



Committee of Adjustment

APPLICATION # A-2022-0363
WARD 6

APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **SANJANA PATIL AND SACHIN PATIL** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Lot 133, Plan 43M-1532 municipally known as **10 HOWLAND CRESCENT**, Brampton;

AND WHEREAS the applicants are requesting the following variance(s):

1. To permit a rear yard setback of 3.14m (10.30 ft.) to a building addition whereas the by-law requires a minimum rear yard setback of 6.0m (19.68 ft.) provided the area of the rear yard is at least 25% of the minimum required lot area;
2. To permit a rear yard setback of 1.54m (8.05 ft.) to an as-built deck whereas the by-law requires a minimum rear yard setback of 3.0m (9.84 ft.);
3. To permit a maximum height of 2.0m (6.56 ft.) for a fence/privacy screen on the deck whereas the by-law permits a maximum height of 1.8m (5.91 ft.).

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO

Application for Consent: NO

File Number: _____

File Number: _____

The Committee of Adjustment has appointed **TUESDAY, December 6, 2022 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton,** for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant or another member of the public.

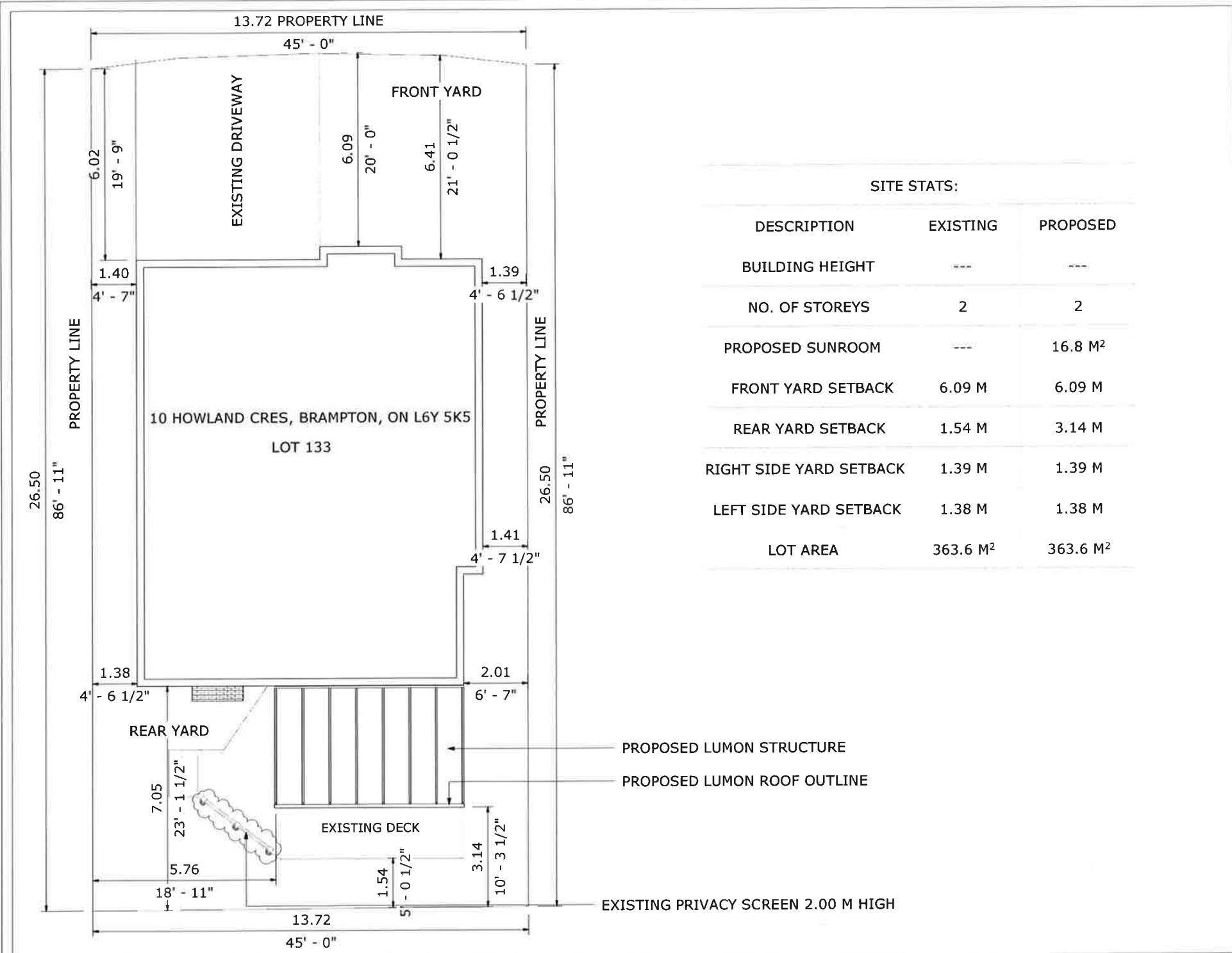
RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING. OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this 24th Day of November, 2022

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca



SITE STATS:		
DESCRIPTION	EXISTING	PROPOSED
BUILDING HEIGHT	---	---
NO. OF STOREYS	2	2
PROPOSED SUNROOM	---	16.8 M ²
FRONT YARD SETBACK	6.09 M	6.09 M
REAR YARD SETBACK	1.54 M	3.14 M
RIGHT SIDE YARD SETBACK	1.39 M	1.39 M
LEFT SIDE YARD SETBACK	1.38 M	1.38 M
LOT AREA	363.6 M ²	363.6 M ²



600 Zenway Blvd Unit 5
Woodbridge, ON, L4H 3M9
PH: +1 887 707 7427
info.canada@lumon.com



Oct 10, 2022

PERMIT TO PRACTICE:

REVISION

No.	Description	Date
A	NEW DRAWING	29.09.2022
B.1	ISSUED FOR SQUAD CHECK	07.10.2022
0	ISSUED FOR PERMIT	01.11.2022
0.1	ISSUED FOR PERMIT	16.11.2022

ISSUE TABLE

No.	Description	Date
01	ISSUED FOR DRAWING	05.10.2022
02	ISSUED FOR REVIEW	06.10.2022
03	ISSUED FOR ENGINEERING	07.10.2022
04	ISSUED PERMIT	01.11.2022
05	ISSUED FOR PERMIT	16.11.2022

SANJANA & SACHIN

10 HOWLAND CRES,
BRAMPTON, ON L6Y 5K5

PLOT PLAN

PROJECT NUMBER	5058 4083
DATE	29.09.2022
DRAWN BY	X.D
CHECKED BY	Checker

L0.4

Scale 1 : 109

Under the authority of the *Emergency Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

Electronic/Hybrid Hearing Procedures
How to get involved in the Hybrid Hearing

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **December 6, 2022** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

How to Participate in the Hearing:

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, December 1, 2022.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
 1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, December 1, 2022.**
 2. To participate in-person, please email the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, December 1, 2022.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, December 1, 2022.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.



The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION**Minor Variance or Special Permission**

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. Name of Owner(s) SANJANA PATIL & SACHIN PATIL

Address 10 HOWLAND CRES. BRAMPTON, L6Y 5K5

Phone # 416-7092212, 416-7093399

Fax # _____

Email sachinpatil285@yahoo.ca, sanjanapatil09@yahoo.ca

2. Name of Agent TARUNPREET KAUR

Address UNIT-5, 600 ZENWAY BLVD. VAUGHAN, L4H3M9

Phone # 2268214294

Fax # _____

Email TARUNPREET.KAUR@LUMON.COM

3. Nature and extent of relief applied for (variances requested):

Nature- RAER YARD SETBACK

1. To permit a rear yard setback of 3.14m to a proposed building addition (minimum required is 6.0m provided the area of the rear yard is at least 25% of the minimum required lot area.

2. To permit a rear yard setback of 1.54m to an as-built deck (minimum requires is 3.0m).

3. To allow the existing privacy screening on the deck to be 2.0 meters.

4. Why is it not possible to comply with the provisions of the by-law?

1. Because the allowable rear yard setback to the proposed addition is 6.0m provided the area of the rear yard is at least 25% of the minimum required lot area.

2. Because rear yard setback from an as-built deck is 3.0m

2. Because the existing privacy screen on the deck is 2.0 meters.

5. Legal Description of the subject land:

Lot Number 133

Plan Number/Concession Number PLAN M-1532

Municipal Address 10 HOWLAND CRES, BRAMPTON, ON, L6Y5K5

6. Dimension of subject land (in metric units)

Frontage 13.72M

Depth 26.50M

Area 363.58 SQM

7. Access to the subject land is by:

Provincial Highway ☐

Municipal Road Maintained All Year ☒

Private Right-of-Way ☐

Seasonal Road ☐

Other Public Road ☐

Water ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

Ground Coverage w Porch=14.85sqm
Ground Coverage w/out Porch=134.98sqm
Main floor+Second Floor=213.67sqm
No. of Storeys=2
Length=45'-4" Width=35'-10"

PROPOSED BUILDINGS/STRUCTURES on the subject land:

PROPOSING 3 SEASON SUNROOM ATTACHED WITH THE EXISTING HOUSE AT THE REAR SIDE WITH THE AREA = 16.77SQM WITHOUT OVERHANGS FROM ALL SIDES.

