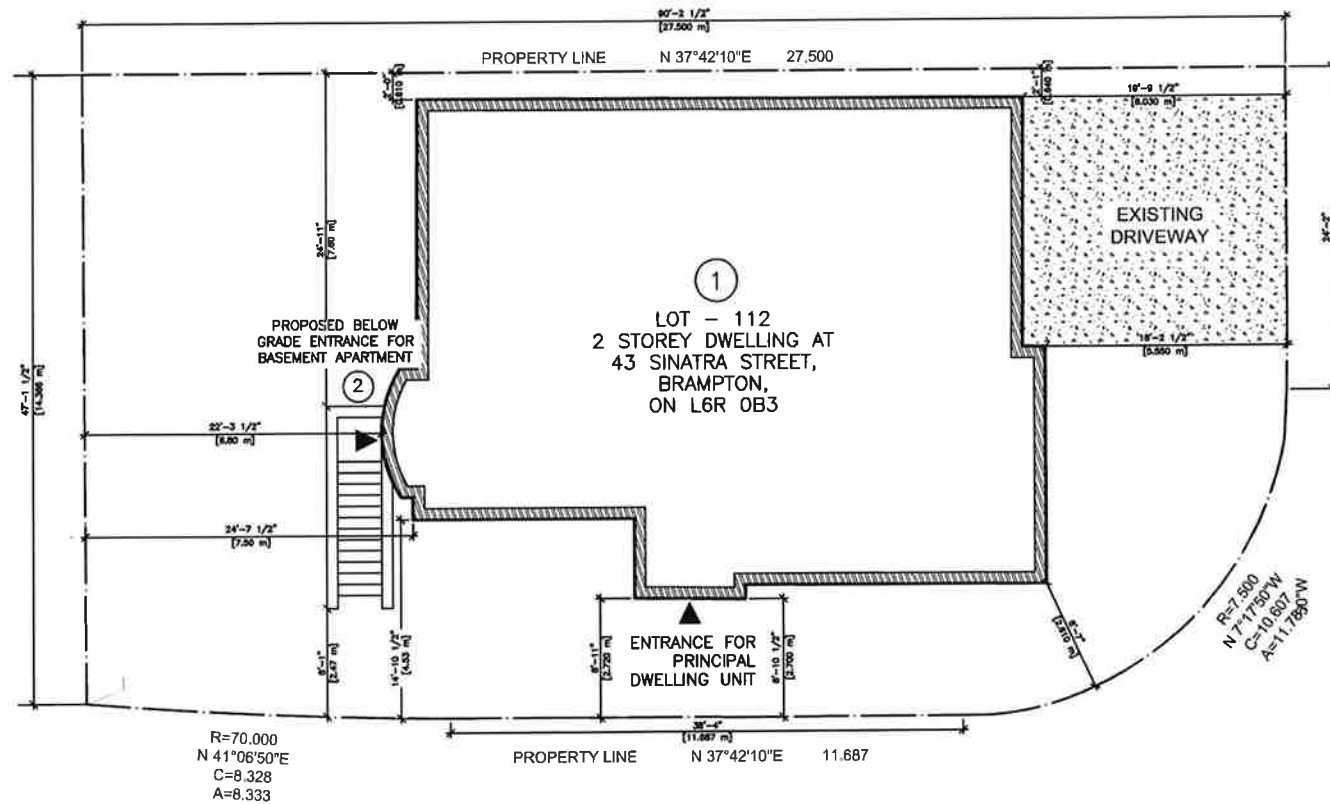




APPLICATION # A-2022-0386
WARD #9

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca



AREA STATISTICS

GROSS FLOOR AREA CALCULATIONS

PRINCIPAL RESIDENCE		
EXISTING MAIN FLOOR GFA	=	99.35 M ²
EXISTING SECOND FLOOR GFA	=	129.69 M ²
NEW BASEMENT APARTMENT GFA	=	117.90 M ²

▲ ENTRANCE / EGRESS

SCOPE OF WORK

- 1 NEW BASEMENT APARTMENT/
2 UNIT DWELLING
- 2 NEW BELOW GRADE ENTRANCE
FOR BASEMENT APARTMENT

NO.	MM-DD-YYYY	REVISION NOTE	NO.	MM-DD-YYYY	REVISION NOTE
1.			4.		
2.			5.		
3.			6.		

THE UNDERSIGNED HAS REVIEWED AND TAKES
RESPONSIBILITY FOR THIS DESIGN, AND HAS
THE QUALIFICATIONS AND MEETS THE
REQUIREMENTS SET OUT IN THE ONTARIO
BUILDING CODE TO DESIGN THE WORK
SHOWN ON THE ATTACHED DRAWINGS.
QUALIFICATION INFORMATION

SRICHANDRA KURSETTI

SIGNATURE
BCIN
114636

Under the authority of the Emergency *Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

**Electronic/Hybrid Hearing Procedures
How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **January 3, 2023** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

How to Participate in the Hearing:

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, December 22, 2022.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
 1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, December 22, 2022.**
 2. To participate in-person, please email the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, December 22, 2022.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, December 22, 2022.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

Note: City Hall will be closed to the public from 12:00 Noon on December 23, 2022 to January 2, 2023 inclusive. City Hall will re-open on Tuesday, January 3, 2023.

FILE NUMBER: A-2022-0386

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. Name of Owner(s) Kuldeep Mann , Beant Mann

Address 43 Sinatra street , Brampton, Onatrio, L6R0B3

Phone # 6473271610 Fax # _____

Email sandythind87@gmail.com

2. Name of Agent jaideep Kadire

Address 68 mosley crescent , Brmpton, L6Y5C8

Phone # 5142965616 Fax # _____

Email jaideepkadire@gmail.com

3. Nature and extent of relief applied for (variances requested):

To permit a below grade entrance between the main wall of the dwelling and the flankage lot line

and to permit a 2.47m exterior side yard setback to a below grade entrance.

4. Why is it not possible to comply with the provisions of the by-law?

To permit a 2.47m exterior side yard setback to a below grade entrance

5. Legal Description of the subject land:

Lot Number LOT 112

Plan Number/Concession Number PLAN 43 M - 1867

Municipal Address 43 sinatra street

6. Dimension of subject land (in metric units)

Frontage 11.60 m

Depth 32 m

Area 371.2

7. Access to the subject land is by:

Provincial Highway ☐

Municipal Road Maintained All Year ☒

Private Right-of-Way ☐

Seasonal Road ☐

Other Public Road ☐

Water ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

Main floor area - 99.3 m2
Second floor area - 129.69 m2
New basement apartment area - 117.90 m2
2 - storeys, height - 10.97 m , length 13 m, width 8.8 m

PROPOSED BUILDINGS/STRUCTURES on the subject land:

new basement apartment area - 117.9 m2

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback	5.55 m
Rear yard setback	6.80 m
Side yard setback	0.6 m
Side yard setback	4.53 m

PROPOSED

Front yard setback	5.55 m
Rear yard setback	6.80 m
Side yard setback	0.6 m
Side yard setback	2.47 m

10. Date of Acquisition of subject land: Nov 10th 2019
11. Existing uses of subject property: single family dwelling
12. Proposed uses of subject property: 2 unit dwelling
13. Existing uses of abutting properties: single family dwelling
14. Date of construction of all buildings & structures on subject land: , August 19th 2019
15. Length of time the existing uses of the subject property have been continued: 3 years

16. (a) What water supply is existing/proposed?

Municipal ☒ Other (specify) _____
Well ☐

- (b) What sewage disposal is/will be provided?

Municipal ☒ Other (specify) _____
Septic ☐

- (c) What storm drainage system is existing/proposed?

Sewers ☒ Other (specify) _____
Ditches ☐
Swales ☐

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?


Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____



Signature of Applicant(s) or Authorized Agent

DATED AT THE City OF Brampton
THIS 29 DAY OF November, 2022.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Sandeep Kadave, OF THE City OF Brampton
IN THE Region OF Peel SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton
IN THE Region OF _____
Peel THIS 29th DAY OF
Nov., 2022

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024.



Signature of Applicant or Authorized Agent



A Commissioner etc.

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

R1F-9-2368

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.



Zoning Officer

Nov 29, 2022

Date

DATE RECEIVED Nov. 29, 2022

**SURVEYOR'S REAL PROPERTY REPORT
PART 1**

**PLAN OF LOTS 110, 111, 112, 113,
114, 115, 116 AND 117**

PLAN 43M-2060

CITY OF BRAMPTON

REGIONAL MUNICIPALITY OF PEEL

SCALE 1:300

10m 5m 0 10m 25metres

R-PE SURVEYING LTD., O.L.S.

METRIC

DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN
BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

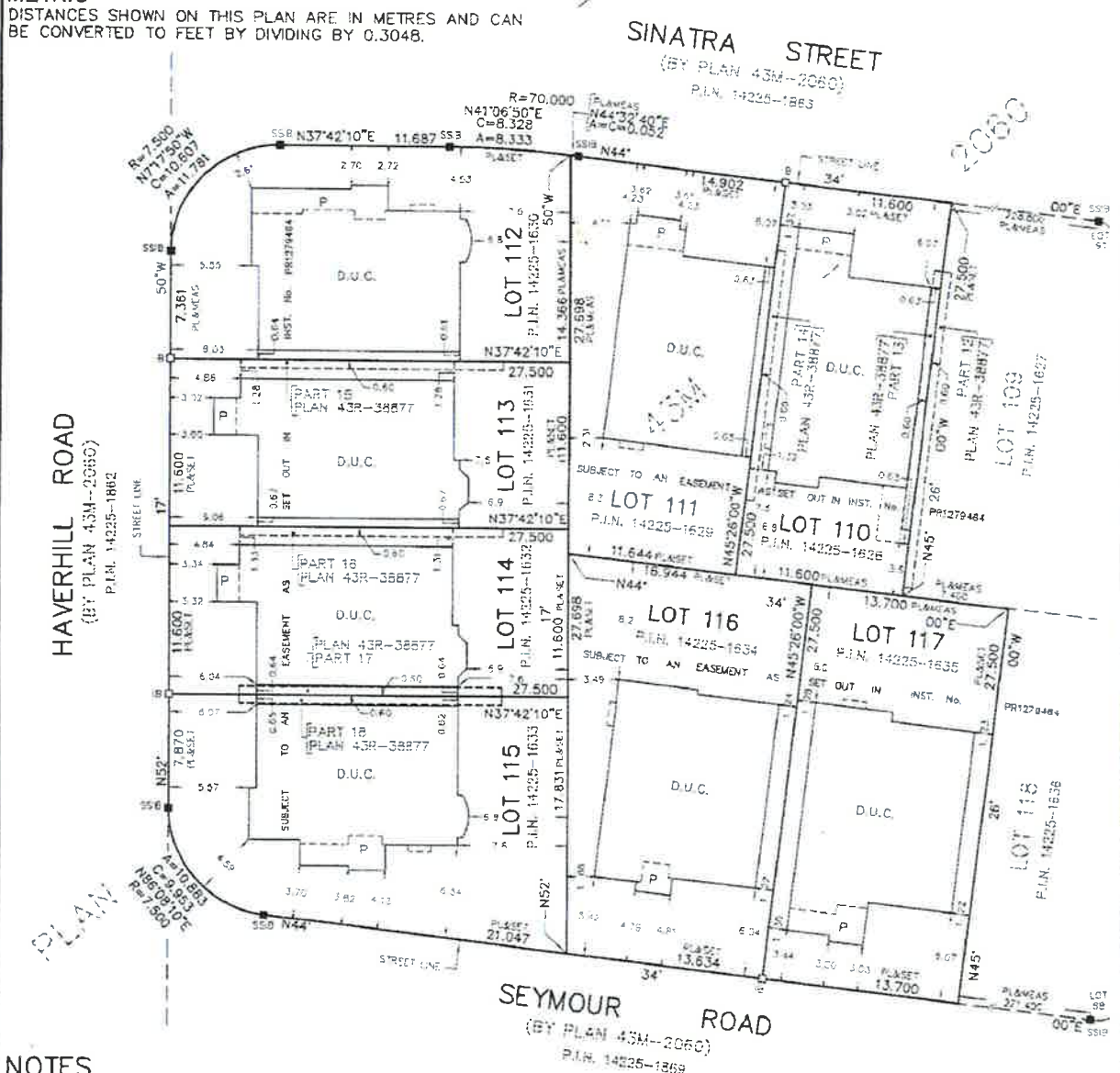
PART 2 (SURVEY REPORT)

REGISTERED EASEMENTS AND/OR RIGHT-OF-WAYS: LOTS 110 TO 117,
INCLUSIVE ARE SUBJECT TO AN EASEMENT AS SET OUT
IN INST. No. PR1279464

THIS PLAN DOES NOT CERTIFY COMPLIANCE WITH ZONING BY-LAWS

DOCUMENTS RELEASED PURSUANT TO A REQUEST
UNDER THE
MUNICIPAL FREEDOM OF INFORMATION AND
PROTECTION OF PRIVACY ACT R.S.O. 1996C.106

COPYRIGHT ACT R.S., 1985, c. C-42 APPLIES TO THE
USE AND REPRODUCTION OF THESE DOCUMENTS



NOTES

- DENOTES MONUMENT SET
- DENOTES MONUMENT FOUND
- IB DENOTES IRON BAR
- SSIB DENOTES SHORT STANDARD IRON BAR
- D.U.C. DENOTES DWELLING UNDER CONSTRUCTION
- P.I.N. DENOTES PROPERTY IDENTIFIER NUMBER
- P DENOTES PORCH
- PL DENOTES PLAN 43M-2060

ALL FOUND MONUMENTS BY WSP GEOMATICS
ONTARIO LIMITED, O.L.S.

ALL TIES TO CONCRETE FOUNDATIONS

BEARINGS ARE GRID AND ARE REFERRED TO THE
SOUTHEASTERLY LIMIT OF SINATRA STREET AS
SHOWN ON PLAN 43M-2060 HAVING A
BEARING OF N38°36'20"E.

THIS REPORT WAS PREPARED FOR
ASPEN RIDGE HOMES
AND THE UNDERSIGNED ACCEPTS NO
RESPONSIBILITY FOR USE BY OTHER PARTIES

©R-PE SURVEYING LTD., O.L.S., 2019



SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE
WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND
TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON THE 11TH DAY OF MARCH, 2019.

DATE July 19, 2019.

T. SINGH
ONTARIO LAND SURVEYOR



R-PE SURVEYING LTD.

ONTARIO LAND SURVEYORS

643 Chrislea Road, Suite 7, Woodbridge, Ontario, L4L 8A3

Tel. (416)635-5000 Fax (416)635-5001

Tel. (905)264-0881 Fax (905)264-2099

Website: www.r-pe.ca

DRAWN: V.K.

