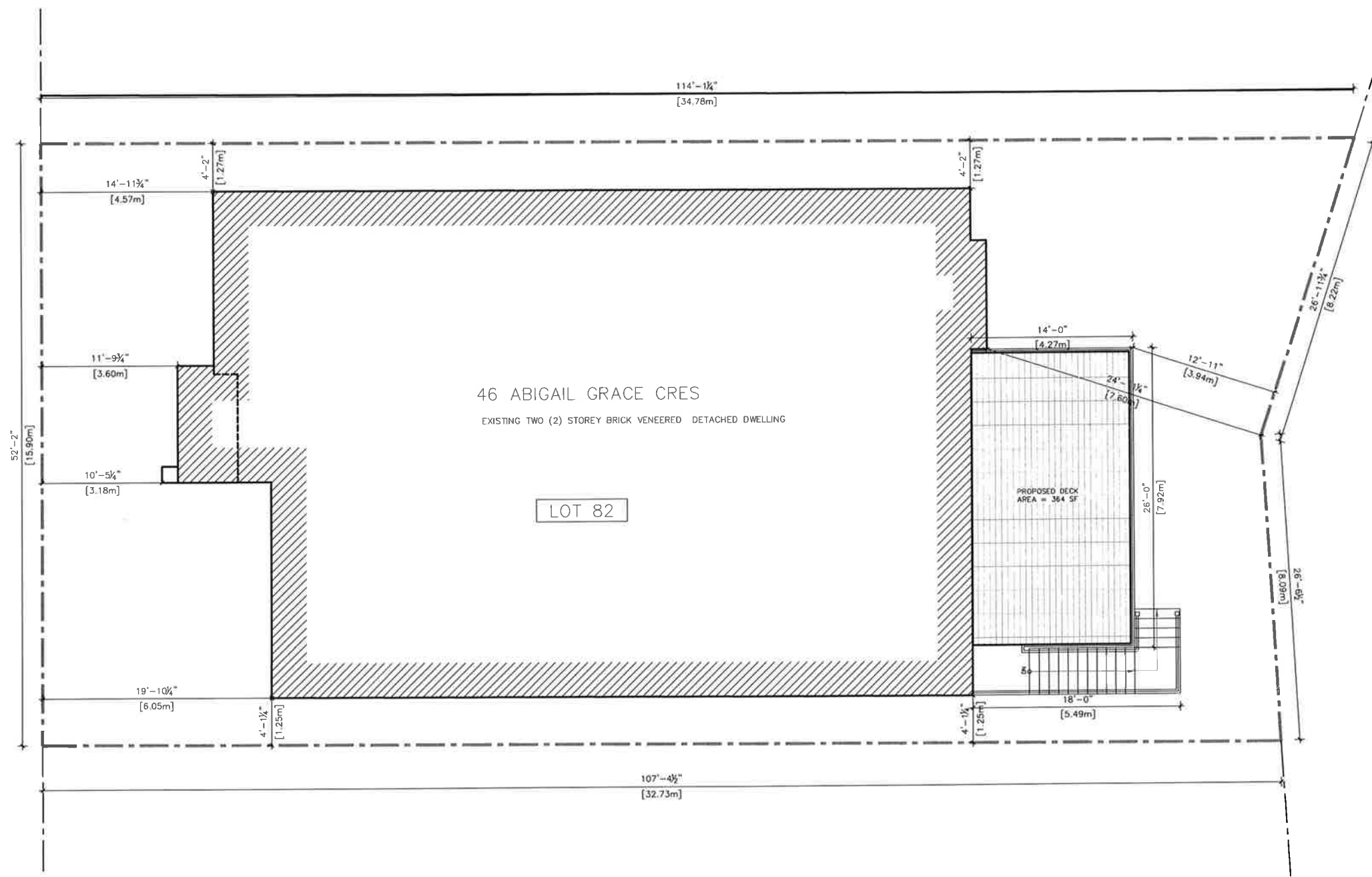




APPLICATION FOR MINOR VARIANCE

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca

ABIGAIL GRACE CRESCENT



Under the authority of the Emergency Management and Civil Protection Act and the Municipal Act, 2001, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

**Electronic/Hybrid Hearing Procedures
How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **December 6, 2022** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

How to Participate in the Hearing:

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, December 1, 2022.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
 1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, December 1, 2022.**
 2. To participate in-person, please email the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, December 1, 2022.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, December 1, 2022.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.



