

APPLICATION # A-2022-0355
WARD 9

APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **RAKESH CHAUCHAN AND HARSHA CHAUCHAN** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Lot 6, Plan M-1130 municipally known as **19 TALL OAKS PLACE**, Brampton;

AND WHEREAS the applicants are requesting the following variance(s):

1. To permit a front yard setback of 2.82m (9.25 ft.) to a proposed building addition (porch enclosure) whereas the by-law requires a minimum front yard setback of 6.0m (19.68 ft.);
2. To permit a driveway width of 9.15m (30 ft.) whereas the by-law permits a maximum driveway width of 6.71m (22 ft.);
3. To permit a porch encroachment of 4.10m (13.45 ft.) in the required front yard resulting in a front yard setback of 1.9m (6.23 ft.) whereas the by-law permit a porch encroachment of 1.8m (5.91 ft.) into the required front yard, resulting in a front yard setback of 4.2m (13.78 ft.).

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO

File Number: _____

Application for Consent: NO

File Number: _____

The Committee of Adjustment has appointed **TUESDAY, December 6, 2022 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant or another member of the public.

RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this 24th Day of November, 2022

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca



PETER ROBERTSON BOULEVARD



TALL OAKS PLACE



SAHAND HOMES
Engineering Firm
9275 Bayview Ave.
PO Box 31334 Bayview 16th Ave PO
RICHMOND HILL, ONTARIO, L4C 0V7
TEL: (647) 701-0721

19 Tall Oaks Pl
Brampton, ONTARIO

Drawing Title

site plan

Check by

SAHAND HOMES

Drawn by

SAHAND HOMES

Scale

1" = 100'

Date

NOVEMBER 2022

A-1



Under the authority of the Emergency *Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

**Electronic/Hybrid Hearing Procedures
How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **December 6, 2022** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

How to Participate in the Hearing:

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, December 1, 2022.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
 1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, December 1, 2022.**
 2. To participate in-person, please email the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, December 1, 2022.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, December 1, 2022.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

AMENDMENT LETTER

November 23, 2022

To: Committee of Adjustment

RE: **APPLICATION FOR MINOR VARIANCE
RAKESH CHAUCHAN AND HARSHA CHAUCHAN
LOT 6, PLAN M-1160
A-2022-0355 – 19 TALL OAKS PLACE**

Please **amend** application **A-2022-0355** to reflect the following:

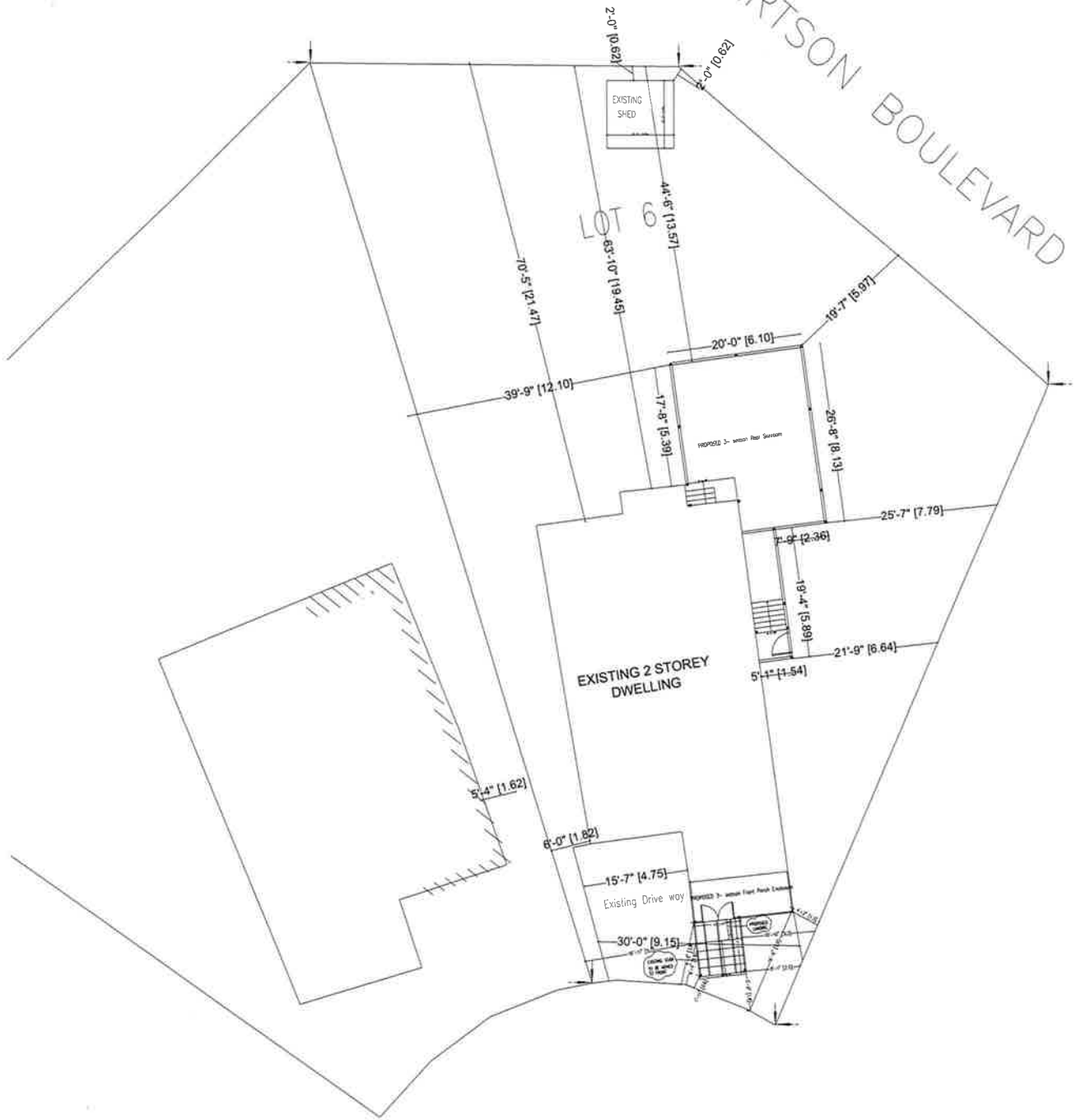
1. To permit a front yard setback of 2.82m (9.25 ft.) to a proposed building addition (porch enclosure) whereas the by-law requires a minimum front yard setback of 6.0m (19.68 ft.);
2. To permit a driveway width of 9.15m (30 ft.) whereas the by-law permits a maximum driveway width of 6.71m (22 ft.);
3. To permit a porch encroachment of 4.10m (13.45 ft.) in the required front yard resulting in a front yard setback of 1.9m (6.23 ft.) whereas the by-law permit a porch encroachment of 1.8m (5.91 ft.) into the required front yard, resulting in a front yard setback of 4.2m (13.78 ft.).



