

APPLICATION # A-2022-0357
WARD 6

APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **FARZIN HAKIMI LOTFABAD** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Part of Lot 4, Plan 43M-1924, Part 3, Plan 43R-35544 municipally known as **259 ROBERT PARKINSON DRIVE**, Brampton;

AND WHEREAS the applicant is requesting the following variance(s):

1. To permit a below grade entrance within a required interior side yard whereas the by-law does not permit a below grade entrance within a required interior side yard;
2. To permit an interior side yard setback of 0.0m to a below grade entrance whereas the by-law requires a minimum interior side yard setback of 1.2m (3.94 ft.);
3. To permit an accessory structure (gazebo) having a gross floor area of 17.84 sq. m (192 sq. ft.) whereas the by-law permits a maximum gross floor area of 15 sq. m (161.46 sq. ft.).

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO

File Number: _____

Application for Consent: NO

File Number: _____

The Committee of Adjustment has appointed **TUESDAY, December 6, 2022 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant or another member of the public.

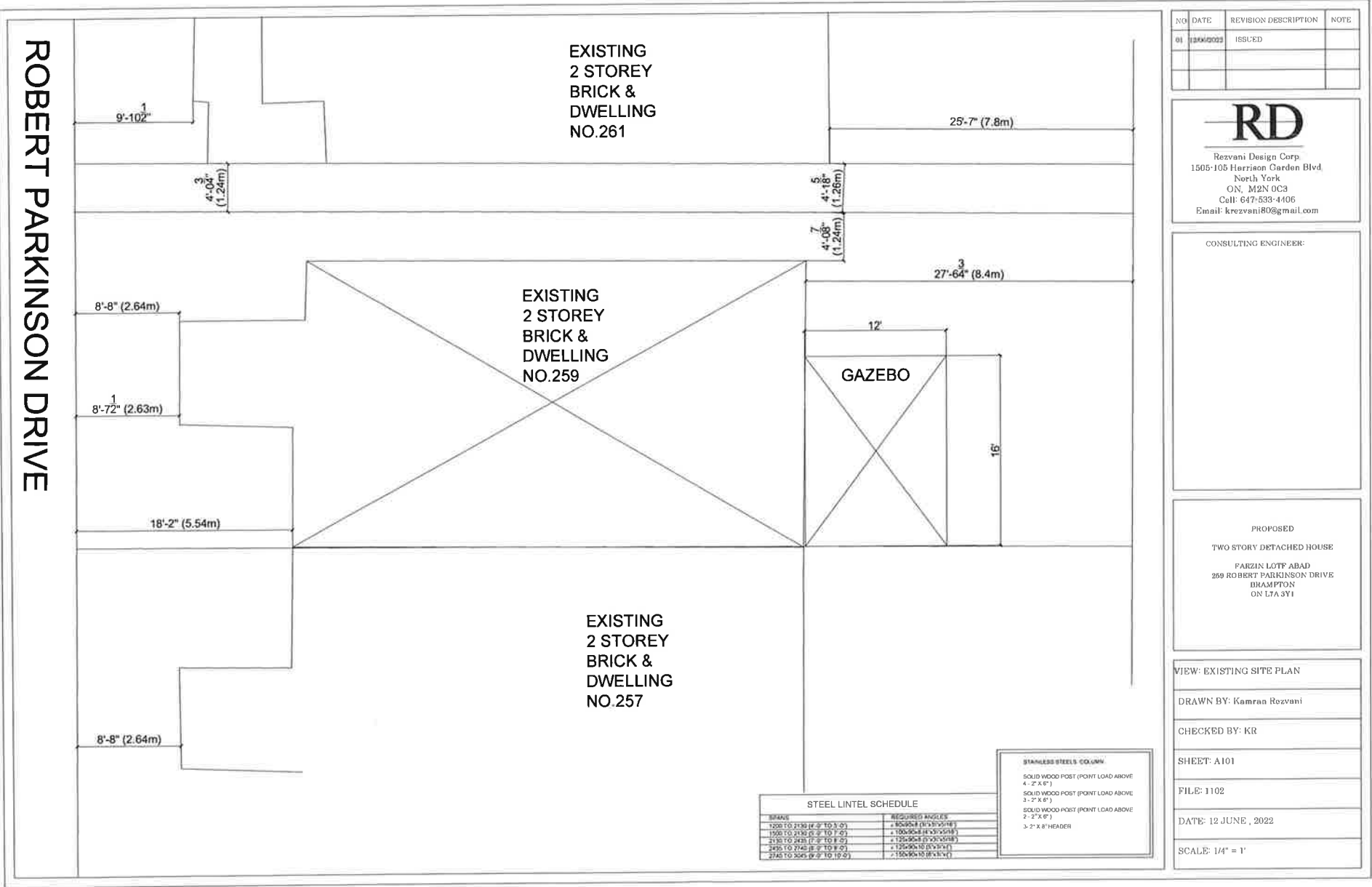
RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this 24th Day of November, 2022

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca



Under the authority of the *Emergency Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

Electronic/Hybrid Hearing Procedures
How to get involved in the Hybrid Hearing

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **December 6, 2022** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

How to Participate in the Hearing:

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, December 1, 2022.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
 1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, December 1, 2022.**
 2. To participate in-person, please email the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, December 1, 2022.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, December 1, 2022.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

AMENDMENT LETTER

November 24, 2022

To: Committee of Adjustment

**RE: APPLICATION FOR MINOR VARIANCE
FARZIN HAKIMI LOTFABAD
PART OF LOT 4, PLAN 43M-1924
A-2022-0357 – 259 ROBERT PARKINSON DRIVE**

Please **amend** application **A-2022-0357** to reflect the following:

1. To permit a below grade entrance within a required interior side yard whereas the by-law does not permit a below grade entrance within a required interior side yard;
2. To permit an interior side yard setback of 0.0m to a below grade entrance whereas the by-law requires a minimum interior side yard setback of 1.2m (3.94 ft.);
3. To permit an accessory structure (gazebo) having a gross floor area of 17.84 sq. m (192 sq. ft.) whereas the by-law permits a maximum gross floor area of 15 sq. m (161.46 sq. ft.).

A handwritten signature in black ink, appearing to read 'K. Rezvani', with a large, stylized flourish above it.

Kamran Rezvani
Applicant/Authorized Agent

Flower City



brampton.ca

For Office Use Only
(to be inserted by the Secretary-Treasurer
after application is deemed complete)

FILE NUMBER: A-2022-0357

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law 270-2004.

1. **Name of Owner(s)** Farzin Hakimi Lotfabad
Address 259 Robert Parkinson Drive Brampton Ontario, Canada L7A 3Y1
Phone # (437) 234-5279 **Fax #** _____
Email hakimi_farzin@hotmail.com

2. **Name of Agent** Kamran Rezvani
Address 1505-105 Harrison Garden Boulevard, North York ON M2N0C3
Phone # (647) 535-4408 **Fax #** _____
Email krezvani80@gmail.com

3. **Nature and extent of relief applied for (variances requested):**

Owner wants to have a side door which needs two steps goes below grade to access into the building
the building department won't issue the permit unless committee of adjustment agrees onto it, because it is semi detach house
but other neighbors got permit and they have done it.

side
To permit a below grade entrance in the required yard.
To permit a 0.0 meters side yard set back to a below grade entrance

4. **Why is it not possible to comply with the provisions of the by-law?**

Building department requires for the site doors to be over the ground if the door goes below the ground it needs to go to committee of adjustment to get permit for it otherwise they wont issue the permit to add a side door

5. **Legal Description of the subject land:** Part of lot 4, Plan 43M-1924, Being Part 3 on Plan 43R-35544, City of Brampton
Lot Number Part of lot 4, plan 43M-1924, being part 3 on plan 43R-35544 City of brampton
Plan Number/Concession Number Plan 43M-1924 Being Part on Plan 43R-35544
Municipal Address 259 Robert Parkinson Drive, Brampton, ON

