

**APPLICATION # A-2022-0384**  
**WARD #1**

**APPLICATION FOR MINOR VARIANCE**

WHEREAS an application for minor variance has been made by **STEVEN ALLIN AND MARY ANN ALLIN** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Part of Lot 110, Plan BR-2, Part 1, Plan 43R-20649 municipally known as **11 ALEXANDER STREET**, Brampton;

AND WHEREAS the applicants are requesting the following variance(s):

1. To permit an above grade side entrance with a side yard width of 1.1m (3.61 ft.) extending from the front wall of the dwelling up to and including the door, whereas the by-law only permits an above grade side entrance when the side yard within which the door is located has a minimum width of 1.2 m (3.94 ft.) extending from the front wall of the dwelling up to and including the door;
2. To permit a 1.1m (3.61 ft.) wide path of travel leading to a principal entrance for a second unit whereas the by-law requires a minimum unencumbered side yard width of 1.2m (3.94 ft.) to be provided as a path of travel from the front yard to the principal entrance for a second unit;
3. To permit a rear yard setback of 11.1m (36.42 ft.) whereas the by-law requires a minimum rear yard setback of 25% of the lot depth resulting in a minimum setback of 11.36m (37.27 ft.);
4. To permit lot coverage of 38% whereas the by-law permits a maximum lot coverage of 30%.

**Note: Approval was granted under application A-2022-0269 to permit lot coverage of 36%**

**OTHER PLANNING APPLICATIONS:**

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO  
Application for Consent: NO

File Number: \_\_\_\_\_  
File Number: \_\_\_\_\_

The Committee of Adjustment has appointed **TUESDAY, January 3, 2023 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

**IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT.** This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant or another member of the public.

**RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.**

**PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC**

DATED at Brampton Ontario, this 15th Day of December, 2022.