Applicant/Authorized Agent



PETER ROBERTSON BOULEVARD



TALL OAKS PLACE

SAHAND HOMES
Engineering Firm
9275 Bayview Ave.
PO Box 31334 Bayview 186 AVE PO
RICHMOND HILL, ONTARIO, L4C 0V7
TEL: (647) 701-0721

19 Tall Oaks Pl
Brampton, ONTARIO

Drawing Title site plan

Check by
SHAHZAD JAZZAM

Drawn by
SHAHZAD JAZZAM

Scale
1 : 100

Date
NOVEMBER 2022

A-1

FILE NUMBER: A-2022-0355

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1.

Name of Owner(s)

Rakesh Chauchan & Harsha Chauchan

Address

19 Tall Oaks Pl, Brampton L6R 1V1

Phone #

416-625-2268

Fax #

Email

rakesh1.chauhan@gmail.com
2.

Name of Agent

SHERVIN FARZAM BEHBOUDI and DONYA ABASILIASI

Address

22 Allerton Road , Vaughan L4J 0K1

Phone #

6477010721 416-8780861

Fax #

Email

shervin@sahandhomes.com donya.abasiliasi@gmail.com
3.

Nature and extent of relief applied for (variances requested):

To permit a front yard setback of 2.82m to the proposed building addition (porch enclosure), whereas the by-law requires a 6m front yard setback.
4.

Why is it not possible to comply with the provisions of the by-law?

need to have 3 -season front porch enclosure for having a bigger space for entrance specially in the cold weather.
5.

Legal Description of the subject land:

Lot Number

part 1 plan of lot 6 and 7

Plan Number/Concession Number

43M-1130

Municipal Address

19 Tall Oaks Place
6.

Dimension of subject land (in metric units)

Frontage

11.26

Depth

43.30

Area

944.09
7.

Access to the subject land is by:

Provincial Highway

Municipal Road Maintained All Year

Private Right-of-Way

Seasonal Road

Other Public Road

Water

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

2 Story residential dwelling. GFA of existing building = 342.98 sqm

PROPOSED BUILDINGS/STRUCTURES on the subject land:

1 Story 3 season front porch enclosure. GFA of proposed structure = 15.19 sqm
1 Story 3 season rear sun room . GFA of proposed structure = 55.15 sqm

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback	<u>2.82 m</u>
Rear yard setback	<u>20.06 m</u>
Side yard setback	<u>1.30 m</u>
Side yard setback	<u>6.77 m</u>

PROPOSED

Front yard setback	<u>2.82 m</u>
Rear yard setback	<u>13.44 m</u>
Side yard setback	<u>1.30 m</u>
Side yard setback	<u>6.77 m</u>

10. Date of Acquisition of subject land: 2015
11. Existing uses of subject property: Residential
12. Proposed uses of subject property: Residential
13. Existing uses of abutting properties: Residential
14. Date of construction of all buildings & structures on subject land: 2016
15. Length of time the existing uses of the subject property have been continued: 6 years

16. (a) What water supply is existing/proposed?

Municipal ☒ Other (specify) _____
Well ☐

- (b) What sewage disposal is/will be provided?

Municipal ☒ Other (specify) _____
Septic ☐

- (c) What storm drainage system is existing/proposed?

Sewers ☒ Other (specify) _____
Ditches ☐
Swales ☐

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Signature of Applicant(s) or Authorized Agent

DATED AT THE Vaughan OF Ontario

THIS 27 DAY OF October, 2022.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Shervin Farzam Behboudi and DONYA ABASILIASI OF THE Vaughan OF Ontario

IN THE 27 OF October 2022 SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton

IN THE Region OF Peel THIS 28th DAY OF

October, 2022

Jeanie Myers
A Commissioner etc.

