINSON DRIVE  
BRAMPTON  
ON L7A 9Y1



STEEL LINTEL SCHEDULE

SPANS	REQUIRED ANGLES
1'00" TO 1'20" (0.30 TO 0.37)	= 90-5048 (2X4X5/8")
1'00" TO 1'50" (0.30 TO 0.46)	= 100-5048 (2X5X5/8")
1'25" TO 1'45" (0.38 TO 0.44)	= 125-5048 (2X5X5/8")
1'45" TO 1'65" (0.44 TO 0.50)	= 150-5048 (2X5X5/8")
1'65" TO 1'85" (0.50 TO 0.56)	= 175-5048 (2X5X5/8")

STAINLESS STEELS COLUMN  
SOLID WOOD POST (POINT LOAD ABOVE  
4' 2" X 6")  
SOLID WOOD POST (POINT LOAD ABOVE  
3' 2" X 6")  
SOLID WOOD POST (POINT LOAD ABOVE  
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3' 2" X 8" HEADER

VIEW: EXISTING SITE PLAN

DRAWN BY: Kamran Rezvani

CHECKED BY: KR

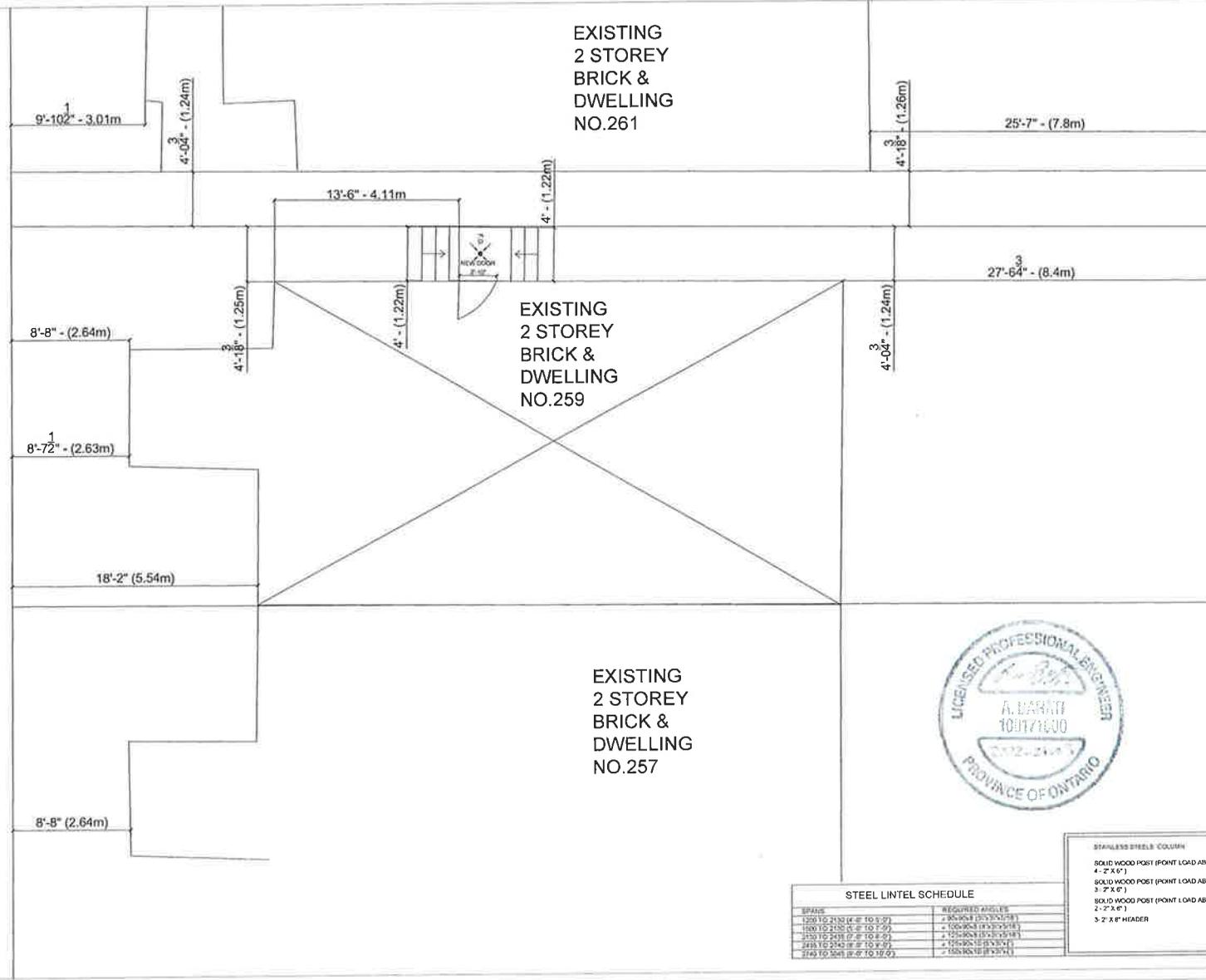
SHEET: A101

FILE: 1102

DATE: 12 JUNE, 2022

SCALE: 1/4" = 1'

ROBERT PARKINSON DRIVE



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EXISTING  
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BRICK &  
DWELLING  
NO.257



STEEL LINTEL SCHEDULE

SPACE	REQUIRED ANGLE
120 TO 210 (4' 0" TO 7' 0")	2x3x3/8 (5x3x3/8)
180 TO 210 (6' 0" TO 7' 0")	2x3x3/8 (5x3x3/8)
210 TO 240 (7' 0" TO 8' 0")	2x3x3/8 (5x3x3/8)
240 TO 270 (8' 0" TO 9' 0")	2x3x3/8 (5x3x3/8)
270 TO 300 (9' 0" TO 10' 0")	2x3x3/8 (5x3x3/8)

STAINLESS STEEL COLUMN
SOLID WOOD POST (POINT LOAD ABOVE 4' x 4')
SOLID WOOD POST (POINT LOAD ABOVE 3' x 6')
SOLID WOOD POST (POINT LOAD ABOVE 2' x 4')
3" x 6" HEADER