CAD FILE No. 2060-110

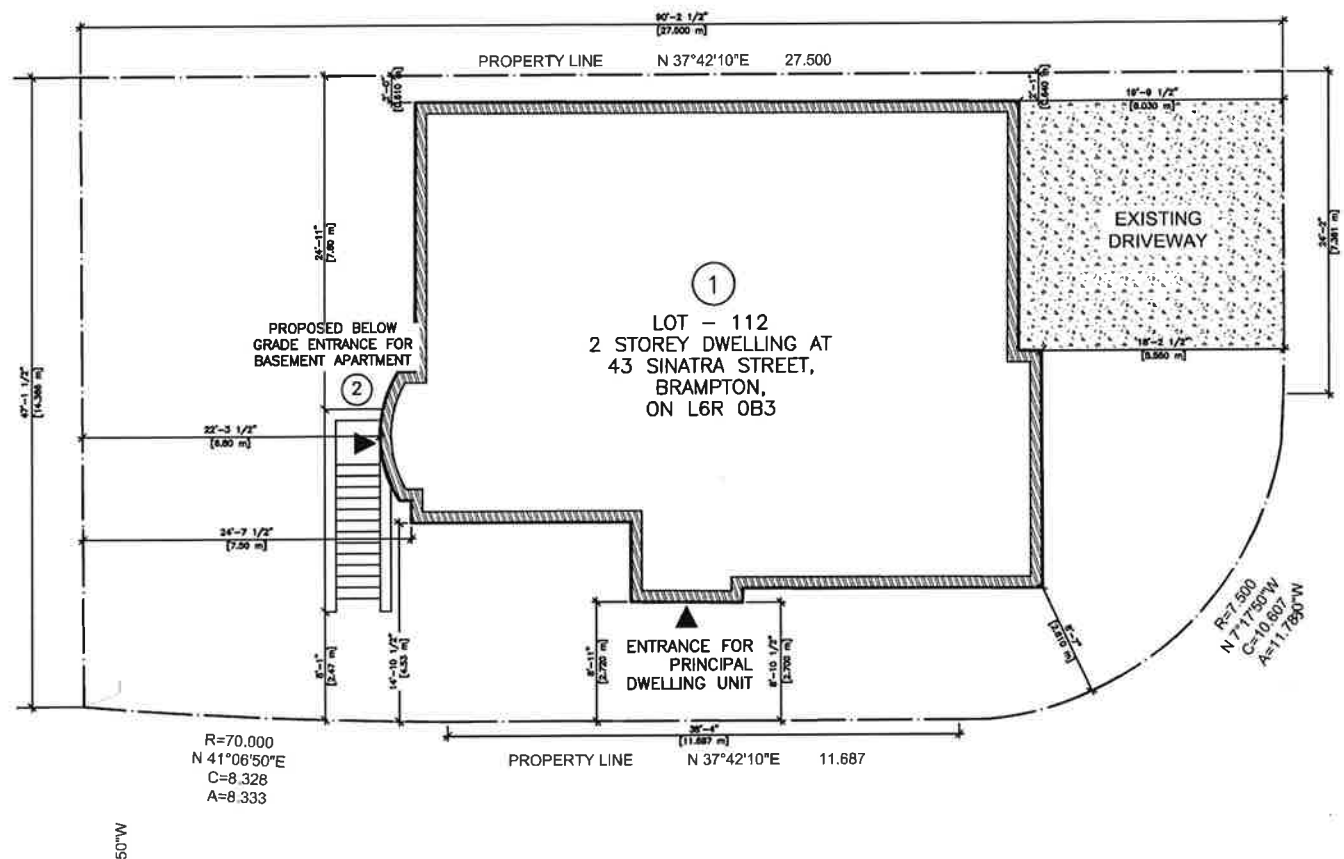
CHECKED: G.Y./T.S.
JOB No. 18-291

18-291 *43M-2060 L110-117*





1 SITE PLAN
3/32"=1'-0"



AREA STATISTICS

GROSS FLOOR AREA CALCULATIONS

PRINCIPAL RESIDENCE	
EXISTING MAIN FLOOR GFA	= 99.35 M ²
EXISTING SECOND FLOOR GFA	= 129.69 M ²
NEW BASEMENT APARTMENT GFA	= 117.90 M ²

▲ ENTRANCE / EGRESS

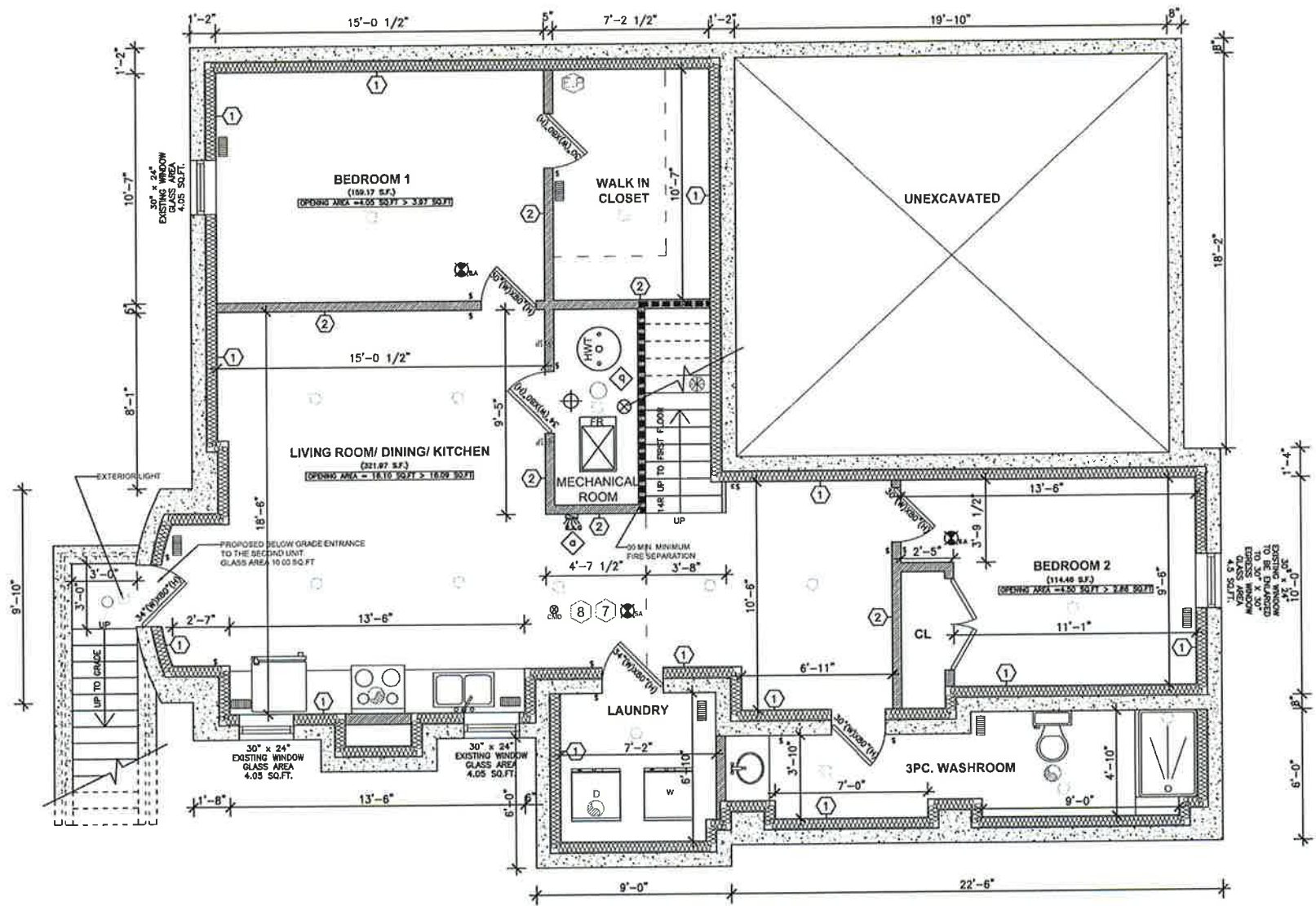
SCOPE OF WORK

- ① NEW BASEMENT APARTMENT / 2 UNIT DWELLING
- ② NEW BELOW GRADE ENTRANCE FOR BASEMENT APARTMENT

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND THE FEES REQUIRED TO SET OUT THE DESIGN, AND TO BE RESPONSIBLE FOR THE DESIGN, THE WORK SHOWN ON THE ATTACHED DOCUMENTS, QUALIFICATION INFORMATION

SRICHANDRA KURISETTI
SIGNATURE BCIN 114558

Issue for	PERMIT			
Scale	3/32"=1'-0"			
Page	A1			
Location	BRAMPTON			
Project	43 SINATRA STREET			
Drawn by	PCP			
Checked by				
Date	JULY-21			
NO.	MM-YY-YY	NO.	MM-YY-YY	REVISION NOTE
1.		4.		
2.		5.		
3.		6.		