J.M.
Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024

Signature of Applicant or Authorized Agent

Submit by Email

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

R1B-610

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

L Barbuto
Zoning Officer

October 28, 2022
Date

DATE RECEIVED October 28, 2022

Date Application Deemed
Complete by the Municipality _____

Revised 2022/02/17



PETER ROBERTSON BOULEVARD



TALL OAKS PLACE



9275 Bayview Ave.
PO Box 3134 Bayview Station
RICHMOND HILL, ONTARIO, L4C 0V7
TEL: (647) 701-0721

19 Tall Oaks Pl

19 Tall Oaks Pl

Drawn by

AutoCAD

Checked by

SAHAND HOMES

Scale

1:100

Date

September 2023



SURVEYOR'S REAL PROPERTY REPORT

PART 1

PLAN OF LOTS 6 AND 7,

PLAN 43M-1130

CITY OF BRAMPTON

REGIONAL MUNICIPALITY OF PEEL

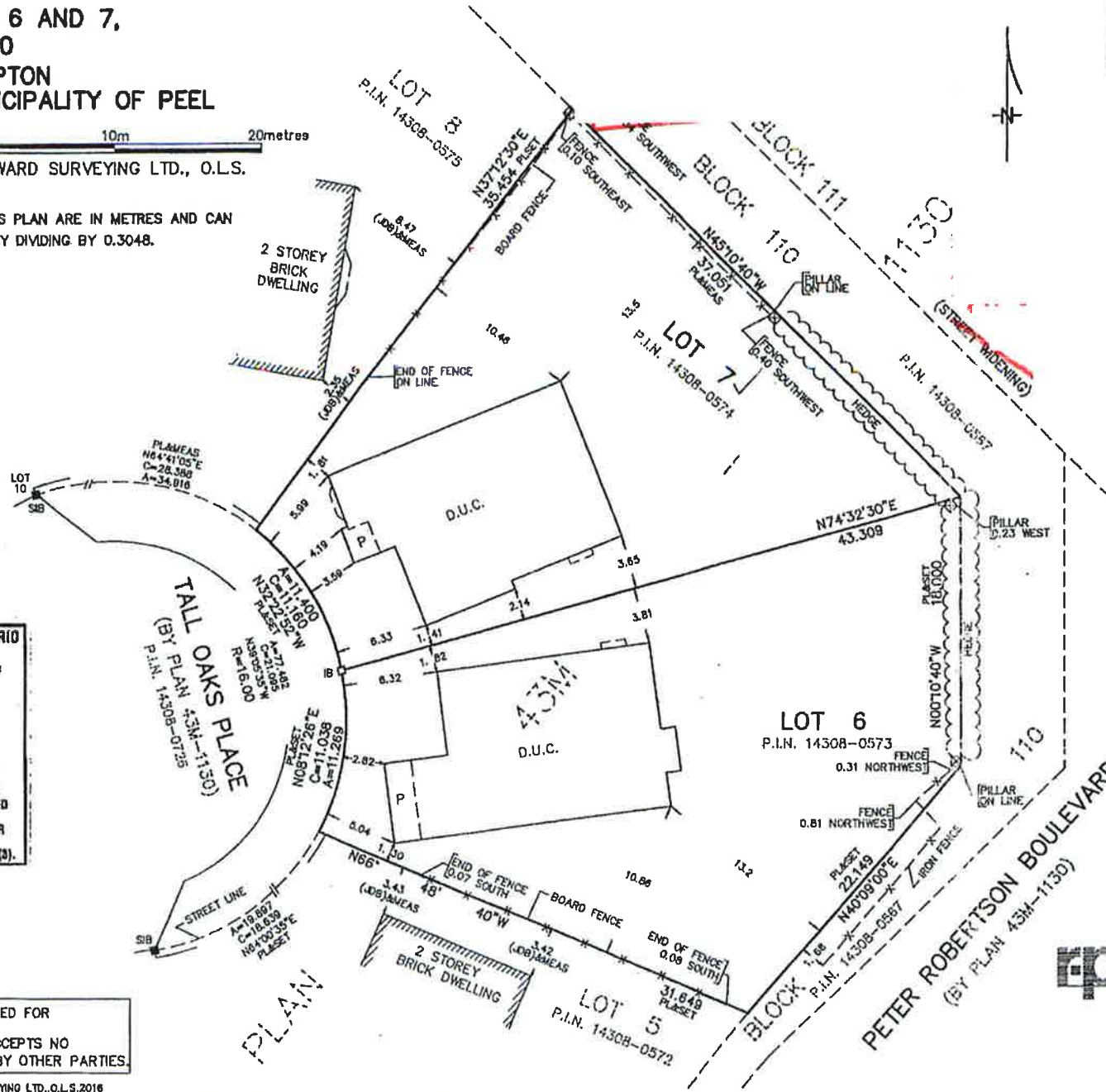
SCALE 1:300

10m 5m 0 10m 20metres

RADY-PEN TEK & EDWARD SURVEYING LTD., O.L.S.

METRIC

DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.



PART 2 (SURVEY REPORT)

REGISTERED EASEMENTS AND/OR RIGHT-OF-WAYS: NONE
ADDITIONAL COMMENTS: NOTE THE LOCATION OF PILLARS, BOARD AND IRON FENCES ALONG THE REAR OF LOTS 6 AND 7.

THIS PLAN DOES NOT CERTIFY COMPLIANCE WITH ZONING BY-LAWS

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON THE 29th DAY OF OCTOBER, 2015

DATE Jan. 22, 2016

R. SINGH
ONTARIO LAND SURVEYOR

NOTES

- DENOTES MONUMENT SET
- DENOTES MONUMENT FOUND
- IB DENOTES IRON BAR
- SIB DENOTES STANDARD IRON BAR
- D.U.C. DENOTES DWELLING UNDER CONSTRUCTION
- P.I.N. DENOTES PROPERTY IDENTIFIER NUMBER
- P DENOTES PORCH
- PL DENOTES PLAN 43M-1130
- (JDB) DENOTES J. D. BARNES LIMITED, O.L.S.

ALL FOUND MONUMENTS BY J. D. BARNES LIMITED, O.L.S.

ALL TIES TO CONCRETE FOUNDATION.

BEARINGS ARE GRID AND ARE REFERRED TO THE NORTHEAST LIMIT OF TALL OAKS PLACE AS SHOWN ON PLAN 43M-1130 HAVING A CHORD BEARING OF N39°05'35"W.

DOCUMENTS RELEASED PURSUANT TO A REQUEST UNDER THE MUNICIPAL FREEDOM OF INFORMATION AND PROTECTION OF PRIVACY ACT R.S.O. 1990c. M56

COPYRIGHT ACT R.S., 1985, c. C-42 APPLIES TO THE USE AND REPRODUCTION OF THESE DOCUMENTS

ASSOCIATION OF ONTARIO
LAND SURVEYORS
PLAN SUBMISSION FORM
1965329



THIS PLAN IS NOT VALID
UNLESS IT IS AN EMBOSSED
ORIGINAL COPY
ISSUED BY THE SURVEYOR
In accordance with
Regulation 1028, Section 29(3).

THIS REPORT WAS PREPARED FOR
MATTAMY HOMES
AND THE UNDERSIGNED ACCEPTS NO
RESPONSIBILITY FOR USE BY OTHER PARTIES.

© RADY-PEN TEK & EDWARD SURVEYING LTD., O.L.S. 2016



RADY-PEN TEK & EDWARD SURVEYING LTD.

ONTARIO LAND SURVEYORS
643 Chrislea Road, Suite 7
Woodbridge, Ontario L4L 8A3
Tel. (416) 635-5000 Fax (416) 635-5001
Website: www.r-pe.ca

DRAWN: V.K.

CHECKED: G.Y./T.S.

CAD FILE No.15-248-SRPR-A

JOB No.15-248

CONSTRUCTION SPECIFICATIONS

1 STUCCO FINISH WALL

ACRYLIC STUCCO (DUROCK OR APPROVED EQUAL) ON 2" THICK STYROFOAM ON EXTERIOR TYPE SHEATHING 2"x4" WOOD STUDS @ 16" O.C. R-22 BATT INSUL. IN CONTINUOUS CONTACT W/ EXTERIOR SHEATHING CONTINUOUS AIR / VAPOUR BARRIER 1/2" INTERIOR DRYWALL FINISH DOUBLE PLATE @ TOP SOLE PLATE @ BOTTOM

2 BRICK (STONE) VENEER WALL:

4" FACE BRICK OR STONE, 1" AIR SPACE 1/2" Z22A U/L FIBER A/ 158 BUILDING PAPER 1/2" EXTERIOR GRADE POLYWOOD 1/2" NO JOISTS (SEE PLAN FOR SPACING) W/ 1/2" BATT INSUL. 1/2" INTERIOR DRYWALL FINISH

3 PROVIDE WEEP HOLES AT 24" O/C OPENINGS PROVIDE BASE FLASHING 6" MIN. UP BEHIND BUILDING PAPER

4 FOUNDATION WALL (REFER TO O.B.C. 9.15.3. & 9.15.4.)

BITUMINOUS DAMPPROOFING ON 10" THICK POURED CONCRETE REINFORCED FDN. WALLS, AS SHOWN. PROVIDE PAVING COVER OVER 28"x8" POURED CONC. FOOTING TO BEAR ON UNDISTURBED SOIL. PROVIDE DRAINAGE LAYER - MIN. 3/4" MINERAL FIBRE INSULATION W/ A DENSITY OF NOT LESS THAN 3.6 LB./FT. OR - MIN. 4" OF FREE DRAINING GRANULAR MATERIAL OR - A S.M.E.C. APPROVED DRAINAGE LAYER MATERIAL

5 SILL PLATE

2"x6" SILL PLATE FASTENED TO FOUNDATION WALL WITH MIN. 1/2" DIA. ANCHOR BOLTS EMBEDDED MIN. 4" IN CONCRETE @ 7'-10" O/C MAX. & PROVIDE CAULKING OR GASKET BETWEEN PLATE & FOUNDATION WALL