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

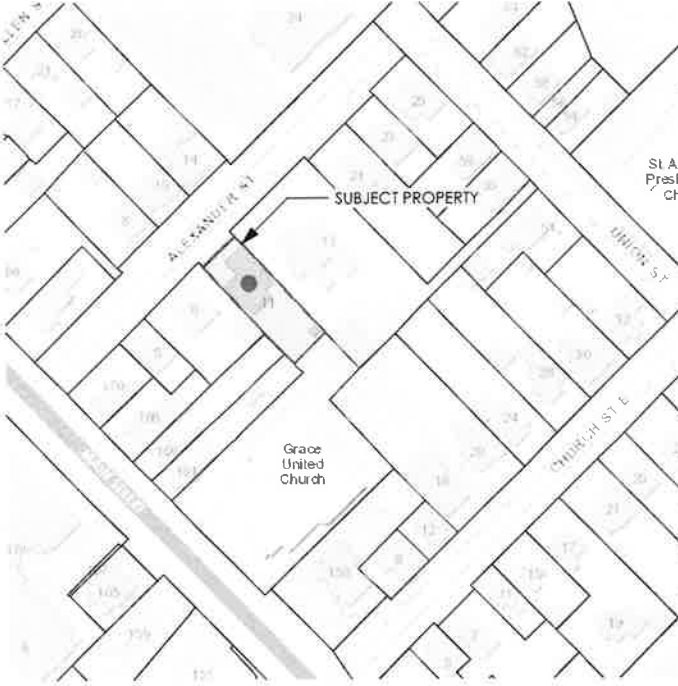
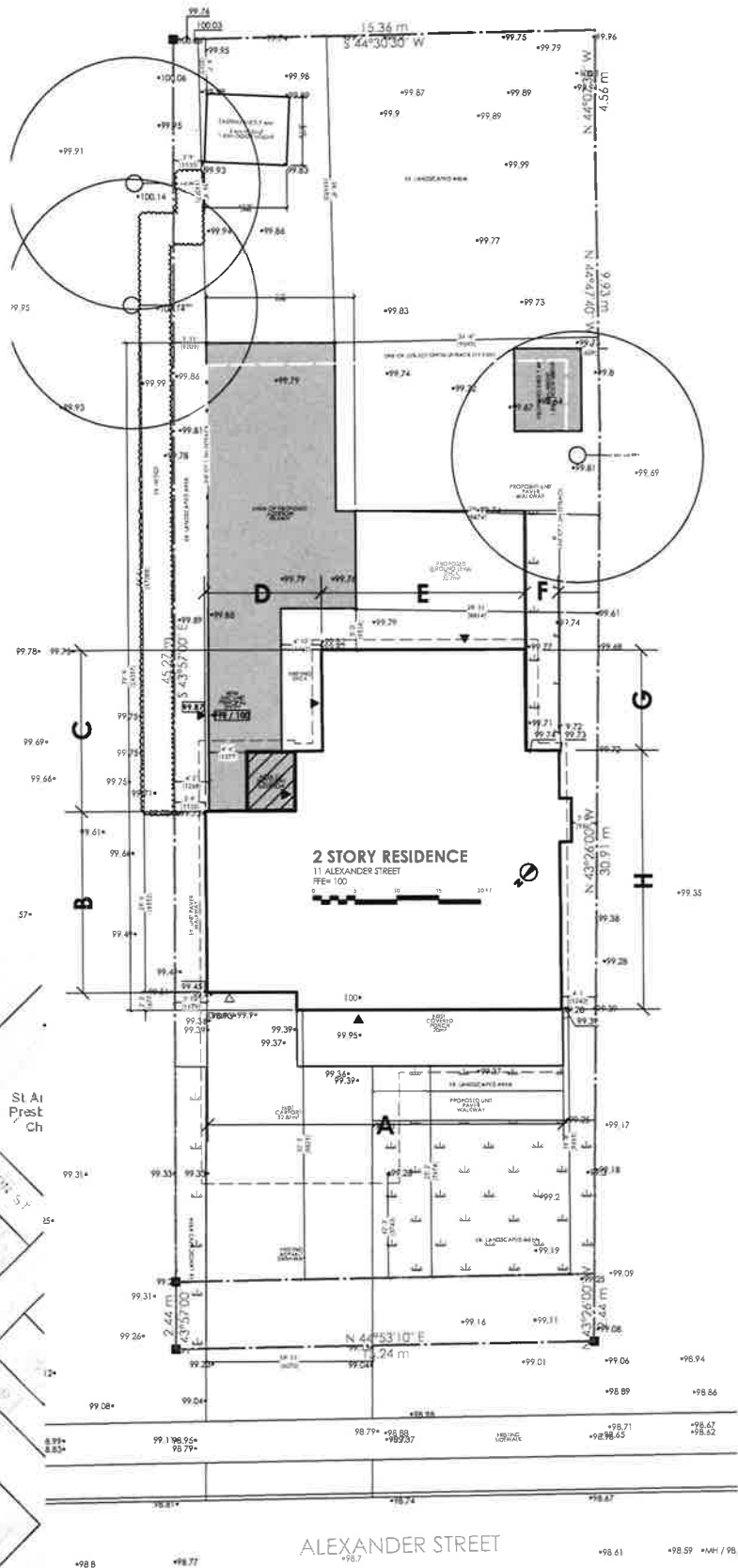
Jeanie Myers, Secretary-Treasurer  
Committee of Adjustment, City Clerk's Office,  
Brampton City Hall, 2 Wellington Street West,  
Brampton, Ontario L6Y 4R2  
Phone: (905)874-2117  
Fax: (905)874-2119  
[jeanie.myers@brampton.ca](mailto:jeanie.myers@brampton.ca)

Site Statistics

Lot	697.87 m2
House	140.89 m2
Existing Porch	20.00 m2
Existing Carport	32.87 m2
Existing Shed	7.40 m2
Existing Lot Coverage	28%
Proposed Shed	7.40 m2
Proposed Addition	68.44 m2
Proposed Lot Coverage	38%