6. **Dimension of subject land (in metric units)**

Frontage 8.65m 8.65 m
Depth 27m 27.1 m
Area 233.11 233.11 Squire Meter

7. **Access to the subject land is by:**

Provincial Highway ☐
Municipal Road Maintained All Year ☐
Private Right-of-Way ☐

Seasonal Road ☐
Other Public Road ☐
Water ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

Ground Floor Area: 97m
Gross Floor Area: 183m
Stories: 2
Width: 7.29m
Depth: 15.9m

PROPOSED BUILDINGS/STRUCTURES on the subject land:

Build on March 2013

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback 5.86m North left side and 5.54 North right side
Rear yard setback 8.4m
Side yard setback 1.27m Left Side
Side yard setback Attached Right side

PROPOSED

Front yard setback
Rear yard setback
Side yard setback
Side yard setback

10. Date of Acquisition of subject land: 2014
11. Existing uses of subject property: Residential
12. Proposed uses of subject property: Residential
13. Existing uses of abutting properties: Residential
14. Date of construction of all buildings & structures on subject land: 2013
15. Length of time the existing uses of the subject property have been continued: ~~20~~ 9 Years
16. (a) What water supply is existing/proposed?
Municipal ☒
Well ☐ Other (specify) _____
- (b) What sewage disposal is/will be provided?
Municipal ☒
Septic ☐ Other (specify) _____
- (c) What storm drainage system is existing/proposed?
Sewers ☒
Ditches ☐
Swales ☐ Other (specify) _____

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?


Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____


Signature of Applicant(s) or Authorized Agent

DATED AT THE 10 August, 2022 OF _____

THIS 10 DAY OF August, 2022.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Kamran Rezvani, OF THE Owner OF Rezvani Design Corp.

IN THE _____ OF _____ SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.


DECLARED BEFORE ME AT THE

City OF Brampton

IN THE Region OF _____

Paul THIS 10 DAY OF _____

August 10, 2022.


A Commissioner etc.

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024.


Signature of Applicant or Authorized Agent

Submit by Email

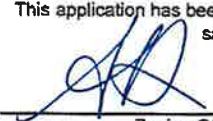
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Present Official Plan Designation:

Present Zoning By-law Classification:

R2E-7.2-2229

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.


Zoning Officer

SEPT. 27. 22
Date

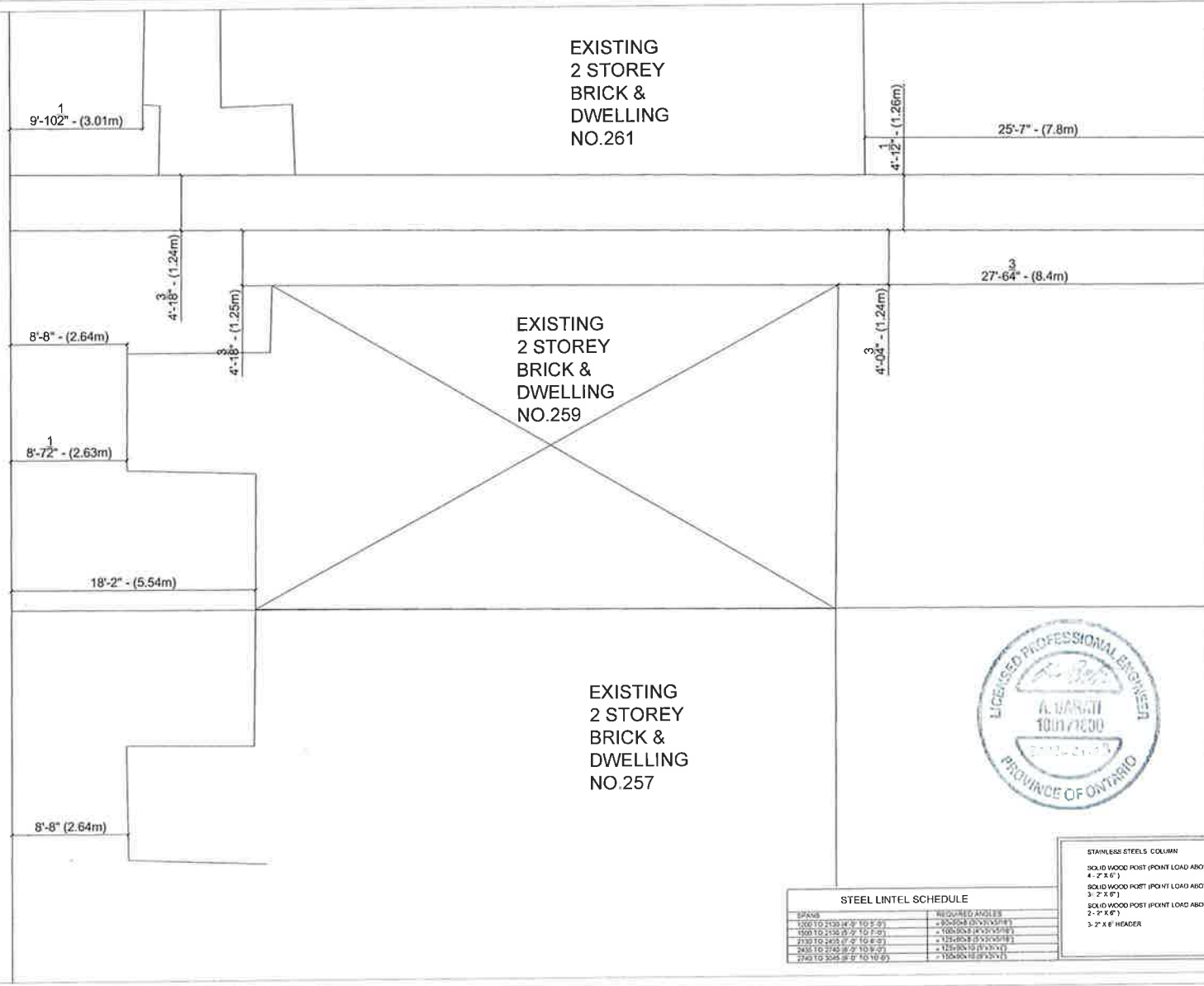
DATE RECEIVED

November 3, 2022

Date Application Deemed
Complete by the Municipality

Revised 2022/02/17

ROBERT PARKINSON DRIVE



NO	DATE	REVISION DESCRIPTION	NOTE
01	25/06/2022	ISSUED	

RD

Rezvani Design Corp.
1505-105 Harrison Garden Blvd.
North York
ON, M2N 0C3
Cell: 647-633-4406
Email: krezvani80@gmail.com

CONSULTING ENGINEER:

PROPOSED
TWO STORY DETACHED HOUSE
FARZIN LOTF ABAD
259 ROBERT PARKINSON DRIVE
BRAMPTON
ON L7A 3Y1

VIEW: EXISTING SITE PLAN

DRAWN BY: Komran Rezvani

CHECKED BY: KR

SHEET: A101

FILE: 1102

DATE: 12 JUNE , 2022

SCALE: 1/4" = 1'

EXISTING 2 STOREY BRICK & DWELLING NO.261

EXISTING 2 STOREY BRICK & DWELLING NO.259

EXISTING 2 STOREY BRICK & DWELLING NO.257

NEW 8' X 8' PORCH

STEEL LINTEL SCHEDULE

SPAN	REQUIRED ANGLE
120 TO 210 (4' 0" TO 5' 0")	= 80/90/8 (3' 0" X 1/8")
160 TO 210 (5' 0" TO 7' 0")	= 100/90/8 (3' 0" X 1/8")
210 TO 240 (7' 0" TO 8' 0")	= 125/90/8 (3' 0" X 1/8")
240 TO 254 (8' 0" TO 8' 2")	= 150/90/8 (3' 0" X 1/8")
254 TO 304 (8' 2" TO 10' 0")	= 150/90/10 (3' 0" X 1/8")

STAINLESS STEEL COLUMN

SOLID WOOD POST (POINT LOAD ABOVE 4' X 6")

SOLID WOOD POST (POINT LOAD ABOVE 3' 7" X 6")