6 FLOOR INSULATION

CONTINUOUS HEADER JOIST WITH R31 BATT INSULATION, EXTEND VAPOUR / AIR BARRIER & SEAL TO JOIST AND SUBFLOOR

7 BASEMENT INSULATION

2"x4" STUDS @ 16" O/C W/ R20-BATT INSULATION, 5MIL POLY VAPOUR BARRIER, 1/2" DRYWALL

8 SLAB ON GROUND

3" POURED CONCRETE SLAB WITH 3/4" C/TOPPING (3600 PSI CONC. STRENGTH) 4" CRUSHED STONE BELOW (OBC 9.15.2.1) EXTENDED TO FOOTING AROUND THE PERIMETER OF C/SLAB BOND BREAKING MATERIAL SHALL BE PLACED BETWEEN SLAB AND F/WALL

9 DRAINAGE

4" DIA. WEEPING TILE W/ 6" CRUSHED STONE COVER

10 ROOF CONSTRUCTION

20 YEAR ASPHALT SHINGLES ON MIN. 5/8" EXTERIOR PLYWOOD SHEATHING ON APPROVED ROOF TRUSSES OR CONVENTIONAL FRAMING (SEE PLANS) USE 'H' CLIPS IF 24" O.C. SPACING

11 OVERHANG CONSTRUCTION

PREFINISHED ALUMINUM FASCIA, EAVESTROUGH & RAIN WATER LEADERS TO MATCH EXISTING FINISHES. PROVIDE Drip EDGE AT FASCIA & VENTED SOFFIT EXTEND DOWNSPOUTS TO GRADE LEVEL

12 ROOF VENTILATION

1:150 OF THE INSULATED CEILING AREA UNIFORMLY DISTRIBUTED.

13 EAVES PROTECTION

EAVES PROTECTION MEMBRANE TO EXTEND FROM THE EDGE OF THE ROOF, 36" UP THE SLOPE BUT NOT LESS THAN 12" BEYOND THE INTERIOR FACE OF THE EXTERIOR WALL

14 CEILING CONSTRUCTION

5/8" INTERIOR DRYWALL FINISH CONTINUOUS AIR / VAPOUR BARRIER W/ MINIMUM R 60 BATT INSULATION

15 WALL INSULATION

CARRY MIN. R22 INSULATION TO COVER THE INTERIOR FACE OF THE EXTERIOR WALL

16 FLOOR CONSTRUCTION

3/4" T&G PLYWOOD SUBFLOOR FLOOR JOISTS @ 16" O/C. FLOOR JOISTS BRIDGED W/ CONTINUOUS 1"x3" STRAPPING OR 2 ROWS OF 2"x2" CROSS BRIDGING OR SOLID BLOCKING

17 INTERIOR STUD PARTITION

1/2" DRYWALL FINISH BOTH SIDES OF 2"x4" OR 2"x6" WOOD STUDS @ 16" O/C 2 TOP PLATES & 1 BOTTOM PLATE PROVIDE SOUND ATTENUATION INSULATION IN BATHROOM WALLS & WHERE INDICATED ON PLAN

18 MECHANICAL VENTILATION

PROVIDE MIN. 1 AIR CHANGE PER HOUR IN ROOMS SPECIFIED TO BE MECHANICALLY VENTED 80 CFM FOR BATH PRIMARY VENTS

19 STAIRS INTERIOR/EXTERIOR

MAXIMUM RISE = 7 7/8" MINIMUM RISE = 4 7/8" MINIMUM RUN = 8 1/4" MAXIMUM RUN = 14" MINIMUM TREAD = 9 1/4" MAXIMUM TREAD = 14" MAXIMUM NOSING = 1" MINIMUM WIDTH = 2'-10" MINIMUM HEADROOM = 6'-5"

20 GUARDS

INTERIOR LANDINGS = 2'-11" EXTERIOR BALCONY = 3'-6" INTERIOR STAIRS = 2'-11" EXTERIOR STAIRS = 2'-11" MAX. BETWEEN PICKETS = 4"

GUARD HEIGHT IF DECK TO GRADE IS GREATER THAN 5'-11" = 3'-6" 5'-11" OR LESS = 2'-11"

NO MEMBER OR ATTACHMENT BETWEEN 4" & 2'-11" HIGH SHALL FACILITATE CLIMBING

21 ATTIC ACCESS

PROVIDE ATTIC ACCESS MIN. 20" X 28" W/ INSULATION & WEATHER STRIPPING

22 INSTALL A CARBON MONOXIDE DETECTOR CONFORMING TO CAN/CGA-6.19 OR UL 2034

23 PROVIDE SOLID BEARING ON MASONRY FOR BEAMS AND /OR COLUMNS

24 GARAGE CEILING:

3/4" T&G PLYWOOD SUBFLOOR 5 MIL POLY VAPOUR BARRIER 2"x6" NO JOISTS (SEE PLAN FOR SPACING) W/ 1/2" BATT INSUL. 5/8" BATT INSULATION (SMOKE PROOF JOISTS)

25 GARAGE SLAB:

4" CONC. SLAB W/ 6#5 REIN. ON 6" CRUSHED STONE (COMPACTED) CONC. STRENGTH 3500 PSI AT 28 DAYS W/5-BX AIR ENTRAINMENT

26 GRADE

SLOPE GRADE AWAY FROM BUILDING FACE & PROVIDE SEMI-SOLID BLOCK COURSE AT OR BELOW GRADE LEVEL

NOTES

1. VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION
2. DO NOT SCALE DRAWINGS
3. REPORT ALL DISCOVERIES OF ERRORS, OMISSIONS OR DISCREPANCIES TO THE DESIGNER OR DESIGN ENGINEER AS APPLICABLE
4. USE ONLY LATEST REVISED DRAWINGS OR THOSE THAT ARE MARKED "ISSUED FOR CONSTRUCTION"
5. THE DRAWINGS ARE THE PROPERTY OF SAHAND HOMES INC. AND MUST BE RETURNED ON COMPLETION OF THE PROJECT. ANY UNAUTHORIZED USE IS PROHIBITED
6. THE DRAWINGS ARE NOT FOR CONSTRUCTION DRAWINGS. THE DRAWINGS HAVE BEEN ISSUED FOR PERMIT ONLY.

STRUCTURAL NOTES

1. The floor LL = 40 psf (1.5 kPa) , Roof LL = 22.2 psf (1.06 kPa)
2. The floor and roof LL = 15.00 psf (0.71 kPa)
3. All footings must be carried down to the undisturbed soil capable of sustaining bearing pressure of 2000 PSF minimum (to be confirmed on the site by a Soil Engineer)
4. Concrete construction shall adhere to CAN/CSA-A23.1 requirements.
5. Concrete for the footings and the slab-on-grade shall have compressive strength of 30MPa at 28 days.
6. Reinforcing steel to be CSA G 30.18-M1992 deformed bars - Grade 400
7. Masonry construction to conform to CSA A371-94.
8. Use min. 20MPa block units and Type S mortar.
9. Grout solid all voids in existing masonry and all new reinforced concrete blocks
10. All new wood shall be S-4 No.2 Grade minimum
11. All wood connectors to be by 12. Everbuild 10000 Composite Lumber, MICROLAM LVL or 20E ES PARALAM FS
13. All new structural steel to be C40.21-W 350W & 350W for HSS members
14. Fabrication and erection steel shall be carried out in accordance with CAN/CSA-S16.1-94
15. Provide solid bearing on existing concrete or masonry for steel beams and columns
16. Whenever it becomes necessary to cut or interfere in any manner with existing equipment or services, the work must be co-ordinated with the Owner
17. All new work must conform to the Ontario Building Code Requirement.