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback 6.02m
Rear yard setback 1.54m
Side yard setback 1.38m
Side yard setback 1.39m

PROPOSED

Front yard setback 6.02m
Rear yard setback 1.54m
Side yard setback 1.38m
Side yard setback 1.39m

10. Date of Acquisition of subject land: AUGUST 2010
11. Existing uses of subject property: RESIDENTIAL
12. Proposed uses of subject property: RESIDENTIAL
13. Existing uses of abutting properties: RESIDENTIAL
14. Date of construction of all buildings & structures on subject land: OCTOBER 2004
15. Length of time the existing uses of the subject property have been continued: 18 YEARS

16. (a) What water supply is existing/proposed?
Municipal ☒
Well ☐ Other (specify) _____
- (b) What sewage disposal is/will be provided?
Municipal ☒
Septic ☐ Other (specify) _____
- (c) What storm drainage system is existing/proposed?
Sewers ☒
Ditches ☐
Swales ☐ Other (specify) _____

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Tarunpreet
Kaur

Digitally signed by Tarunpreet Kaur
DN: cn=Tarunpreet Kaur, c=CA,
o=Lumon Canada,
email=Tarunpreet.kaur@lumon.com
Reason: Tarunpreet Kaur
Location: Lumon Canada
Date: 2022.10.31 12:35:37 -0400

Signature of Applicant(s) or Authorized Agent

DATED AT THE 31 OF October, 2022

THIS 31 DAY OF OCTOBER, 2022

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Sachin Patil, OF THE City OF Brampton.

IN THE Region OF Peel SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton

IN THE Region OF Peel THIS 8th DAY OF

Nov., 2022

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024.

Signature of Applicant or Authorized Agent

Submit by Email

A Commissioner etc.

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Zoning Officer

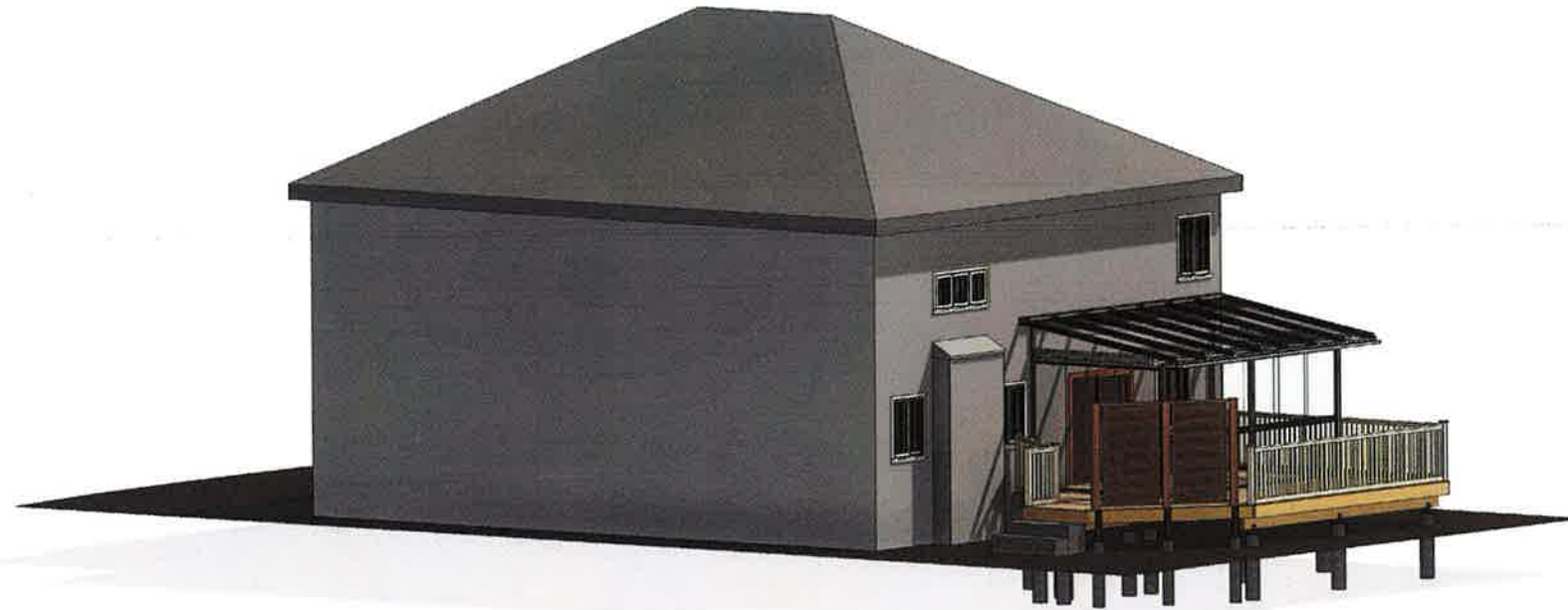
Date

DATE RECEIVED

NOVEMBER 8, 2022

Date Application Deemed
Complete by the Municipality

Revised 2022/02/17



600 Zenway Blvd Unit 5
Woodbridge, ON, L4H 3M9
PH: +1 887 707 7427
info.canada@lumon.com



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SANJANA & SACHIN

10 HOWLAND CRES,
BRAMPTON, ON L6Y 5K5

COVER PAGE

PROJECT NUMBER 5058 4083
DATE 29.09.2022
DRAWN BY X.D
CHECKED BY

L0.1

Scale

SHEET LIST

NO.	TITLE
L0.1	COVER PAGE
L0.2	NOTES
L0.3	SITE PLAN
L0.4	PLOT PLAN
L1.1	LAYOUT
L1.2	LAYOUT
L1.3	LAYOUT
L2.1	ELEVATIONS
L2.2	ELEVATIONS
L2.3	ELEVATIONS
L3.1	SECTIONS
L3.2	SECTIONS
L3.3	SECTIONS
L4.1	DETAILS
L4.2	DETAILS

MEMBER LEGEND

NO.	MEMBER
01	LUMON VT4 ALUMINUM 90x90 POST
02	LUMON VT4 ALUMINUM 70x70 POST
03	LUMON VT4 ALUMINUM HEAVY DUTY FRONT BEAM
04	LUMON VT4 ALUMINUM HEAVY DUTY RETURN BEAM
05	LUMON VT4 ALUMINUM ROOF RAFTER & COVER
06	LUMON VT4 ALUMINUM REAR BEAM
07	LUMON VT4 ALUMINUM GUTTER
08	LUMON GLAZED FIXED WALL
09	LUMON RAILING SYSTEM
10	LUMON GLAZED SLIDING SYSTEM (LGS)
11	LUMON HEATSTOP COOL BLUE ACRYLIC MIN 16 mm



GENERAL NOTES

- 1. THESE DRAWINGS DETAIL THE INSTALLATION.
- 2. DESIGN IN ACCORDANCE WITH CAN3-S157-M83 STRENGTH.
- 3. STRUCTURE AND ALL MATERIALS ARE IN ACCORANCE WITH CURRENT EDITIONS OF THE NATIONAL BUILDING CODE OF CANADA 2015 AND THE 2012 ONTARIO BUILDING CODE.
- 4. CONSTRUCTION OF EXISTING STRUCTURE (i.e FOUNDATION WALLS, FOOTING, EXTERIOR WALLS AND SHEATHING ARE ASSUMED TO BE IN ACCORDANCE WITH REQUIREMENT OF PART 4 OR PART 9 OF ONTARIO BUILDING CODE. LATERAL LOAD OF THE SUNROOM (WIND AND SEISMIC) IS ASSUMED TO BE RESISTED BY THE MAIN STRUCTURE. EXISTING STRUCTURE WHICH SUPPORTS THE SUNROOM IS REQUIRED TO SATISFY THE FOLLOWING REQUIREMENTS (TO BE VERIFIED):
 - * STUD WALL WITH SHEATHING: 2 x 6 SPRUCE-PINE-FIR NO. 1 / NO. 2 @ 16" OR BETTER.
 - * OPENING LINTELS: 4 PLY 1 3/4" 9 1/2" 2.0 E MICROLLAM LVL OR BETTER.
 - * MINIMUM FOOTING SIZE 29" WIDE AND 10.5" THICK
 - * MINIMUM CONCRETE WALL THICKNESS: 8" AND Laterally supported to the floor
- FOLLOW ALL NOTES AND RECOMMENDATIONS CONTAINED WITHIN THESE DRAWINGS.
- CONSULT SEALING ENGINEER IF SITE CONDITIONS ARE DIFFERENT FROM WHAT SHOWN ON THE DRAWINGS OR ABOVE MENTIONED ASSUMPTIONS
- DECK FOUNDATION, ATTACHMENTS AND THE CONDITION OF THE EXISTING STRUCTURE IS EXCLUDED FROM THE SCOPE OF THESE DRAWINGS AND RESPONSIBILITY OF SEALING ENGINEERS. ABOVE MENTIONED CRITERIA MUST BE ENGINEERED/VERIFIED BY OTHERS.