SOLID WOOD POST (POINT LOAD ABOVE 2' X 4")

3' 2" X 6" HEADER

LICENSED PROFESSIONAL ENGINEER
A. DAKIN
10/07/2000
PROVINCE OF ONTARIO

RD
Rezvani Design Corp
1505-105 Harrison Garden Blvd,
North York
ON, M2N 0C3
Call: 647-533-4406
Email: krezvani80@gmail.com

CONSULTING ENGINEER:

PROPOSED
TWO STORY DETACHED HOUSE
FARZIN LOTF ABAD
259 ROBERT PARKINSON DRIVE
BRAMPTON
ON L7A 3Y1

VIEW: PROPOSED SITE PLAN

DRAWN BY: Komron Rezvani

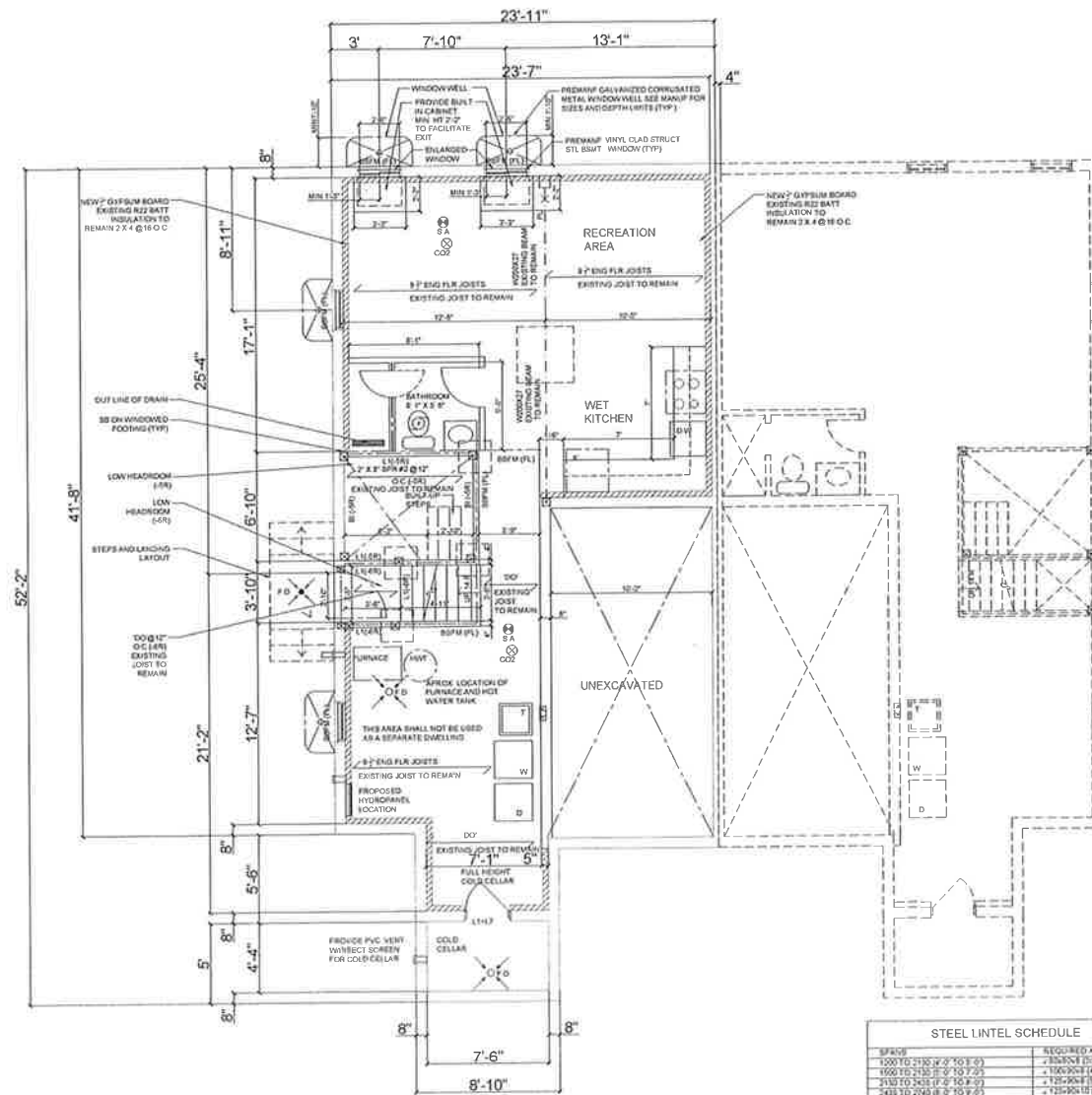
CHECKED BY: KR

SHEET: A102

FILE: 1102

DATE: 12 JUNE 2022

SCALE: 1/4" = 1'



