

APPLICATION # A-2022-0356
WARD 3

APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **1146966 ONTARIO LTD.** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Part of Lots 1 and 2, Plan 518 municipally known as **63 EASTERN AVENUE**, Brampton;

AND WHEREAS the applicant is requesting the following variance(s):

1. To permit a front yard setback of 1.5m (4.92 ft.) to a hydro transformer whereas the by-law requires a minimum front yard setback of 15 m (49.21 ft.);
2. To permit a side yard setback of 1.6m (5.25 ft.) to a hydro transformer whereas the by-law requires a minimum side yard depth of 3.0m (9.84 ft.).

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO

File Number: _____

Application for Consent: NO

File Number: _____

The Committee of Adjustment has appointed **TUESDAY, December 6, 2022 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant or another member of the public.

RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this 24th Day of November, 2022

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca

BY PERMIT
ONLY

Van Accessible

Maximum Fine
\$5000
For Enforcement call:
(605) 458-1424



CONCRETE CURB AT PAVERS SIDEWALK
NETT TO SCALE

LOT AREA: 2, 101.52 SF
 BUILDING AREA: 1, 011.52 SF
 COVERAGE: 50.2% (50% (1 STREET)
 UNIMPAVED AREAS: 0.00
 THE PROPOSED LOT IS AT THE CORNER OF WASHINGTON AND WASHINGTON AVE.
 CUSTOMER PRICE PRINCIPAL: UNKNOWN TO PERMITS/CONTRACT = \$7.00
 LOT COVERAGE: 50.2%
 PARKING REQUIREMENTS:
 TOTAL PARKING SPACES REQUIRED: 6 SPACES + 10 CAR SPACES
 TOTAL PARKING SPACES PROVIDED: 20 SPACES
 UNIMPAVED OFFICE SPACE REQUIREMENT IS
 50.5% OF REQUIRED FRONT YARD: 6.14 X 10 X 30.00 = 18.42 SF
 FRONT LANDSCAPE PROVIDED: 77.58 SF

[illegible]

DETAIL
SCALE: N/A

APPROVED
2013/02/09

REV 12

237

STANDARD
VEHICULAR ACCESS

FOR INDUSTRIAL
COMMERCIAL & INSTITUTIONAL

ORIGINAL
1950-11-01

NTS

CONTRACTOR TO BE RESPONSIBLE FOR VERIFYING EX GRADES, LOCATIONS OF ALL EXISTING UNDERGROUND AND ABOVE UTILITIES AND SURFACES. THE CONTRACTOR SHALL ADVISE THE ENGINEER OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH CONSTRUCTION. VARIOUS UTILITIES CONSIDERED TO BE OPEN RECORDING. ADVANCE NOTICE PRIOR TO ANY DISBURS. FOR STAKE OUT. THE ENGINEER ASSUMES RESPONSIBILITY FOR THE ACCURACY OF THE LOCATION OF EXISTING UTILITIES. EX GRADES AS INDICATED ON THIS GRADING.

7.	ADD HYDRO TRANSFORMER	JULY 18-02Z
8.	AS PER CITY COMMENTS	AUG 11-02Z
9.	AS PER CITY COMMENTS	JUNE 08-02
4.	SUBMIT FOR SPA	NOV 15-01
3.	AS PER CITY COMMENTS	OCT 02-00
2.	ISSUED FOR REVIEW	APR 2-19
1.	ISSUED FOR REVIEW	DEC 4-19
NO	DESCRIPTION	DATE

RES DRAFTING SERVICES
8001 WOODBINE AVE. SUITE 222, MARKHAM, ONTARIO L3R 9V7
PHONE: 416-301-5266 FAX: 905-404-8782
email: resdrafting@ymail.com

PROJECT RENOVATIONS TO:
IN N OUT
CAR DETAILING FACILITY
63 EASTERN AVENUE
BRAMPTON, ONTARIO
SPA-2019-0084

DATE NOV 2018	CHECKED BY RUS	CHD BY
DRAWING SITE PLAN		
SCALE 1:200	DWG. No. SP	
PROJECT 018-286		

SP 1

Under the authority of the Emergency Management and Civil Protection Act and the Municipal Act, 2001, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

**Electronic/Hybrid Hearing Procedures
How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **December 6, 2022** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

How to Participate in the Hearing:

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, December 1, 2022.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
 1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, December 1, 2022.**
 2. To participate in-person, please email the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, December 1, 2022.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, December 1, 2022.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html>.

