

**LEGEND:**

EXISTING ELEVATION	
FENCELINE	
CONCRETE EDGING	
GRAVEL	
STONES	

**SURVEY INFORMATION:**

**BENCHMARK REFERENCE:**  
 ELEVATIONS ARE BASED ON GPS OBSERVATIONS FROM PERMANENT REFERENCE STATIONS IN THE NAD83 (CSRS-2010) COORDINATE SYSTEM, WITH HEIGHTS CONVERTED TO ORTHOMETRIC ELEVATIONS ON THE CVGD28 DATUM (1978 ADJUSTMENT) WITH GEOID MODEL HTV2.0, AS SUPPLIED BY NATURAL RESOURCES CANADA.

**TOPOGRAPHIC SURVEY DATE:**  
 THIS TOPOGRAPHIC SURVEY WAS COMPLETED ON THE 22nd DAY OF OCTOBER, 2022.

**AS-BUILT TOPOGRAPHIC SURVEY FOR:**

**28 TORTOISE COURT  
 PART OF LOT 1, REGISTERED PLAN M-90  
 BEING PARTS 23, 24 & 25, DEPOSITED PLAN 43R-4077  
 CITY OF BRAMPTON  
 REGIONAL MUNICIPALITY OF PEEL**

NO.	REVISION	BY	DATE

**DRAWING REVISION SCHEDULE**  
**PREPARED FOR: SEWA BASRA**  
**PROJECT No. 24562-17**  
**DRAWING SCALE 1 : 300**

**CAUTION:**  
 - THIS IS NOT A PLAN OF SURVEY AND SHALL NOT BE USED FOR TRANSACTION OR MORTGAGE PURPOSES  
 - THIS SKETCH IS PROTECTED BY COPYRIGHT.

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[www.vanharten.com](http://www.vanharten.com)    [info@vanharten.com](mailto:info@vanharten.com)  
 DRAWN BY: RCH    CHECKED BY: MARY

Nov 8, 2022-11:36:41 AM  
 L:\Brampton\M-90\ac ad\ASBUILT TOPO (24562-17 BASRA).dwg

Under the authority of the *Emergency Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

**Electronic/Hybrid Hearing Procedures**  
**How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **December 6, 2022** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

**How to Participate in the Hearing:**

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, December 1, 2022.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
  1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at [cityclerksoffice@brampton.ca](mailto:cityclerksoffice@brampton.ca) or [jeanie.myers@brampton.ca](mailto:jeanie.myers@brampton.ca) by **4:30 pm Thursday, December 1, 2022.**
  2. To participate in-person, please email the Secretary-Treasurer at [cityclerksoffice@brampton.ca](mailto:cityclerksoffice@brampton.ca) or [jeanie.myers@brampton.ca](mailto:jeanie.myers@brampton.ca) by **4:30 pm Thursday, December 1, 2022.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, December 1, 2022.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:  
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or  
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to [cityclerksoffice@brampton.ca](mailto:cityclerksoffice@brampton.ca) or [jeanie.myers@brampton.ca](mailto:jeanie.myers@brampton.ca). If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

**NOTE** Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, [www.brampton.ca](http://www.brampton.ca). By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.



The Personal information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

**APPLICATION**  
**Minor Variance or Special Permission**  
(Please read Instructions)

**NOTE:** It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law 270-2004.

1. **Name of Owner(s)** Sewa Singh Basra & Harjit Kaur Basra  
**Address** 28 Tortoise Court, Brampton, ON L6P 0A1  
 \_\_\_\_\_  
 \_\_\_\_\_  
**Phone #** 905-408-5418 **Fax #** \_\_\_\_\_  
**Email** harjit@grerush.com

2. **Name of Agent** Anthony Bartolini  
**Address** 48 Cayton Crescent, Bradford ON L3Z 0V9  
 \_\_\_\_\_  
 \_\_\_\_\_  
**Phone #** 9479692 **Fax #** \_\_\_\_\_  
**Email** squaresdesigngroup@outlook.com

3. **Nature and extent of relief applied for (variances requested):**

1. To permit an accessory structure (cabana) having a gross floor area of 103.4 sq. m. whereas the by-law permits a maximum gross floor area of 23 sq. m for an individual accessory structure.

2. To permit a kitchen and washroom in the accessory structure (cabana) whereas the by-law does not permit an accessory structure to be used for human habitation.

4. **Why is it not possible to comply with the provisions of the by-law?**

can not comply with gross floor area.  
can not comply with the cabana having a washroom and kitchen.

5. **Legal Description of the subject land:**

**Lot Number** lot 1  
**Plan Number/Concession Number** m-90  
**Municipal Address** 28 Tortoise Court, Brampton, ON L6P 0A1

6. **Dimension of subject land (in metric units)**

**Frontage** 114.381  
**Depth** 126.028m  
**Area** 12526.3 M2

7. **Access to the subject land is by:**

Provincial Highway   
 Municipal Road Maintained All Year   
 Private Right-of-Way

Seasonal Road   
 Other Public Road   
 Water

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

**EXISTING BUILDINGS/STRUCTURES** on the subject land: List all structures (dwelling, shed, gazebo, etc.)

Existing 2 storey dwelling

House Footprint: 587.8 m<sup>2</sup>

**PROPOSED BUILDINGS/STRUCTURES** on the subject land:

Proposed cabana footprint: 103.4 m<sup>2</sup>

Cabana Height: 3.150m 4.7m

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

**EXISTING**

Front yard setback 28.584m

Rear yard setback 18.051m

Side yard setback 45.906m

Side yard setback 69.980m

**PROPOSED**

Front yard setback N/A

Rear yard setback 33.885m

Side yard setback 20.497m

Side yard setback 71.658m

- 10. Date of Acquisition of subject land: Sep 2015
11. Existing uses of subject property: Residential
12. Proposed uses of subject property: Residential
13. Existing uses of abutting properties: Residential
- 14. Date of construction of all buildings & structures on subject land: APRIL 2019
- 15. Length of time the existing uses of the subject property have been continued: 7 YEARS
- 16. (a) What water supply is existing/proposed?  
Municipal  Other (specify) \_\_\_\_\_  
Well
- (b) What sewage disposal is/will be provided?  
Municipal  Other (specify) \_\_\_\_\_  
Septic
- (c) What storm drainage system is existing/proposed?  
Sewers  Other (specify) \_\_\_\_\_  
Ditches   
Swales

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes  No

If answer is yes, provide details: File # \_\_\_\_\_ Status \_\_\_\_\_

18. Has a pre-consultation application been filed?

Yes  No

19. Has the subject property ever been the subject of an application for minor variance?

Yes  No  Unknown

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

S. Bawa  
Signature of Applicant(s) or Authorized Agent

DATED AT THE City OF Brampton  
THIS 12th DAY OF August, 2022

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, SEWA SINGH BASKA, OF THE City OF Brampton  
IN THE Region OF Peel SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE  
City OF Brampton  
IN THE Region OF  
Peel THIS 12th DAY OF  
August, 2022

Jeanie Cecilia Myers  
a Commissioner, etc.,  
Province of Ontario  
for the Corporation of the  
City of Brampton  
Expires April 8, 2024 *JM*

S. Bawa  
Signature of Applicant or Authorized Agent

Jeanie Myers  
A Commissioner etc.