MATERIAL NOTES

- 1. LUMON PROFILE COLOR TO BE TBD.
- 2. LUMON BALUSTRADE GLAZING COLOR TO BE TBD.
- 3. LUMON RETRACTABLE GLAZING COLOR TO BE CLEAR (UNLESS OTHERWISE NOTED)
- 4. ANY SPAN LARGER THAN 4.7m REQUIRES 220 GUARDRAIL
- 5. LATERAL DEFLECTION LOADS FOR THE GLASS IS 80MM
- 6. LATERAL DEFLECTION LOADS FOR THE PROFILES IS 30MM
- 7. LUMON RECTRABLE GLAZING WEIGHT kg/m²
 - 8mm GLASS : 20 kg/m²
 - 10mm GLASS : 25 kg/m²
 - 12mm GLASS : 30 kg/m²
- 8. MAXIMUM GLAZING PANEL WIDTH = 1000MM
- 9. MAXIMUM BALUSTRADE GLASS PANEL WIDTH = 1200MM

VERIFICATION OF EXISTING DECK STRUCTURE IS NOT IN THE SCOPE OF THIS DRAWINGS AND STAMP - TO BE VERIFIED BY OTHERS.

VERIFICATION OF EXISTING CONCRETE STRUCTURE IS NOT IN THE SCOPE OF THIS DESIGN

DESIGN CRITERIA

- 1. PREVAILING CODE : OBC 2012
 - 2. SNOW LOAD : Ss = 2.4 kPa
 - 3. RAIN LOAD : Sr = 0.3 kPa
 - 4. WIND LOAD :
 - a. 1 in 10 : 0.34 kPa
 - b. 1 in 50 : 0.44 kPa
 - 5. DEAD LOAD : 0.49 kPa
 - 6. SEISMIC DATA
 - a. Sa (0.2) : 0.644
 - b. Sa (0.5) : 0.550
 - c. Sa (1.0) : 0.327
 - d. Sa (2.0) : 0.204
 - e. PGA : 0.283
- SITE CLASS: D (STIFF SOIL) - TO BE SITE VERIFIED
RD=R0=1
SEISMIC BASE SHEAR = TBD
WIND BASE SHEAR (LONGITUDINAL)= TBD
WIND BASE SHEAR (TRANSVERSE) = TBD

DEFLECTION CRITERIA

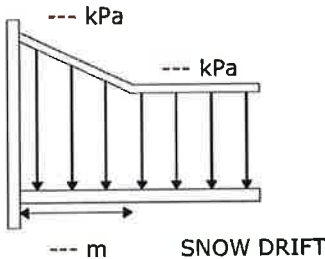
- ROOF BEAM :L/200
- INTERMEDIATE BEAM :L/300
- FRONT BEAM :L/300
- ACRYLIC HEATSTOP :MIN (W/20, 76.22mm)
- TEMPERED GLASS :MIN (W/20,76.2mm)

LUMON NOTES

- 1. THESE DRAWINGS ARE FOR STRUCTURAL SIGNOFF OF LUMON SYSTEMS AND LUMON CONNECTION ONLY, INCLUDING RELEVANT SCHEDULES.
- 2. ALL OTHER DETAILS ARE FOR REFERENCE ONLY.THOSE ARE DESIGNED, INSTALLED, REVIEWED AND APPLIED BY OTHERS.
- 3. OPENINGS ARE TO BE CONSTRUCTED LEVEL AND TRUE TO LINE.
- 4. OPENINGS ARE TO BE SQUARE TO 6MM (1/4") TOLERANCE. CURBS/BALCONY SLAB TO BE LEVEL TO 6MM (1/4") TOLERANCE. HEADER/BALCONY SLAB ABOVE TO BE LEVEL TO 6MM (1/4") TOLERANCE. LUMON RETRACTABLE GLAZING SYSTEM IS TOP HUNG AND BOTTOM GUIDE. ALLOWABLE DEFLECTION IS 10MM.
- 5. AT THE CONNECTION POINT, THE LUMON RAILING SYSTEM REQUIRES MIN 3 PLIES OF 2X WOOD BLOCKING OR MIN 4" THICK CONCRETE OR STEEL/ALUMINUM PLATES/BACKETS DESIGNED AND INSTALLED BY OTHERS.

LOCATION:	CASE:	VERTICAL:	HORIZONTAL:
MIDDLE COLUMN (kN)	DEAD	TBD	TBD
	SNOW	TBD	TBD
	WIND(L)	TBD	TBD
	WIND(T)	TBD	TBD
CORNER COLUMN (kN)	SEISMIC	TBD	TBD
	DEAD	TBD	TBD
	SNOW	TBD	TBD
	WIND(L)	TBD	TBD
	WIND(T)	TBD	TBD
	SEISMIC	TBD	TBD

- * LOADS ARE UN-FACTORED
- * L IS PARALLEL TO THE MAIN BLDG WALL
- * T IS PERPENDICULAR TO MAIN BLDG WALL
- * +/- TO BE CONSIDERED FOR WIND AND SEISMIC
- * + IS DOWNWARD LOAD



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SANJANA & SACHIN

10 HOWLAND CRES,
BRAMPTON, ON L6Y 5K5

NOTES

PROJECT NUMBER 5058 4083
DATE 29.09.2022
DRAWN BY X.D
CHECKED BY Checker

L0.2

Scale 1 : 20



600 Zenway Blvd Unit 5
Woodbridge, ON, L4H 3M9
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Oct 10, 2022

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SANJANA & SACHIN

10 HOWLAND CRES,
BRAMPTON, ON L6Y 5K5

SITE PLAN

PROJECT NUMBER 5058 4083
DATE 29.09.2022
DRAWN BY X.D
CHECKED BY Checker

L0.3

Scale 1 : 6



SURVEYOR'S REAL PROPERTY REPORT

PART 1 PLAN OF

LOTS 132 AND 133 PLAN 43M-1532 CITY OF BRAMPTON REGIONAL MUNICIPALITY OF PEE

SCALE 1:300

KRCMAR SURVEYORS LTD. 2004

METRIC DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

BEARING NOTE

BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE SOUTH EASTERLY LIMIT OF HOWLAND CRESCENT AS SHOWN ON PLAN 42M-1532, HAVING A BEARING OF N38°41'30"E

BENCHMARK NOTE

ELEVATIONS ARE GEODETIC AND ARE REFERRED TO THE CITY OF BRAMPTON, BENCHMARK NO. 05-17206 HAVING AN ELEVATION OF 106.037 m

LEGEND

- 1. LONGEST SURVEY MONUMENT FOUND
- 2. DENOTES SURVEY MONUMENT PLANTED
- 3. DENOTES STANDARD IRON BAR
- 4. DENOTES IRON BAR
- 5. DENOTES SBT
- 6. DENOTES MEASURED
- 7. DENOTES PLAN 43M-1532
- 8. (1378) DENOTES KRCMAR SURVEYORS, O.L.S.
- 9. (1517) DENOTES TARASOK, WAMILLAN LIMITED, O.L.S.
- 10. (1517) DENOTES KRCMAR SURVEYORS, O.L.S.
- 11. D.U.C. DENOTES DWELLING UNDER CONSTRUCTION
- 12. C.F. DENOTES CONCRETE FOUNDATION
- 13. T.W. DENOTES TOP OF FOUNDATION WALL ELEVATION

BUILDING TIES TAKEN TO CONCRETE WALLS UNLESS OTHERWISE NOTED

THIS REPORT WAS PREPARED FOR MEDALLION DEVELOPMENTS/STREETVILLE (GEN) LIMITED AND THE UNDERSIGNED ACCEPTS NO RESPONSIBILITY FOR USE BY OTHER PARTIES.

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEY ACT, THE SURVEYORS ACT, THE LAND TILES ACT AND THE REGULATIONS MADE UNDER THEM.