2 **PROPOSED BASEMENT PLAN**
3/16"=1'-0"

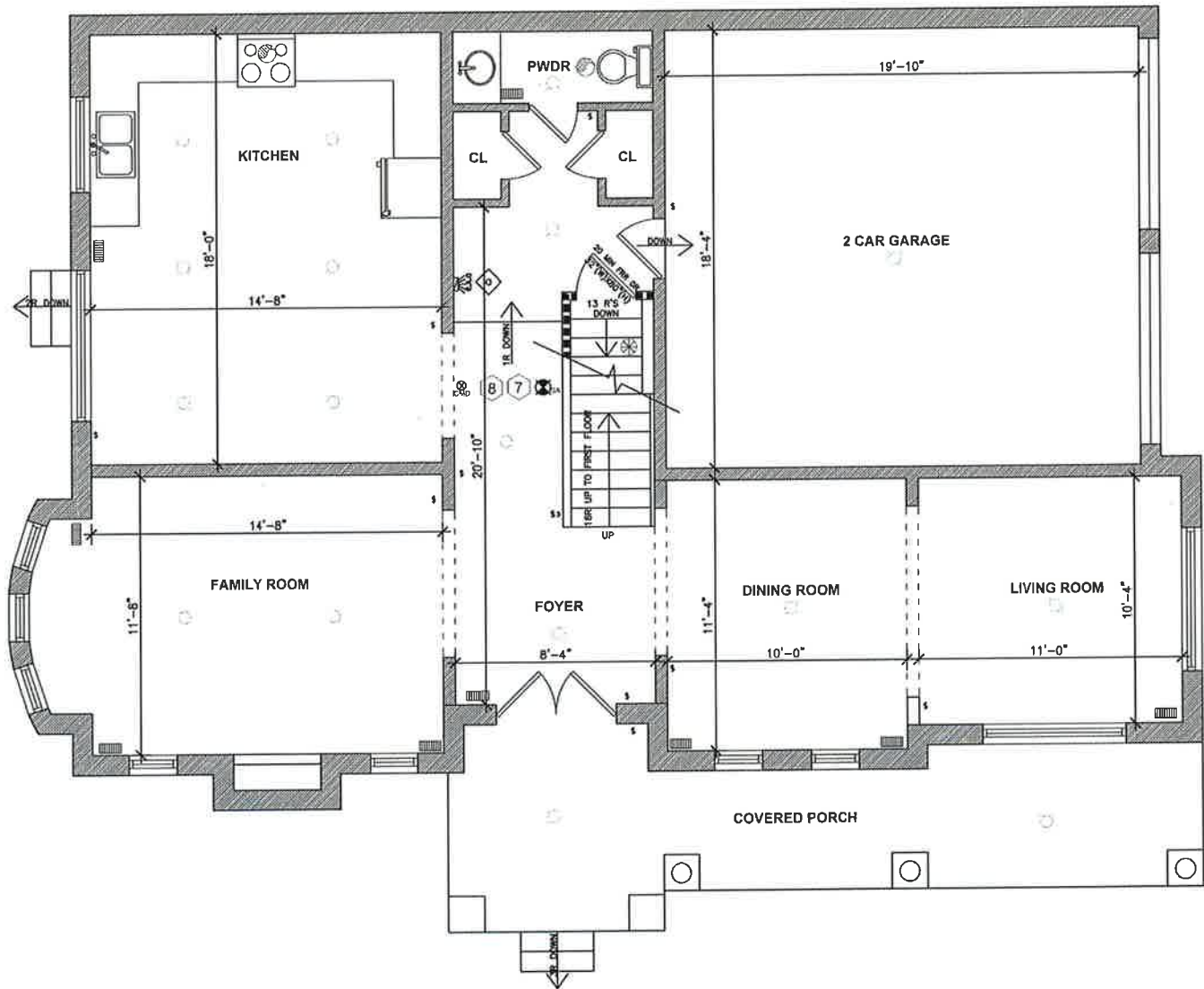
THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN ON THE ATTACHED DOCUMENTS. QUALIFICATION INFORMATION

SRICHANDRA KURISSETTI
SIGNATURE
SCIN 114436

PROJECT		LOCATION		ISSUE FOR	
43 SINATRA STREET		BRAMPTON		PERMIT	
drawn by PCP		checked by JUL12		scale 3/16"=1'-0"	
PROPOSED BASEMENT PLAN					
page A2					
NO.	MM/DD/YYYY	REVISION NOTE	NO.	MM/DD/YYYY	REVISION NOTE
1.			4.		
2.			5.		
3.			6.		



3 EXISTING FIRST FLOOR PLAN
3/16"=1'-0"



THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN ON THE ATTACHED DOCUMENTS. QUALIFICATION INFORMATION

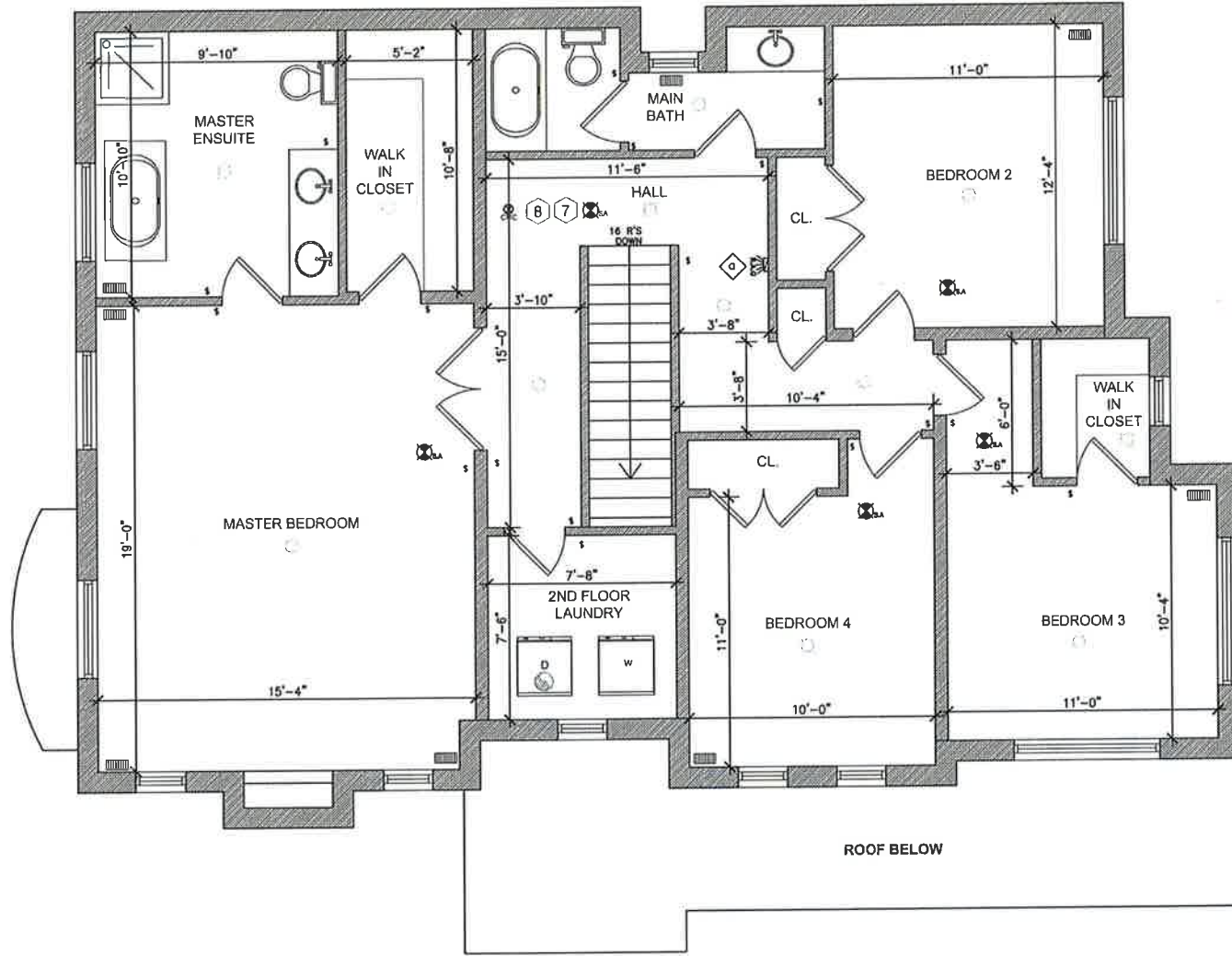
SRICHANDRA KURISETTI
SIGNATURE
BCIN
114436