FILE NUMBER: A-2022-0358

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION
Minor Variance or Special Permission
(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. Name of Owner(s) GURPREET KALRA
Address 46 ABIGAIL GRACE CRES, BRAMPTON, ON, L6X 5R2

Phone # 4163006300 Fax # _____
Email ROMAKALRA@LIVE.CA

2. Name of Agent LAXMAN PATEL
Address 1601-21 MARKBROOK LANE, TORONTO, ON, M9V 5E4

Phone # 6479677937 Fax # _____
Email laxman@kalparchitect.com

3. Nature and extent of relief applied for (variances requested):
1. REAR YARD SETBACK RELIEF REQUIRED FROM THE PROPOSED DECK = 2.55 m

4. Why is it not possible to comply with the provisions of the by-law?
1. SLIGHTLY LARGER DECK SIZE IS REQUIRED TO ACCOMODATE FAMILY ENTERTAINMENT FUNCTIONS

5. Legal Description of the subject land:
Lot Number 82
Plan Number/Concession Number PLAN M2063
Municipal Address 46 ABIGAIL GRACE CRES, BRAMPTON

6. Dimension of subject land (in metric units)
Frontage 15.90m
Depth 34.78 m - 32.73m
Area 524.78 SQ.M.

7. Access to the subject land is by:
Provincial Highway ☐ Seasonal Road ☐
Municipal Road Maintained All Year ☒ Other Public Road ☐
Private Right-of-Way ☐ Water ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

1. HOUSE - GROUND COVERAGE AREA = 263.94 SQ.M. GFA= 448.6 SQ. M.

WIDTH= 13.40 m. LENGTH =20.0 m. HEIGHT= 2 STOREY

PROPOSED BUILDINGS/STRUCTURES on the subject land:

PROPOSED DECK - WIDTH 4.27 m LENGTH =7.92 m. HEIGHT = 3.15 m

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback 3.18m, 4.57m, 6.05 m

Rear yard setback 7.60 m

Side yard setback 1.25m.

Side yard setback 1.27m

PROPOSED

Front yard setback 3.18m, 4.57m, 6.05 m

Rear yard setback 2.55 m

Side yard setback 1.25m.

Side yard setback 1.27m

10. Date of Acquisition of subject land: 07/02/2020
11. Existing uses of subject property: RESIDENTIAL
12. Proposed uses of subject property: RESIDENTIAL
13. Existing uses of abutting properties: RESIDENTIAL
14. Date of construction of all buildings & structures on subject land: 04/28/2021
15. Length of time the existing uses of the subject property have been continued: 1 year

16. (a) What water supply is existing/proposed?

Municipal

☒

Well

☐

Other (specify) _____

- (b) What sewage disposal is/will be provided?

Municipal

☒

Septic

☐

Other (specify) _____

- (c) What storm drainage system is existing/proposed?

Sewers

☒

Ditches

☐

Swales

☐

Other (specify) _____

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

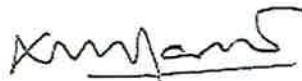
Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____



Digitally signed by Laxman Patel
DN: cn=Laxman Patel, o=LPA,
email=laxman@kalparchitect.com, c=Canada
Date: 2022.11.02 17:05:28 -04'00'

Signature of Applicant(s) or Authorized Agent

DATED AT THE CITY OF BRAMPTON

THIS 4th DAY OF November, 20 22.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, LAXMAN PATEL, OF THE CITY OF TORONTO

IN THE PROVINCE OF ONTARIO SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton

IN THE Region OF

Peel THIS 4th DAY OF

Nov., 20 22


A Commissioner etc.