2. THIS SURVEY WAS COMPLETED ON MAY 29, 2004

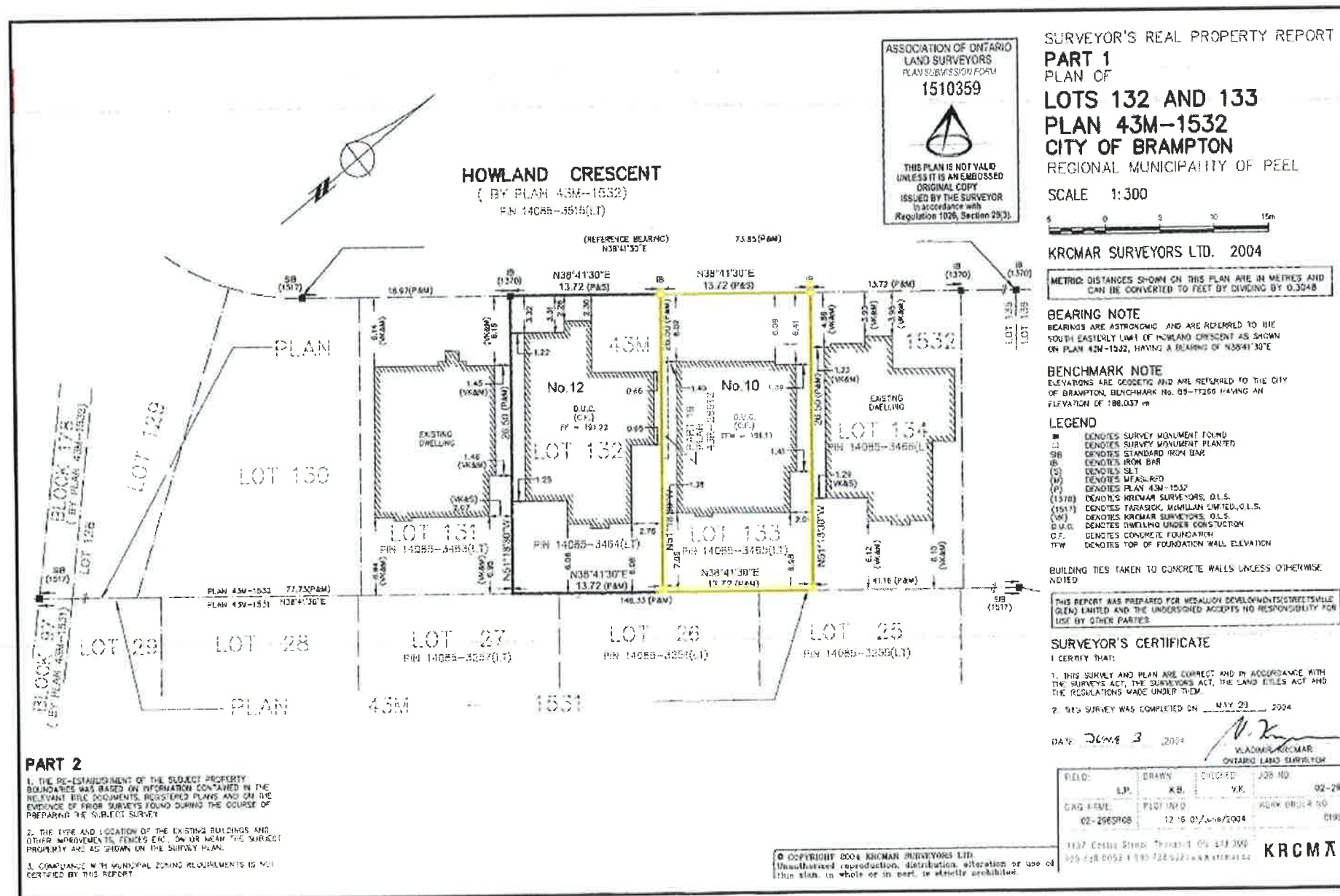
DATE: June 3, 2004

V. KRCMAR
ONARIO LAND SURVEYOR

RECD:	LP:	KB:	V.K.	JOB NO.
CAG FILE	FILE INFO			02-298
02-2985908	12 15 01/June/2004			01990
1137 Centre Street, Thornhill, ON L3T 3W6				
905-438-0052 / 905-722-5227 FAX 905-438-0052				

KRCMAR

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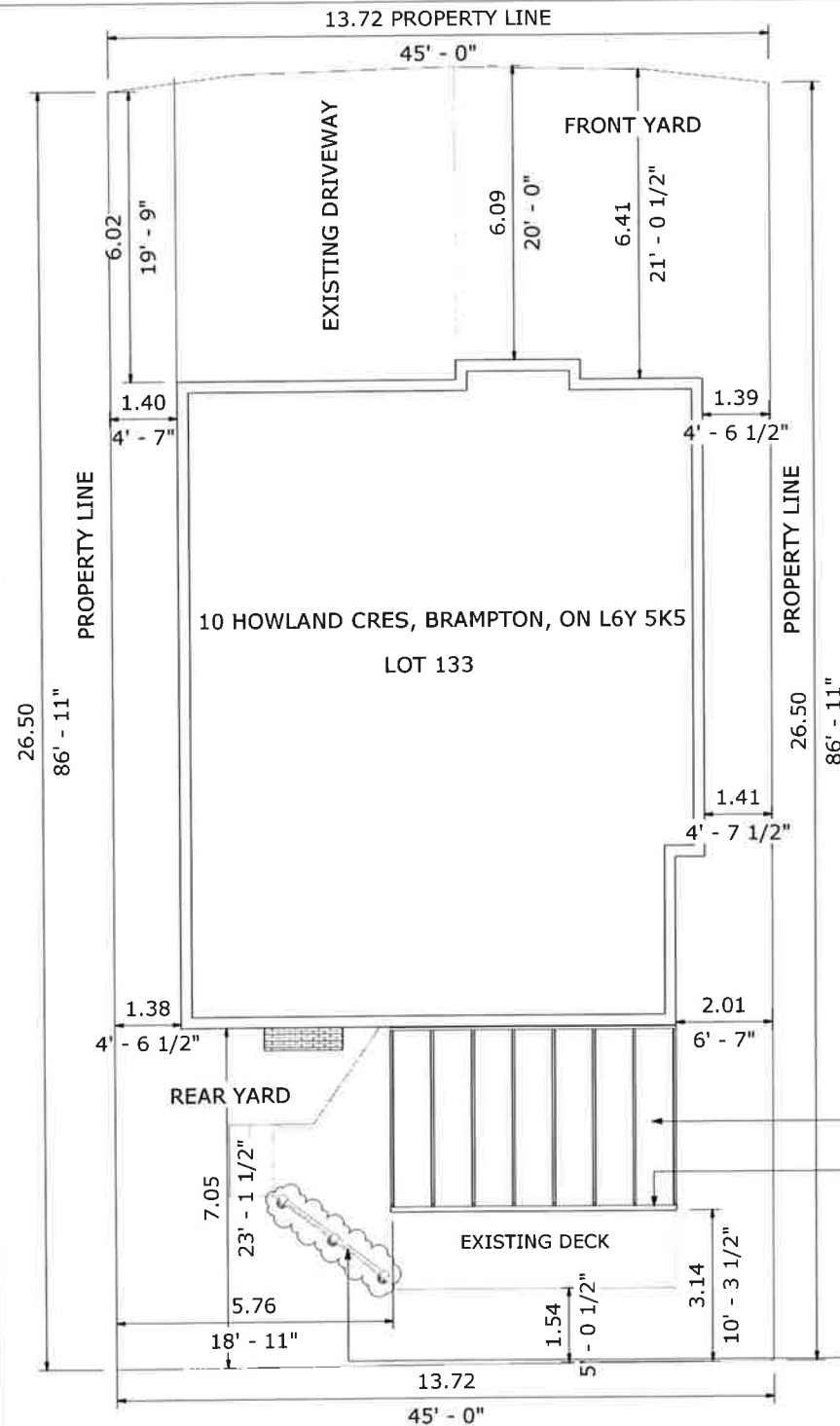


PART 2

1. THE RE-ESTABLISHMENT OF THE SUBJECT PROPERTY BOUNDARIES WAS BASED ON INFORMATION CONTAINED IN THE RELEVANT TITLE DOCUMENTS, REGISTERED PLANS AND ON THE EVIDENCE OF PRIOR SURVEYS FOUND DURING THE COURSE OF PREPARING THE SUBJECT SURVEY.

2. THE TYPE AND LOCATION OF THE EXISTING BUILDINGS AND OTHER IMPROVEMENTS, FENCES ETC., ON OR NEAR THE SUBJECT PROPERTY ARE AS SHOWN ON THE SURVEY PLAN.