STEEL LINTEL SCHEDULE	
SPAN	REQUIRED LINTELS
1200 TO 1300 (8' 0" TO 10' 8")	2 100#10 (10' 0" TO 10' 8")
1300 TO 1400 (10' 8" TO 12' 0")	2 100#10 (10' 8" TO 12' 0")
1400 TO 1500 (12' 0" TO 13' 2")	2 100#10 (12' 0" TO 13' 2")
1500 TO 1600 (13' 2" TO 14' 4")	2 100#10 (13' 2" TO 14' 4")
1600 TO 1700 (14' 4" TO 15' 6")	2 100#10 (14' 4" TO 15' 6")
1700 TO 1800 (15' 6" TO 16' 8")	2 100#10 (15' 6" TO 16' 8")
1800 TO 1900 (16' 8" TO 18' 0")	2 100#10 (16' 8" TO 18' 0")
1900 TO 2000 (18' 0" TO 19' 2")	2 100#10 (18' 0" TO 19' 2")
2000 TO 2100 (19' 2" TO 20' 4")	2 100#10 (19' 2" TO 20' 4")
2100 TO 2200 (20' 4" TO 21' 6")	2 100#10 (20' 4" TO 21' 6")
2200 TO 2300 (21' 6" TO 22' 8")	2 100#10 (21' 6" TO 22' 8")
2300 TO 2400 (22' 8" TO 24' 0")	2 100#10 (22' 8" TO 24' 0")
2400 TO 2500 (24' 0" TO 25' 2")	2 100#10 (24' 0" TO 25' 2")
2500 TO 2600 (25' 2" TO 26' 4")	2 100#10 (25' 2" TO 26' 4")
2600 TO 2700 (26' 4" TO 27' 6")	2 100#10 (26' 4" TO 27' 6")
2700 TO 2800 (27' 6" TO 28' 8")	2 100#10 (27' 6" TO 28' 8")
2800 TO 2900 (28' 8" TO 30' 0")	2 100#10 (28' 8" TO 30' 0")
2900 TO 3000 (30' 0" TO 31' 2")	2 100#10 (30' 0" TO 31' 2")
3000 TO 3100 (31' 2" TO 32' 4")	2 100#10 (31' 2" TO 32' 4")
3100 TO 3200 (32' 4" TO 33' 6")	2 100#10 (32' 4" TO 33' 6")
3200 TO 3300 (33' 6" TO 34' 8")	2 100#10 (33' 6" TO 34' 8")
3300 TO 3400 (34' 8" TO 36' 0")	2 100#10 (34' 8" TO 36' 0")
3400 TO 3500 (36' 0" TO 37' 2")	2 100#10 (36' 0" TO 37' 2")
3500 TO 3600 (37' 2" TO 38' 4")	2 100#10 (37' 2" TO 38' 4")
3600 TO 3700 (38' 4" TO 39' 6")	2 100#10 (38' 4" TO 39' 6")
3700 TO 3800 (39' 6" TO 40' 8")	2 100#10 (39' 6" TO 40' 8")
3800 TO 3900 (40' 8" TO 42' 0")	2 100#10 (40' 8" TO 42' 0")
3900 TO 4000 (42' 0" TO 43' 2")	2 100#10 (42' 0" TO 43' 2")
4000 TO 4100 (43' 2" TO 44' 4")	2 100#10 (43' 2" TO 44' 4")
4100 TO 4200 (44' 4" TO 45' 6")	2 100#10 (44' 4" TO 45' 6")
4200 TO 4300 (45' 6" TO 46' 8")	2 100#10 (45' 6" TO 46' 8")
4300 TO 4400 (46' 8" TO 48' 0")	2 100#10 (46' 8" TO 48' 0")
4400 TO 4500 (48' 0" TO 49' 2")	2 100#10 (48' 0" TO 49' 2")
4500 TO 4600 (49' 2" TO 50' 4")	2 100#10 (49' 2" TO 50' 4")
4600 TO 4700 (50' 4" TO 51' 6")	2 100#10 (50' 4" TO 51' 6")
4700 TO 4800 (51' 6" TO 52' 8")	2 100#10 (51' 6" TO 52' 8")
4800 TO 4900 (52' 8" TO 54' 0")	2 100#10 (52' 8" TO 54' 0")
4900 TO 5000 (54' 0" TO 55' 2")	2 100#10 (54' 0" TO 55' 2")
5000 TO 5100 (55' 2" TO 56' 4")	2 100#10 (55' 2" TO 56' 4")
5100 TO 5200 (56' 4" TO 57' 6")	2 100#10 (56' 4" TO 57' 6")
5200 TO 5300 (57' 6" TO 58' 8")	2 100#10 (57' 6" TO 58' 8")
5300 TO 5400 (58' 8" TO 60' 0")	2 100#10 (58' 8" TO 60' 0")
5400 TO 5500 (60' 0" TO 61' 2")	2 100#10 (60' 0" TO 61' 2")
5500 TO 5600 (61' 2" TO 62' 4")	2 100#10 (61' 2" TO 62' 4")
5600 TO 5700 (62' 4" TO 63' 6")	2 100#10 (62' 4" TO 63' 6")
5700 TO 5800 (63' 6" TO 64' 8")	2 100#10 (63' 6" TO 64' 8")
5800 TO 5900 (64' 8" TO 66' 0")	2 100#10 (64' 8" TO 66' 0")
5900 TO 6000 (66' 0" TO 67' 2")	2 100#10 (66' 0" TO 67' 2")
6000 TO 6100 (67' 2" TO 68' 4")	2 100#10 (67' 2" TO 68' 4")
6100 TO 6200 (68' 4" TO 69' 6")	2 100#10 (68' 4" TO 69' 6")
6200 TO 6300 (69' 6" TO 70' 8")	2 100#10 (69' 6" TO 70' 8")
6300 TO 6400 (70' 8" TO 72' 0")	2 100#10 (70' 8" TO 72' 0")
6400 TO 6500 (72' 0" TO 73' 2")	2 100#10 (72' 0" TO 73' 2")
6500 TO 6600 (73' 2" TO 74' 4")	2 100#10 (73' 2" TO 74' 4")
6600 TO 6700 (74' 4" TO 75' 6")	2 100#10 (74' 4" TO 75' 6")
6700 TO 6800 (75' 6" TO 76' 8")	2 100#10 (75' 6" TO 76' 8")
6800 TO 6900 (76' 8" TO 78' 0")	2 100#10 (76' 8" TO 78' 0")
6900 TO 7000 (78' 0" TO 79' 2")	2 100#10 (78' 0" TO 79' 2")
7000 TO 7100 (79' 2" TO 80' 4")	2 100#10 (79' 2" TO 80' 4")
7100 TO 7200 (80' 4" TO 81' 6")	2 100#10 (80' 4" TO 81' 6")
7200 TO 7300 (81' 6" TO 82' 8")	2 100#10 (81' 6" TO 82' 8")
7300 TO 7400 (82' 8" TO 84' 0")	2 100#10 (82' 8" TO 84' 0")
7400 TO 7500 (84' 0" TO 85' 2")	2 100#10 (84' 0" TO 85' 2")
7500 TO 7600 (85' 2" TO 86' 4")	2 100#10 (85' 2" TO 86' 4")
7600 TO 7700 (86' 4" TO 87' 6")	2 100#10 (86' 4" TO 87' 6")
7700 TO 7800 (87' 6" TO 88' 8")	2 100#10 (87' 6" TO 88' 8")
7800 TO 7900 (88' 8" TO 90' 0")	2 100#10 (88' 8" TO 90' 0")
7900 TO 8000 (90' 0" TO 91' 2")	2 100#10 (90' 0" TO 91' 2")
8000 TO 8100 (91' 2" TO 92' 4")	2 100#10 (91' 2" TO 92' 4")
8100 TO 8200 (92' 4" TO 93' 6")	2 100#10 (92' 4" TO 93' 6")
8200 TO 8300 (93' 6" TO 94' 8")	2 100#10 (93' 6" TO 94' 8")
8300 TO 8400 (94' 8" TO 96' 0")	2 100#10 (94' 8" TO 96' 0")
8400 TO 8500 (96' 0" TO 97' 2")	2 100#10 (96' 0" TO 97' 2")
8500 TO 8600 (97' 2" TO 98' 4")	2 100#10 (97' 2" TO 98' 4")
8600 TO 8700 (98' 4" TO 99' 6")	2 100#10 (98' 4" TO 99' 6")
8700 TO 8800 (99' 6" TO 100' 8")	2 100#10 (99' 6" TO 100' 8")
8800 TO 8900 (100' 8" TO 102' 0")	2 100#10 (100' 8" TO 102' 0")
8900 TO 9000 (102' 0" TO 103' 2")	2 100#10 (102' 0" TO 103' 2")
9000 TO 9100 (103' 2" TO 104' 4")	2 100#10 (103' 2" TO 104' 4")
9100 TO 9200 (104' 4" TO 105' 6")	2 100#10 (104' 4" TO 105' 6")
9200 TO 9300 (105' 6" TO 106' 8")	2 100#10 (105' 6" TO 106' 8")
9300 TO 9400 (106' 8" TO 108' 0")	2 100#10 (106' 8" TO 108' 0")
9400 TO 9500 (108' 0" TO 109' 2")	2 100#10 (108' 0" TO 109' 2")
9500 TO 9600 (109' 2" TO 110' 4")	2 100#10 (109' 2" TO 110' 4")
9600 TO 9700 (110' 4" TO 111' 6")	2 100#10 (110' 4" TO 111' 6")
9700 TO 9800 (111' 6" TO 112' 8")	2 100#10 (111' 6" TO 112' 8")
9800 TO 9900 (112' 8" TO 114' 0")	2 100#10 (112' 8" TO 114' 0")
9900 TO 10000 (114' 0" TO 115' 2")	2 100#10 (114' 0" TO 115' 2")



□	STAINLESS STEEL COLUMN
□	SOLID WOOD POST (POINT LOAD ABOVE 4' 2" X 6")
□	SOLID WOOD POST (POINT LOAD ABOVE 3' 2" X 6")
□	SOLID WOOD POST (POINT LOAD ABOVE 2' 2" X 6")
□	3" 2" X 6" HEADER

NO	DATE	REVISION DESCRIPTION	NOTE
01	12/06/2022	ISSUED	



Rezvani Design Corp.
1505-105 Harrison Garden Blvd.
North York
ON, M2N 0C3
Cell: 647-533-4406
Email: krezvani80@gmail.com

CONSULTING ENGINEER:

PROPOSED
TWO STORY DETACHED HOUSE
FARZIN LOTF ABAD
259 ROBERT PARKINSON DRIVE
BRAMPTON
ON L7A 3Y1

VIEW: PROPOSED BASEMENT FLOOR PLAN

DRAWN BY: Kamran Rezvani

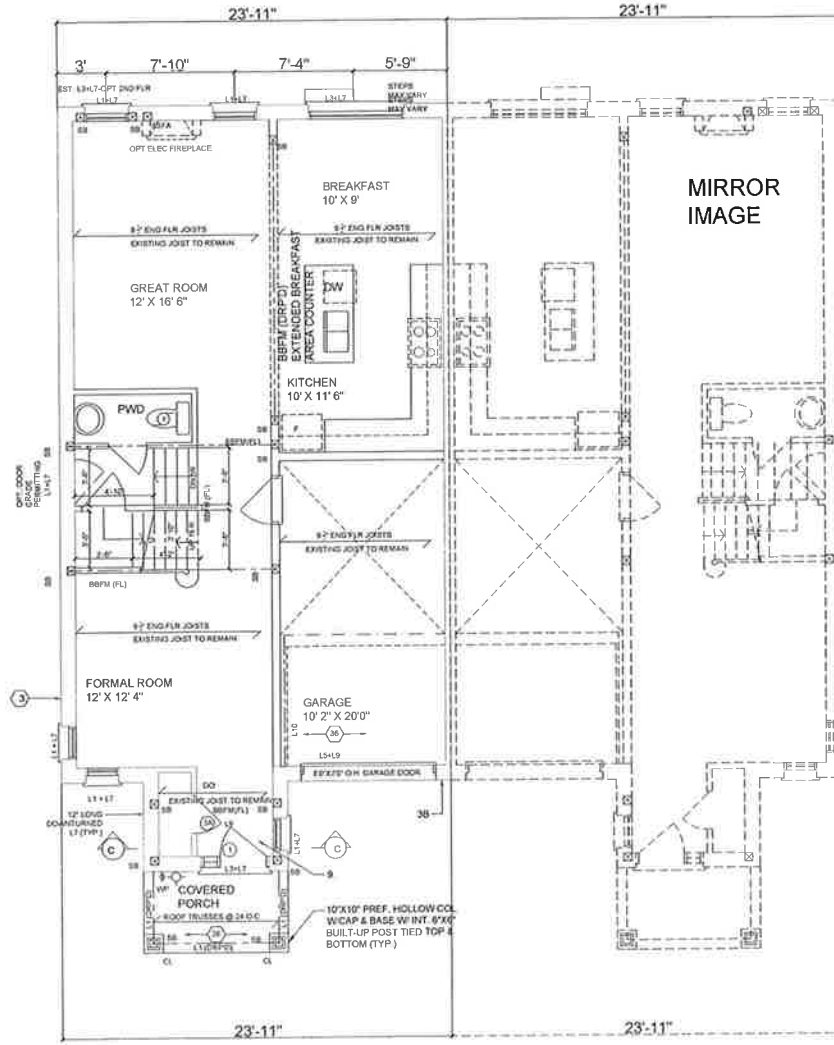
CHECKED BY: KR

SHEET: A101

FILE: 1102

DATE: 12 JUNE 2022

SCALE: 1/4" = 1'



STEEL LINTEL SCHEDULE			
SPACING	SPAN	W/ WEIGHT	W/ WEIGHT
100 TO 210	11' 8" TO 9' 2"	100 TO 210	11' 8" TO 9' 2"
100 TO 210	11' 8" TO 9' 2"	100 TO 210	11' 8" TO 9' 2"
100 TO 210	11' 8" TO 9' 2"	100 TO 210	11' 8" TO 9' 2"
100 TO 210	11' 8" TO 9' 2"	100 TO 210	11' 8" TO 9' 2"
100 TO 210	11' 8" TO 9' 2"	100 TO 210	11' 8" TO 9' 2"
100 TO 210	11' 8" TO 9' 2"	100 TO 210	11' 8" TO 9' 2"
100 TO 210	11' 8" TO 9' 2"	100 TO 210	11' 8" TO 9' 2"
100 TO 210	11' 8" TO 9' 2"	100 TO 210	11' 8" TO 9' 2"
100 TO 210	11' 8" TO 9' 2"	100 TO 210	11' 8" TO 9' 2"



STAINLESS STEEL COLUMN
SOLID WOOD POST (POINT LOAD ABOVE 4' - 2" X 6")
SOLID WOOD POST (POINT LOAD ABOVE 3' - 2" X 6")
SOLID WOOD POST (POINT LOAD ABOVE 2' - 2" X 6")
3' - 2" X 8" HEADER

NO.	DATE	REVISION DESCRIPTION	NOTE
01	12/06/2022	ISSUED	

RD
Rezvani Design Corp.
1505-105 Harrison Garden Blvd.
North York
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Email: krezvani80@gmail.com

CONSULTING ENGINEER:

PROPOSED
TWO STORY DETACHED HOUSE
FARZIN LOTF ABAD
289 ROBERT PARKINSON DRIVE
BRAMPTON
ON L7A 3Y1

VIEW: EXISTING FIRST FLOOR PLAN

DRAWN BY: Komran Rezvani

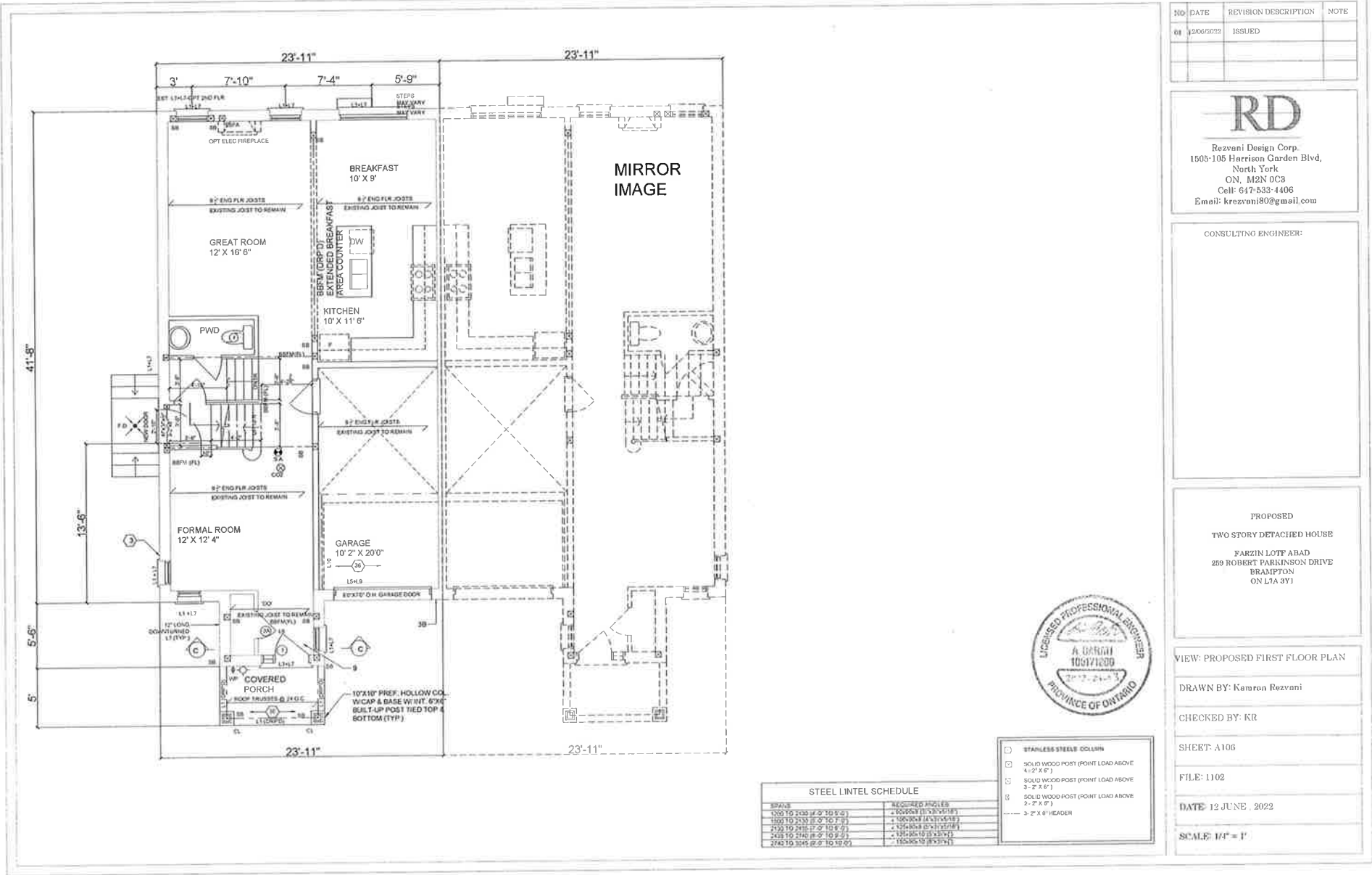
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SHEET: A105