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.



The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law 270-2004.

1. Name of Owner(s) Gurdeep Bhargal 114/966 Ontario LTD.
 Address 103 Eastern Ave
Brampton Ontario
 Phone # 416 885 6156 Fax # _____
 Email gurdeepbhargal@rogers.com
2. Name of Agent AGW Construction Corp
 Address 12626 Winston Churchill Blvd
Halton Hills Ontario L7G 0N7
 Phone # 416 676 0947 Fax # _____
 Email agwconstruction1010@gmail.com
3. Nature and extent of relief applied for (variances requested):
Requesting set back from building
to be 45ft (13.716m) for new
transformer & pad
Front set back 1.5 SIDE set back 1.6m.
4. Why is it not possible to comply with the provisions of the by-law?
The building only has 16.71m metre
setback from property line. Transformer
and pad would sit too close to exit door & garage
door closing
5. Legal Description of the subject land:
 Lot Number 103 Eastern AVE
 Plan Number/Concession Number Plan 519 & LOTS 1, 2
 Municipal Address _____
6. Dimension of subject land (in metric units)
 Frontage 24.34 m
 Depth 28.50 m
 Area 2,156.37 m²
7. Access to the subject land is by:
 Provincial Highway ☐
 Municipal Road Maintained All Year ☒
 Private Right-of-Way ☐
 Seasonal Road ☐
 Other Public Road ☐
 Water ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

581.03m² ground floor area
 581.03m² gross floor area
 1 ground storey
 width 14.9352m, length 43.7628m, length 32.24784m
 height 6.2788m

PROPOSED BUILDINGS/STRUCTURES on the subject land:

N/A

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback 15.424m
 Rear yard setback 29.445m
 Side yard setback 7.446m
 Side yard setback 7.445m

PROPOSED

Front yard setback N/A
 Rear yard setback N/A
 Side yard setback N/A
 Side yard setback N/A

10. Date of Acquisition of subject land: May 31, 2002

11. Existing uses of subject property: Detail Car Center

12. Proposed uses of subject property: Detail Car Center

13. Existing uses of abutting properties: Car wash & towing pond

14. Date of construction of all buildings & structures on subject land: Sept 1, 2021

15. Length of time the existing uses of the subject property have been continued:

16. (a) What water supply is existing/proposed?
 Municipal ☒ Other (specify) _____
 Well ☐

- (b) What sewage disposal is/will be provided?
 Municipal ☒ Other (specify) _____
 Septic ☐

- (c) What storm drainage system is existing/proposed?
 Sewers ☐ Other (specify) _____
 Ditches ☒
 Swales ☐

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____


Signature of Applicant(s) or Authorized Agent

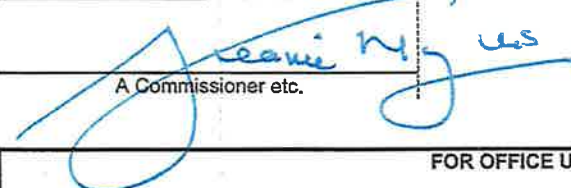
DATED AT THE City OF Brampton
THIS 31 DAY OF Oct, 2022

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

Walter Costa
I, Gardner Bhargat, OF THE City OF Brampton
IN THE Province OF Ontario SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE
City OF Brampton
IN THE Register OF
Lee THIS 15th DAY OF
Nov., 2022


A Commissioner etc.


Signature of Applicant or Authorized Agent

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024.