GENERAL STRUCTURAL NOTES

1. ALL CONSTRUCTION TO COMPLY WITH ONTARIO BUILDING CODE 2012 EDITION. DESIGN OF O.B.C. PART 9 MEMBERS IS IN ACCORDANCE WITH THE FOLLOWING LOADING:

2ND FLOOR LOADING:
LL = 40.0 PSF
DL = 15.0 PSF

GROUND FLOOR LOADING
LL = 40.0 PSF
DL = 15.0 PSF

MIN. LL DEFLECTION = L/360

2. DRAWINGS SHALL NOT BE SCALED

3. FOOTINGS SHALL BE POURED ON UNDISTURBED SOIL. EXTERNAL FOOTINGS SHALL BE ERECTED 4'-0" MINIMUM BELOW GRADE.

DESIGN BEARING CAPACITY - 150 KPa (3000 PSF) EXISTING BEARING CAPACITY - NOT KNOWN

THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THE DESIGN BEARING CAPACITY AND REPORT TO THE ENGINEER OF ANY DISCREPANCIES.

4. CONCRETE SHALL BE Fc = 25 MPa CONSTRUCTION JOINTS SHALL BE LEFT ROUGH.

5. ALL CONCRETE CONSTRUCTION, WORKMANSHIP AND MATERIALS NOT NOTED IN PART 9 OF THE O.B.C. SHALL BE IN ACCORDANCE WITH CAN/CSA-A23.1 ALL REINFORCEMENT SHALL BE DEFORMED BARS C.S.A. G30.12 WITH 180 MPa. EXTEND CONTINUOUS BARS INTO INTERSECTING MEMBERS FOR A DISTANCE OF 36 BAR DIAMETERS AND BENT IF REQUIRED. PROVIDE CONCRETE COVER FOR REINFORCEMENT AS REQUIRED BY O.B.C. AND IN ACCORDANCE WITH CAN/CSA-A23.1

6. ALL STRUCTURAL STEEL SHALL BE C.S.A. G40.21 GRADE 44K HSS SECTIONS SHALL BE C40.21-SW. FABRICATION, CONNECTION DESIGN AND WELDING SHALL CONFORM TO CAN/CSA-S16.1/94 AND W59-M1889.

7. MINIMUM BEARING OF STRUCTURAL MEMBERS ON MASONRY SHALL BE AS FOLLOWS:

CONCRETE AND STEEL BEAMS 8"

CONCRETE SLABS 4"

O.W.S. 4"

WOOD BEAMS AND JOISTS 4"

BEARING PLATES SHALL BEAR ON 3 COURSES OF 100% SOLID MASONRY WHICH SHALL EXTEND A MINIMUM OF 8" FROM EACH SIDE OF THE PLATE.

ALL BEAMS SHALL BE ONLY TOP BEARING ON STEEL COLUMNS.

8. MASONRY:

MORTAR SHALL BE TYPE "S" OR BETTER WITH A MINIMUM COMPRESSIVE STRENGTH OF 1800 PSI AT 28 DAYS. (TYP. U/L NOTED ON SECTIONS AND DETAILS)

CONCRETE BLOCKS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OVER NET AREA IN ACCORDANCE WITH TABLE 9.20.2.7, AS PER PART 9 OF O.B.C. (TYP. U/L NOTED ON SECTIONS AND DETAILS)

9. REINFORCED MASONRY

MORTAR SHALL BE TYPE "S" OR BETTER WITH A MINIMUM COMPRESSIVE STRENGTH OF 1800 PSI AT 28 DAYS.

CONCRETE BLOCKS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2500 PSI OVER NET AREA OF BLOCK. FILL CELLS CONTAINING REINFORCEMENT. SOLID WITH GROUT. GROUT SHALL HAVE MINIMUM COMPRESSIVE STRENGTH OF 2000 PSI AT 28 DAYS. LAP REINFORCING BARS 48 BAR DIAMETERS MINIMUM UNLESS OTHERWISE INDICATED ON PLANS.

10. ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE VERIFIED BY THE GENERAL CONTRACTOR AT THE SITE. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO NOTIFY THIS OFFICE OF ANY DISCREPANCIES PRIOR TO COMMENCEMENT OF WORK.

11. FABRICATED ITEMS WHICH FABRICATION AND DESIGN IS NOT PRESCRIBED IN PART 9 OF THE O.B.C. SHALL BE PREENGINEERED AND DESIGNED IN ACCORDANCE WITH PART 4 OF THE O.B.C. SHOP DETAILS, DRAWINGS AND DIAGRAM OF THESE ITEMS SHALL BE SUBMITTED TO THIS OFFICE FOR REVIEW PRIOR TO FABRICATION. THESE DRAWINGS SHALL BE SEALED BY A P. ENG. OF ONTARIO RESPONSIBLE FOR THE DESIGN OF THESE ITEMS AND CLEARLY INDICATE THE METHOD OF CONNECTION OF THESE ITEMS TO THE STRUCTURE. THESE ITEMS SHALL INCLUDE STRUCTURAL STEEL, REINFORCING BAR/REIN. CONNECTIONS BETWEEN WOOD MEMBERS AS PER HANGER SCHEDULE AND PRECAST ELEMENTS.

11. ALL FRAMING LUMBER SHALL BE SPF#2 UNLESS NOTED

12. PLYWOOD SHALL BE 5/8" TWO UNLESS NOTED. PROVIDE EXTERIOR GRADE PLYWOOD WHERE REQUIRED BY O.B.C.

13. ALL THE JOISTS AND BEAMS LOCATED AT THE SAME ELEVATION SHALL BE CONNECTED WITH JOIST HANGERS. ALL MEMBER CONNECTIONS SHALL MEET THE MINIMUM REQUIREMENTS AS OUTLINED IN PART 9 OF THE ONTARIO BUILDING CODE, UNLESS STRONGER CONNECTIONS ARE SPECIFIED.

14. ALL WOOD POSTS SHALL BE AS PER WOOD POST SCHEDULE.

PROVIDE POST P1 AT ALL WOOD UNTEL BEARINGS UNLESS NOTED OTHERWISE ON PLANS.

ALL WOOD POSTS SHALL BE CONTS. FROM FOOTINGS OR FOUNDATION WALLS TO U/S SUPPORTED BEAMS OR TRUSSES. PROVIDE SOLID BLOCKING AT DISCONTINUITIES SUCH AS FLOOR SPACES. (TYP. AT ALL WOOD POST LOCATIONS)

PROVIDE 100 % SOLID BEARING U/S ALL POSTS AT BEARING POSTS. SHALL BEAR ON MINIMUM OF 3 COURSES OF SOLID MASONRY WHICH SHALL EXTEND A MINIMUM OF 8" FROM EACH SIDE OF THE PLATE OR SOLID CONCRETE.