Project		Location		Issue for	
43 SINATRA STREET		BRAMPTON		PERMIT	
drawn by PCP		checked by		scale 3/16"=1'-0"	
date JUL17-21		EXISTING FIRST FLOOR PLAN			
NO.	MM/DD-YYY	REVISION NOTE	NO.	MM/DD-YYY	REVISION NOTE
1.			4.		
2.			5.		
3.			6.		

A3
page



4 **EXISTING SECOND FLOOR PLAN**
3/16"=1'-0"



THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN ON THESE DOCUMENTS.
QUALIFICATION INFORMATION

SRICHANDRA KURISETTI
SIGNATURE
BCIN
114436

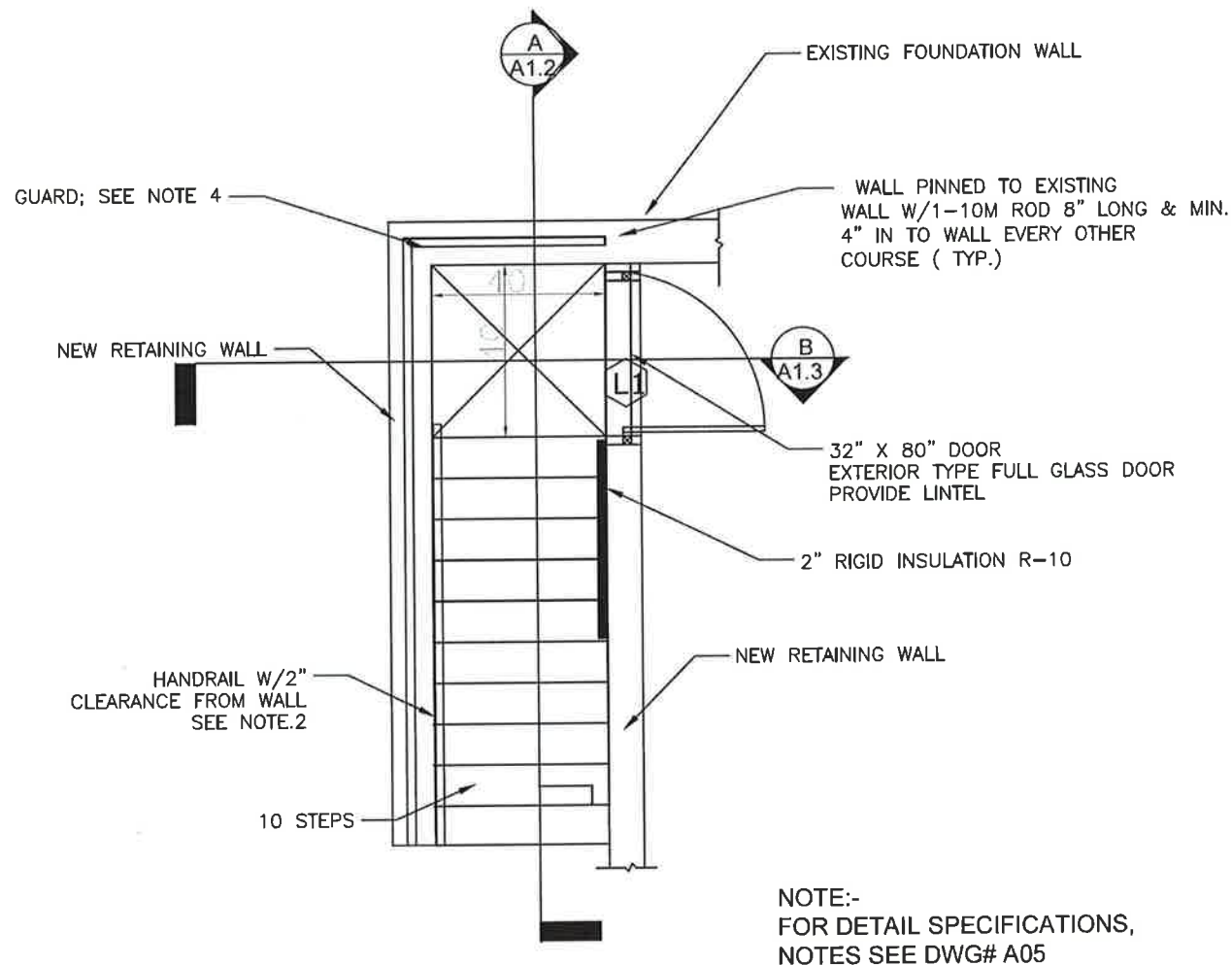
Project
43 SINATRA STREET
Location
BRAMPTON

Issue for
PERMIT
Scale
3/16"=1'-0"

drawn by
PCP
checked by
JULY-21
date
EXISTING SECOND FLOOR PLAN

NO.	MM/DD-YYY	REVISION NOTE	NO.	MM/DD-YYY	REVISION NOTE
1.			4.		
2.			5.		
3.			6.		

page
A4



5 **BELOW GRADE ENTRANCE PLAN**
3/8"=1'-0"

BELOW GRADE NOTES

FOOTINGS:

FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OR COMPACTED GRANULAR FILL WITH A MINIMUM SOIL BEARING CAPACITY OF 75kpa

HANDRAILS:

HANDRAILS SHOULD BE BETWEEN 32 TO 38 IN ABOVE THE THREAD AT THE LEADING EDGE LINE. 2 INCH CLEARANCE FROM THE WALL IS REQUIRED START AND END POINT OF HANDRAILS MUST NOT OBSTRUCT PEDESTRIAN TRAFFIC OR CREATE A HAZARD. BOTH SIDE HANDRAILS REQUIRED IF STAIRS ARE 43 IN OR WIDER.

EXTERIOR STAIRS:

4 7/8" RISE	MINIMUM	7 7/8" RISE	MAXIMUM
8 5/8" RUN	MINIMUM	14" RUN	MAXIMUM
9 1/4" TREAD	MINIMUM	14" TREAD	MAXIMUM

RETAINING WALL:

10" POURED CONCRET WALL DOES NOT REQUIRE REBAR IF BACKFILL HEIGHT DOES NOT EXCEED 4'-7". PROVIDE 10M REBAR @12" o.c. EACH WAY FOR BACKFILL HEIGHTS EXCEED 4'-7".