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

HC1

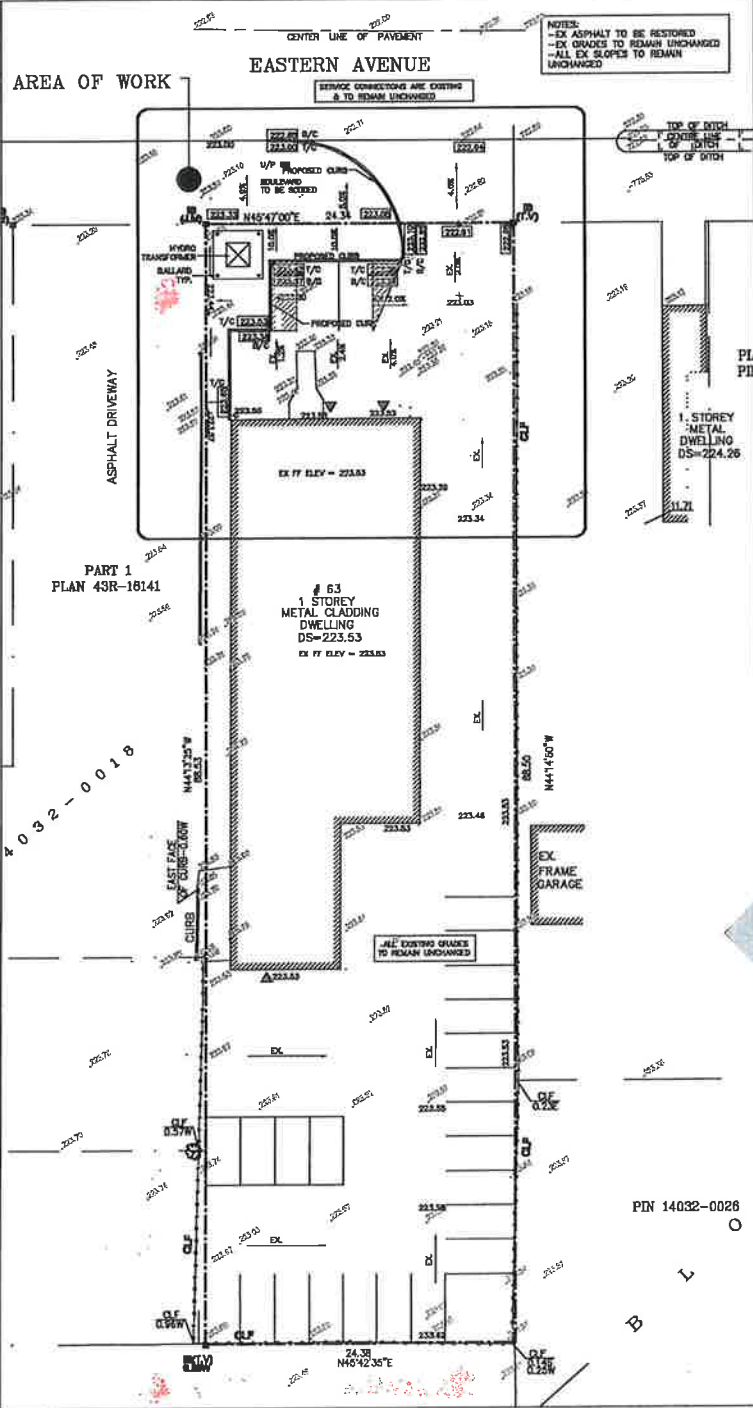
This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