FILE: 1102

DATE: 12 JUNE , 2022

SCALE: 1/4" = 1'



NO	DATE	REVISION DESCRIPTION	NOT
01	12/05/22	ISSUED	

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CONSULTING ENGINEER:

PROPOSED
TWO STORY DETACHED HOUSE
FARZIN LOTF ABAD
259 ROBERT PARKINSON DRIVE
BRAMPTON
ON L7A 3Y1

VIEW: EXISTING LEFT ELEVATION

DRAWN BY: Kamran Rezvani

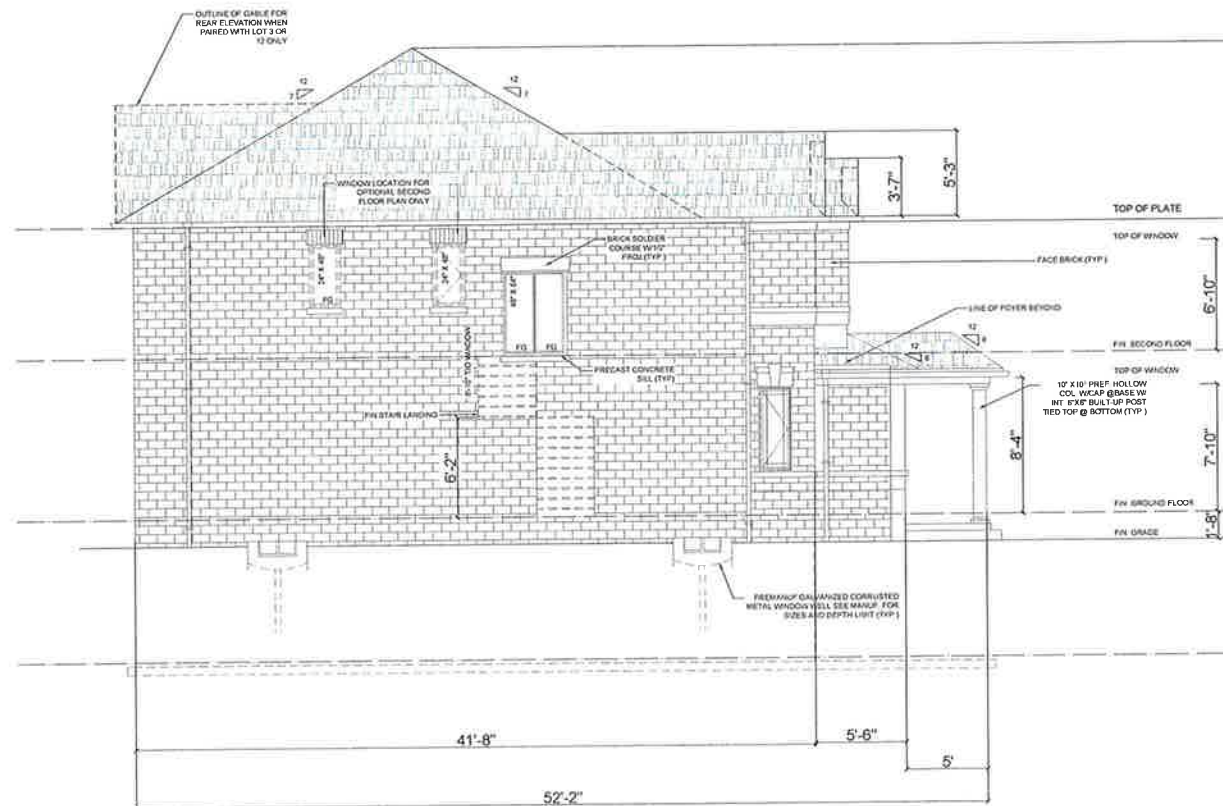
CHECKED BY: KR

SHEET: A107

FILE: 1102

DATE: 12 JUNE 2022

SCALE: 1/4" = 1'



STEEL LINTEL SCHEDULE	
SPACE	REQUIRED ANGLE
1200 TO 2150 (F.O. TO 5'-0")	2 90°x50x8 (3/16"x5/16")
1500 TO 2150 (F.O. TO 7'-0")	2 100°x60x8 (3/16"x5/16")
2150 TO 2475 (F.O. TO 8'-0")	2 125°x60x8 (3/16"x5/16")
2475 TO 2740 (F.O. TO 9'-0")	2 125°x60x10 (3/16"x5/16")
2740 TO 3045 (F.O. TO 10'-0")	2 150°x60x10 (3/16"x5/16")



- STAINLESS STEEL COLUMN**
- SOLID WOOD POST (POINT LOAD ABOVE
4" 2" X 6")
- SOLID WOOD POST (POINT LOAD ABOVE
3" 2" X 6")
- SOLID WOOD POST (POINT LOAD ABOVE
2" 2" X 6")
- 3" 2" X 8" HEADER

NO	DATE	REVISION DESCRIPTION	NO
01	2008/2022	ISSUED	

RD

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CONSULTING ENGINEER:

PROPOSED
TWO STORY DETACHED HOUSE
FARZIN LOTF ABAD
259 ROBERT PARKINSON DRIVE
BRAMPTON
ON L7A 3Y1

VIEW: PROPOSED LEFT ELEVATION

DRAWN BY: Komran Rezvani

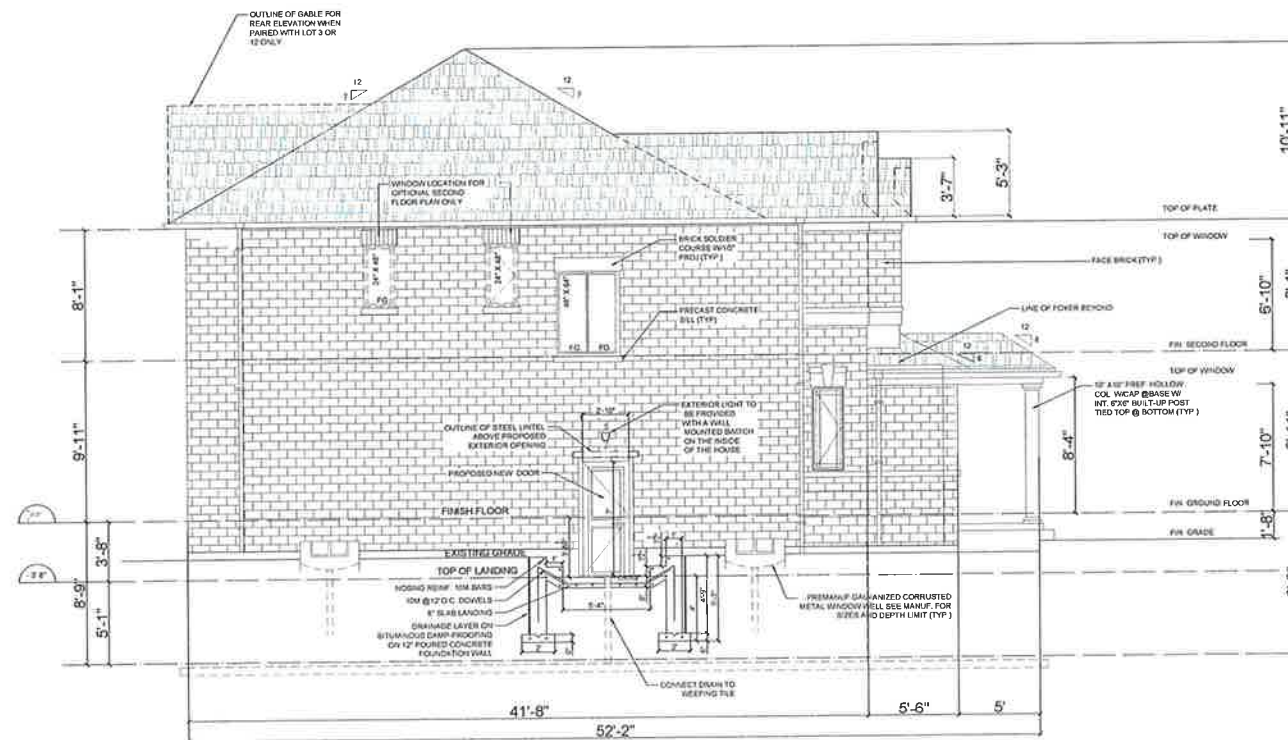
CHECKED BY: KR

SHEET: A108

FILE: 1102

DATE: 12 JUNE , 2022

SCALE: 1/4" = 1'