GUARD(PRE-ENGINEERED):

42 INCH HIGH WHERE DISTANCE FROM GRADE TO BOTTOM OF WALKOUT EXCEEDS 5'-11". 36" FOR LESSER HEIGHTS. MAXIMUM 4" BETWEEN VERTICAL PICKETS.

LIGHT:

ELECTRIC FEED FOR THE LIGHT TO BE SEPARATE FROM ANY OTHER SWITCHED CIRCUIT

EXTERIOR DOOR:

EXTERIOR DOOR GENERAL PERFORMANCE CRITERIA AND THERMAL RESISTANCE TO COMPLY WITH OBC 9.7.3. INSTALLATION OF MANUFACTURED AND PRE-ASSEMBLED DOOR SHALL CONFIRM TO THE MANUFACTURE'S INSTRUCTIONS. ALL UNFINISHED PORTIONS OF THE FRAME AND OTHER COMPONENTS OF DOORS IN CONTACT WITH THE EDGES OF MASONRY OR CONCRETE SHALL BE PROTECTED WITH CAULKING.

INSULATION DETAILS:

RIGID INSULATION TO HAVE FOLLOWING SPECIFICATIONS:
-STYROFOAMSM BRAND SM EXTRUDED POLYSTYRENE FOAM INSULATION
-RSI VALUE OF 0.87/25 MM (R-5 PER 1 INCH)
-BOARD SIZE: (AS INDICATED ON DRAWINGS)
-COMPRESSIVE STRENGTH: 210 kpa
-DRAINING CAPACITY: >0.72 m3/hr/m

Issue for
PERMIT

Scale
3/8"=1'-0"

A5

page

Location
BRAMPTON

Project
43 SINATRA STREET

drawn by
PCP

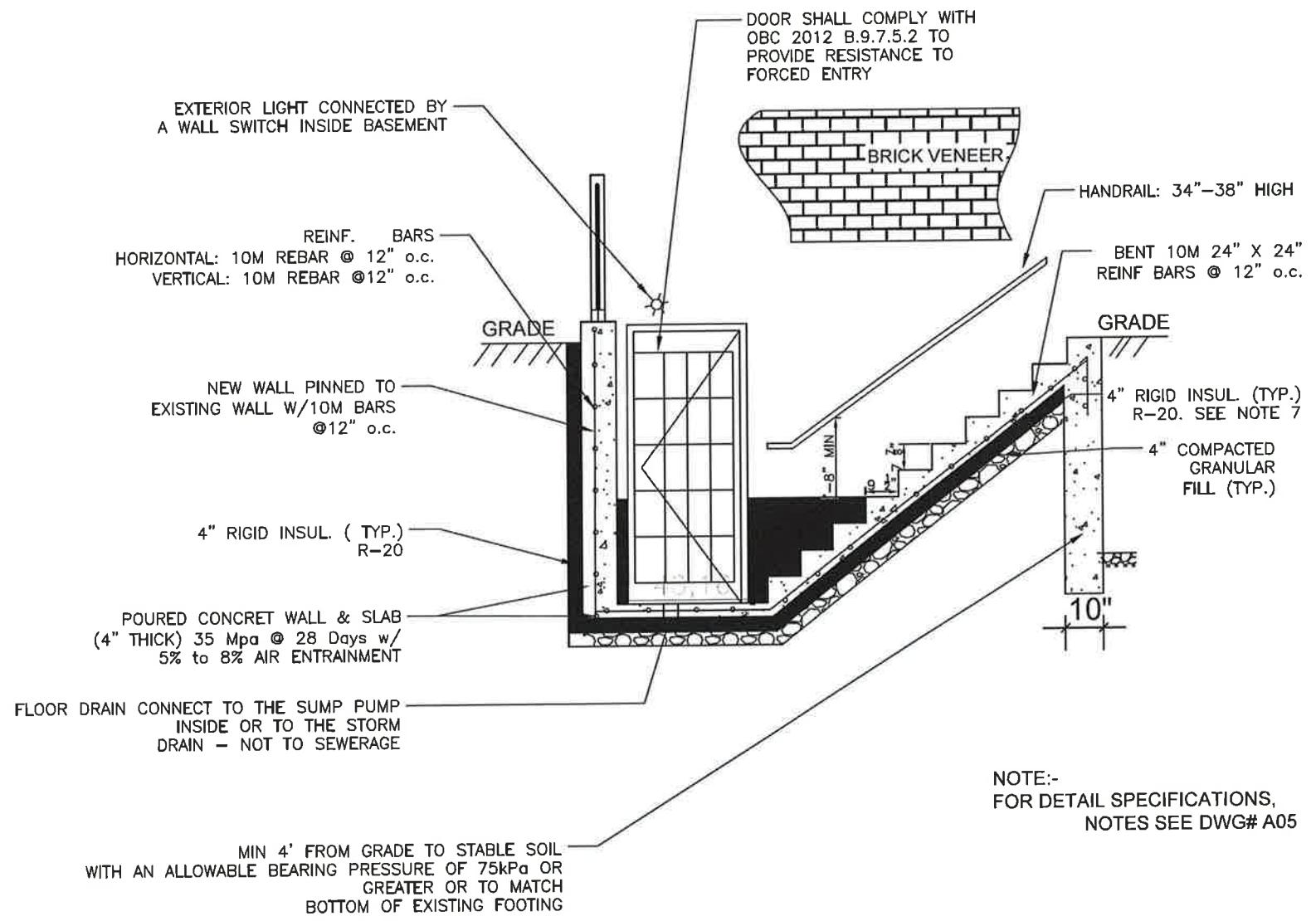
checked by

date
JULY 21

BELOW GRADE ENTRANCE PLAN

NO.	DATE	REVISION NOTE
1.	MM-DD-YYYY	
2.		
3.		
4.		
5.		
6.		





NOTE:-
FOR DETAIL SPECIFICATIONS,
NOTES SEE DWG# A05

6 SECTION -A
3/8"=1'-0"

Issue for: **PERMIT**

Scale: **3/8"=1'-0"**

Page: **A6**

Location: **BRAMPTON**

Project: **43 SINATRA STREET**

Section: **SECTION -A**

NO.	DATE	REVISION	NOTE
1.			
2.			
3.			
4.			
5.			
6.			

drawn by: **PCP**

checked by:

date: **JULY/21**

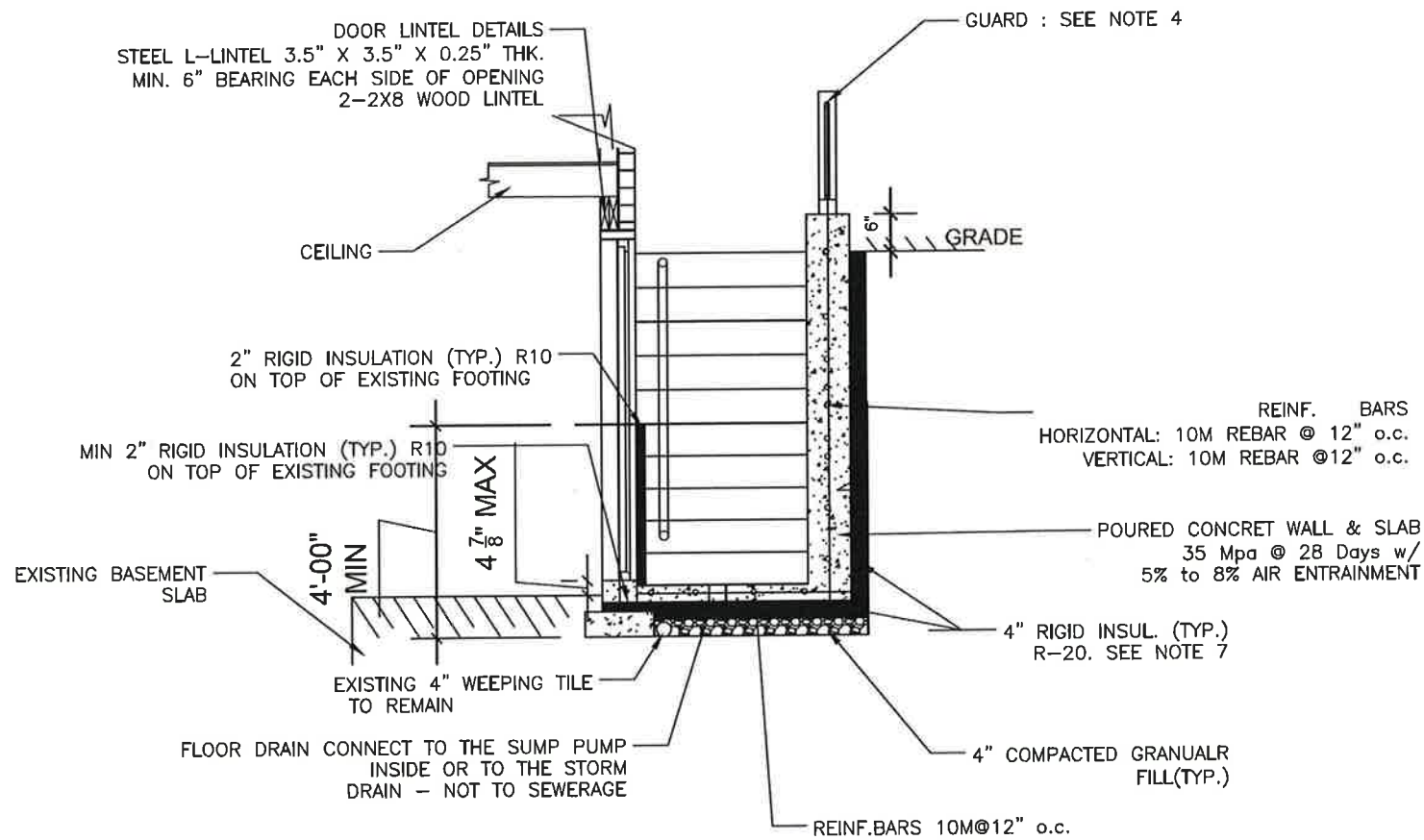
PROFESSIONAL ENGINEER

M. A. BAIG

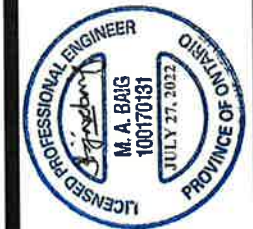
100170131

JULY 27, 2022

PROVINCE OF ONTARIO



NOTE:-
FOR DETAIL SPECIFICATIONS,
NOTES SEE DWG# A05



Project **43 SINATRA STREET**
Location **BRAMPTON**

SECTION-B

drawn by **PCP** checked by **PCP** date **JULY-21**

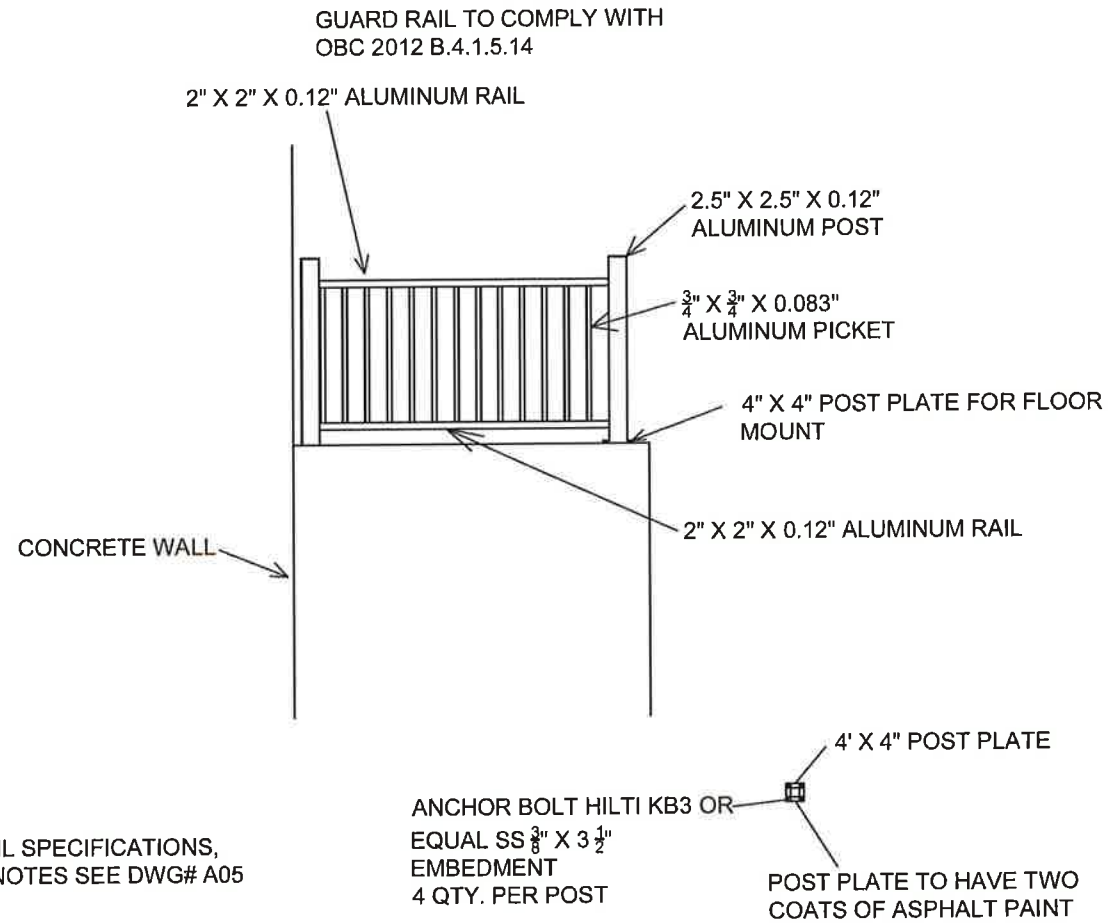
Issue for **PERMIT**

scale **3/8"=1'-0"**

page

A7

NO.	MM-DD-YYYY	REVISION NOTE	NO.	MM-DD-YYYY	REVISION NOTE
1.			4.		
2.			5.		
3.			6.		



NOTE:-
FOR DETAIL SPECIFICATIONS,
NOTES SEE DWG# A05

State for		BRAMPTON		Project		43 SINATRA STREET		Location		PERMIT		A8	
Scale		3/8"=1'-0"		Drawn by		PCP		Checked by		Date		JULY-21	
Revision		NO.		DATE		REVISION NOTE		NO.		DATE		REVISION NOTE	
1.								4.					
2.								5.					
3.								6.					