15. HANGER SIZES SHALL BE AS PER HANGER SCHEDULE.

THE HANGERS NOTED ABOVE ARE FOR INDICATION OF U/L FILES AND CONNECTION SHEAR FORCE CAPACITY ONLY. THE ACTUAL SHAPE OR ANGLE OF CONNECTION BETWEEN MEMBERS SHALL BE SURVEYED AT THE SITE BY THE HANGER DESIGNER.

16. ALL MICRO-LAM BEAMS AND "I" TYPE JOISTS SHALL BE BY TRUS JOIST MACMILLAN OR EQUIVALENT.

THE INSTALLATION OF THE MICRO-LAM BEAMS AND "I" JOISTS SHALL BE IN ACCORDANCE WITH THE MANUFACTURERS INSTALLATION GUIDELINES AND RECOMMENDATIONS.

17. THE LOAD BEARING STUD WALLS SHALL BE 2 X 6 @ 16" O/C SPF #2 LUMBER, TYPICAL UNLESS NOTED. PROVIDE BRIDGING OR BLOCKING AT THE STUD WALLS TO GIVE 8'-0" MAXIMUM UNBRACED LENGTH.

18. THE SPACING AND SIZES OF THE ROOF AND THE FLOOR JOISTS SHALL BE NOTED ON THE PLANS. PROVIDE FULL 2" SOLID BEARING AT THE SUPPORTS.

19. THE DESIGN OF THE STRUCTURAL COMPOSITE LUMBER MEMBERS SHALL CONFORM TO THE CSA STANDARD 066.1-94.

THE INSTALLATION OF ALL THE STRUCTURAL COMPOSITE LUMBER BEAMS SHALL BE IN ACCORDANCE WITH THE MANUFACTURERS INSTALLATION GUIDE-LINES AND RECOMMENDATIONS

20. "I" TYPE JOISTS SHALL BE TJI JOISTS AS NOTED IN THE TRUS JOIST CANADA LTD. DESIGN CATALOGUE OR EQUIVALENT. SEE PLANS FOR THE LOCATION AND THE SPACING OF THE "I" JOISTS. THE INSTALLATION OF ALL "I" TYPE JOISTS SHALL BE IN ACCORDANCE WITH THE MANUFACTURERS INSTALLATION GUIDE-LINES AND RECOMMENDATIONS.



9275 Bayview Ave.
PO Box 3134 Bayview 150 Ave PO
RICHMOND HILL, ONTARIO, L4C 0V7
TEL: (647) 701-0721

19 Tall Oaks Pl
Brampton, ON

Drawing Title

GENERAL NOTE

Check by

SHERIDAN FARZAM

Drawn by

BONHA AMASI

Scale

1'-0" = 1/8"

Date

SEPTEMBER 2022

A-2

NOTES:

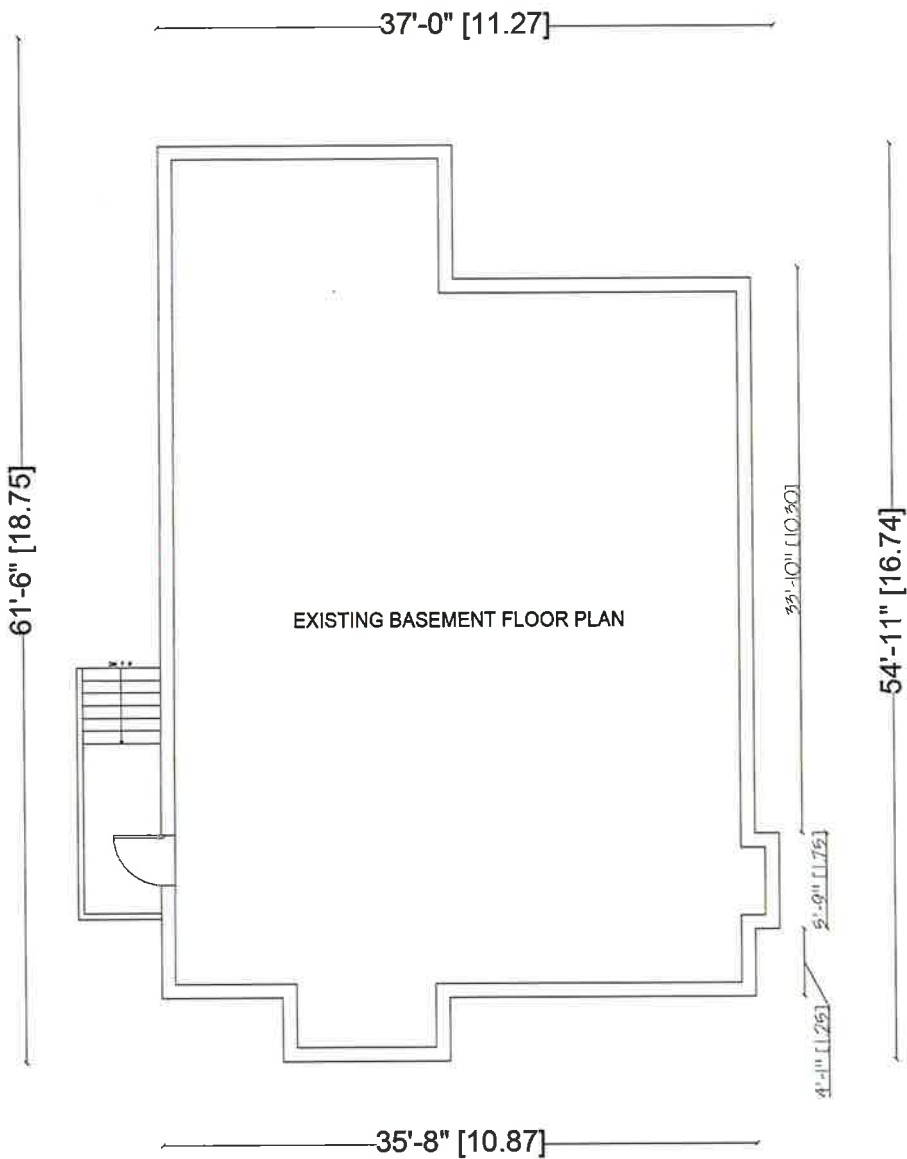
1. VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
2. DO NOT SCALE DRAWINGS.
3. REPORT ALL DISCOVERIES OF ERRORS, OMISSIONS OR DISCREPANCIES TO THE DESIGNER OR DESIGN ENGINEER AS APPLICABLE.
4. USE ONLY LATEST REVISED DRAWINGS OR THOSE THAT ARE MARKED ISSUED FOR CONSTRUCTION.
5. THE DRAWINGS ARE THE PROPERTY OF SAHAND HOMES Inc. AND MUST BE RETURNED ON COMPLETION OF THE PROJECT. ANY UNAUTHORIZED USE IS PROHIBITED.
6. THE DRAWINGS ARE NOT FOR CONSTRUCTION DRAWINGS. THE DRAWINGS HAVE BEEN ISSUED FOR PERMIT ONLY.