Established Grade Calculations				
	el.1	el.2	LENGTH	(el.1+el.2)/2*L
A	99.39	99.39	12.9 m	1282.13
B	99.45	99.73	6.6 m	657.29
C	99.73	99.82	5.9 m	588.67
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E	99.82	99.77	7.4 m	738.48
F	99.77	99.73	1.2 m	119.70
G	99.77	99.74	3.7 m	369.09
H	99.73	99.39	9.4 m	935.86
	Total		51.4 m	5120.27
	Established Grade			99.62

HEIGHT FROM ESTABLISHED GRADE TO MID-POINT OF ROOF = 6.8m



2 KEY PLAN  
Scale: 1:2000

1 Site Plan  
Scale: 1/16" = 1'-0"

Disclaimer

DO NOT SCALE THIS DRAWING. THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION UNLESS APPROVED BY CANOPY DESIGN. THIS DRAWING IS THE EXCLUSIVE PROPERTY OF CANOPY DESIGN AND SHALL NOT BE USED WITHOUT CONSENT. COPYRIGHT RESERVED.

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Project Name:  
Allin Residence

Project Address:  
11 Alexander St  
Brampton ON L6V 1H7

Owners:  
Steven & Mary Ann Allin

Site Plan Info:  
Lot 6  
Plan BR-13  
Plan 110

CANOPY DESIGN  
ARCHITECTURE + LANDSCAPE

289-890-0464  
canopyhome.ca  
design@canopyhome.ca  
9 Park Ave, Georgetown ON L7G 1Y5

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION  
Required unless design is exempt under Division C, 3.2.5.1 of the 2012 Ontario Building Code

MATHEW PARTRIDGE  
NAME SIGNATURE  
CANOPY DESIGN  
FIRM NAME

101102  
BCN  
11448  
BCN

REGISTRATION INFORMATION  
Required unless design is exempt under Division C, 3.2.5.1 of the 2012 Ontario Building Code

Site Plan

Date:  
2022 12 13

Drawn By:  
MP

Revision #:

Scale:  
1/16"=1'

Sheet #

A0

**Under the authority of the Emergency Management and Civil Protection Act and the Municipal Act, 2001, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).**

**Electronic/Hybrid Hearing Procedures  
How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **January 3, 2023** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

**How to Participate in the Hearing:**

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, December 22, 2022.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
  1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at [cityclerksoffice@brampton.ca](mailto:cityclerksoffice@brampton.ca) or [jeanie.myers@brampton.ca](mailto:jeanie.myers@brampton.ca) by **4:30 pm Thursday, December 22, 2022.**
  2. To participate in-person, please email the Secretary-Treasurer at [cityclerksoffice@brampton.ca](mailto:cityclerksoffice@brampton.ca) or [jeanie.myers@brampton.ca](mailto:jeanie.myers@brampton.ca) by **4:30 pm Thursday, December 22, 2022.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, December 22, 2022.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:  
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or  
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to [cityclerksoffice@brampton.ca](mailto:cityclerksoffice@brampton.ca) or [jeanie.myers@brampton.ca](mailto:jeanie.myers@brampton.ca). If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

**NOTE** Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, [www.brampton.ca](http://www.brampton.ca). By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

**Note: City Hall will be closed to the public from 12:00 Noon on December 23, 2022 to January 2, 2023 inclusive. City Hall will re-open on Tuesday, January 3, 2023.**

## AMENDMENT LETTER

December 14, 2022

To: Committee of Adjustment

**RE: APPLICATION FOR MINOR VARIANCE  
STEVEN AND MARY ANN ALLIN  
PART OF LOT 110, PLAN BR-2,  
A-2022-0384 – 11 ALEXANDER STREET**

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Please **amend** application **A-2022-0384** to reflect the following:

1. To permit an above grade side entrance with a side yard width of 1.1m (3.61 ft.) extending from the front wall of the dwelling up to and including the door, whereas the by-law only permits an above grade side entrance when the side yard within which the door is located has a minimum width of 1.2 m (3.94 ft.) extending from the front wall of the dwelling up to and including the door;
2. To permit a 1.1m (3.61 ft.) wide path of travel leading to a principal entrance for a second unit whereas the by-law requires a minimum unencumbered side yard width of 1.2m (3.94 ft.) to be provided as a path of travel from the front yard to the principal entrance for a second unit;
3. To permit a rear yard setback of 11.1m (36.42 ft.) whereas the by-law requires a minimum rear yard setback of 25% of the lot depth resulting in a minimum setback of 11.36m (37.27 ft.);
4. To permit lot coverage of 38% whereas the by-law permits a maximum lot coverage of 30%.