J. Chau
Zoning Officer

November 8, 2022

Date

DATE RECEIVED Nov. 1, 2022



GRADING PLAN

NOTES:
-EX ASPHALT TO BE RESTORED
-EX GRASSES TO REMAIN UNCHANGED
-ALL EX SLOPES TO REMAIN UNCHANGED

GENERAL NOTES
1.0 All the construction work for this project shall comply with the Standard Specifications and Specifications of the OGS and the Ontario Provincial Standards and Specifications and Grading (OPS/G).
2.0 All surface drainage shall be collected and conveyed to a building, together to be approved prior to the issuance of a building permit. Drainage of existing properties shall not be adversely affected.
3.0 Proposed elevations along all property lines must match existing elevations.
4.0 A 300 fence as per OGS Standard 6408 must be placed around the perimeter of the site.
5.0 All all entrances to the site, the road curb and sidewalk all be constructed through the driveway. The driveway grade will be compatible with the existing sidewalk and a curb connection will be provided for at each entrance. Access construction as per OGS Standard 6277.
6.0 Driveway to be removed and replaced as per OPS/G 310.010.
7.0 The surface of the driveway within the existing boundary must be paved with 100mm 11.3 and 50mm 11.2. Sub base to be 100mm Granular "C" (or 150mm of 50mm crushed run Granular) and 300mm Granular "B" (or 250mm of 50mm crushed run Granular) compacted to 100% standard Proctor density.
8.0 A utility clearance radius of 1.2 metres between the proposed driveway apron curb return and all other ground utilities must be maintained.
9.0 Street occupancy / access permit must be obtained 48 hours prior to commencing any work within the municipal road.
10.0 The service connection trench within the traveled portion of the road driveway shall be identified in accordance with the requirements of the road occupancy / access permit application.
11.0 Within the COE's right-of-way, storm sewers and storm water structures must be accessible, or approved signal, with top of building throughout. The strength of the concrete pipe must be as per OGS Standard 6411 and as follows: minimum 60-D for substandard pipe and minimum 12 for non-reinforced pipe.
12.0 The minimum catch basin load diameter shall be 200mm.
13.0 Storm sewer pipe connecting to the COE's storm sewer shall not be smaller than 200mm.
14.0 All catch basin manhole frames and manhole frames with solid covered drains shall have a minimum 5.0 metre ramp and top as per municipal standards.
15.0 Foundation drains shall not be connected to the storm sewer or allow with stormwater management control.
16.0 It is the responsibility of the design engineering consulting firm to ensure that an elevation detail of existing water level is submitted when required setting is present. Cables shall not be less than 4.7 metres from the highest point of the finished pavement to the lowest point of the water table directly above the proposed area to ensure clearance are met.
17.0 The building after on this plan has been designed sitting on a level area in accordance with local municipal standards.
18.0 The owner's attention is drawn to the fact that the storm sewer being proposed underneath the building is not a recommended practice of the COE. It is the sole responsibility of the Owner to have any work to repair any damage to the storm sewer or settlement of the building foundation.



LOCATION MAP

CONTRACTOR TO BE RESPONSIBLE FOR VERIFYING EX GRADES, LOCATIONS OF ALL EXISTING UNDERGROUND AND ABOVE UTILITIES AND SERVICES. THE CONTRACTOR SHALL ADVISE THE ENGINEER OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH CONSTRUCTION. VARIOUS UTILITIES CONCERNED TO BE GRADY REQUIRED ADVANCED NOTICE PRIOR TO ANY DIGGING FOR STAKE OUT. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE LOCATION OF EXISTING UTILITIES, EX GRADES AS INDICATED ON THIS DRAWING.

7	ADD HYDRO TRANSFORMER	JULY 18-022
8	AS PER CITY COMMENTS	JUNE 30-021
3	AS PER CITY COMMENTS	JUNE 08-021
4	SUBMIT FOR SPA	NOV 15-018
3	AS PER CITY COMMENTS	OCT 02-018
2	ISSUED FOR REVIEW	APR 2-19
1	ISSUED FOR REVIEW	DEC 4-18
NO	DESCRIPTION	DATE

REVISIONS



RES DRAFTING SERVICES
8501 WOODBINE AVE. SUITE 222, MARKHAM, ONTARIO L3R 9V1
PHONE: 416-301-0286 FAX: 905-904-8762
email: resdrafting@gmail.com