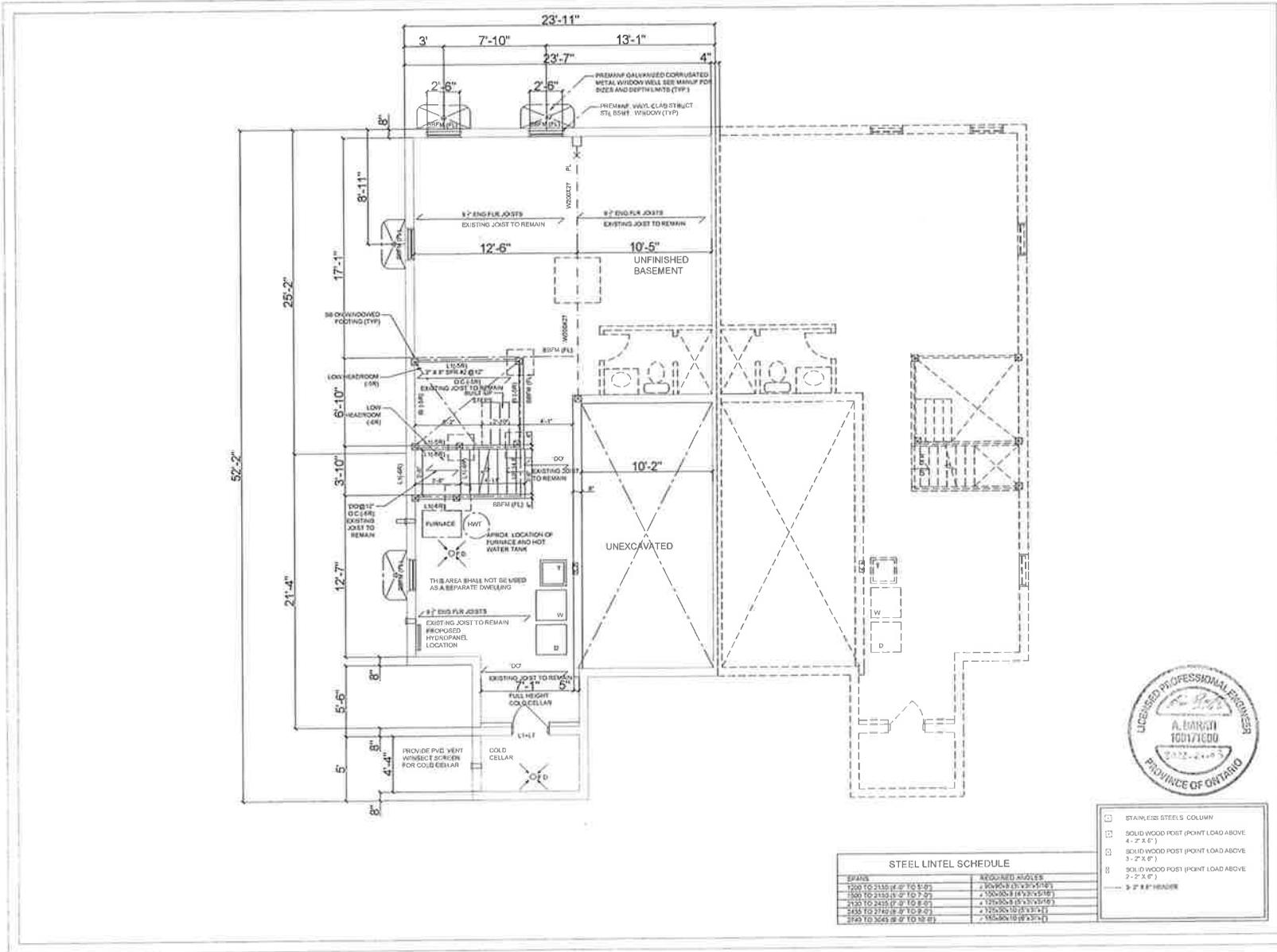
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 Cell: 647-593-1408  
 Email: krezvani80@gmail.com

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 ON L7A 3Y1

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 DRAWN BY: Kauren Rezvani  
 CHECKED BY: KR  
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 SCALE: 1/4" = 1'



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 FARZIN LOTF ABAD  
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 BRAMPTON  
 ON L7A 3Y1

VIEW: EXISTING BASEMENT F. PLAN

DRAWN BY: Kauran Rezvani

CHECKED BY: KR

SHEET: A103

FILE: 1102

DATE: 12 JUNE, 2022

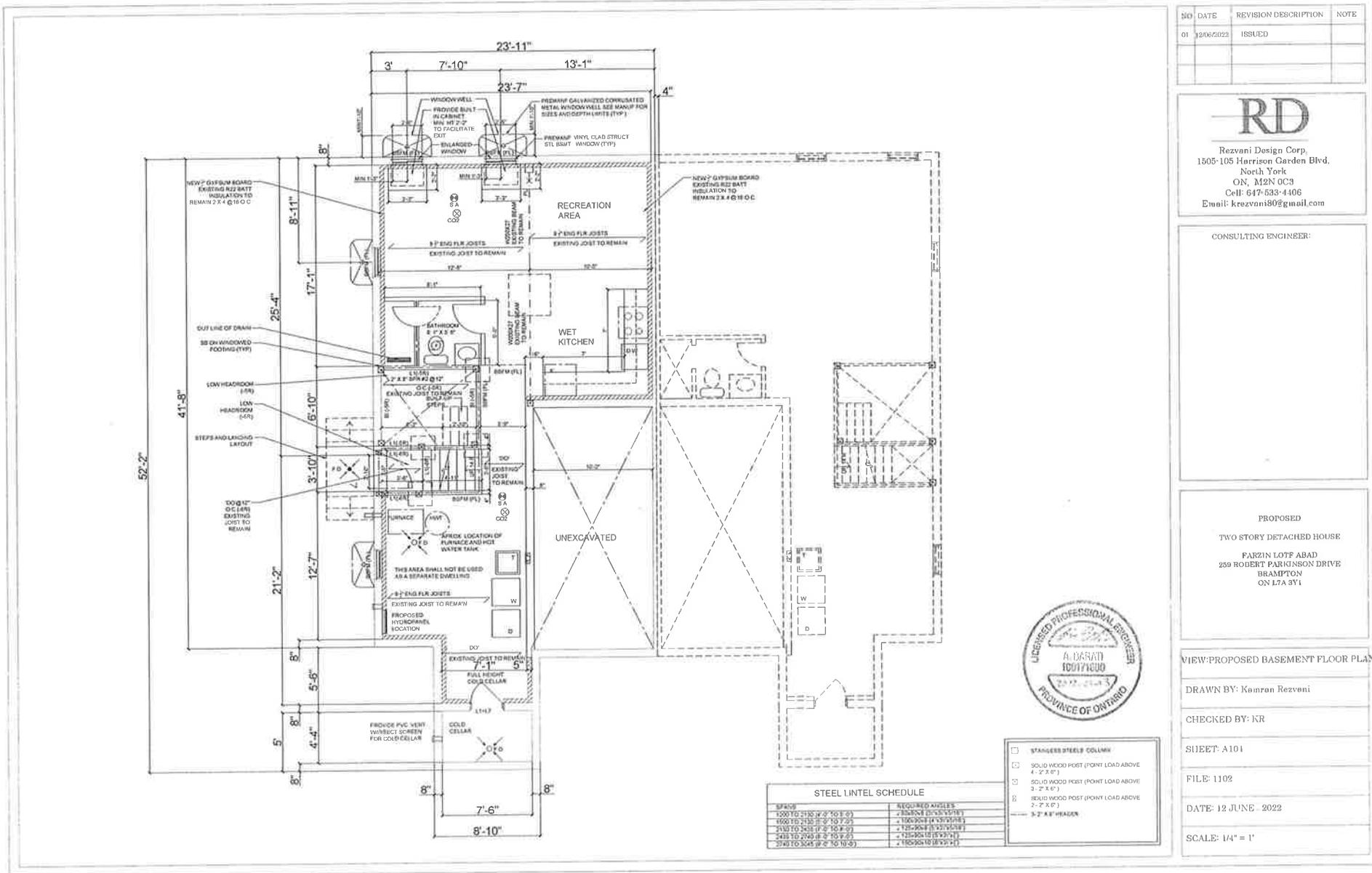
SCALE: 1/4" = 1'