Applicant/Authorized Agent

Flower City



brampton.ca

For Office Use Only  
(to be inserted by the Secretary-Treasurer  
after application is deemed complete)

FILE NUMBER: A-2022-0384

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

**NOTE:** It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law 270-2004.

1. **Name of Owner(s)** Steven & Mary Ann Allin  
**Address** 11 Alexander Street Brampton ON L6V 1H7  
  
**Phone #** 647-361-4313 **Fax #** \_\_\_\_\_  
**Email** maryannallin01@gmail.com steveallin01@gmail.com

2. **Name of Agent** Mathew Partridge  
**Address** 9 Park Ave Georgetown ON L7G 1Y5  
  
**Phone #** 289-890-0464 **Fax #** \_\_\_\_\_  
**Email** matt@canopyhome.ca

3. **Nature and extent of relief applied for (variances requested):**  
2. Relief from 10.72 (c) Maximum lot coverage of 30% excluding permitted accessory structures  
The proposed addition requires a increased lot coverage requirement of 38%

4. **Why is it not possible to comply with the provisions of the by-law?**  
The proposed addition to the home is to accommodate an accessible accessory dwelling unit and is designed to minimize scope and impact to the existing dwelling and lot. It is not possible to accommodate the addition and meet the zoning requirments without major changes to the existing dwelling.

5. **Legal Description of the subject land:**  
**Lot Number** 6  
**Plan Number/Concession Number** 110  
**Municipal Address** 11 Alexander Street

6. **Dimension of subject land (in metric units)**  
**Frontage** 15.24 m  
**Depth** 45.27 m  
**Area** .0697 ha

7. **Access to the subject land is by:**  
Provincial Highway ☐  
Municipal Road Maintained All Year ☒  
Private Right-of-Way ☐  
Seasonal Road ☐  
Other Public Road ☐  
Water ☐



8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

Existing Dwelling: 2 story, 12.9m w x 13.1m d  
Ground floor area: 118.424m<sup>2</sup>, 1/2 floor area: 21.89m<sup>2</sup>, 2nd floor area: 90.731m<sup>2</sup>, gross floor area: 231.045m<sup>2</sup>  
Shed: 7.4m<sup>2</sup>, 3.05m w x 2.4m d

PROPOSED BUILDINGS/STRUCTURES on the subject land:

2nd Shed: 7.4m<sup>2</sup>, 3.05m w x 2.4m d  
Addition to dwelling: 68.44m<sup>2</sup>, 5.4m w x 17m d

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback	3.74m
Rear yard setback	22.38m
Side yard setback	1.22m
Side yard setback	1.2m

PROPOSED

Front yard setback	3.74m
Rear yard setback	11.1m
Side yard setback	1.2m
Side yard setback	1.2m

10. Date of Acquisition of subject land: February 2006
11. Existing uses of subject property: Residential
12. Proposed uses of subject property: Residential
13. Existing uses of abutting properties: Residential / worship
14. Date of construction of all buildings & structures on subject land: Dwelling 1951 / addition 2019
15. Length of time the existing uses of the subject property have been continued: 71
16. (a) What water supply is existing/proposed?  
Municipal ☒ Other (specify) \_\_\_\_\_  
Well ☐
- (b) What sewage disposal is/will be provided?  
Municipal ☒ Other (specify) \_\_\_\_\_  
Septic ☐
- (c) What storm drainage system is existing/proposed?  
Sewers ☒ Other (specify) \_\_\_\_\_  
Ditches ☐  
Swales ☐