Signature of Applicant or Authorized Agent

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

R1E 14 2503

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Rose Bruno

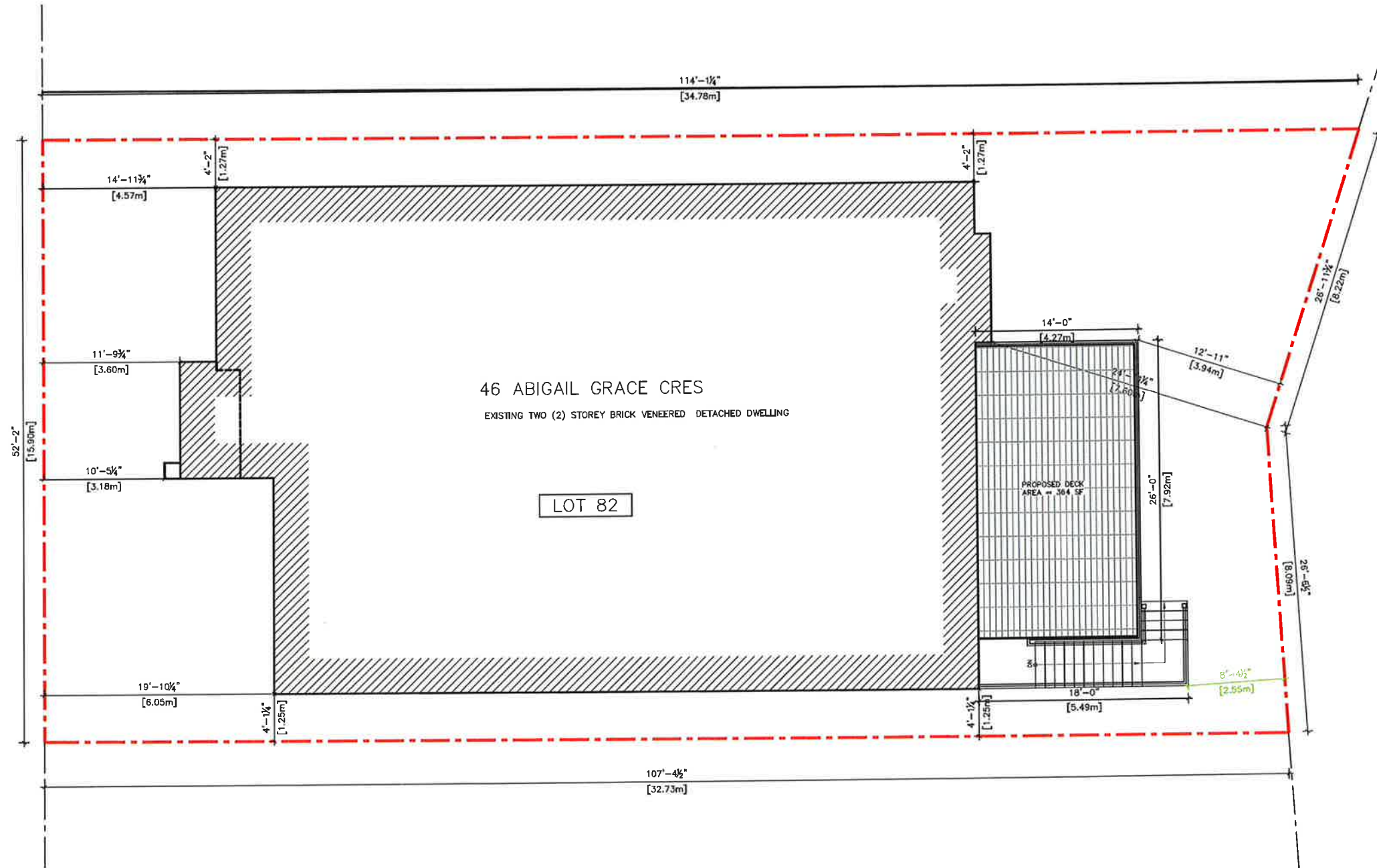
Zoning Officer

October 28, 2022

Date

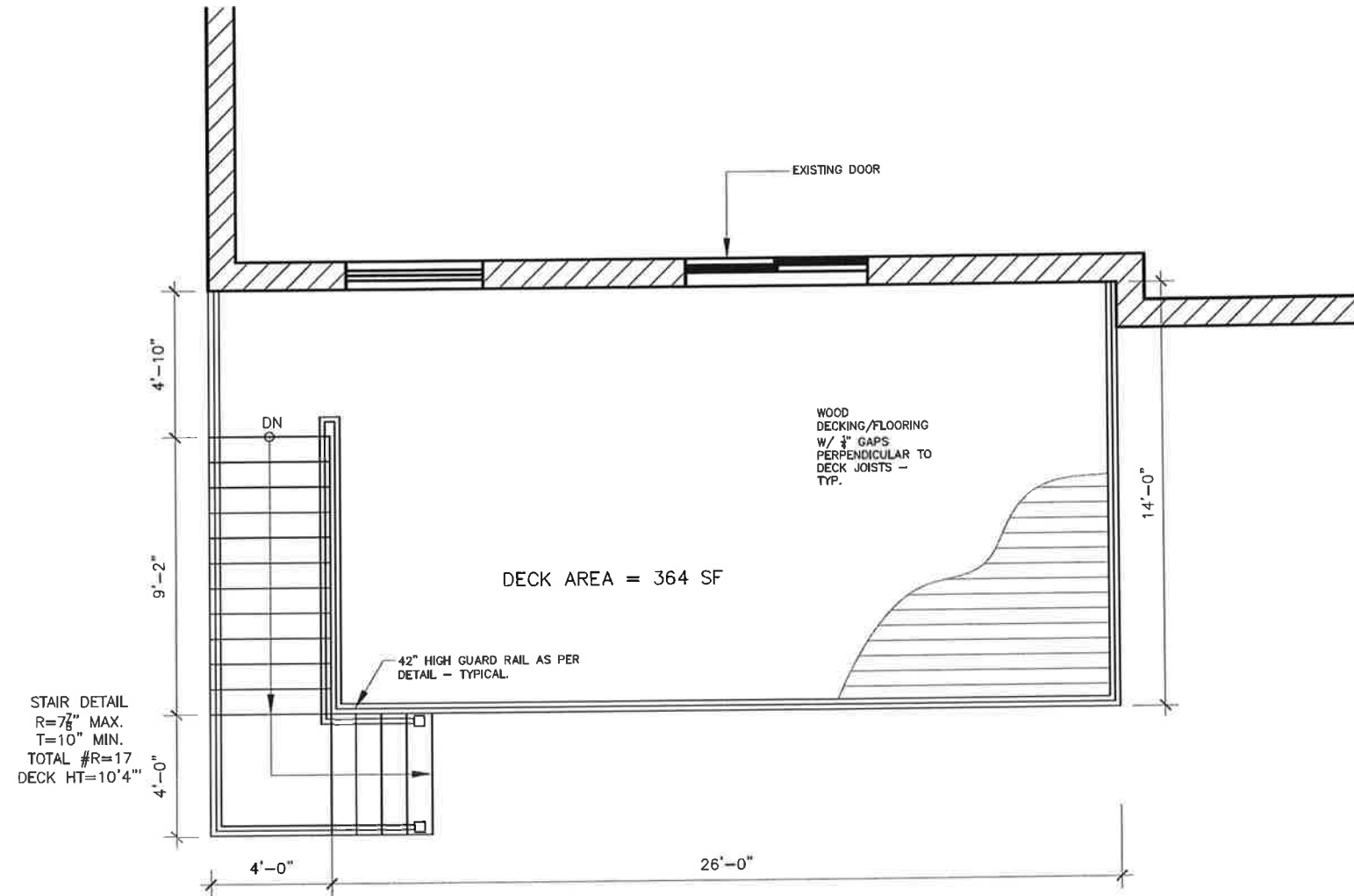
DATE RECEIVED November 4, 2022

ABIGAIL GRACE CRESCENT



46 ABIGAIL GRACE CRES, BRAMPTON

SITE PLAN - SCALE: 3/32"=1'-0" - DATE: NOV 11, 2022



46 ABIGAIL GRACE CRES, BRAMPTON

DECK PLAN - SCALE: 3/32"=1'-0" - DATE: NOV 11, 2022



**Credit Valley
Conservation**
inspired by nature

Credit Valley Conservation Authority

Date of Issuance: November 1, 2022

PERMIT **22/303**

IN ACCORDANCE WITH:

ONTARIO REGULATION 160/06, PURSUANT TO SECTION 28 OF THE CONSERVATION AUTHORITIES ACT (R.S.O. 1990 Chapter C.27).

PERMISSION HAS BEEN GRANTED TO:

Owner Name: Gurpreet Kalra

Tel: 416 300-6300

Address: 46 Abigail Grace Cres, Brampton ON L6X 5R2

Agent Name: Laxman Patel Architect (Laxman Patel)

Tel: 647 967-7937

Address: 21 Markbrook Lane, Suite 1601, Toronto ON M9V 5E4

**Property
Location:** 46 Abigail Grace Crescent
Part Lot 7, Concession 5 WHS
City of Brampton

This permit is issued for the above noted property for the purpose of:

Development in the Regulated Area for the purpose of constructing a deck in the rear yard.

This permit is valid for 2 (two) years and is
subject to the following conditions:

**Expiry
Date:** **November 1, 2024**

CONDITIONS:

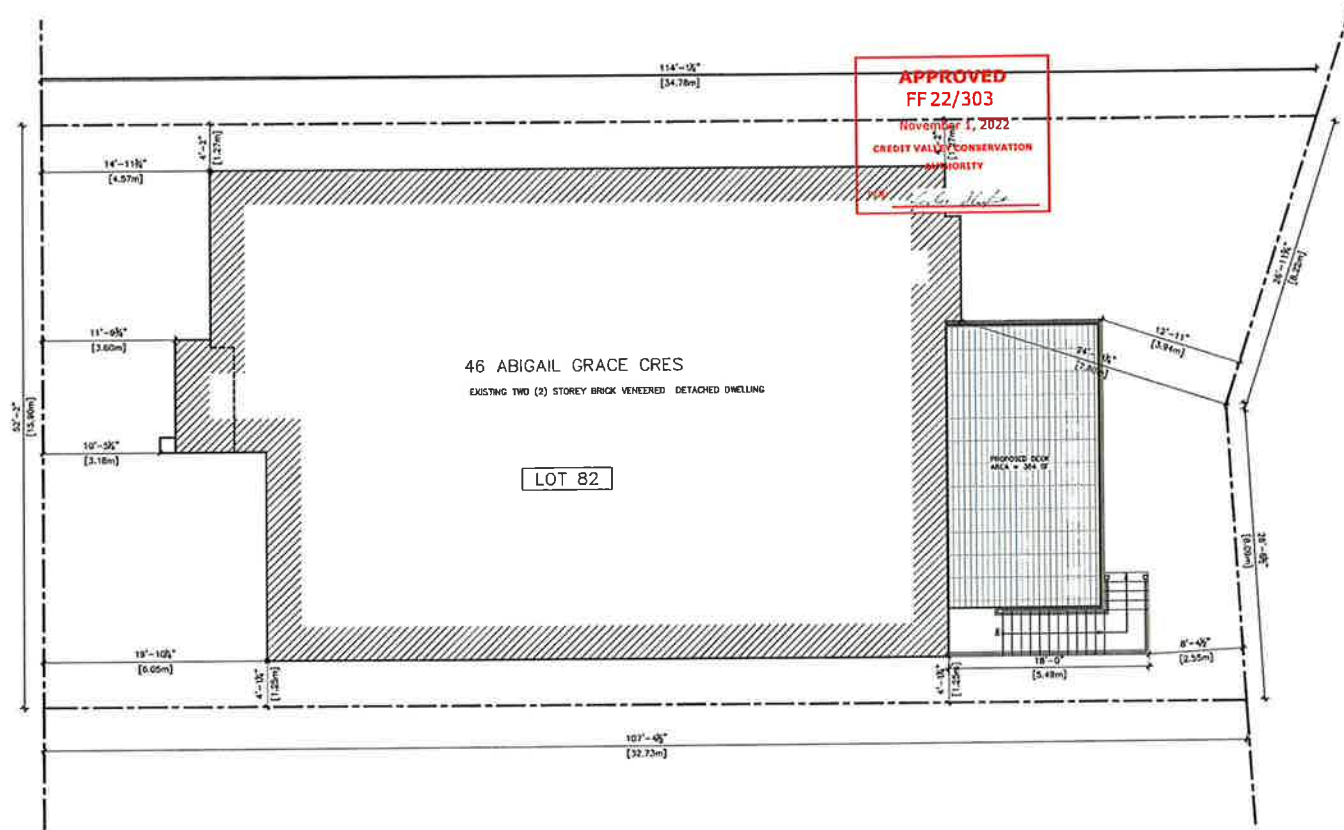
1. That the work be carried out in accordance with the following plans which are marked: **22/303**
 - **Site Plan, prepared by Laxman Patel Architects on Oct 12, 2022 and stamped by CVC on November 1, 2022.**
2. That permission granted herein shall lapse on the above noted expiry date, unless the work for which the permission has been given has been completed. If the work has not been completed by the aforementioned date, this permit is invalid and all on-going and future work must cease and a new application be submitted to the Credit Valley Conservation Authority. New applications will be assessed in accordance with information, policies and practices in place as of the date of receipt of the new submission. What shall be deemed as "complete" is within the sole discretion of the Credit Valley Conservation Authority.
3. That the Credit Valley Conservation Authority be notified 48 hours prior to the commencement of any works and be notified of the completion of the project.
4. That appropriate erosion and sediment control measures must be installed prior to construction and maintained until all disturbed areas have been stabilized.
5. That all disturbed areas be stabilized and restored to existing conditions or better immediately upon completion of the works.