3. COMPLIANCE WITH MUNICIPAL ZONING REQUIREMENTS IS NOT CERTIFIED BY THIS REPORT.



SITE STATS:

DESCRIPTION	EXISTING	PROPOSED
BUILDING HEIGHT	---	---
NO. OF STOREYS	2	2
PROPOSED SUNROOM	---	16.8 M ²
FRONT YARD SETBACK	6.09 M	6.09 M
REAR YARD SETBACK	1.54 M	3.14 M
RIGHT SIDE YARD SETBACK	1.39 M	1.39 M
LEFT SIDE YARD SETBACK	1.38 M	1.38 M
LOT AREA	363.6 M ²	363.6 M ²



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Oct 10, 2022

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No.	Description	Date
A	NEW DRAWING	29.09.2022
B.1	ISSUED FOR SQUAD CHECK	07.10.2022
0	ISSUED FOR PERMIT	01.11.2022
0.1	ISSUED FOR PERMIT	16.11.2022

ISSUE TABLE

No.	Description	Date
01	ISSUED FOR DRAWING	05.10.2022
02	ISSUED FOR REVIEW	06.10.2022
03	ISSUED FOR ENGINEERING	07.10.2022
04	ISSUED PERMIT	01.11.2022
05	ISSUED FOR PERMIT	16.11.2022

SANJANA & SACHIN

10 HOWLAND CRES,
BRAMPTON, ON L6Y 5K5

PLOT PLAN

PROJECT NUMBER 5058 4083
DATE 29.09.2022
DRAWN BY X.D
CHECKED BY Checker

L0.4

Scale 1 : 109



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SANJANA & SACHIN

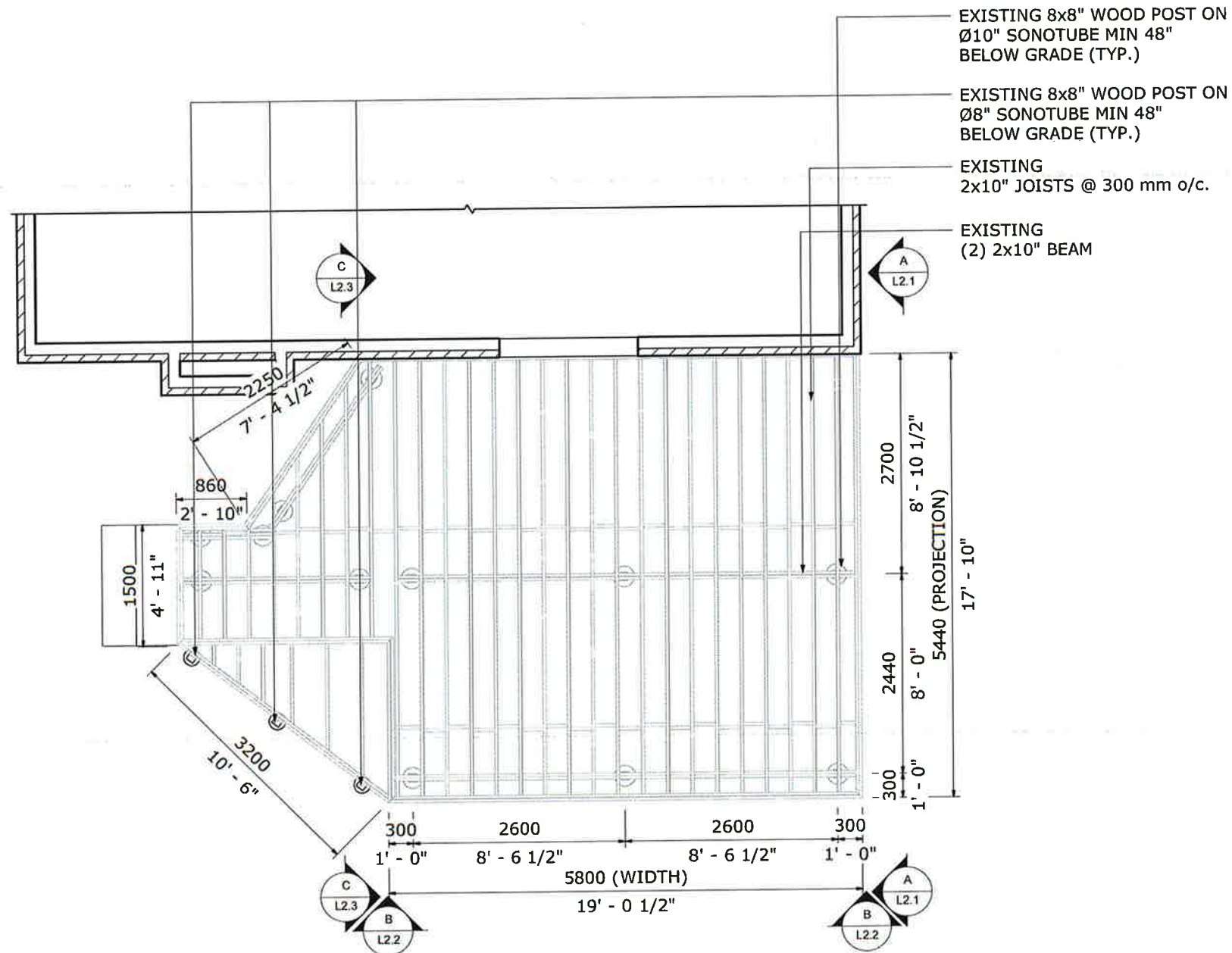
10 HOWLAND CRES,
BRAMPTON, ON L6Y 5K5

LAYOUT

PROJECT NUMBER 5058 4083
DATE 29.09.2022
DRAWN BY X.D
CHECKED BY Checker

L1.1

Scale 1 : 50



DECK DETAILS

1 : 50



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		04	ISSUED PERMIT
		05	ISSUED FOR PERMIT

SANJANA & SACHIN

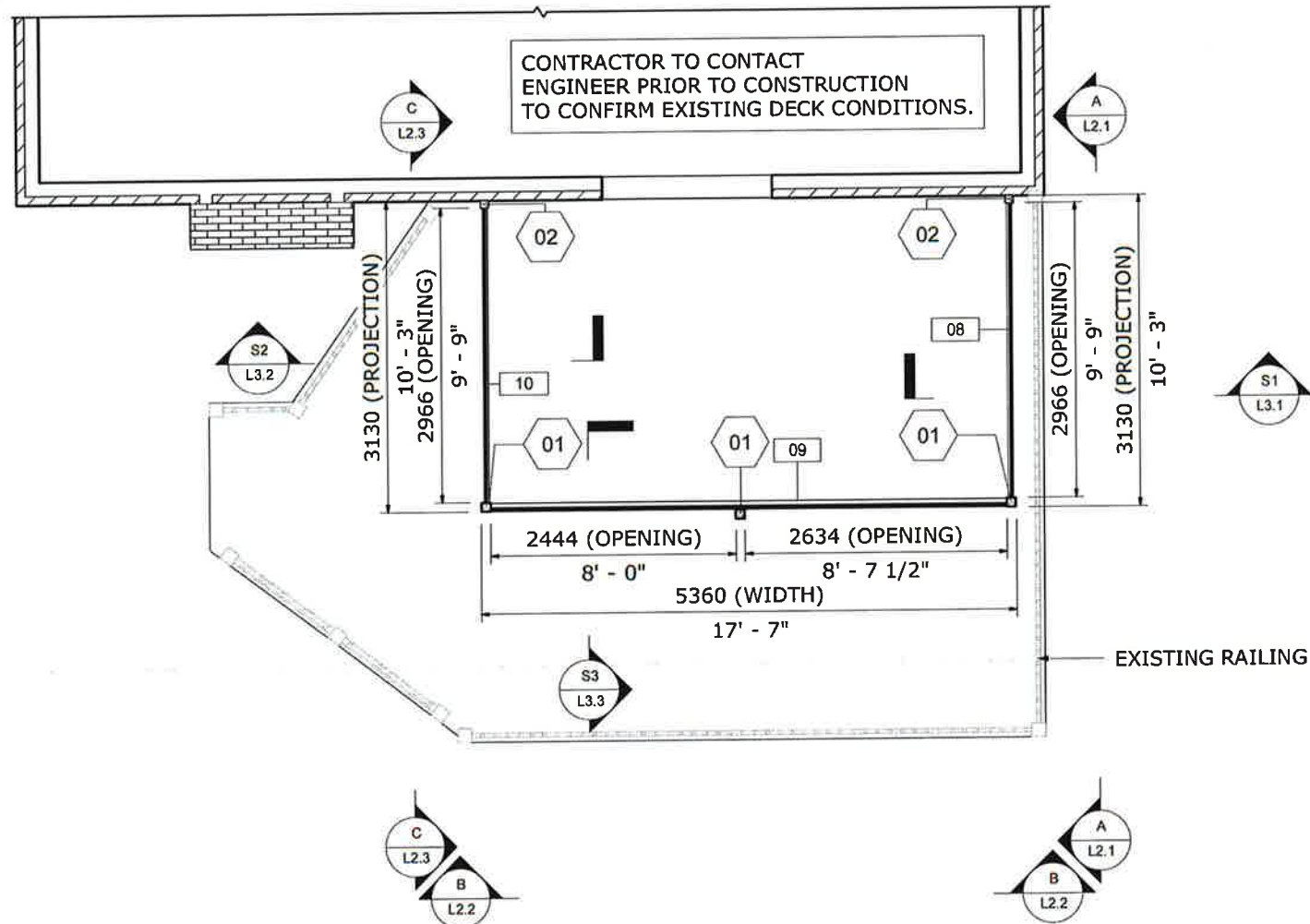
10 HOWLAND CRES,
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LAYOUT