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # \_\_\_\_\_ Status \_\_\_\_\_

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☒ No ☐ Unknown ☐

If answer is yes, provide details:

File # A 2022-0269	Decision Approved	Relief Lot Coverage from 30% to 36%
File # A-2022-0269	Decision Approved	Relief Relief from rear yard setback 11.36m from 11.21
File # _____	Decision _____	Relief _____

Math. Partridge  
Signature of Applicant(s) or Authorized Agent

DATED AT THE Town of Georgetown OF Ontario

THIS 25 DAY OF November 2022

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Mathew Partridge OF THE Town OF Georgetown  
IN THE Region OF Halton SOLEMNLY DECLARE THAT

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton  
IN THE Region OF  
Nov. THIS 29<sup>th</sup> DAY OF  
2022

Jeanie Cecilia Myers  
a Commissioner, etc.,  
Province of Ontario  
for the Corporation of the  
City of Brampton  
Expires April 8, 2024.

Math. Partridge  
Signature of Applicant or Authorized Agent

Submit by Email

Jeanie Myers  
A Commissioner etc.

FOR OFFICE USE ONLY

Present Official Plan Designation:

Present Zoning By-law Classification:

R2B(1) & mature neighbourhood

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

[Signature]

Zoning Officer

NOV.29.22

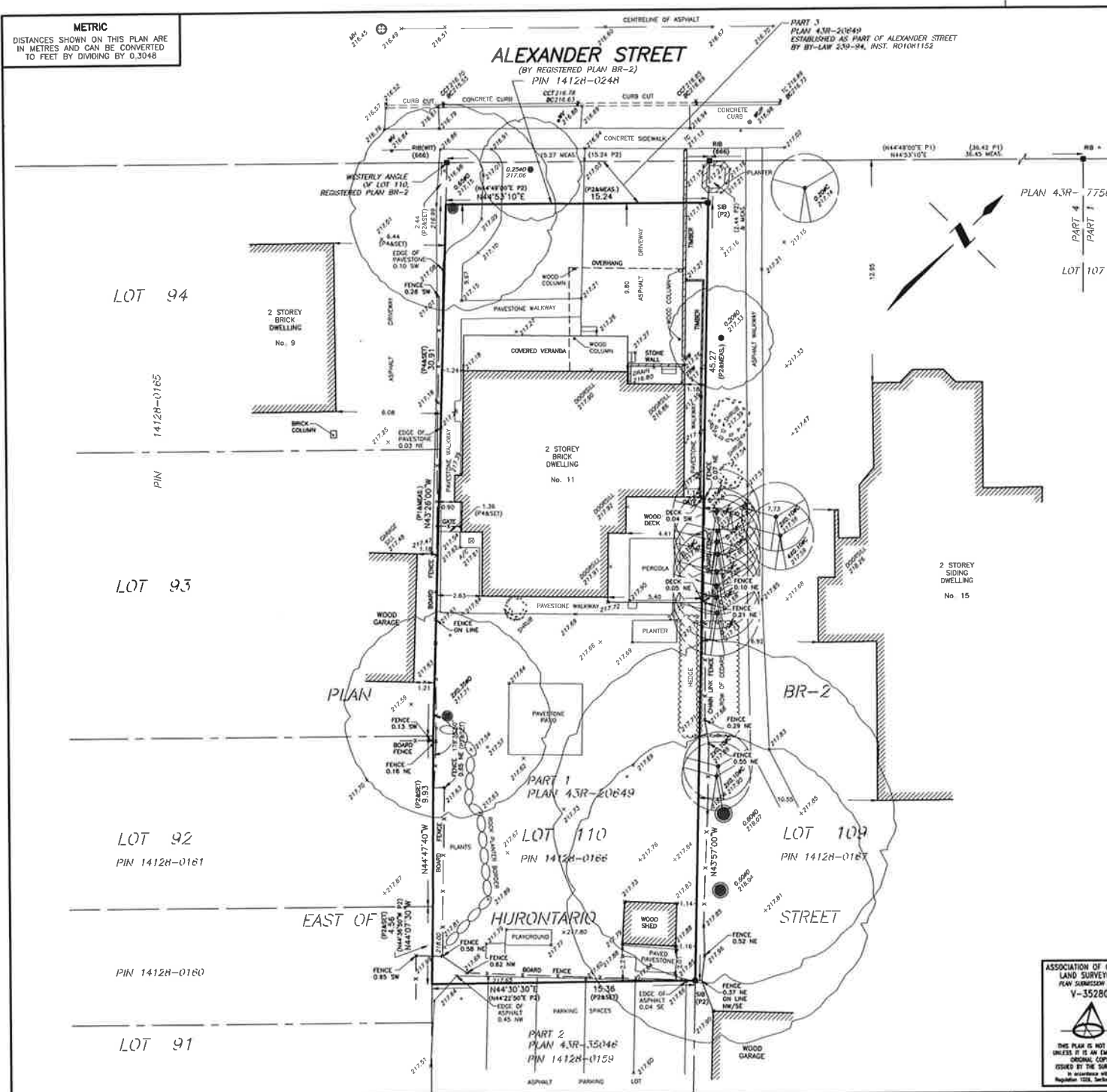