INSPECTIONS MAY BE CARRIED OUT BY CVC STAFF MEMBERS TO ENSURE THAT THE WORK IS UNDERTAKEN AND COMPLETED ACCORDING TO THE APPROVED PLANS.

Be advised that the Credit Valley Conservation Authority may, at any time, withdraw this permission, if, in the opinion of the Authority, the conditions of the permit are not being complied with. This approval does not exempt the property owner/applicant/agent from the provisions of any other Federal, Provincial or Municipal statutes, regulations or by-laws, or any rights under common law.

Regulations Officer

ABIGAIL GRACE CRESCENT



1 SITE PLAN
A01 SCALE: 1/32\"=1'-0"



1601-21 MARKBROOK LANE, TORONTO, ON, M6V 5E4
647 987 7937 E: LAXMAN@KALPARCHITECT.COM

ALL INFORMATION AND DIMENSIONS MUST BE CHECKED AND VERIFIED ON SITE. DO NOT SCALE DRAWINGS. ANY VARIANCES OR DISCREPANCIES MUST BE REPORTED TO THE DESIGNER PRIOR TO COMMENCEMENT OF THE WORK. ALL WORKS SHALL BE CARRIED OUT IN ACCORDANCE WITH ALL BY-LAWS AND CODES HAVING JURISDICTION OVER THIS CONSTRUCTION SITE. THE DESIGN AND CONTRACT DOCUMENTS ARE THE COPYRIGHT OF THE DESIGNER AND MAY NOT BE REPRODUCED, REUSED OR ALTERED WITHOUT THE WRITTEN PERMISSION OF THE DESIGNER.

NO.	BY	DESCRIPTION	DATE
3			
2	LP		
1	LP	ISSUED FOR CVC REVIEW	2022.10.12

PROJECT:
PROPOSED DECK
46 ABIGAIL GRACE CRES, BRAMPTON, ON
DRAWING TITLE:
SITE PLAN

DRAWN BY:	LP
CHECKED BY:	LP
DATE:	2022.10.12
SCALE:	AS NOTED
DRAWING NO.	A01





A-2022-0358