FOR OFFICE USE ONLY

Present Official Plan Designation: \_\_\_\_\_  
Present Zoning By-law Classification: RE2

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

J. Chau  
Zoning Officer

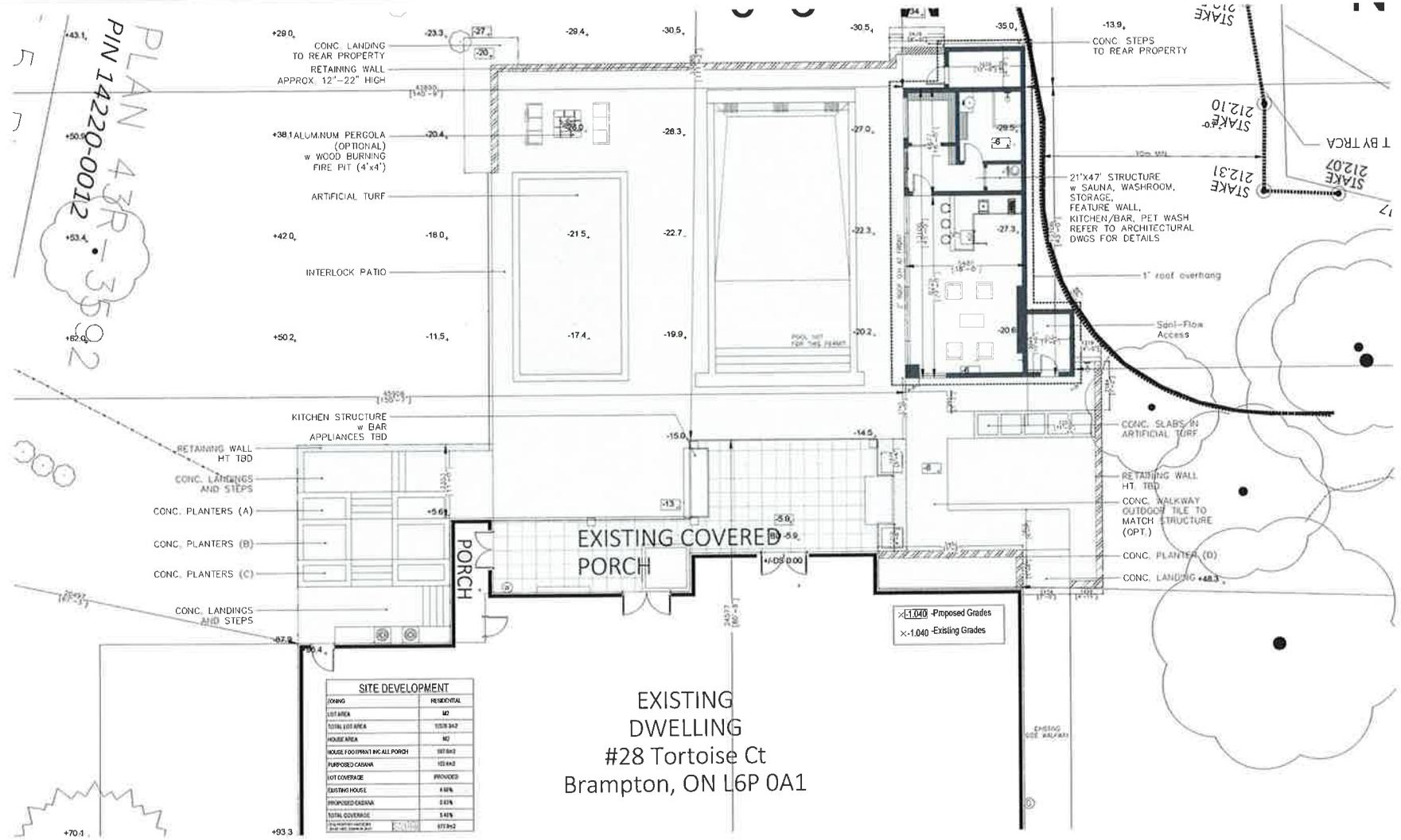
July 20, 2022  
Date

DATE RECEIVED August 12, 2022

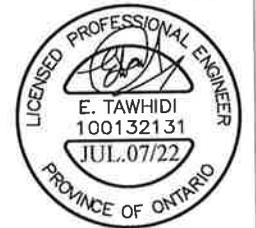


PROPOSED CABANA  
28 Tortoise Ct Brampton, ON L6P 0A1

A00-COVER PAGE  
A1.1-SITE PLAN (ZOOMED)  
A1-SITE PLAN  
A2-FLOOR PLAN  
A3-FOUNDATION PLAN  
A4-ROOF PLAN  
A4.1-ROOF DRAINAGE  
A5-ELEVATIONS  
A6-ELEVATIONS  
A7-ELEVATIONS  
A8-WALL FRAMING



FOR STRUCTURAL ONLY



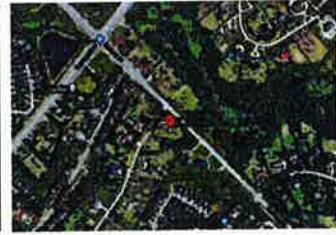
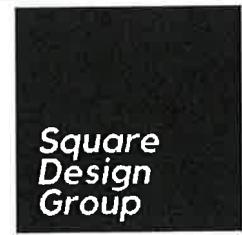
**1 SITE PLAN**  
A1 1:200

**GENERAL NOTES**  
CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION.  
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PROJECT NAME:  
28 Tortoise Ct Brampton, ON L6P 0A1

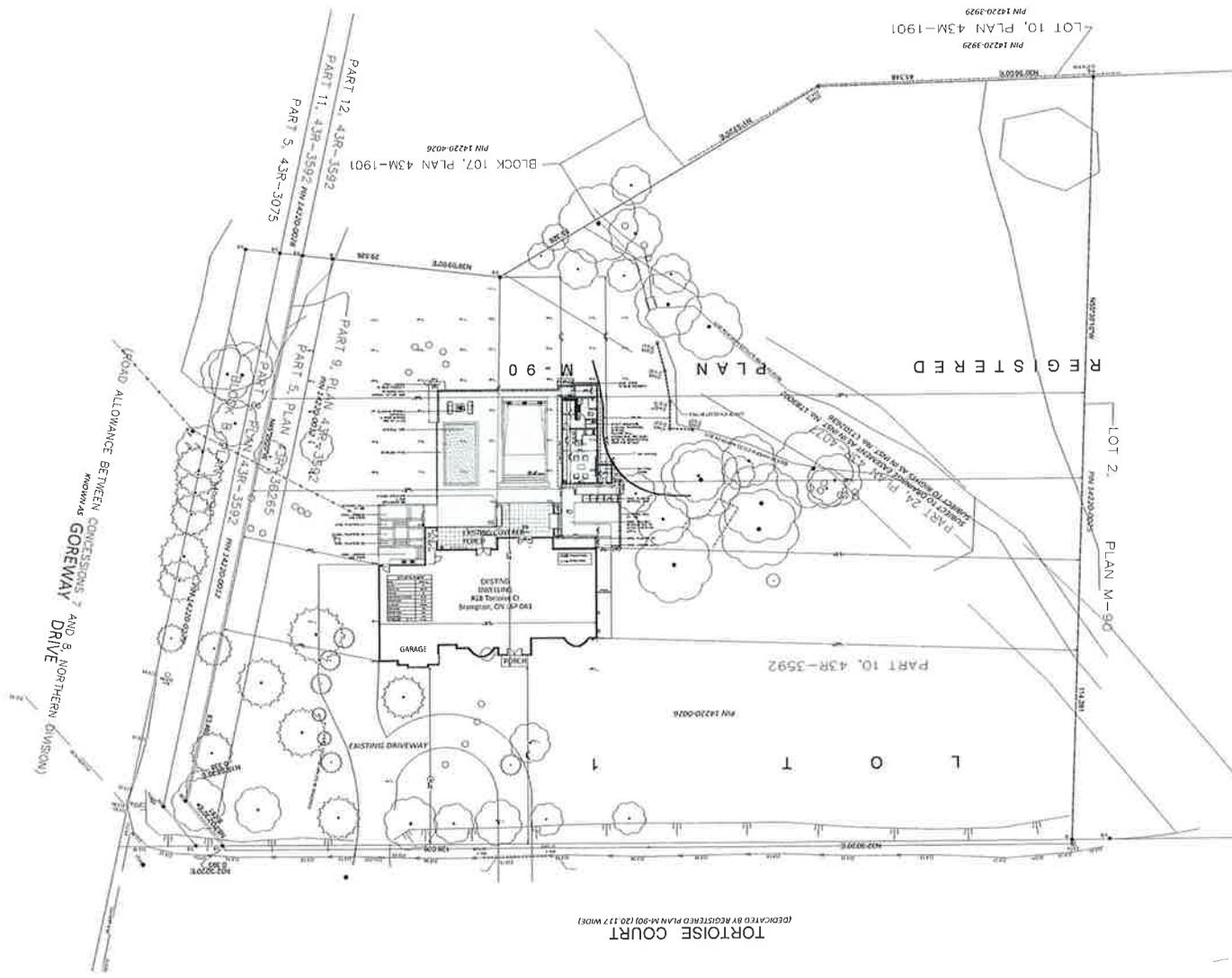
DRAWING TITLE:  
Site Plan (ZOOMED)