Date

DATE RECEIVED Nov. 29, 2022

Date Application Deemed  
Complete by the Municipality

Revised 2022/02/17

METRIC  
DISTANCES SHOWN ON THIS PLAN ARE  
IN METRES AND CAN BE CONVERTED  
TO FEET BY DIVIDING BY 0.3048



SURVEYOR'S REAL PROPERTY REPORT

PLAN OF SURVEY WITH TOPOGRAPHY OF  
PART OF LOT 110  
EAST OF HURONTARIO STREET  
PLAN BR-2  
CITY OF BRAMPTON  
REGIONAL MUNICIPALITY OF PEEL

SCALE 1 : 150  
0 1 2 3 4 5 6 7 8 9 10 metres

TARASICK McMILLAN KUBICKI LIMITED  
ONTARIO LAND SURVEYORS

© COPYRIGHT, 2022

REPORT SUMMARY

PROPERTY DESCRIPTION: 11 ALEXANDER STREET, BEING PART OF LOT 110,  
EAST OF HURONTARIO STREET, PLAN BR-2, DESIGNATED AS PART 1, PLAN  
43R-20649, CITY OF BRAMPTON, REGIONAL MUNICIPALITY OF PEEL,  
PIN 14128-0166.

EASEMENTS/RIGHTS-OF-WAY: NONE REGISTERED ON TITLE.

COMMENTS: NOTE LOCATION OF FENCES, WOOD DECK AND PAVESTONE  
WALKWAY ALONG SOUTHWESTERLY LIMIT.

ELEVATION NOTE

ELEVATIONS ARE REFERRED TO CANADIAN GEODETIC VERTICAL DATUM-1928,  
(1978 RE-ADJUSTMENT) AND WERE DERIVED FROM CITY OF BRAMPTON  
BENCHMARK No. 278, HAVING A PUBLISHED ELEVATION OF 219.435 metres.

BEARING NOTE

BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE NORTHEASTERLY  
LIMIT OF PART 1 AS SHOWN ON PLAN 43R-20649, HAVING A BEARING  
OF N43°57'00"W.