PROJECT NUMBER	5058 4083
DATE	29.09.2022
DRAWN BY	X.D
CHECKED BY	Checker

L1.2

Scale 1 : 50



PLAN ON POSTS

1 : 50



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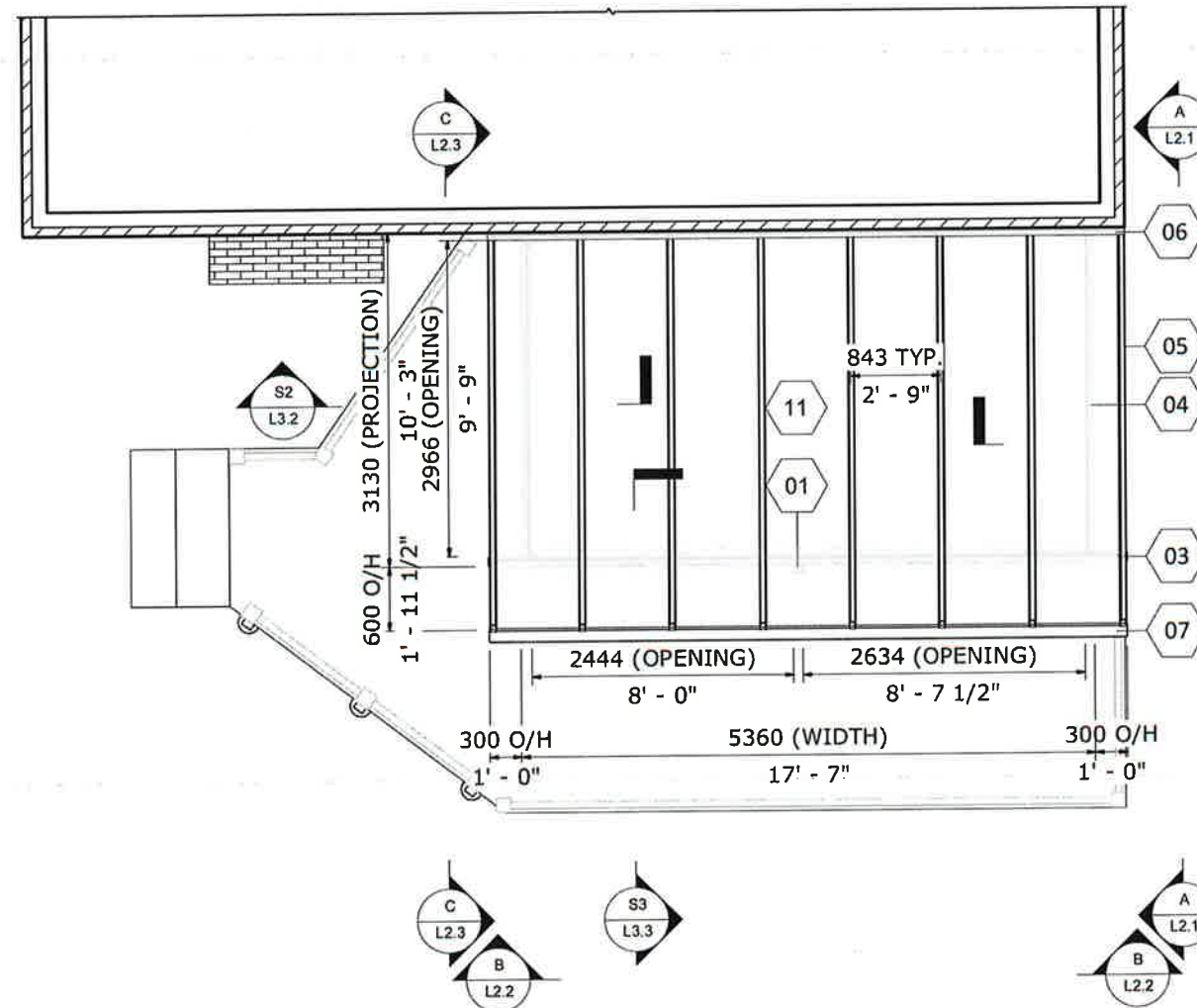
10 HOWLAND CRES,
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LAYOUT

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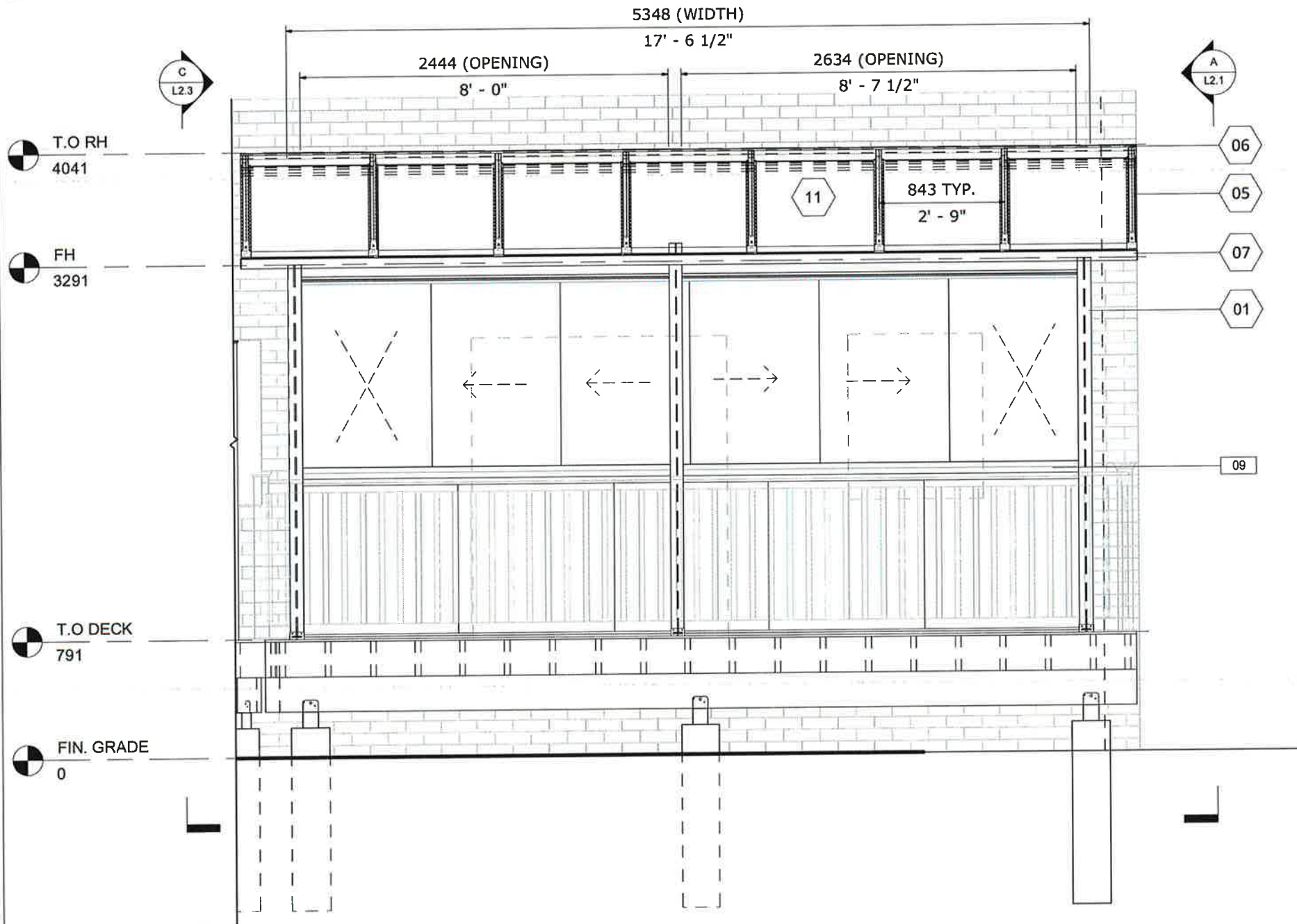
L1.3