DRAWN BY: \_\_\_\_\_ CHECKED BY: \_\_\_\_\_ APPROVED BY: \_\_\_\_\_ DATE: \_\_\_\_\_



SHEET NO:  
**A1**

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FOR STRUCTURAL ONLY



REV	DESCRIPTION	BY	DATE

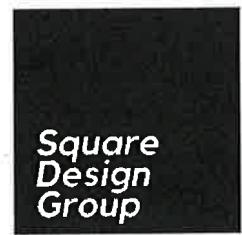
**1 SITE PLAN**  
A1.1 1:750

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**PROJECT NAME:**  
28 Tortoise Ct Brampton, ON L6P 0A1

**DRAWING TITLE:**  
Site Plan (FULL)

**DRAWN BY:**      **CHECKED BY:**      **APPROVED BY:**      **DATE:**



**SHEET NO:**  
A1.1

**STRUCTURAL NOTES:**

1. Workmanship and materials shall be in accordance with part 9 of the Ontario Building Code and local regulations.
2. See Architectural drawings for dimensions, elevations and finishes.
3. All structural components shall be interconnected to resist code mandated live, dead and environmental loads.
4. DESIGN LIVE LOADS ARE:  
 ROOF : SS 1/50 = 1.3KPA, SR = 0.4 KPA  
 FLOORS : 40 PSF  
 WIND 1/50 : 0.44 KPA BASIC  
 EARTHQUAKE : SA (0.2) 0.21
5. Contractor is responsible for safe execution of work, as per osha and other applicable safety codes. a temporary shoring plan and construction sequence duly signed by an Ontario licensed professional engineer to be submitted for approval before start of any relevant work. Approved shop drawings along with approve permit drawings shall be always available at site for reference.

**Foundations**

1. Footings shall be placed on undisturbed soil capable of supporting 2000 psf.
2. Footings excavations shall be inspected by soils engineer before concrete is placed.
3. Footings exposed to freezing shall be placed at least 4'-0" below finished grade.
4. Protect footings exposed to frost action during construction by 4'-0" minimum of soil or its equivalent.
5. The line of slope between adjacent footings or excavations or along stepped footings shall not exceed a rise of 7 in a run of 10. maximum step shall be 2'-0".
6. Where a foundation wall retains soil on each side, place backfill on both sides simultaneously.
7. Foundation walls retaining earth between slabs at different levels shall be shored until the slab at higher level is in place and has reached its required strength.

**Concrete specification**

1. The ultimate 28 days compressive strength of concrete shall be 20.0 MPA unless noted otherwise.
2. The ultimate 28 days compressive strength of concrete exposed to freezing and thawing (exterior slabs, garage floor slab, side walks, curbs, retaining walls, etc.) shall be 32 MPA with minimum air entrainment content of 5%-8% and maximum water/cement ratio by mass of 0.45.
3. Do not use calcium chloride or other salts in concrete.
4. Reinforcing steel shall be deformed bars to CSA G30.18 with a minimum yield strength of 400 MPA.
5. Welded wire mesh shall conform to CSA G30.5, welded steel wire fabric for concrete reinforcement.
6. Detail reinforcing in accordance with reinforcing steel manual of standard practice prepared by RSIO.
7. Only ready mix concrete is permitted on this job. the concrete supplier shall be responsible for concrete mix design.
8. Supply and install concrete, reinforcing steel and formwork including placing, finishing and curing as shown on the drawings in accordance with CSA A23 and CSA G 30.
9. Non-shrink, non-metallic grout shall be used by Sika Canada inc. or an approved equal.

**Structural Steel**

1. Structural steel shall be as follows  
 W, S, HP, WWF SHAPES CAN/CSA G40.21-350W.  
 HSS CAN/CSA G40.21-350W. CLASS C  
 L, PL. CAN/CSA G40.21-300W
2. Obtain field measurements as required.
3. Provide holes where required for attachment of other work to steel, place holes so as not to cause any appreciable reduction in strength of the member.
4. Fabricate, supply and erect structural steel work in accordance with the following standards:  
 Design, fabrication and erection CSA-S16.1  
 Welding CSA-W47  
 Cleaning SSPC-SP3-63  
 Bolts 3/4" Ø U.N.O ASTM-325-80A  
 Paint (1 shop coat + field touch up) CGSB-1.40-M89
5. Design connections for the reactions produced by the loading conditions.
6. No splices in new beams and columns shall be allowed unless approved by the engineer.
7. All steel lintels bearing on masonry to have minimum 6" bearing