LEGEND

■	DENOTES	SURVEY MONUMENT FOUND
SIB	DENOTES	STANDARD IRON BAR
RIB	DENOTES	ROUND IRON BAR
TC	DENOTES	TOP OF CURB
BC	DENOTES	BOTTOM OF CURB
CCT	DENOTES	CURB CUT
MH	DENOTES	MANHOLE
TRW	DENOTES	TOP OF RETAINING WALL
WUP	DENOTES	WOOD UTILITY POLE
WV	DENOTES	WATER VALVE
P1	DENOTES	PLAN 43R-7758
P2	DENOTES	PLAN 43R-20649
P4	DENOTES	A. SKRANDA SURVEYING LTD., O.L.S., APRIL 15, 1986
(666)	DENOTES	ARTHUR DEATH, O.L.S.
(WIT)	DENOTES	WITNESS MONUMENT
○ 0.20#	DENOTES	DECIDUOUS TREE WITH TRUNK DIAMETER
○ 0.20#	DENOTES	CONIFEROUS TREE WITH TRUNK DIAMETER

TREE CANOPIES ARE DRAWN TO SCALE.

PREPARED FOR:

THIS REPORT WAS PREPARED FOR MARY ANN ALLIN AND THE UNDERSIGNED  
ACCEPTS NO RESPONSIBILITY FOR USE BY OTHER PARTIES.

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE  
WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE  
REGULATIONS MADE UNDER THEM.
- THE SURVEY WAS COMPLETED ON AUGUST 26, 2022.

SEPTEMBER 20, 2022  
DATE

SIMON MITREV  
ONTARIO LAND SURVEYOR



TARASICK McMILLAN KUBICKI LIMITED  
ONTARIO LAND SURVEYORS

4181 SLADEVIEW CRESCENT, UNIT 42, MISSISSAUGA, ONTARIO L5L 5R2  
TEL: (905) 569-8849 FAX: (905) 569-3160  
E-MAIL: office@tmksurveyors.com

DRAWN BY: M.M.