Scale 1 : 50



PLAN ON COVER

1 : 50



ELEVATION

B

L1.1

1 : 25



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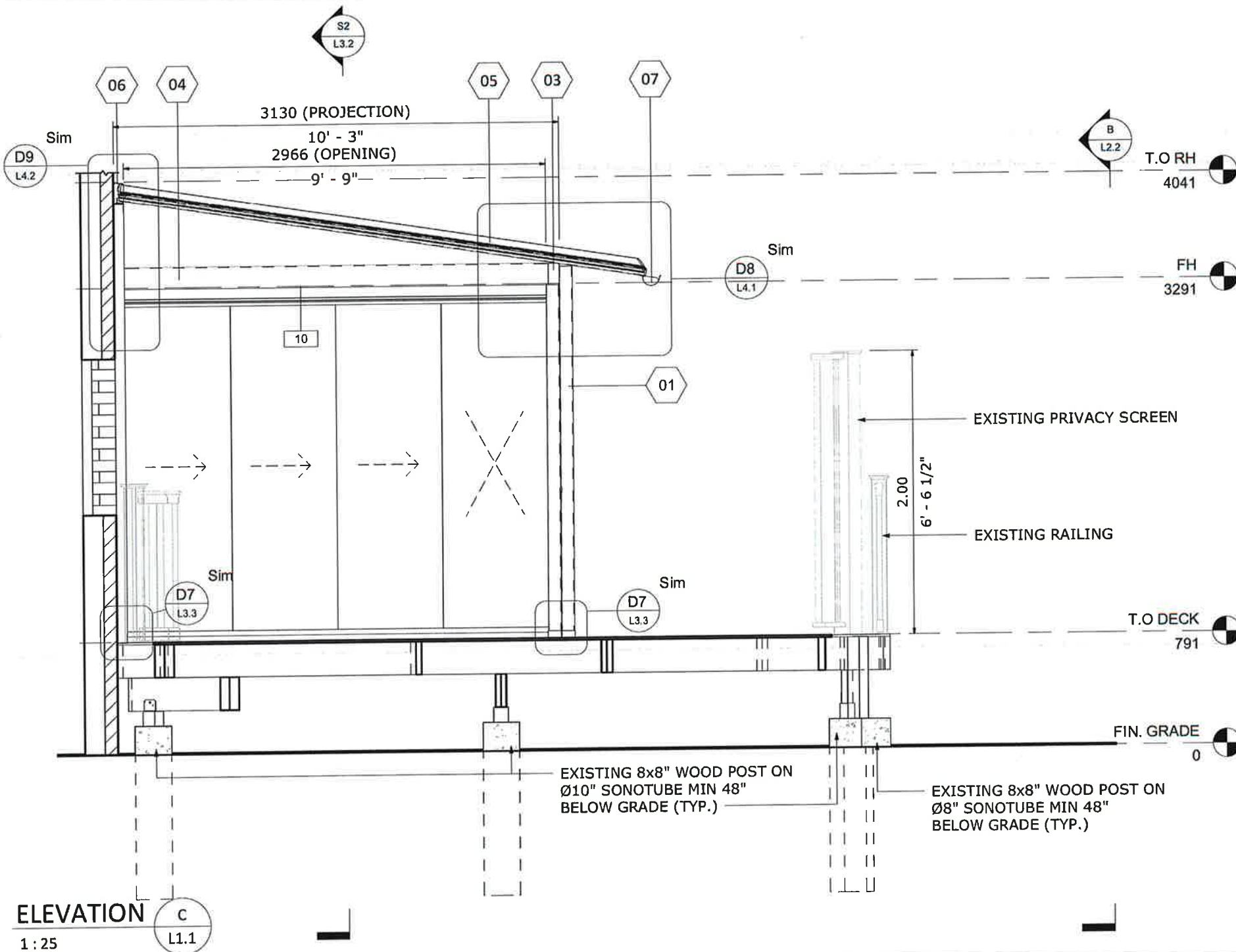
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ELEVATIONS

PROJECT NUMBER 5058 4083
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L2.2

Scale 1 : 25



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ELEVATIONS

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L2.3

Scale

1 : 25



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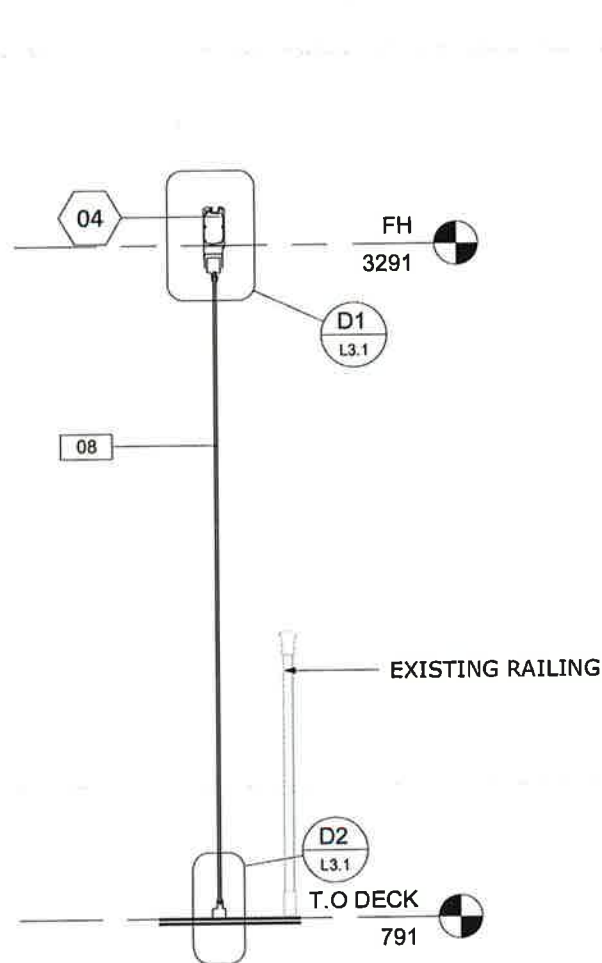
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SECTIONS

PROJECT NUMBER 5058 4083
DATE 29.09.2022
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CHECKED BY Checker

L3.1

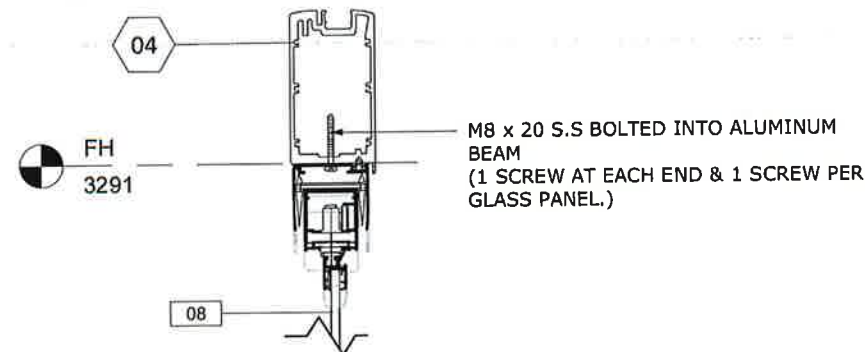
Scale As indicated



SECTION

1 : 20

S1
L1.2



DETAIL

SCALE: 1 : 5

D1
L3.1



DETAIL

SCALE: 1 : 5

D2
L3.1



As indicated



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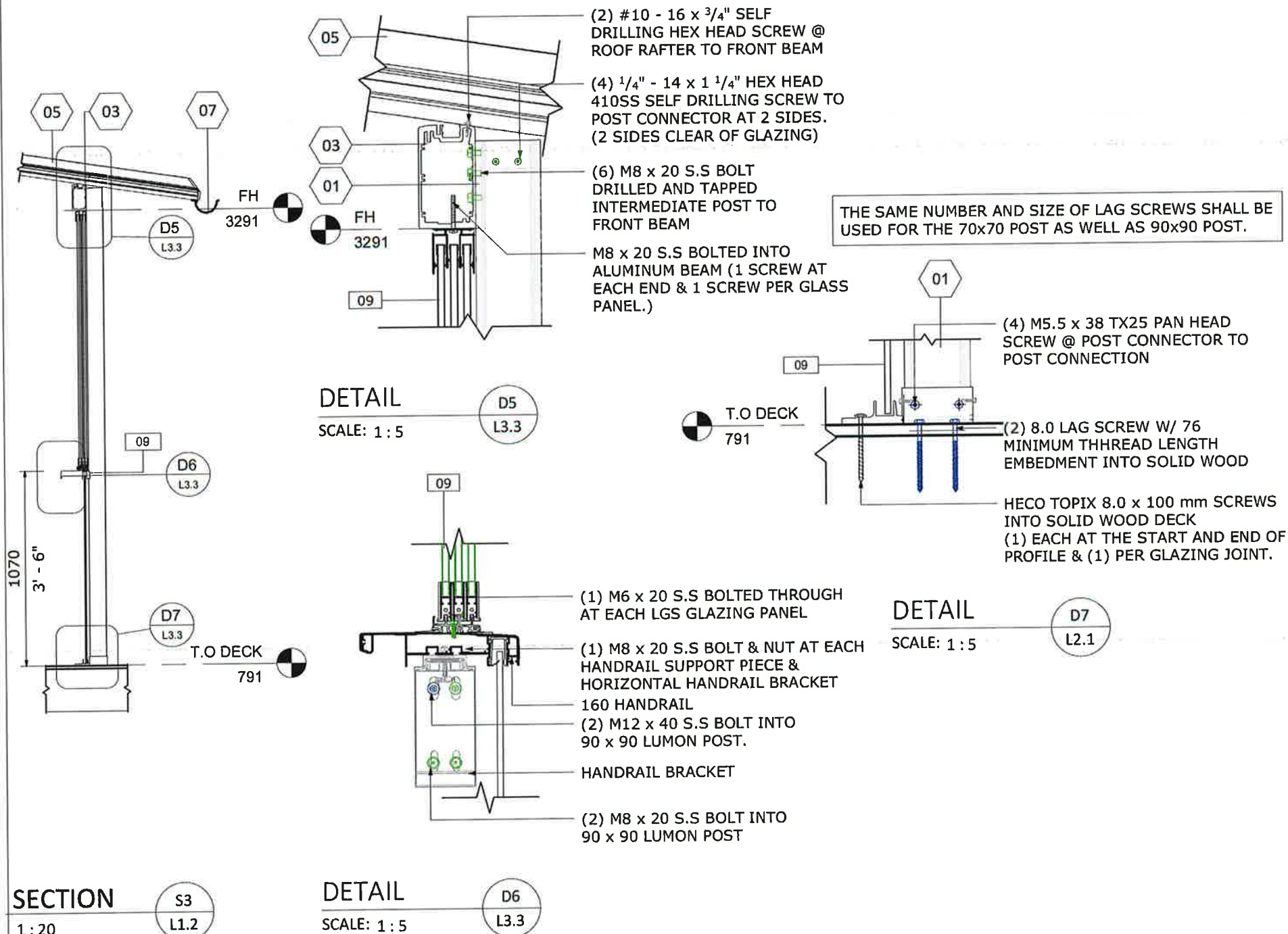
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SECTIONS