**Wood**

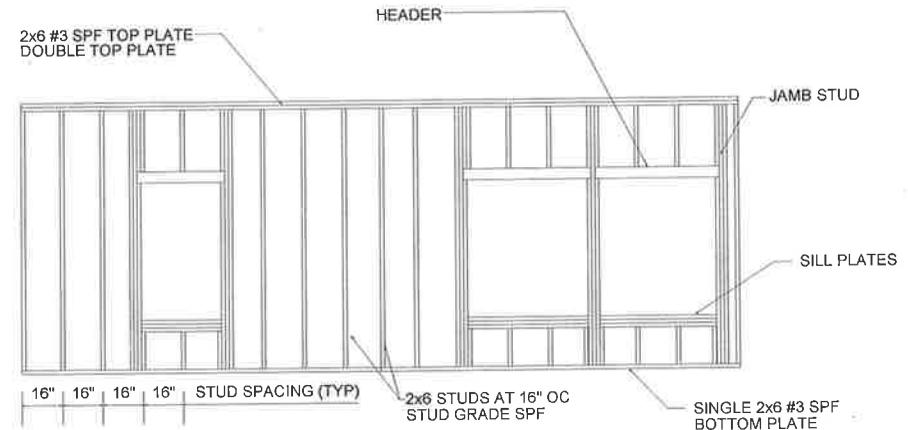
1. All wood construction to be in accordance with CSA standard CAN3-086-01.
2. All lumber to be grade stamped and shall be dry spruce #1 or #2 conforming to CSA-086-01 u/n otherwise.
3. Lumber for stud walls shall be spruce stud grade u/n otherwise.
4. Trus joists, LSL and PSL beams shall be as manufactured by Trus Joist Canada ltd. or an approved equal. the supplier shall be responsible for design of all connections and shall submit shop drawings bearing a stamp of P. Eng. responsible for the design.
5. All connections, unless noted otherwise, to be in accordance with O.B.C. 2012
6. All load bearing stud walls shall have one row of solid blocking at mid height unless noted otherwise.
7. Bridging for trus joists shall be as recommended by the manufacturer. however, spacing of bridging shall not exceed 12 feet.
8. Metal hangers shall be made from light gauge galvanized metal and shall have allowable load capacity (as per manufacturer's data) greater than reactions produced by loading conditions. Use Simpson Strong-tie or equal.
9. Protect lumber in direct contact with concrete or mortar with 10 mil. polyethylene sheet.
10. Provide adequate temporary bracing for all stud walls during construction.
11. Double up studs at each end of an opening unless noted otherwise.
12. Plywood as per CSA O 86.1

**STEEL LINTEL SCHEDULE**

Up to 4'-6" Opening	L 3 1/2" x 3 1/2" x 5/16"
Up to 5'-6" Opening	L 4" x 3 1/2" x 5/16"
Up to 6'-6" Opening	L 5" x 3 1/2" x 5/16"
Up to 7'-6" Opening	L 5" x 3 1/2" x 3/8"
Up to 9'-10" Opening	L 6" x 4" x 3/8"
Up to 11'-0" Opening	L 7" x 4" x 3/8"
Up to 25' Opening	(I-BEAM) W8x15 BEARING ON BRICK

**WOOD LINTEL SCHEDULE**

Up to 3'-6" Opening	3 - 2" x 6"
Up to 5'-6" Opening	3 - 2" x 8"
Up to 6'-6" Opening	3 - 2" x 10"
Up to 7'-6" Opening	3 - 2" x 12"



**TYP. WALL**

- NOTES:
1. TOP AND BOTTOM PLATE TO STUD WITH (3) .131x3" P.D. NAILS.
  2. WALL TO FLOOR #8x3" SREW 16" O.C. AND (2) .131x3" P.D. NAILS
  3. WALL TO WALL AND CEILING #8x3" SCREW 16" O.C.

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**1 SITE NOTES**  
A1.2

**GENERAL NOTES**

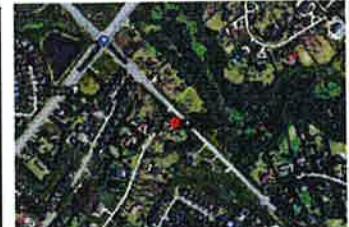
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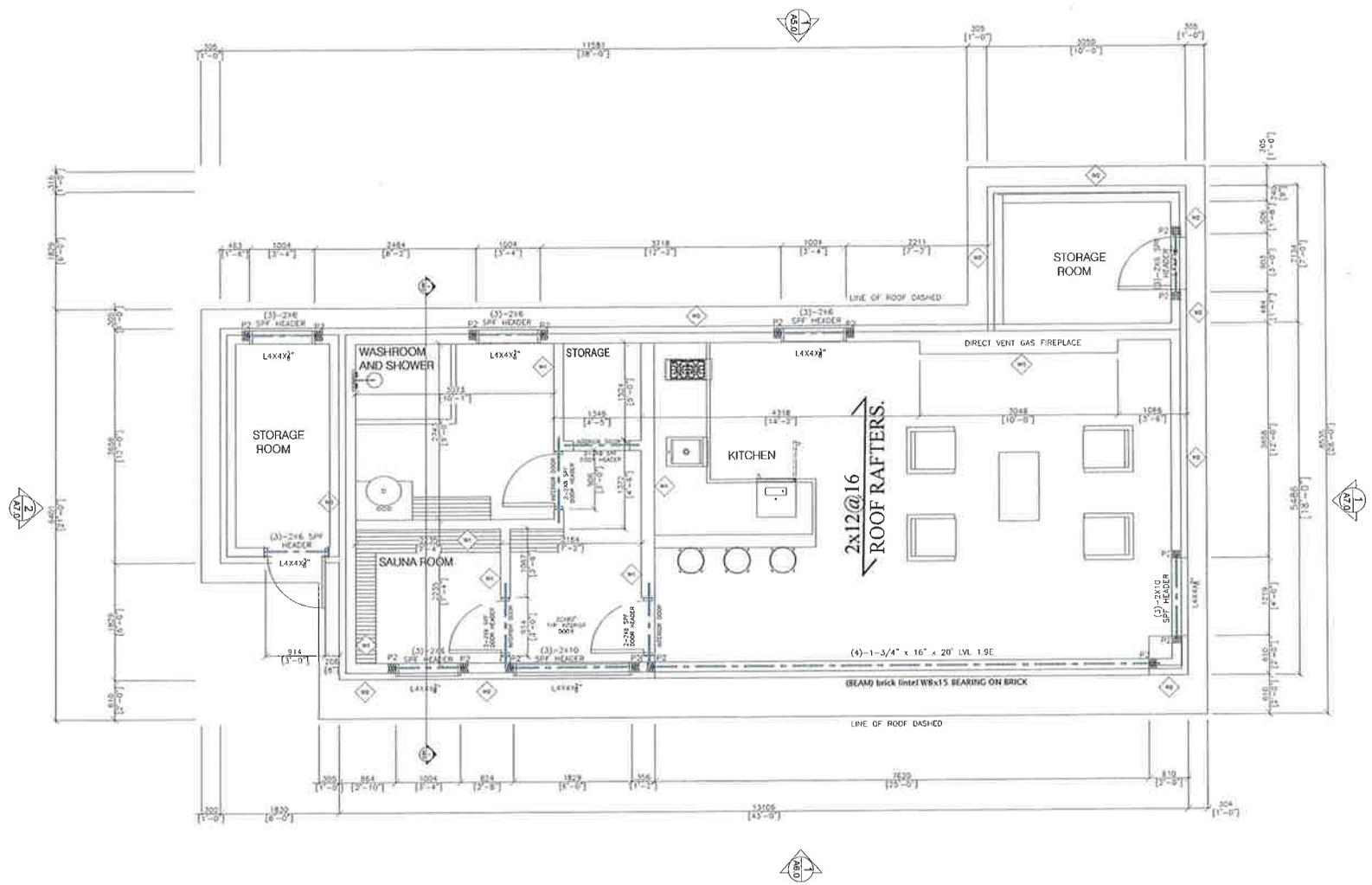
PROJECT NAME:  
28 Tortoise Ct Brampton, ON L6P 0A1

DRAWING TITLE:  
SITE NOTES

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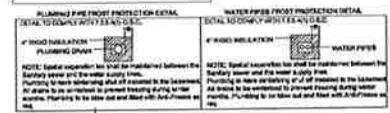
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**A1.2**



- 
**INTERIOR WALL PARTITION**  
 DRYWALL INTERIOR FINISH  
 OR VERTICAL WOOD SIDING T & G  
 2X4" WOOD STUDS @ 406mm O.C. DBL  
 TOP PLATE VERTICAL WOOD SITING  
 T & G or DRYWALL INTERIOR FINISH
  