EXISTING BASEMENT PLAN

SCALE 1/8" = 1'-0"

BASEMENT Area
1745 SqF (162.3.9 SqM)



19 Tall Oaks Pl
Brampton, ON

Drawing Title

EXISTING BASEMENT FLOOR PLAN

A-3

Check by

SAHAND HOMES

Drawn by

BONHA ABASI

Scale

1'-0" = 1/8"

Date

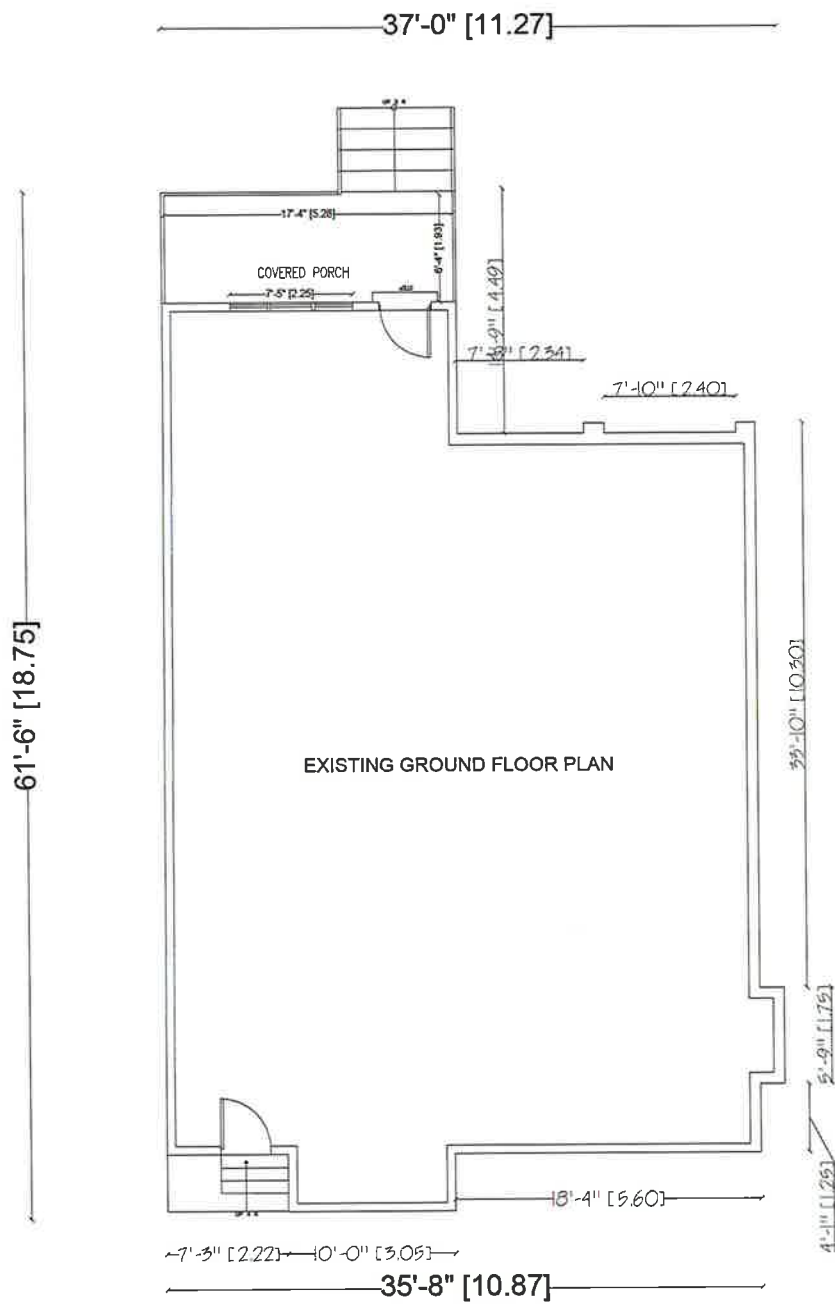
SEPTEMBER 2022

EXISTING GROUND FLOOR PLAN

SCALE 1/8" = 1'-0"

GROUND FLOOR Area
1846 SqF (171.49 SqM)

- NOTES
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 2. DO NOT SCALE DRAWINGS.
 3. REPORT ALL DISCOVERIES OF ERRORS, OMISSIONS OR INADEQUACIES TO THE DESIGNER OR DESIGN ENGINEER AS APPLICABLE.
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19 Tall Oaks Pl
Brampton, ON

Drawing Title
EXISTING GROUND FLOOR PLAN

A-4

Check by
SHERIDAN FARZAN

Drawn by
BONHA ABASI

Scale
1'-0" = 1/8"

Date
SEPTEMBER 2022

SCALE 1/8" = 1'-0"

NOTES

1. VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION
2. DO NOT SCALE DRAWINGS.
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GROUND FLOOR Area
1846 SqF (171.49 SqM)

Front Addition:
163.53 SqF (15.19 SqM)

Rear Addition:
593.69 SqF (55.15 SqM)



EXISTING GROUND FLOOR PLAN
1846 sqf

19 Tall Oaks Pl
Brampton, ON

Drawing Title

PROPOSED GROUND FLOOR PLAN

Check by

另函在祝道刊 丑A祝Z入值

Drawn by

DOMINA ADASU

Scale

$$1'-0'' = 1/8''$$

Date _____

SEPTEMBER 2022

A-5



EXISTING FRONT ELEVATION

SCALE 1/8" = 1'-0"

- NOTES
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EXISTING REAR ELEVATION

SCALE 1/8" = 1'-0"



19 Tall Oaks Pl
Brampton, ON

Drawing Title

EXISTING FRONT & REAR ELEVATIONS

Check by

SHERIDAN JARZAN

Drawn by

BONHA ABASI

Scale

1'-0" = 1/8"

Date

SEPTEMBER 2022

A-E

PROPOSED FRONT ELEVATION

SCALE 1/8" = 1'-0"

- NOTES
1. VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
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PROPOSED REAR ELEVATION

SCALE 1/8" = 1'-0"