STEEL LINTEL SCHEDULE

SPANS	REQUIRED ANGLES
1500 TO 2150 (F-2 TO F-3)	2 80°-90° (4-3-2-1)
1600 TO 2150 (F-3 TO F-4)	2 120°-90° (4-3-1-2)
2150 TO 2450 (F-4 TO F-5)	2 120°-90° (5-3-2-1)
2450 TO 2745 (F-5 TO F-6)	2 120°-90° (6-3-2-1)
2745 TO 3045 (F-6 TO F-7)	2 120°-90° (7-3-2-1)

STAINLESS STEEL COLUMN

1- SOLID WOOD POST (POINT LOAD ABOVE 4'-2" X 6")
2- SOLID WOOD POST (POINT LOAD ABOVE 3'-2" X 6")
3- SOLID WOOD POST (POINT LOAD ABOVE 2'-2" X 6")
4- 3'-2" X 8" HEADER

NO	DATE	REVISION DESCRIPTION	NOT
01	12/06/2022	ISSUED	

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CONSULTING ENGINEER:

PROPOSED
TWO STORY DETACHED HOUSE
FARZIN LOTF ABAD
259 ROBERT PARKINSON DRIVE
BRAMPTON
ON L7A 3Y1

VIEW: EXISTING SOUTH ELEVATION

DRAWN BY: Kamran Rezvani

CHECKED BY: KR

SHEET A109

FILE: 1102

DATE: 12 JUNE, 2022

SCALE: 1/4" = 1'

STEEL LINTEL SCHEDULE

SPARE	REQUIRED PARTS
1006 TO 2032 (4 OF 10 F-5)	2 1006-1032 (1006-1032)
1006 TO 2032 (4 OF 10 F-5)	2 1006-1032 (1006-1032)
2032 TO 2035 (7 OF 10 F-5)	2 2032-2035 (2032-2035)
2035 TO 2042 (8 OF 10 F-5)	2 2035-2042 (2035-2042)
2042 TO 2045 (9 OF 10 F-5)	2 2042-2045 (2042-2045)

STAINLESS STEEL COLUMN

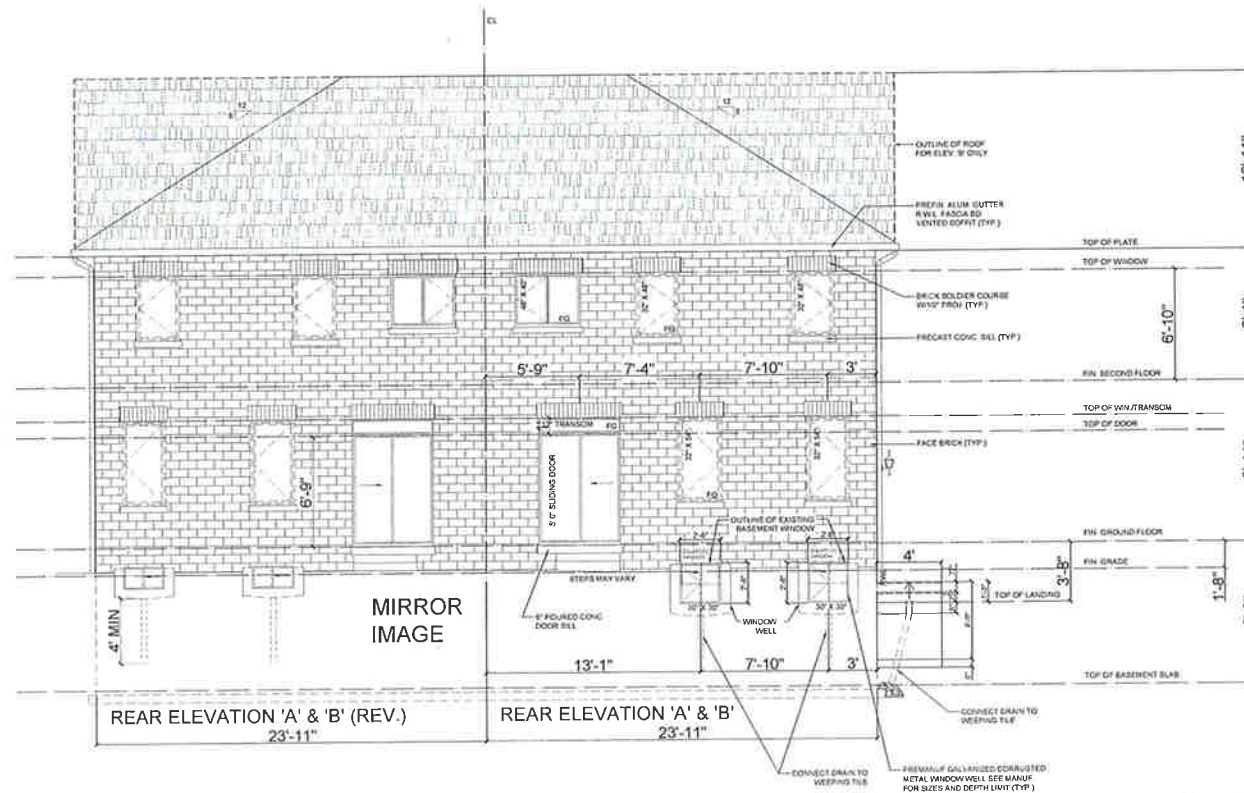
SOLID WOOD POST (POINT LOAD ABOVE
4" X 6")

SOLID WOOD POST (POINT LOAD ABOVE
3" X 6")

SOLID WOOD POST (POINT LOAD ABOVE
2" X 6")

3" X 6" BEAM

2-2' X 6')



STEEL LINTEL SCHEDULE			
GRADE	REQUIRED SPACINGS	REQUIRED SPACINGS	
100 TO 2150 (1' 0" TO 7' 0")	# 30 BARS @ 20" O.C.	# 30 BARS @ 20" O.C.	
2150 TO 2350 (7' 0" TO 7' 6")	# 30 BARS @ 20" O.C.	# 30 BARS @ 20" O.C.	
2350 TO 2450 (7' 6" TO 8' 0")	# 30 BARS @ 20" O.C.	# 30 BARS @ 20" O.C.	
2450 TO 2550 (8' 0" TO 8' 6")	# 30 BARS @ 20" O.C.	# 30 BARS @ 20" O.C.	
2550 TO 3045 (8' 6" TO 10' 0")	# 30 BARS @ 20" O.C.	# 30 BARS @ 20" O.C.	