- 
**STONE WALL**  
 1/2 in gypsum board  
 2 in x 6 in wood studs @ 406 O.C DBL TOP  
 PLATE - Exterior sheeling  
 Air-barrier  
 1 in air gap  
 3 1/2 Masonry Veneer
  
- 
**FIRE PLACE WALL PARTITION**  
 VERTICAL WOOD SIDING T & G  
 TYVEC AIR BARRIER  
 13mm EXTERIOR PLYWOOD SHEATHING  
 36X89 STEEL STUDS @ 406mm O.C (SEE  
 MANUFACTURE INSTALLATION DETAILS)
  
- P1 (6"X6") BUILT UP PST.**
- P2 (2"X6") BUILT UP PST.**

**STEEL LINTEL SCHEDULE**

L1	L4X4X 3/8"
L2	L7X4X3/8 LL.V
L3	(BEAM) WBX15 BEARING ON BRICK



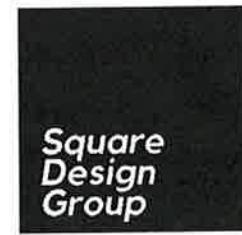
**1 FLOOR PLAN**  
**A2** 1:75

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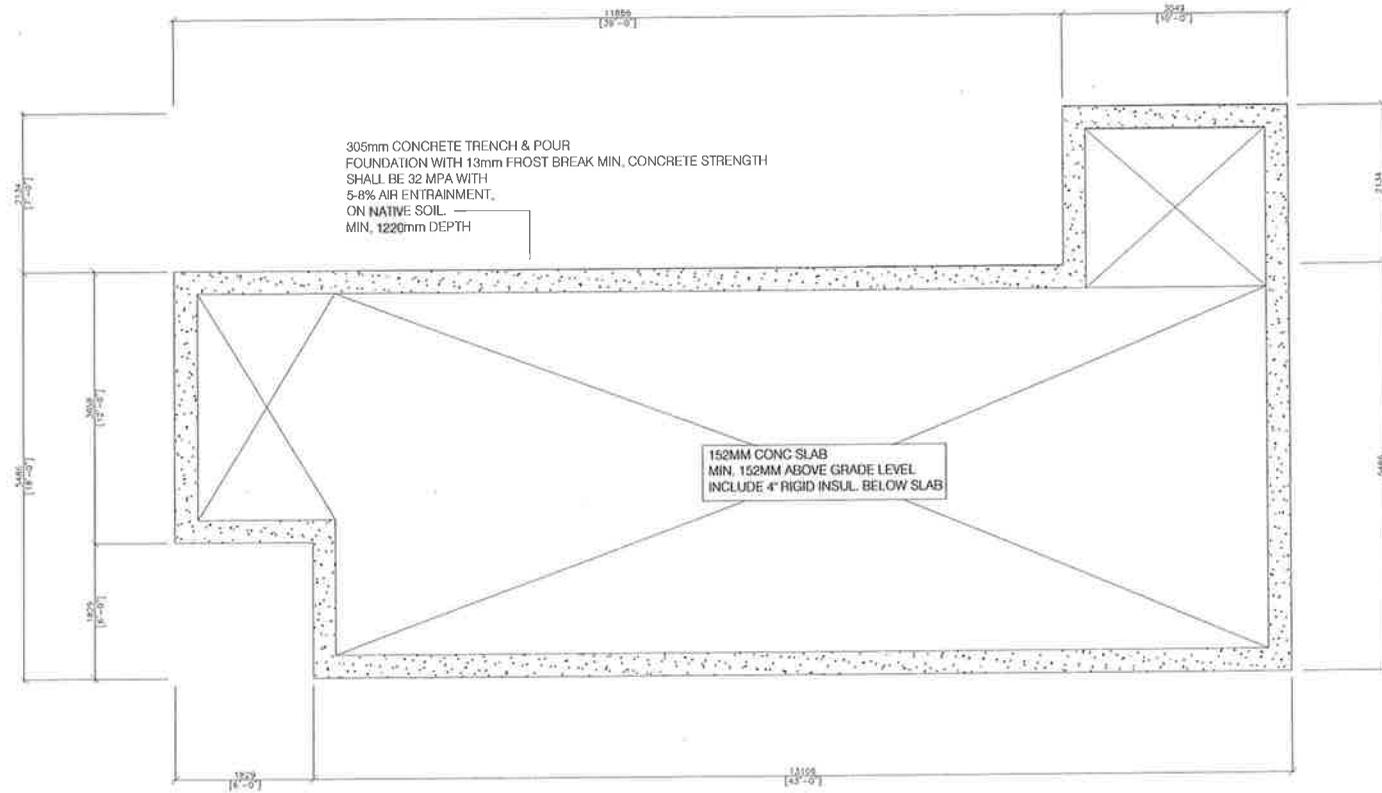
**DRAWING TITLE:**  
 FLOOR PLAN

**DRAWN BY:**      **CHECKED BY:**      **APPROVED BY:**      **DATE:**



SHEET NO:  
**A2**

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305mm CONCRETE TRENCH & POUR  
 FOUNDATION WITH 13mm FROST BREAK MIN, CONCRETE STRENGTH  
 SHALL BE 32 MPA WITH  
 5-8% AIR ENTRAINMENT,  
 ON NATIVE SOIL  
 MIN. 1220mm DEPTH

152MM CONC SLAB  
 MIN. 152MM ABOVE GRADE LEVEL  
 INCLUDE 4" RIGID INSUL. BELOW SLAB

**1 FOUNDATION PLAN**  
 A3.0 1:75

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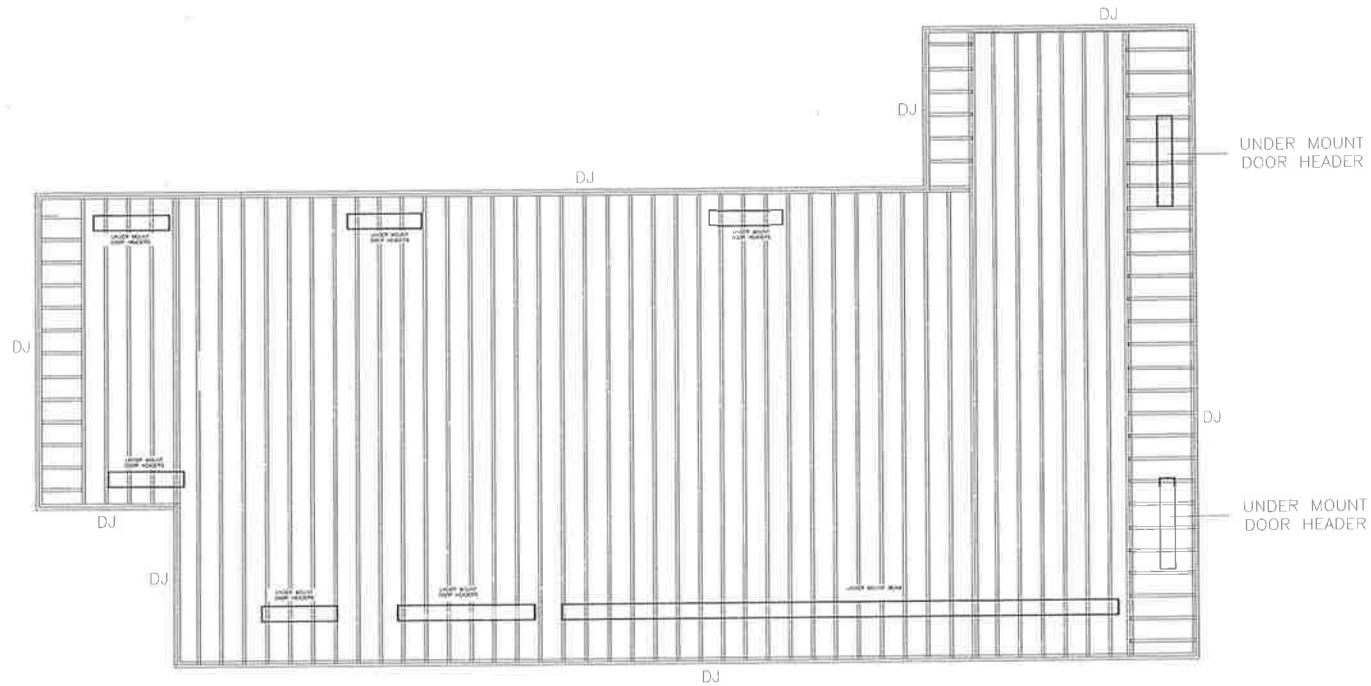
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 FOUNDATION PLAN