GENERAL NOTES

DOOR SCHEDULE

- 1- ALL INTERIOR DOORS ARE SLAB DOOR 1-3/8 TH. HOLLOW CORE. THE SIZES ARE MENTIONED ON THE FLOOR PLAN. THE HEIGHT OF ALL DOORS ARE 80"
- 2- EGRESS DOOR - EXISTING AT GRADE EXTERIOR TYPE STEEL DOOR PROVIDES ACCESS TO THE OUTSIDE WINDOW SCHEDULE

ONE WINDOW PER FLOOR TO HAVE AN UNOBSTRUCTED OPEN PORTION W/A MIN. AREA OF 0.35m² W/ NO DIMENSION LESS THAN 380mm & MAXIMUM SILL HEIGHT OF 1 M ABOVE FLOOR WINDOW SIZES HAVE BEEN PROVIDED ON THE FLOOR PLANS SEE NOTE-1 ON BASEMENT FLOOR PLAN

- ① FOUNDATION WALL INSULATION
FOUNDATION WALL, MOISTURE BARRIER, R12 INSULATION, 2 BY 4 STUDS @ 16" O.C., 6 MIL POLYETHYLENE V.B., 1/2" GYPSUM DRYWALL JOINTS TAPED AND SEALED
- ② INTERNAL WALLS
NEW WOOD FRAMED WALL CONSISTING OF 2 BY 4 WOOD STUDS @ 16" O.C. WITH 1/2" DRY WALL ON BOTH SIDES, JOINTS TAPED AND SEALED. WATER RESISTANT GWB ON BATHROOMS WALLS.
- ③ ALL CEILING 1/2" GYPSUM BOARD
* PROVIDE MINIMUM 15 MIN. HORIZONTAL FIRE SEPARATION
* ENSURE MINIMUM 15 MINUTES FIRE SEPARATION AROUND ALL STRUCTURE COLUMNS AND BEAMS
- ④ 20 MIN. RATED DOOR BETWEEN BASEMENT APARTMENT AND PRINCIPAL RESIDENCE
- ⑤ EXISTING DUCT WORK LOCATED IN THE CEILING SHALL BE RELOCATED SO THAT THE DIRECTION OF THE HEAT FLOW IS TOWARDS THE FLOOR
- ⑥ INSTALL MECHANICAL VENTILATION PER OBC DIV B 9.32.1.3(3) REQ'S.
EXHAUST FAN SHALL DISCHARGE DIRECTLY TO OUTSIDE.
SEPARATE ANY INTAKE FROM BUILDING ENVELOPE PENETRATIONS THAT ARE POTENTIAL SOURCES OF CONTAMINANTS (GAS VENTS, OIL FILL PIPES, ETC, BY MIN 900MM (2FT 11 IN)
- ⑦ IN COMPLIANCE WITH C152(b) SMOKE ALARMS TO BE INSTALLED IN EVERY DWELLING UNIT AND COMMON AREAS IN CONFORMANCE WITH OBC 9.10.19. SMOKE ALARM SHALL BE WIRED AND INTERCONNECTED FOR THE ENTIRE BUILDING
- ⑧ HARD WIRE CONNECTED CARBON MONOXIDE DETECTOR AS PER CAN/CSA-6.19
- ⑨ FOR ALL ELECTRICAL WORK AND PERMIT CONTACT ELECTRICAL SAFETY AUTHORITY
- ⑩ LIGHT CONTROLLED BY A SWITCH IS REQUIRED IN EVERY KITCHEN, BEDROOM, LIVING ROOM, UTILITY ROOM, LAUNDRY ROOM, DINING ROOM BATHROOM, VESTIBULE, HALLWAY, GARAGE AND CARPORT. A SWITCH RECEPTACLE MAY BE PROVIDED INSTEAD OF LIGHT IN BEDROOMS AND LIVING ROOMS.
- ⑪ PROVIDE 30 MIN FIRE SEPERATION
1/2" GYPSUM BOARD
2" X 4" WOOS STUD AT 16" O.C
3 1/2" ROXULL SAFE "N" SOUND INSULATION
1/2" GYPSUM BOARD

NEW WALL

EXISTING WALL

3 OR 4 WAY SWITCH

- ALL WORK ACCORDING TO ONTARIO BUILDING CODE 2012 AND CITY OF BRAMPTON BY-LAWS AND STANDARDS
- ALL DIMENSIONS AND LOCATIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION.
- ALL WOOD USED IN THE CONSTRUCTION SHALL BE SPF NO.1 OR NO.2
- MINIMUM BEARING OF STEEL LINTELS 150 MM.
- MINIMUM BEARING OF WOOD BEAM / LINTELS 90 MM
- MINIMUM BEARING OF WOOD JOISTS 40MM
- VERIFY EXISTING SUPPORT SYSTEM, INCLUDING FOUNDATIONS, FOR LOADS IMPOSED BY THE PROPOSED CONSTRUCTION
- PROVIDE ALL BRACING, SHORING AND NEEDLING NECESSARY FOR THE SAFE EXECUTION OF THIS WORK
- INFORM CITY OF ALL INSPECTION AHEAD OF TIME AND AT EACH STAGE OF CONSTRUCTION

WOOD MEMBERS TO BE IN CONTACT WITH CONCRETE TO BE PROTECTED FROM DECAY AND DAMPNESS WITH MIN. 0.05 MM POLYETHYLENE FILM OR TYPE S ROLL ROOFING AS PER OBC DIV "B" 9.23.2.2 AND 9.23.2.3

- ④ THE RETURN AIR GRILL SHALL BE INSTALLED NEAR THE FLOOR LEVEL (HRAI REG'S) UNDERCUT BY 1" THE DOOR TO ANY ROOM WITH OUT RETURN GRILL
- ⑤ ENSURE ADEQUATE VENTILATION AND COMBUSTION AIR FOR THE OPTIMUM OPERATION OF THE FURNACE, PER MANUFACTUR'S RECOMMENDATIONS.

- ⑥ PROVIDE MINIMUM 30 MINUTE FIRE RATED, 1/2" THICK DRYWALL OR 5/8" TYPE X DRY WALL UNDER THE STAIR SOFFIT/CEILING AND ON THE WALLS ENCLOSING STAIRWAYS CONNECTING BASEMENT TO MAIN FLOOR

- ⑦ DUCT-TYPE SMOKE DETECTOR TO BE INSTALLED IN THE SUPPLY OR RETURN AIR DUCT SYSTEM SERVING THE ENTIRE BUILDING THAT MUST TURN OFF THE FUEL SUPPLY AND ELECTRICAL POWER TO THE HEATING SYSTEM UPON ACTIVATION

- ⑧ SD: SMOKE DETECTOR
⑨ CO: CARBON MONOXIDE DETECTOR
⑩ LIGHT
⑪ RECEPTACLE 50A, 208V, STOVE OR DRIER OUTLET.
⑫ EXHAUST FAN
⑬ FD: FLOOR DRAIN
⑭ SMOKE ALARM
⑮ CARBON MONO OXIDE DETECTOR
⑯ ELECTRICAL PANEL
⑰ SWITCH
- ⑱ SPOT LIGHT
⑲ SPRINKLER
⑳ SUPPLY AIR REGISTER
㉑ EMERGENCY LIGHT WITH BATTERY BACK UP 4 HRS
㉒ RETURN AIR REGISTER
㉓ ELECTRICAL PANEL
㉔ STEEL POST
㉕ GFI 15A, 120V DUPLEX RECEPTACLE
㉖ WP SPECIFICATION GRADE, WHITE C/W WHITE COVER PLATE
㉗ GFI- GROUND FAULT TYPE WP- WEATHERPROOF COVER
㉘ C - ABOVE COUNTER

Issue for

PERMIT

scale

location

BRAMPTON

GENERAL NOTES

date

JULY 21

checked by

PCP

drawn by

PCP

REVISION NOTE

NO.

MM-DD-YYYY

NO.

MM-DD-YYYY

REVISION NOTE

NO.

MM-DD-YYYY

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN ON THE ATTACHED DOCUMENTS. QUALIFICATION INFORMATION

SRICHANDRA KURUSETTI

SIGNATURE

BCIN

114436