19 Tall Oaks Pl
Brampton, ON

Drawing Title PROPOSED FRONT & REAR ELEVATIONS

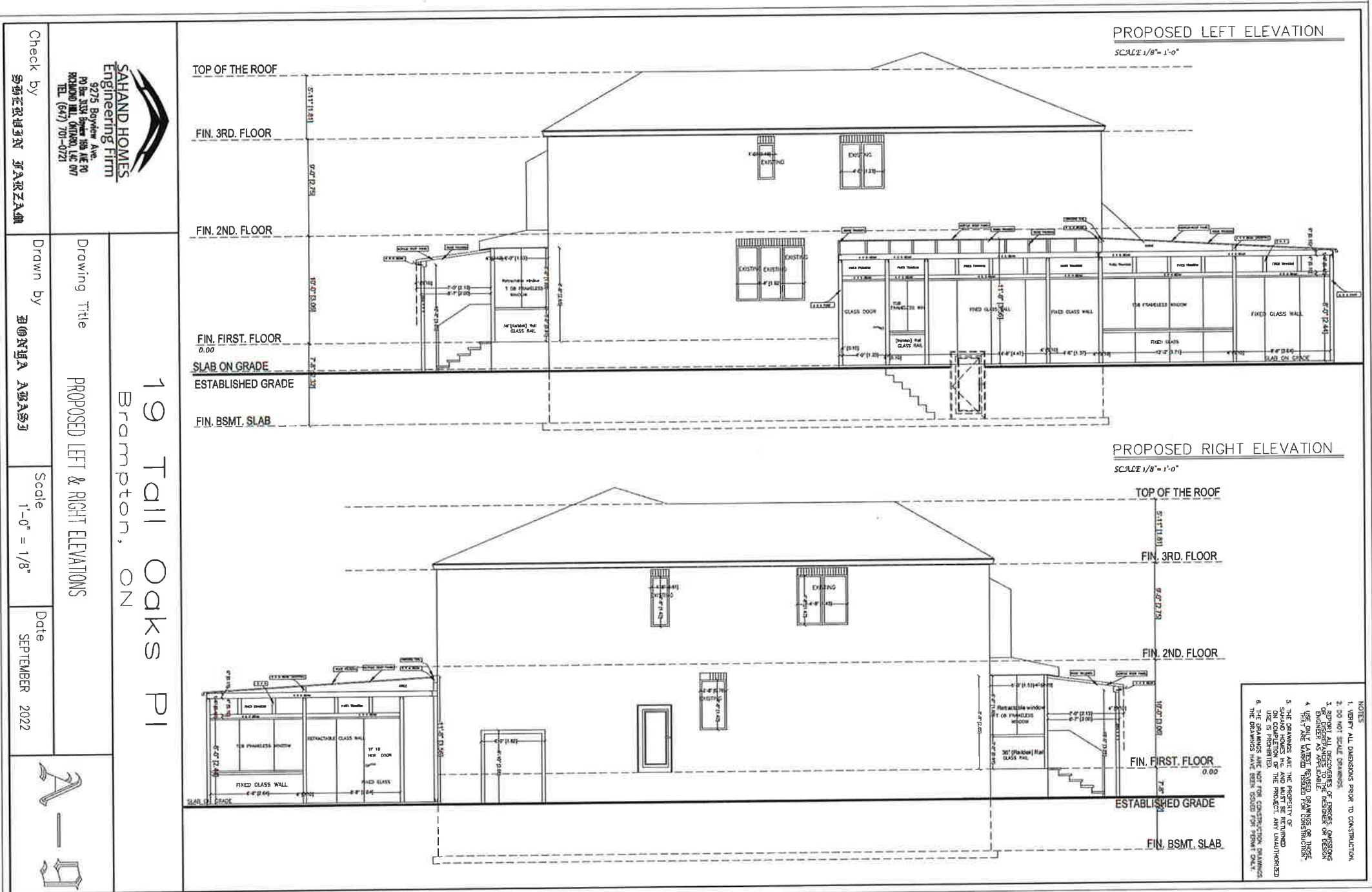
Check by
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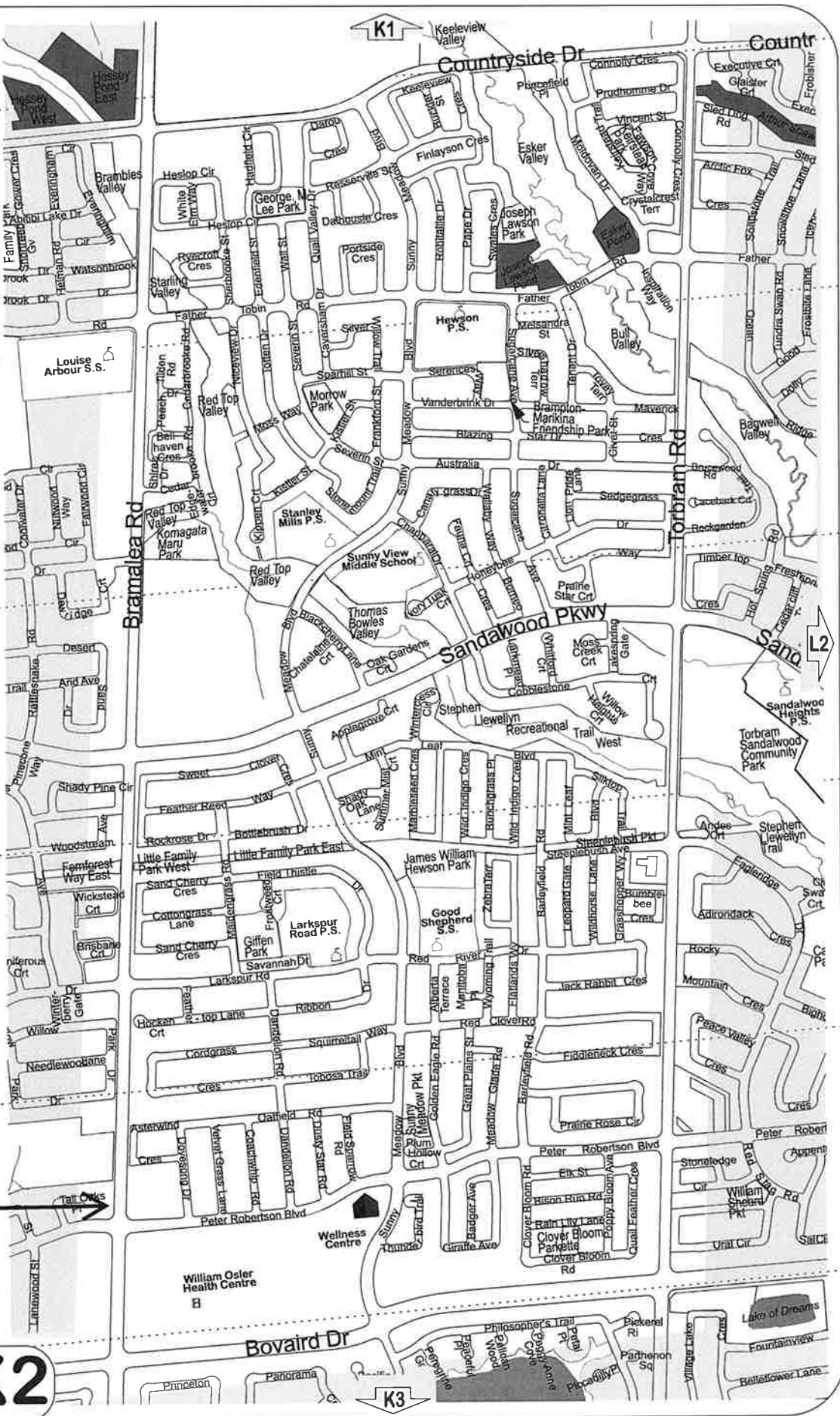
Drawn by
BONHA ABASI

Scale
1'-0" = 1/8"

Date
SEPTEMBER 2022

A-7





a

b

c

d

e

A-2022-0355

K2

K1

K3

L2