DRAWN BY:      CHECKED BY:      APPROVED BY:      DATE:

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SHEET NO:  
**A3**



**1** ROOF FRAMING PLAN  
A4.0 1:75

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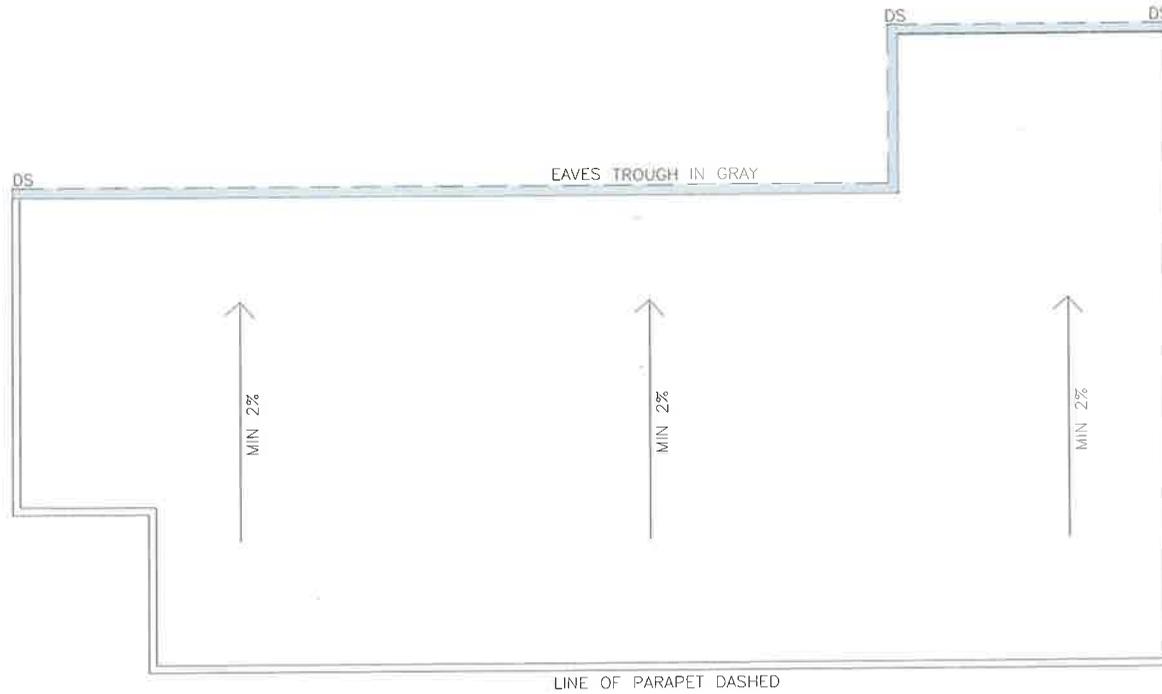
PROJECT NAME:  
28 Tortoise Ct Brampton, ON L6P 0A1

DRAWING TITLE:  
ROOF FRAMING PLAN

DRAWN BY:      CHECKED BY:      APPROVED BY:      DATE:



SHEET NO:  
**A4**



**1** ROOF DRAINAGE PLAN  
A4.1 1:75

rev	description	by	date
REV:	DESCRIPTION:	BY:	DATE:

GENERAL NOTES  
 CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION.  
 THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL SEALED AND SIGNED BY THE DESIGNER.

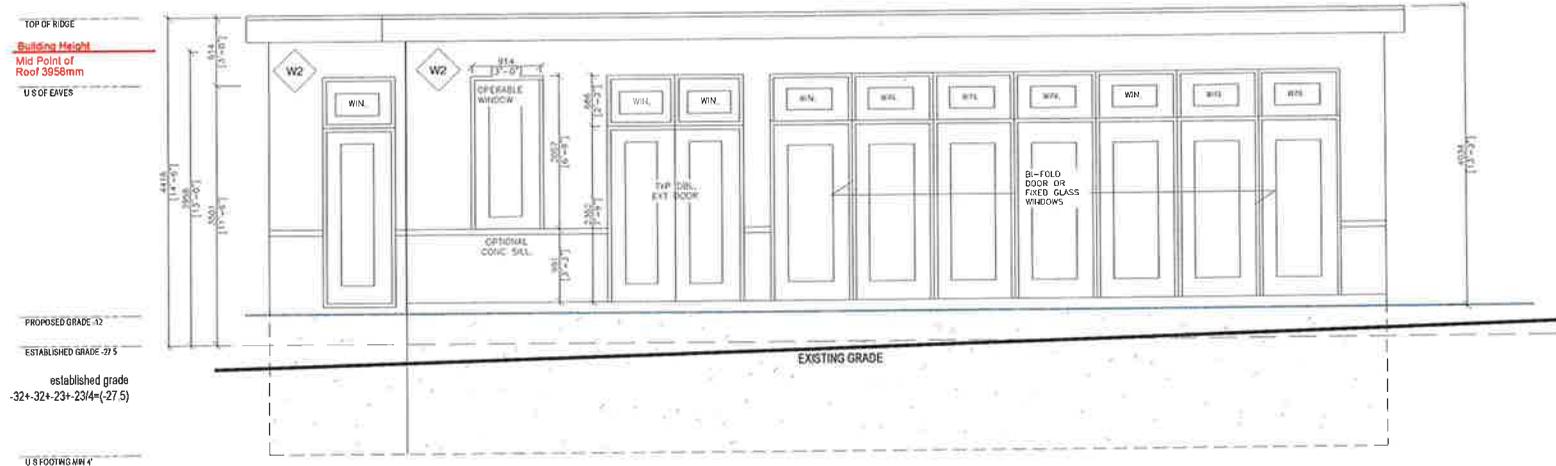
PROJECT NAME:  
28 Tortoise Ct Brampton, ON L6P 0A1

DRAWING TITLE:  
ROOF DRAINAGE PLAN

DRAWN BY:      CHECKED BY:      APPROVED BY:      DATE:



SHEET NO:  
A4.1



**1** ELEVATION A  
A5.0 1:75



rev	description	by	date
REV:	DESCRIPTION:	BY:	DATE:

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PROJECT NAME:  
28 Tortoise Ct Brampton, ON L6P 0A1