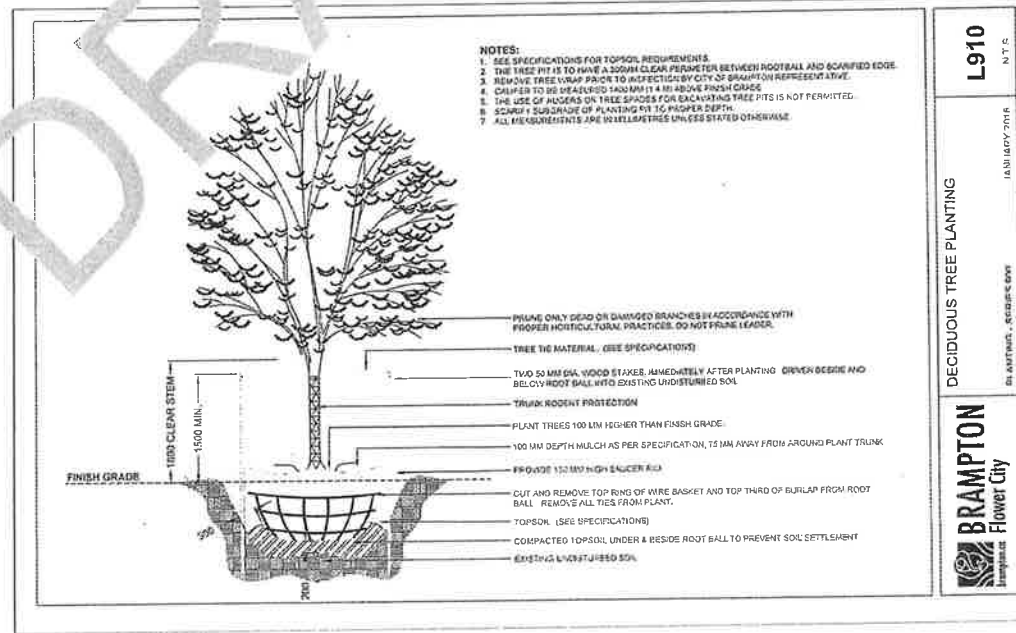


PROJECT RENOVATIONS TO:
IN N OUT
CAR DETAILING FACILITY
63 EASTERN AVENUE
BRAMPTON, ONTARIO
SPA-2019-0064

DATE	NOV 2018	DESIGNED BY	RES	CHECKED BY	
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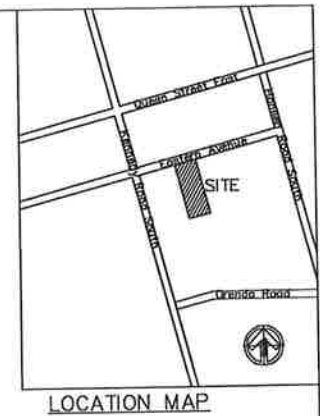
DRAWING
GRADING / SERVING
PLAN

SCALE	1:200	DWG. No.	GR-1
PROJECT	018-286		

[illegible]

CITY OF BRAMPTON
LANDSCAPE PLAN
APPROVED
subject to an agreement ☐
On This _____ Day of _____

Allan Parsons
Director, Development Services



CONTRACTOR TO BE RESPONSIBLE FOR VERIFYING EX GRADES, LOCATIONS OF ALL EXISTING UNDERGROUND AND ABOVE UTILITIES AND SERVICES. THE CONTRACTOR SHALL ADVISE THE ENGINEER OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH CONSTRUCTION. VARIOUS UTILITIES CONCERNED TO BE GIVEN REQUIRED ADVANCED NOTICE PRIOR TO ANY DIGGING, FOR STAKE OUT. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE LOCATION OF EXISTING UTILITIES EX GRASES AS INDICATED ON THIS DRAWING.

7	ADD HYDRO TRANSFORMER	JULY 10-02
8	AS PER CITY COMMENTS	AUG 11-02
9	AS PER CITY COMMENTS	AUG 08-02
4	SUBMIT FOR SFA	NOV 15-01
3	AS PER CITY COMMENTS	OCT 02-01
2	ISSUED FOR REVIEW	APR 2-10
1	ISSUED FOR REVIEW	DEC 4-18
NO	DESCRIPTION	DATE

REVISIONS



RES DRAFTING SERVICES
8801 WOODBINE AVE, SUITE 222, MARLBOROUGH, ONTARIO L3R 9G1
PHONE: 416-301-0285 FAX: 905-804-8782
email: resdrafting@tiscali.com