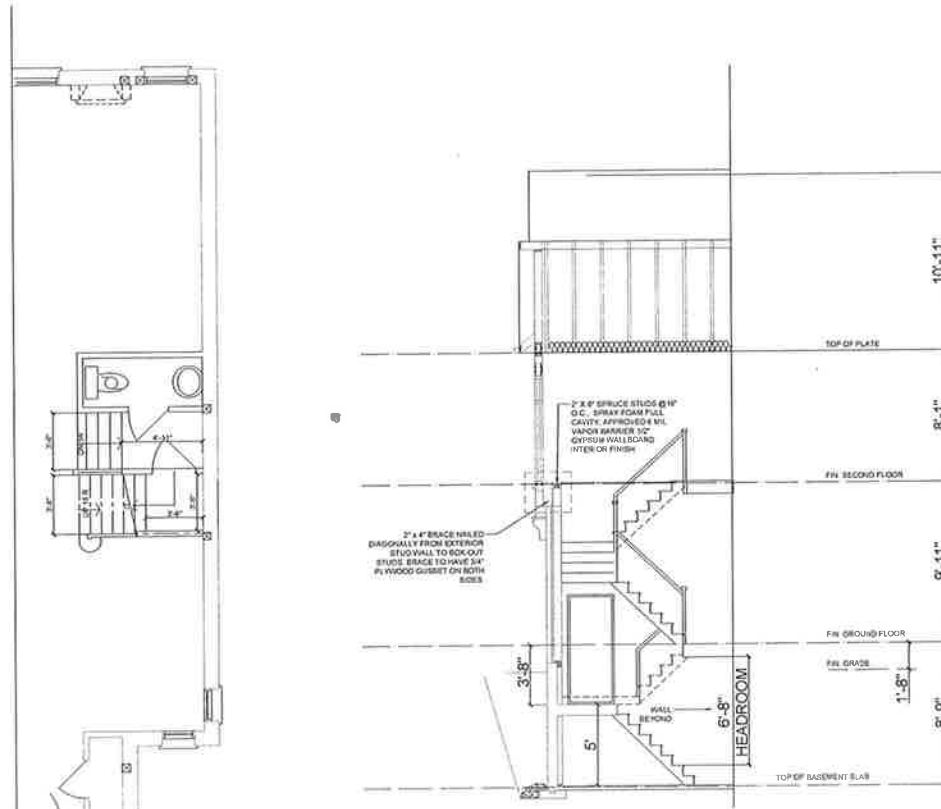
NO	DATE	REVISION DESCRIPTION	NOTE
01	15/06/2022	ISSUED	

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CONSULTING ENGINEER:

PROPOSED
TWO STORY DETACHED HOUSE
FARZIN LOTF ABAD
250 ROBERT PARKINSON DRIVE
BRAMPTON
ON L7A 5Y1

VIEW: PROPOSED SOUTH ELEVATION
DRAWN BY: Kamran Rezvani
CHECKED BY: KR
SHEET: A110
FILE: 1102
DATE: 12 JUNE 2022
SCALE: 1/4" = 1'



STEEL LINTEL SCHEDULE	
SPANS	REQUIRED ANGLES
1350 TO 2130 (4'-0" TO 7'-0")	2 100x50x8 (11.5/12.5/13)
1100 TO 2130 (5'-0" TO 7'-0")	2 100x50x8 (14.5/15.5/16)
2130 TO 2435 (7'-0" TO 8'-0")	2 125x50x8 (13.5/15/16)
2435 TO 2740 (8'-0" TO 9'-0")	2 125x50x10 (15.5/17)
2740 TO 3045 (9'-0" TO 10'-0")	2 150x50x10 (16.5/18)

□	STAINLESS STEELS COLUMN
□	SOLID WOOD POST (POINT LOAD ABOVE 8'-2\"/>



NO	DATE	REVISION DESCRIPTION	NOTE
01	9/30/2022	ISSUED	

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CONSULTING ENGINEER:

PROPOSED
TWO STORY DETACHED HOUSE
FARZIN LOTF ABAD
259 ROBERT PARKINSON DRIVE
BRAMPTON
ON L7A 3Y1

VIEW: EXISTING SECTION

DRAWN BY: Kamran Rezvani

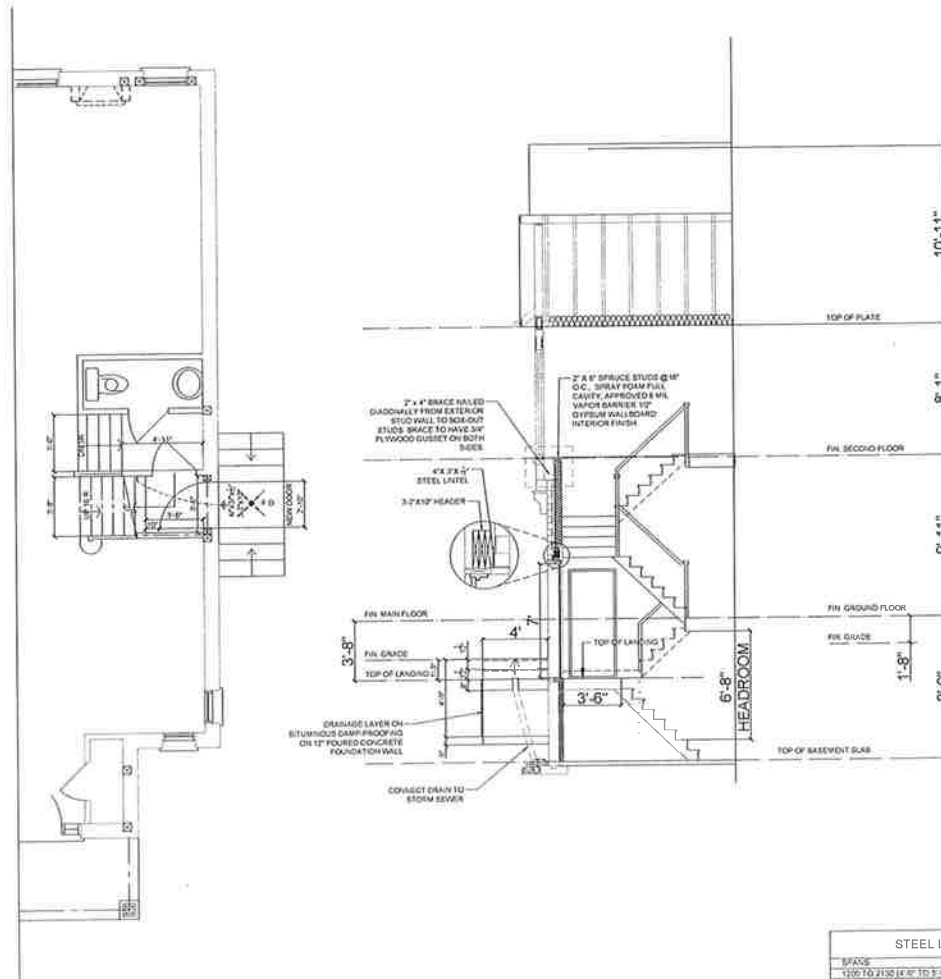
CHECKED BY: KR

SHEET: A111

FILE: 1102

DATE: 12 JUNE, 2022

SCALE: 1/4" = 1'



STEEL LINTEL SCHEDULE	
SPACE	REQUIRED ANGLE
1100 TO 2150 (4" TO 5")	2 90/20/15 (3" TO 5")
1500 TO 2150 (5" TO 7")	2 90/20/15 (5" TO 7")
1500 TO 2425 (7" TO 8")	2 125/25/18 (5" TO 8")
2150 TO 2700 (8" TO 9")	2 125/25/18 (8" TO 9")
2700 TO 3075 (9" TO 10")	2 150/30/18 (9" TO 10")

- STAINLESS STEELS COLUMN
- SOLID WOOD POST (POINT LOAD ABOVE 4\"/>
- SOLID WOOD POST (POINT LOAD ABOVE 3\"/>
- SOLID WOOD POST (POINT LOAD ABOVE 2\"/>
- 3\"/>



NO	DATE	REVISION DESCRIPTION	NOTE
01	12/01/2023	ISSUED	

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CONSULTING ENGINEER:

PROPOSED
TWO STORY DETACHED HOUSE
PARZIN LOTF ARAD
269 ROBERT PARKINSON DRIVE
BRAMPTON
ON L7A 3Y1

VIEW: PROPOSED SECTION

DRAWN BY: Kamran Rezvani

CHECKED BY: KR

SHEET: A112

FILE: 1102

DATE: 12 JUNE, 2022

SCALE: 1/4" = 1'

A-2022-0357