DRAWING TITLE:  
ELEVATION

DRAWN BY:	CHECKED BY:	APPROVED BY:	DATE:
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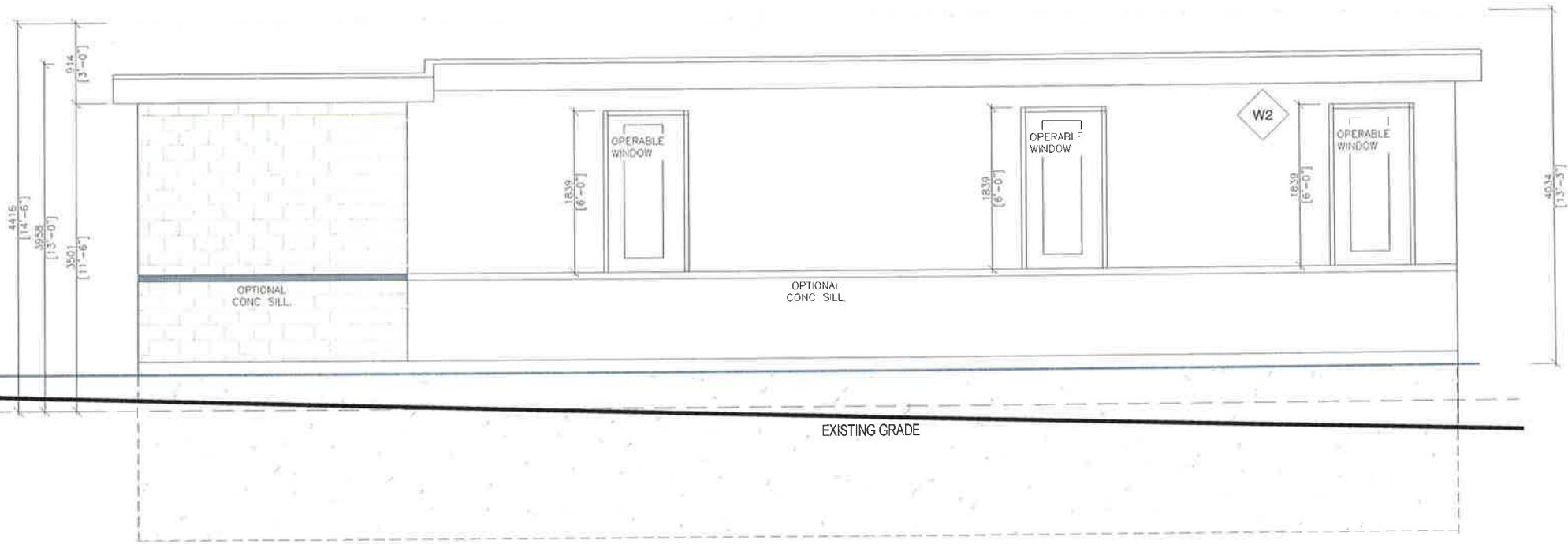


SHEET NO:  
A5.0

TOP OF RIDGE

Building Height  
Mid Point of Roof  
3958mm

U.S OF EAVES



PROPOSED GRADE -12

ESTABLISHED GRADE -27.5

established grade  
-32+/-32+23+23/4=(-27.5)

U.S FOOTING MIN 4

**1** ELEVATION B  
A6.0 1:50



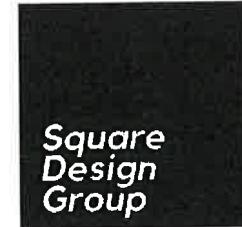
rev	description	by	date
REV:	DESCRIPTION:	BY:	DATE:

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PROJECT NAME:  
28 Tortoise Ct Brampton, ON L6P 0A1

DRAWING TITLE:  
ELEVATION

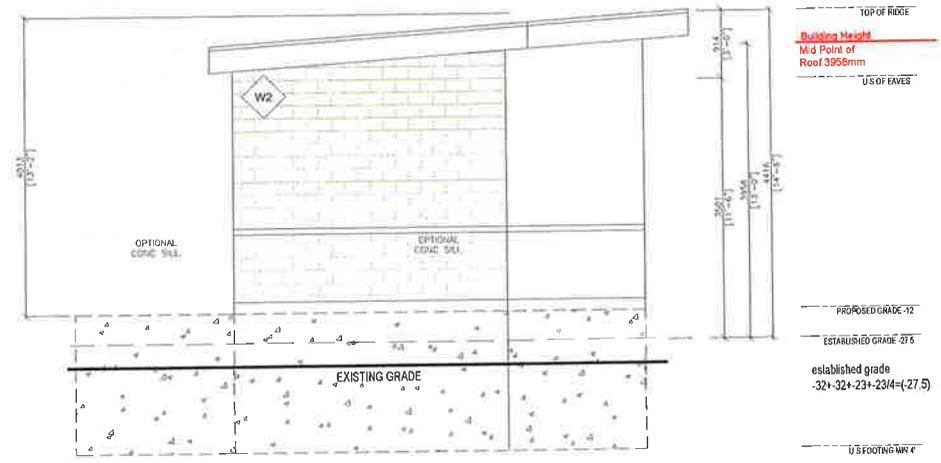
DRAWN BY:	CHECKED BY:	APPROVED BY:	DATE:
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SHEET NO:  
A6.0



**1** ELEVATION  
A7.0 1:75



**2** ELEVATION  
A7.0 1:75



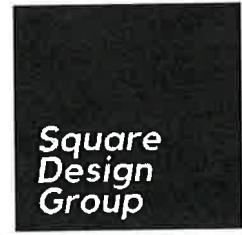
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REV:	DESCRIPTION:	BY:	DATE:

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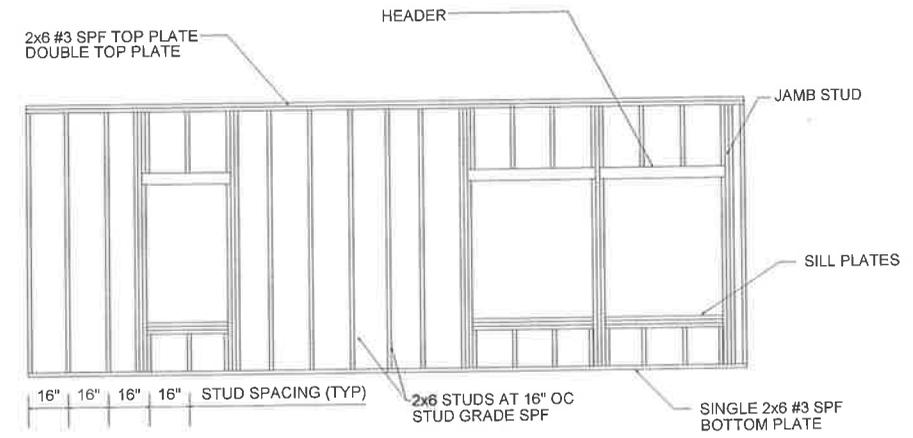
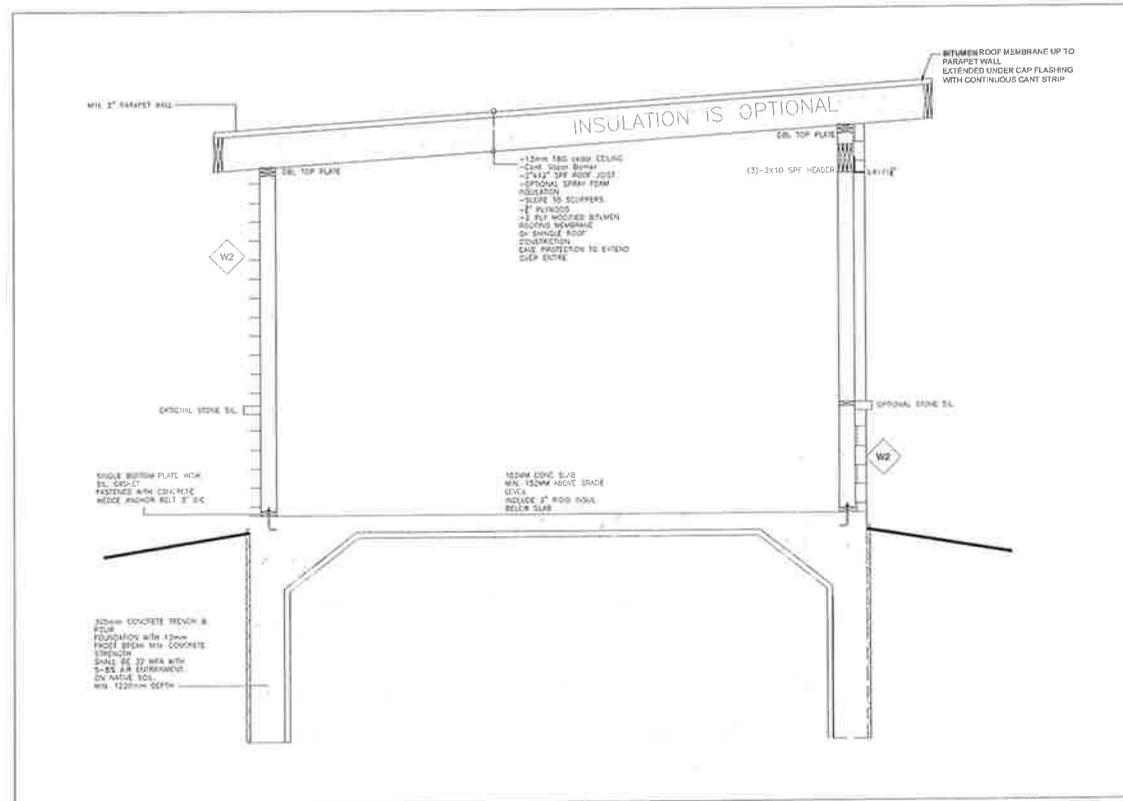
PROJECT NAME:  
28 Tortoise Ct Brampton, ON L6P 0A1

DRAWING TITLE:  
DETAIL

DRAWN BY:      CHECKED BY:      APPROVED BY:      DATE:



SHEET NO:  
**A7.0**



TYP. WALL

- NOTES:
1. TOP AND BOTTOM PLATE TO STUD WITH (3) .131x3" P.D. NAILS.
  2. WALL TO FLOOR #8x3" SREW 16" O.C. AND (2) .131x3" P.D. NAILS
  3. WALL TO WALL AND CEILING #8x3" SCREW 16" O.C.

**2 WALL SECTION**  
A8.0 1:50

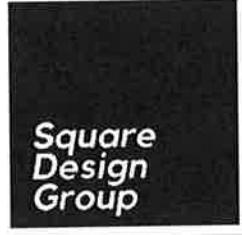
REV.	DESCRIPTION:	BY:	DATE:

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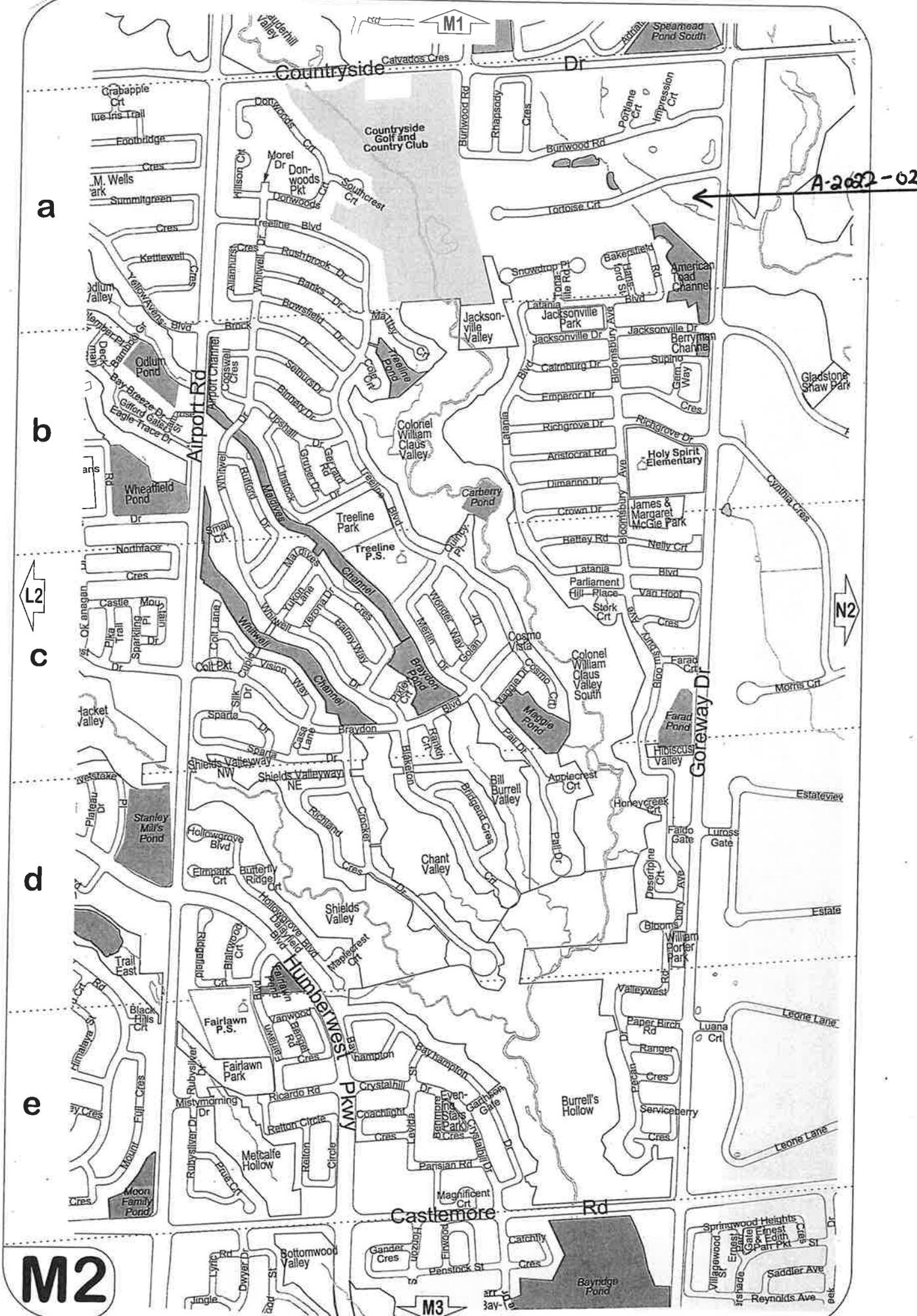
PROJECT NAME:  
28 Tortoise Ct Brampton, ON L6P 0A1

DRAWING TITLE:  
DETAILS

DRAWN BY:      CHECKED BY:      APPROVED BY:      DATE:



SHEET NO:  
**A8.0**



A-2082-0262

a

b

c

d

e

M2

M3

M1