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L3.3

Scale As indicated





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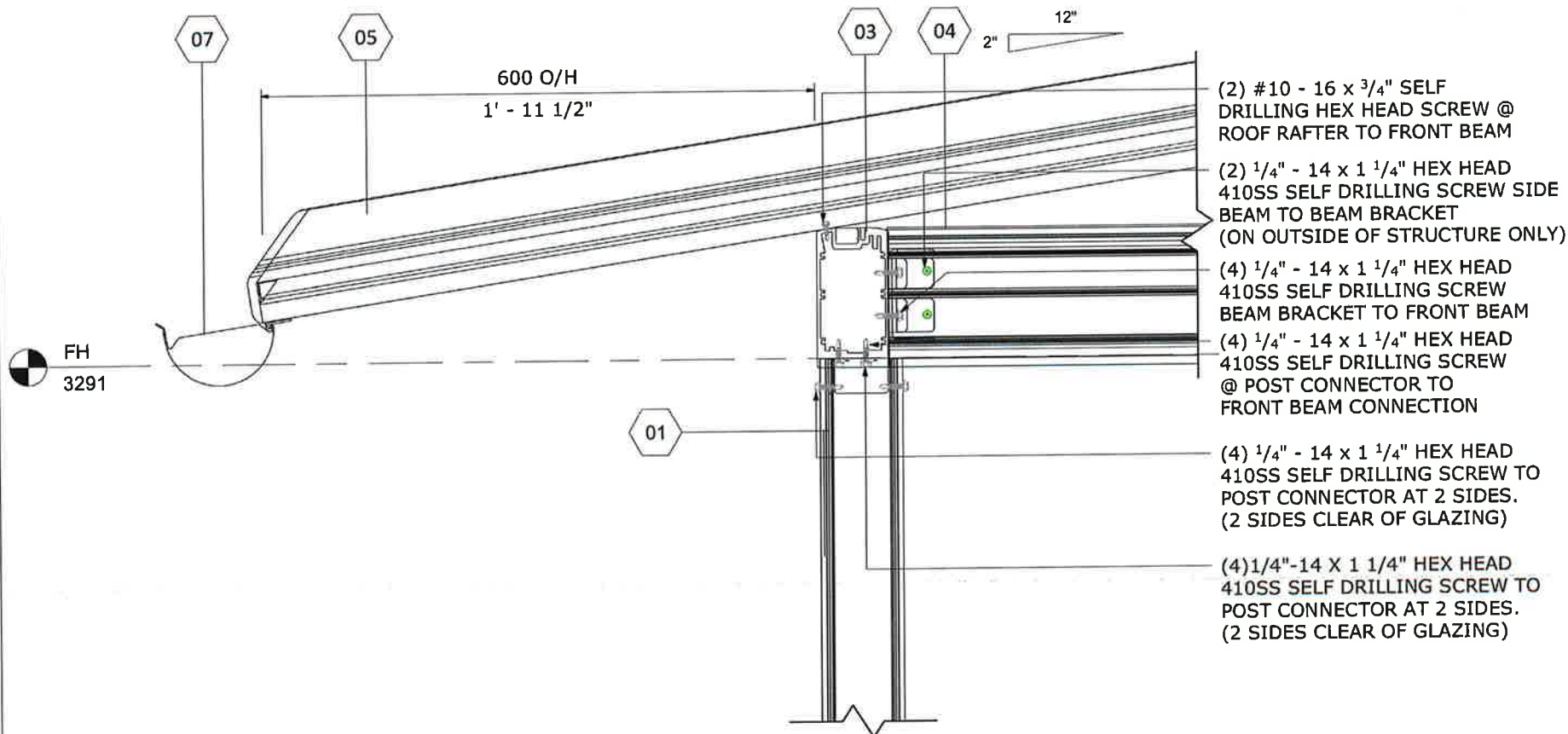
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DETAILS

PROJECT NUMBER	5058 4083
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L4.1

Scale 1 : 5



DETAIL

SCALE: 1 : 5

D8

L2.1



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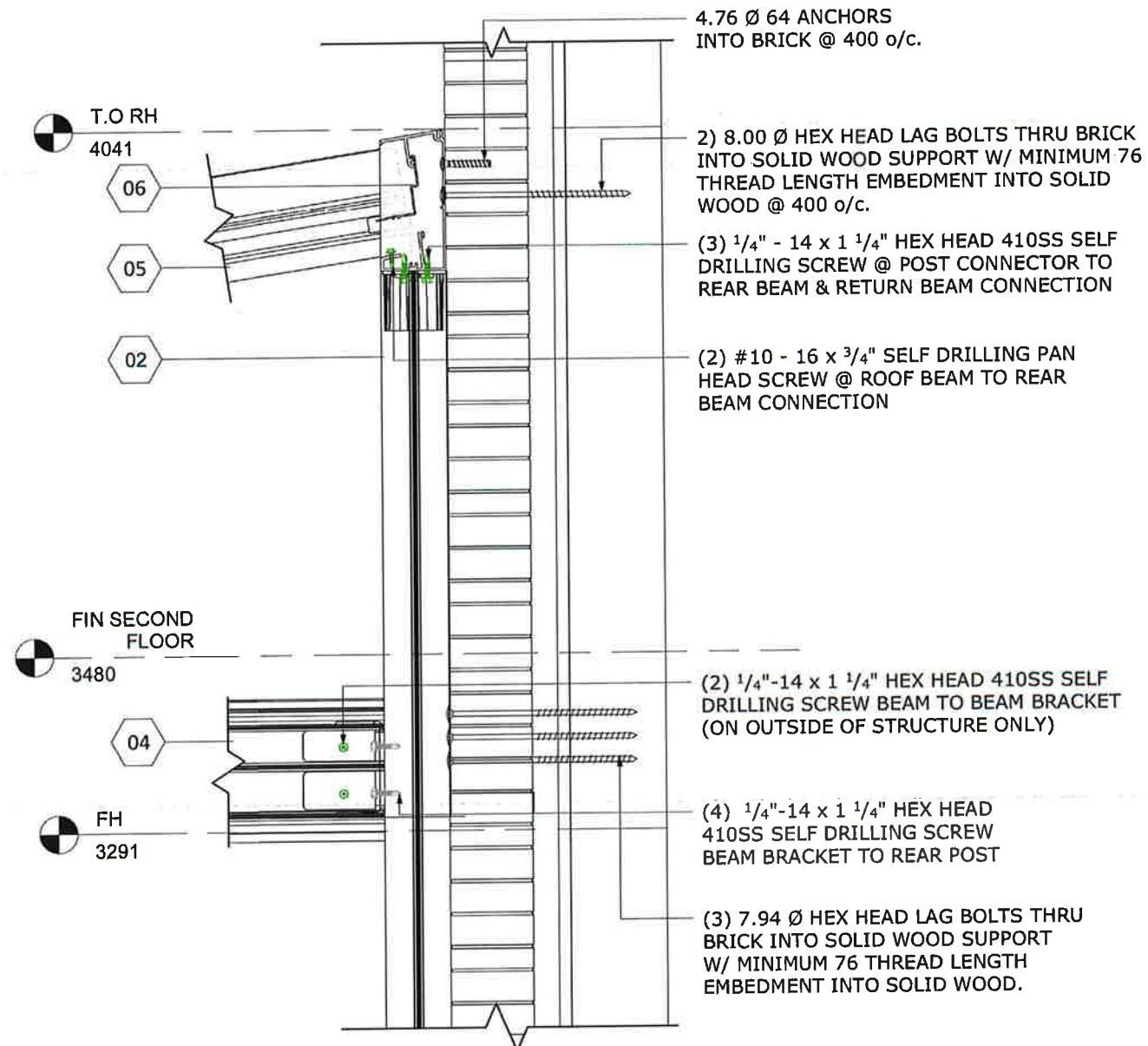
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DETAILS

PROJECT NUMBER	5058 4083
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L4.2

Scale 1 : 5



DETAIL

SCALE: 1 : 5

D9
L2.1

C4

A-2022-0363

a

B5

b

c

D5

407

C5