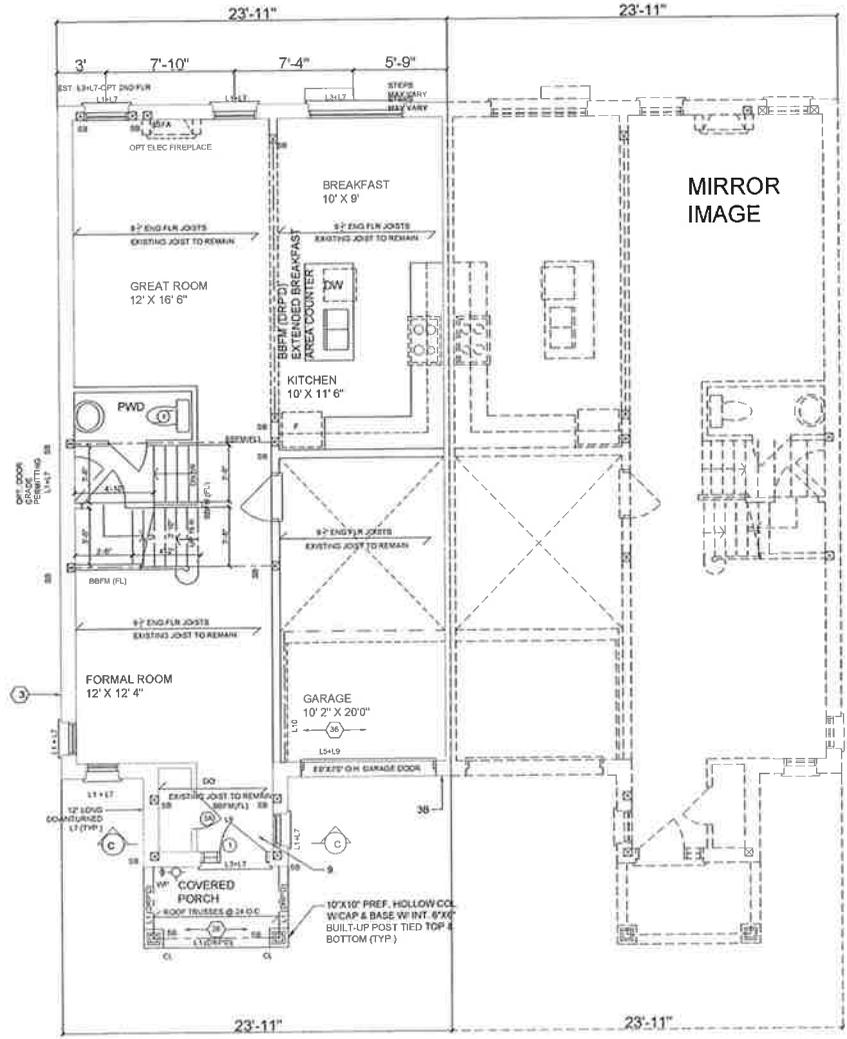


**STEEL LINTEL SCHEDULE**

GRADE	REQUIRED ANGLES
100 TO 2135 (2" TO 6")	2 L 30x3 (4" x 3" x 1/2")
200 TO 2135 (6" TO 7-2")	2 L 50x3 (4" x 3" x 1/2")
2135 TO 2435 (7" TO 8")	2 L 75x3 (5" x 3" x 1/2")
2435 TO 2745 (8" TO 9")	2 L 100x3 (5" x 3" x 1/2")
2745 TO 3245 (9" TO 12")	2 L 125x3 (5" x 3" x 1/2")

- STAINLESS STEELS COLUMN
- SOLID WOOD POST (POINT LOAD ABOVE 4' x 4')
- SOLID WOOD POST (POINT LOAD ABOVE 3' x 3')
- SOLID WOOD POST (POINT LOAD ABOVE 2' x 2')
- 3" x 3" HEADER





STEEL LINTEL SCHEDULE

SPAN	HEADLINE ANGLES
1005 TO 1130 (12' x 10' 0")	4" x 4" x 1/2"
1130 TO 1150 (12' x 10' 0")	4" x 4" x 1/2"
1150 TO 1235 (12' x 10' 0")	4" x 4" x 1/2"
1235 TO 1245 (12' x 10' 0")	4" x 4" x 1/2"
1245 TO 1255 (12' x 10' 0")	4" x 4" x 1/2"

1.1	STAINLESS STEELS COLUMN
1.2	SOLID WOOD POST (POINT LOAD ABOVE 4" x 4" x 1/2")
1.3	SOLID WOOD POST (POINT LOAD ABOVE 3" x 3" x 1/2")
1.4	SOLID WOOD POST (POINT LOAD ABOVE 2" x 2" x 1/2")
1.5	3" x 2" x 1/2" HEADER



NO.	DATE	REVISION DESCRIPTION	NOTE
01	15/06/2022	ISSUED	

**RD**  
 Rezvani Design Corp.  
 1505-105 Harrison Garden Blvd.  
 North York  
 ON, M2N 0C3  
 Cell: 647-533-4406  
 Email: krezvani80@gmail.com

CONSULTING ENGINEER:

PROPOSED  
 TWO STORY DETACHED HOUSE  
 FARZIN LOTP ABAD  
 289 ROBERT PARKINSON DRIVE  
 BRAMPTON  
 ON L7A 3Y1

VIEW: EXISTING FIRST FLOOR PLAN

DRAWN BY: Komron Rezvani

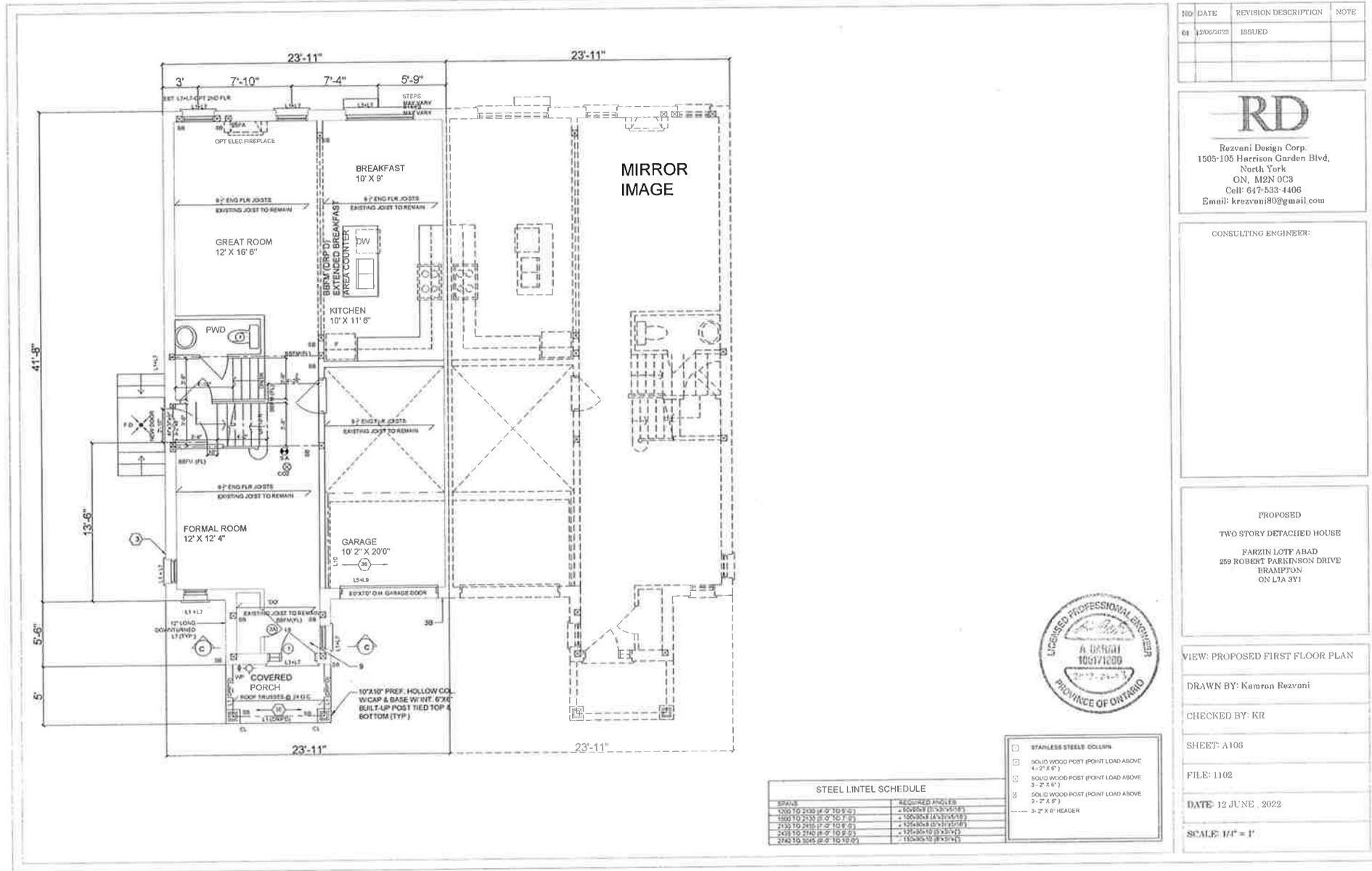
CHECKED BY: KR

SHEET: A105

FILE: 1102

DATE: 12 JUNE, 2022

SCALE: 1/4" = 1'



NO.	DATE	REVISION DESCRIPTION	NOTE
01	12/06/2022	ISSUED	

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 Rezvani Design Corp.  
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CONSULTING ENGINEER:

PROPOSED  
 TWO STORY DETACHED HOUSE  
 FARZIN LOTF ABAD  
 269 ROBERT PARKINSON DRIVE  
 BRAMPTON  
 ON L7A 3Y1

VIEW: PROPOSED FIRST FLOOR PLAN

DRAWN BY: Kamran Rezvani

CHECKED BY: KR

SHEET: A106

FILE: 1102

DATE: 12 JUNE, 2022

SCALE: 1/4" = 1'



SPACE	REQUIRED ANGLES
120 TO 210 (1/2" TO 3/4")	+ 100x10 (15.75x15.75)
180 TO 210 (3/4" TO 1")	+ 100x10 (15.75x15.75)
210 TO 240 (1" TO 1 1/4")	+ 100x10 (15.75x15.75)
240 TO 270 (1 1/4" TO 2")	+ 100x10 (15.75x15.75)
270 TO 300 (2" TO 3")	+ 100x10 (15.75x15.75)

- STAINLESS STEEL COLUMN
- SOLID WOOD POST (POINT LOAD ABOVE 4" X 4")
- SOLID WOOD POST (POINT LOAD ABOVE 3" X 4")
- SOLID WOOD POST (POINT LOAD ABOVE 2" X 4")
- 3" X 6" HEADER

NO.	DATE	REVISION DESCRIPTION	NOTE
01	12/06/2022	ISSUED	

# RD

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CONSULTING ENGINEER:

PROPOSED  
 TWO STORY DETACHED HOUSE  
 FARZIN LOTF ABAD  
 289 ROBERT PARKINSON DRIVE  
 BRAMPTON  
 ON L7A 3Y1

VIEW: EXISTING LEFT ELEVATION

DRAWN BY: Komran Rezvani

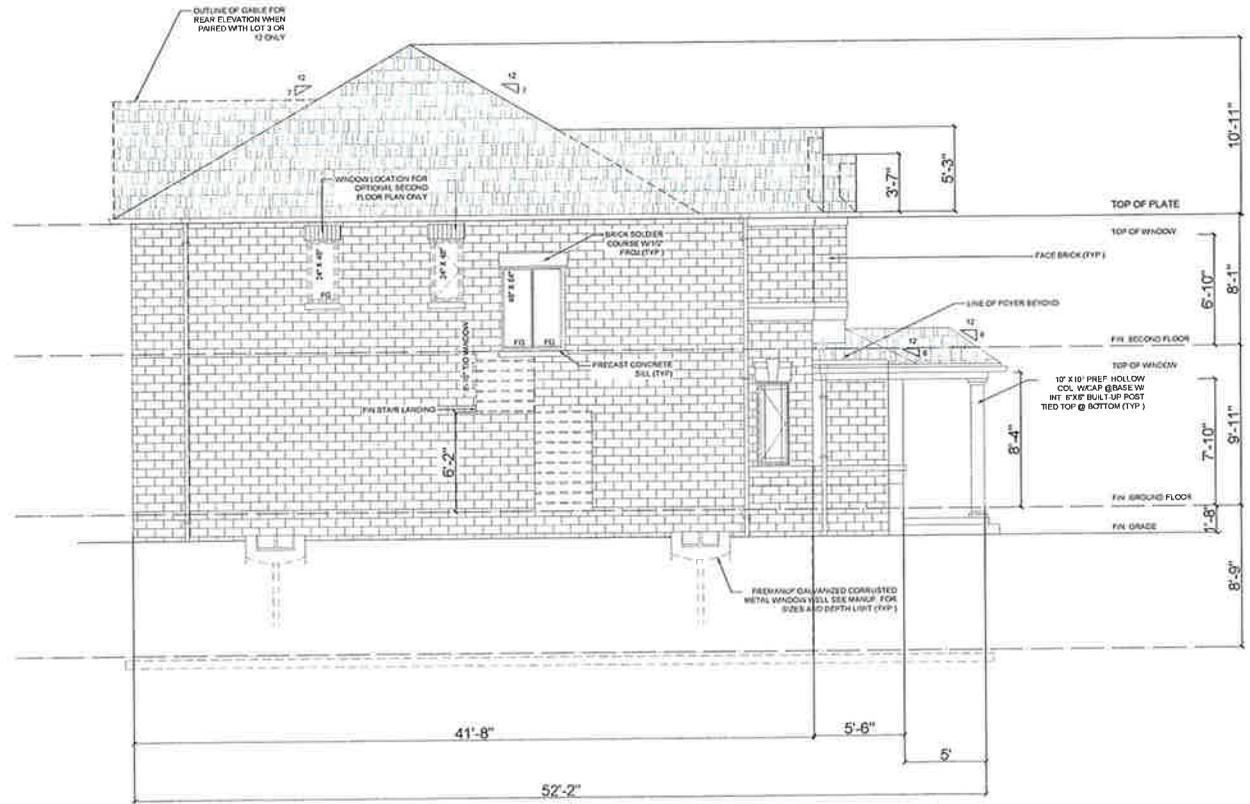
CHECKED BY: KR

SHEET: A107

FILE: 1102

DATE: 12 JUNE 2022

SCALE: 1/1" = 1'



STEEL LINTEL SCHEDULE	
SPRINK	REQUIRED ANGLE
1360 TO 2150 (4'-0\" TO 7'-0\")	= 400X60 (4'X 5'X 1/8\")
1600 TO 2150 (6'-0\" TO 7'-0\")	= 100X60 (4'X 5'X 1/8\")
2150 TO 2400 (7'-0\" TO 8'-0\")	= 150X60 (5'X 5'X 1/8\")
2400 TO 2740 (8'-0\" TO 9'-0\")	= 150X60 (5'X 5'X 1/8\")
2740 TO 3045 (9'-0\" TO 10'-0\")	= 150X60 (5'X 5'X 1/8\")

- STAINLESS STEEL COLUMN
- SOLID WOOD POST (POINT LOAD ABOVE 4' 2\" X 6\")
- SOLID WOOD POST (POINT LOAD ABOVE 5' 2\" X 6\")
- SOLID WOOD POST (POINT LOAD ABOVE 7' 2\" X 6\")
- 3\" X 8\" HEADER

NO	DATE	REVISION DESCRIPTION	NOTE
01	12/06/2022	ISSUED	

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CONSULTING ENGINEER:

PROPOSED  
TWO STORY DETACHED HOUSE  
FARZIN LOTF ABAD  
259 ROBERT PARKINSON DRIVE  
BRAMPTON  
ON L7A 3Y1

VIEW: PROPOSED LEFT ELEVATION

DRAWN BY: Komran Rezvani

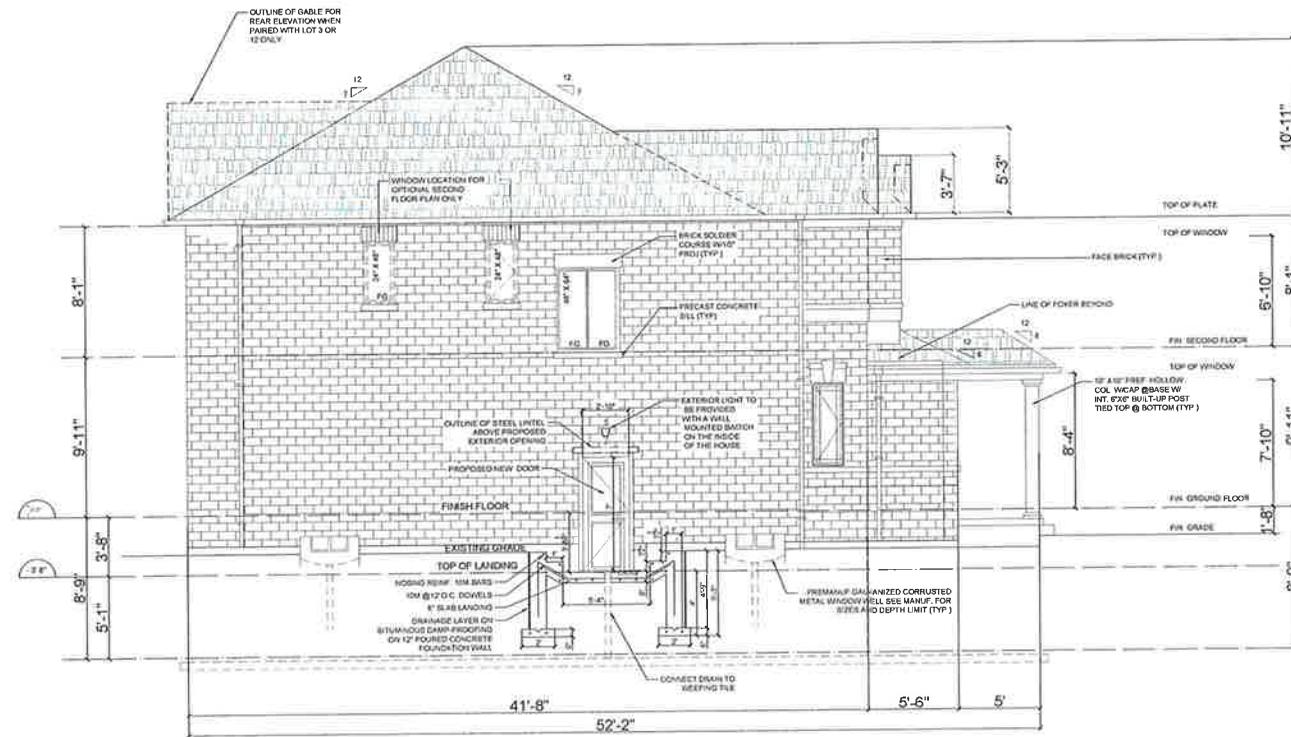
CHECKED BY: KR

SHEET: A108

FILE: 1102

DATE: 12 JUNE, 2022

SCALE: 1/4" = 1'



STEEL LINTEL SCHEDULE

SPAN	RESOURCES/ANGLES
1100 TO 1100 (1' 0" TO 1' 0")	2 ANGLE (LVS-551F)
1100 TO 1150 (1' 0" TO 1' 7")	2 ANGLE (LVS-551F)
1150 TO 1200 (1' 7" TO 1' 7")	2 ANGLE (LVS-551F)
1200 TO 1250 (1' 7" TO 2' 0")	2 ANGLE (LVS-551F)
1250 TO 1300 (2' 0" TO 2' 0")	2 ANGLE (LVS-551F)
1300 TO 1350 (2' 0" TO 2' 7")	2 ANGLE (LVS-551F)

- STEELNESS STEELS COLUMN
- SOLID WOOD POST (POINT LOAD ABOVE 4'-2" X 6")
- SOLID WOOD POST (POINT LOAD ABOVE 3'-2" X 6")
- SOLID WOOD POST (POINT LOAD ABOVE 2'-2" X 6")
- 3'-2" X 8" HEADER

NO	DATE	REVISION DESCRIPTION	NOTE
01	12/06/2022	ISSUED	

**RD**  
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CONSULTING ENGINEER:

PROPOSED  
 TWO STORY DETACHED HOUSE  
 FARZIN LOTF ABAD  
 259 ROBERT PARKINSON DRIVE  
 BRAMPTON  
 ON L7A 3Y1

VIEW: EXISTING SOUTH ELEVATION

DRAWN BY: Kamran Rezvani

CHECKED BY: KR

SHEET: A109

FILE: 1102

DATE: 12 JUNE, 2022

SCALE: 1/4" = 1'



**STEEL LINTEL SCHEDULE**

SPANS	REQ'D. RIG. JOIST
1000 TO 2100 (0'-0" TO 7'-0")	= 2ND OLT (18" X 15" X 18")
1500 TO 2100 (0'-0" TO 7'-0")	= 100 (18" X 15" X 18")
2400 TO 2600 (0'-0" TO 8'-0")	= 120 (18" X 15" X 18")
2600 TO 2700 (0'-0" TO 8'-0")	= 140 (18" X 15" X 18")
2700 TO 2800 (0'-0" TO 10'-0")	= 180 (18" X 15" X 18")

- STAINLESS STEEL COLUMN
- SOLID WOOD POST (POINT LOAD ABOVE 4'-2" X 6")
- SOLID WOOD POST (POINT LOAD ABOVE 3'-2" X 6")
- SOLID WOOD POST (POINT LOAD ABOVE 2'-2" X 6")
- 3" X 8" BEAMER

NO	DATE	REVISION DESCRIPTION	NOTE
01	15/06/2022	ISSUED	

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 Email: krezvani80@gmail.com

CONSULTING ENGINEER:

PROPOSED  
 TWO STORY DETACHED HOUSE  
 FARZIN LOTF ABAD  
 250 ROBERT PARKINSON DRIVE  
 BRAMPTON  
 ON L7A 5Y1

VIEW: PROPOSED SOUTH ELEVATION

DRAWN BY: Kamran Rezvani

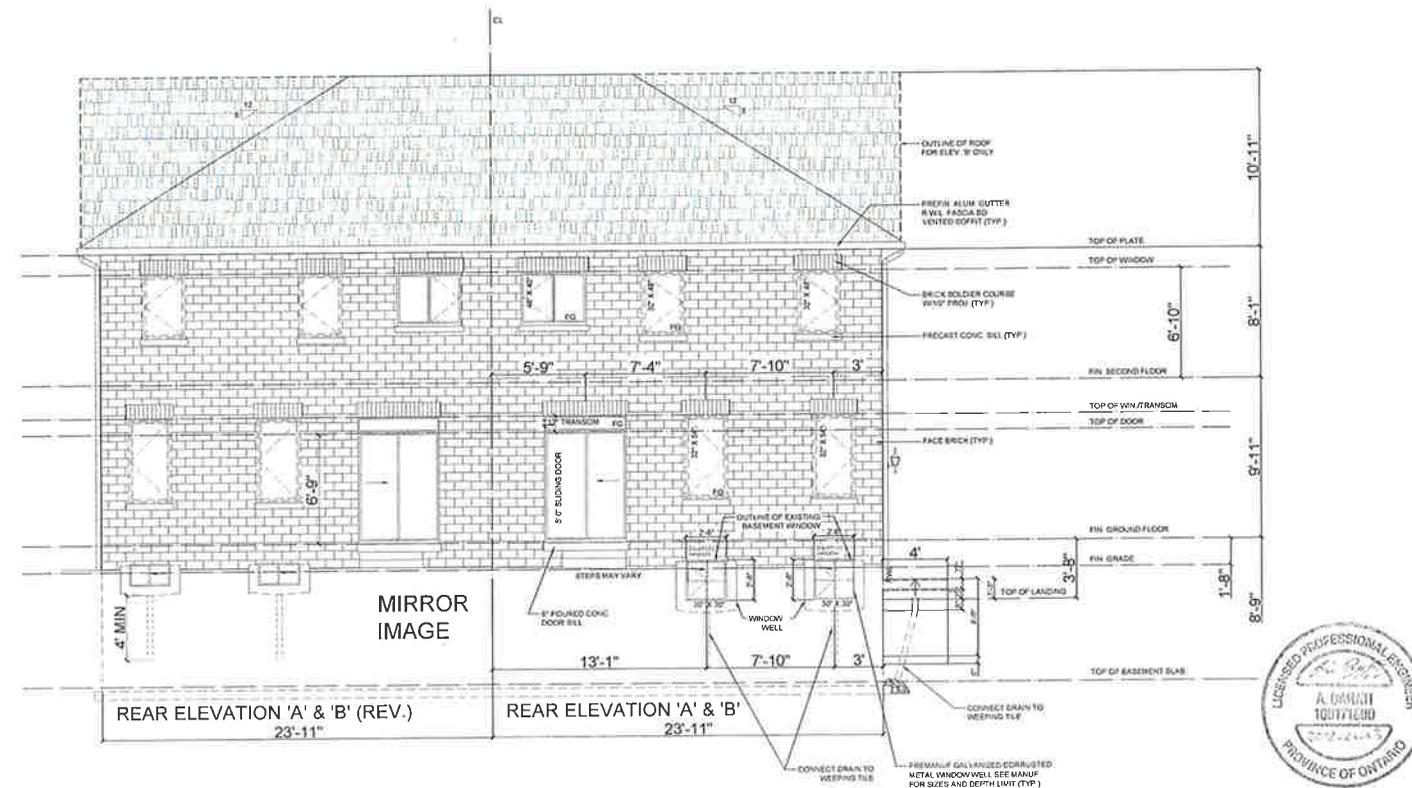
CHECKED BY: KR

SHEET: A110

FILE: 1102

DATE: 12 JUNE 2022

SCALE: 1/4" = 1'



**STEEL LINTEL SCHEDULE**

SPAN	REQ'D RISE/SPACES
100 TO 2125 (1'0" TO 17'6")	= 30x30x6 (3'0" SPACES)
100 TO 2150 (1'0" TO 17'9")	= 30x30x6 (3'0" SPACES)
2150 TO 2400 (17'9" TO 19'9")	= 30x30x6 (3'0" SPACES)
2400 TO 2700 (19'9" TO 22'6")	= 30x30x6 (3'0" SPACES)
2700 TO 3045 (22'6" TO 25'3")	= 30x30x6 (3'0" SPACES)

--- 3" x 8" HEADER



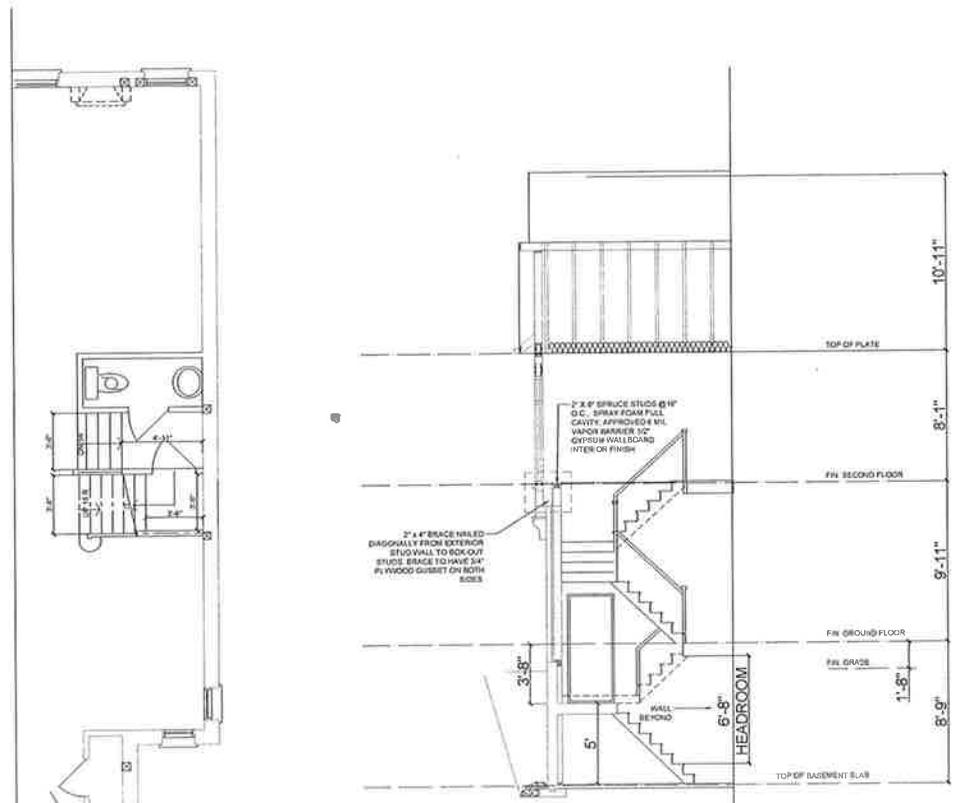
NO	DATE	REVISION DESCRIPTION	NOTE
01	2006/2022	ISSUED	



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CONSULTING ENGINEER:

PROPOSED  
TWO STORY DETACHED HOUSE  
FARZIN LOTF ABAD  
259 ROBERT PARKINSON DRIVE  
BRAMPTON  
ON L7A 3Y1



STEEL LINTEL SCHEDULE

SPANS	REQUIRED PROFILES
120 TO 210 (0' 0" TO 1' 0")	2 L200X10 (6.5X3.5)
100 TO 210 (0' 0" TO 1' 0")	2 L150X10 (5.5X3.5)
120 TO 240 (0' 0" TO 1' 0")	2 L200X10 (6.5X3.5)
240 TO 270 (0' 0" TO 1' 0")	2 L200X10 (6.5X3.5)
270 TO 300 (0' 0" TO 1' 0")	2 L200X10 (6.5X3.5)

- STAINLESS STEELS COLUMN
- SOLID WOOD POST (POINT LOAD ABOVE 4' 2" X 6")
- SOLID WOOD POST (POINT LOAD ABOVE 7' 2" X 6")
- SOLID WOOD POST (POINT LOAD ABOVE 2' 2" X 6")
- 3" X 6" HEADER

VIEW: EXISTING SECTION

DRAWN BY: Kamran Rezvani

CHECKED BY: KR

SHEET: A111

FILE: 1102

DATE: 12 JUNE, 2022

SCALE: 1/4" = 1'

NO	DATE	REVISION DESCRIPTION	NOTE
01	12/01/2022	ISSUED	

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CONSULTING ENGINEER:

PROPOSED  
TWO STORY DETACHED HOUSE  
PARZIN LOTF ABAD  
269 ROBERT PARKINSON DRIVE  
BRAMPTON  
ON L7A 3Y1



VIEW: PROPOSED SECTION

DRAWN BY: Kamran Rezvani

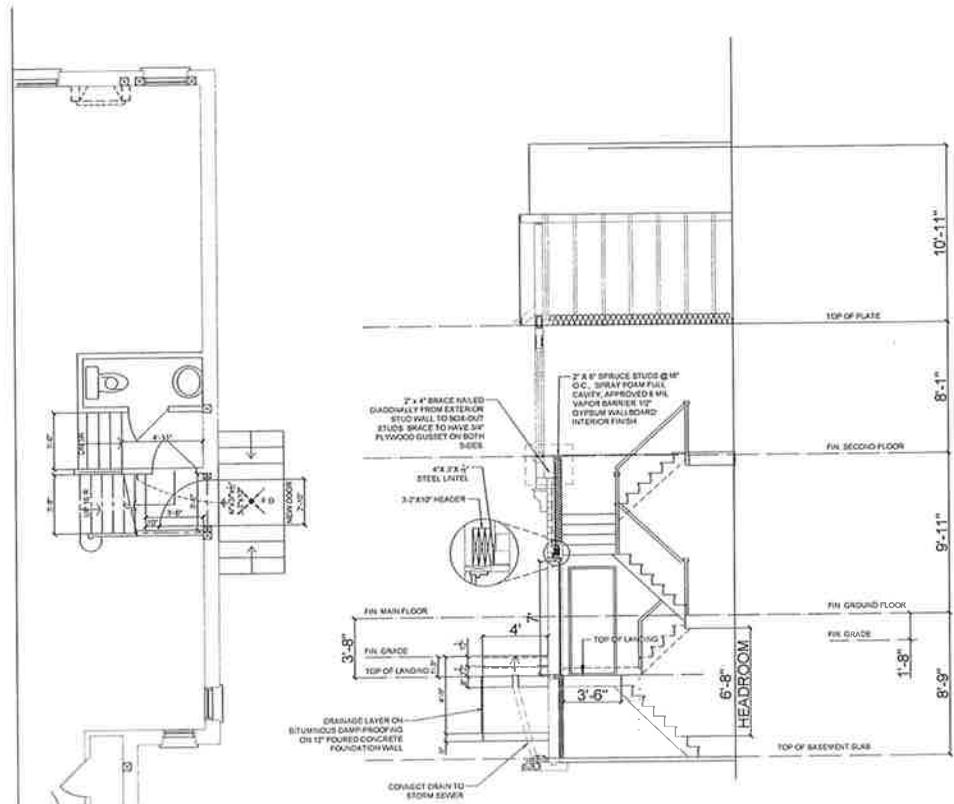
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SHEET: A112

FILE: 1102

DATE: 12 JUNE, 2022

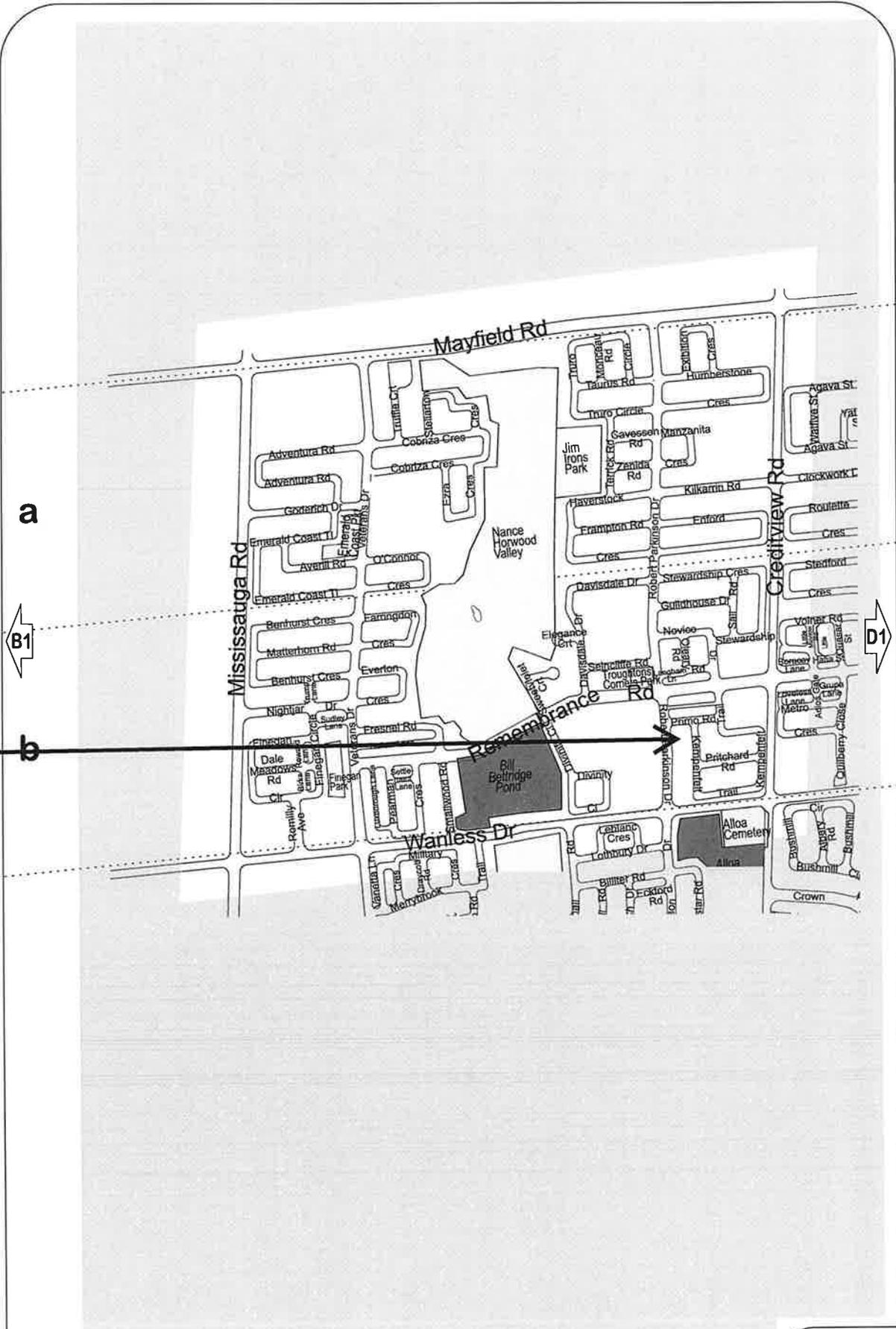
SCALE: 1/4" = 1'



SPACE	MEMBERS AND SIZE
1100 TO 2150 (4\"/>	

- STAINLESS STEELS COLUMN
- SOLID WOOD POST (POINT LOAD ABOVE 4'-2\"/>

A-2022-0357



a

B1

b

D1

C2

C1