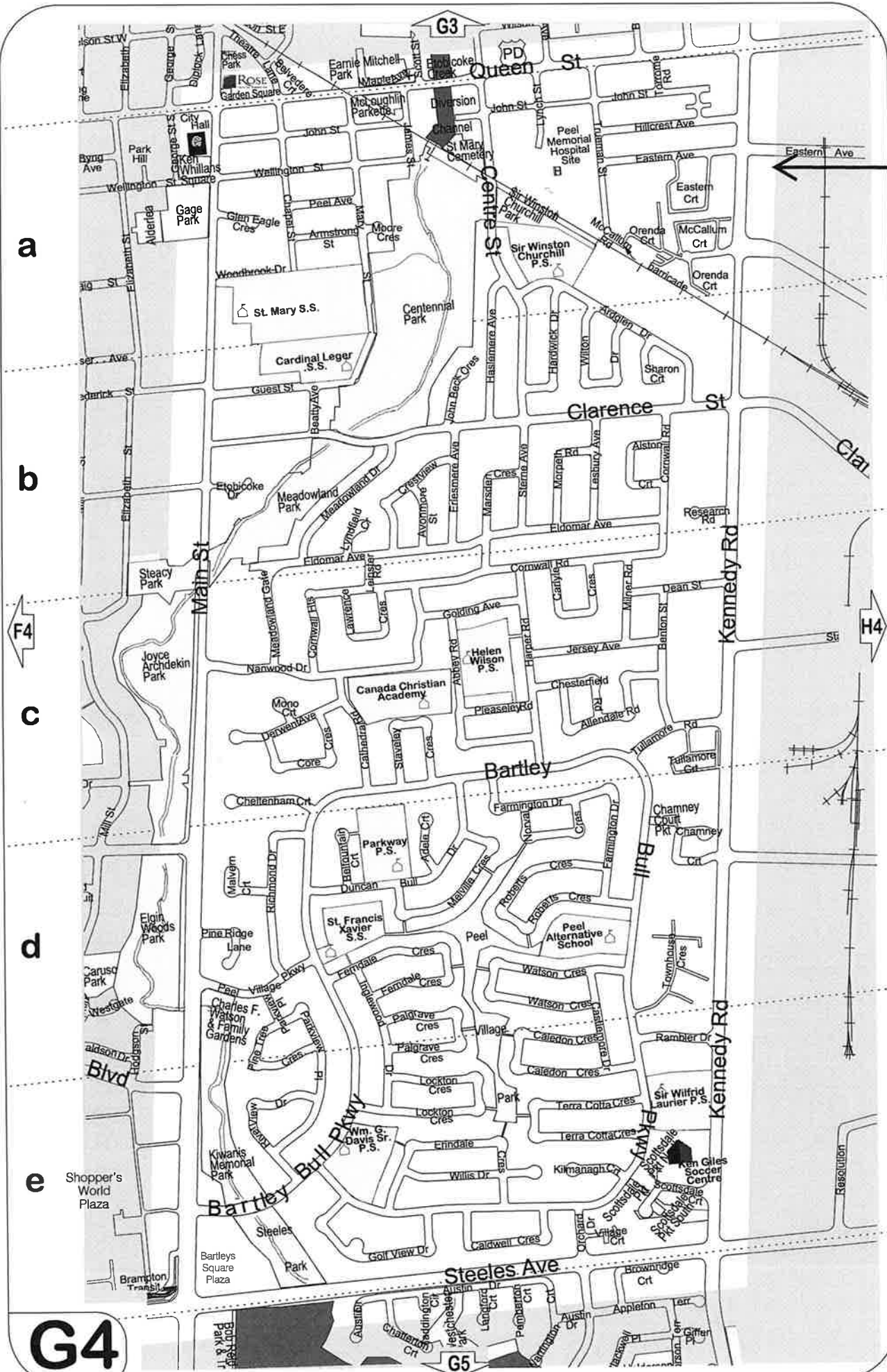
PROJECT RENOVATIONS TO:
IN N OUT
CAR DETAILING FACILITY
63 EASTERN AVENUE
BRAMPTON, ONTARIO
SPA-2019-0064

DATE	CHKD BY	CHD BY
NOV 2018	PES	

GRADING PLAN

SCALE 1:200	DWG. No. L-1
PROJECT D18-28B	

L-1



A-2022-0356

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G4

G5