FILE No.: 9582-SRPR-T

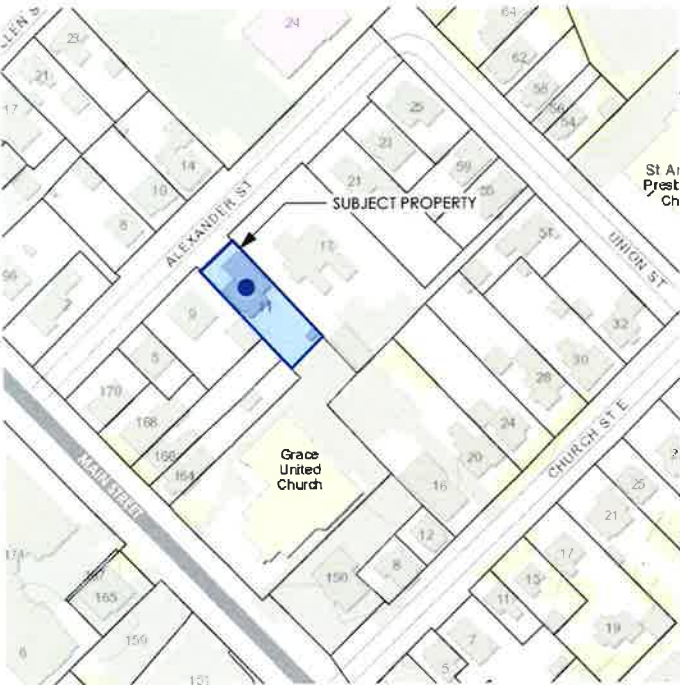
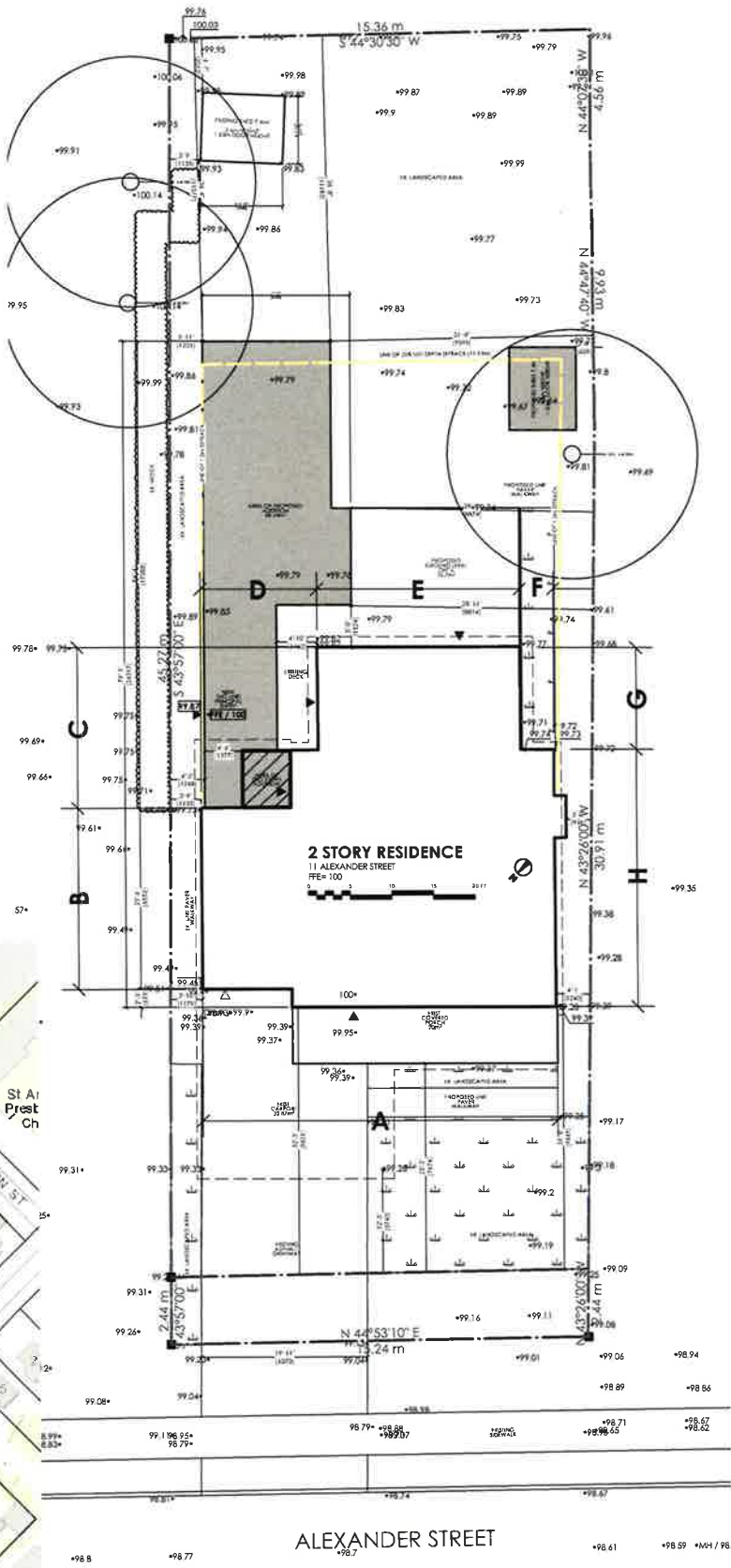


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**Project Name:**  
Allin Residence

**Project Address:**  
11 Alexander St  
Brampton ON L6V 1H7

**Owners:**  
Steven & Mary Ann Allin

**Site Plan Info:**  
Lot 6  
Plan BR-13  
Plan 110

**CANOPY DESIGN**  
ARCHITECTURE + LANDSCAPE

289-890-0444  
canopyhome.ca  
design@canopyhome.ca  
9 Park Ave, Georgetown ON L7G 1Y5

The undersigned has reviewed and is responsible for this design and has the qualifications and meets the requirements set out in the Ontario Building Code for this design.

**QUALIFICATION INFORMATION:**  
Requires unless design is exempt under Division C 3.2.3.1 of the 2012 Ontario Building Code.

**SEALER:**  
NAME: JOHNSON  
ID: 104112  
BCR

**DESIGNER:**  
NAME: STEVEN  
ID: 114445  
BCR

**RECORDING INFORMATION:**  
Requires unless design is exempt under Division C 3.2.3.1 of the 2012 Ontario Building Code.

Site Plan

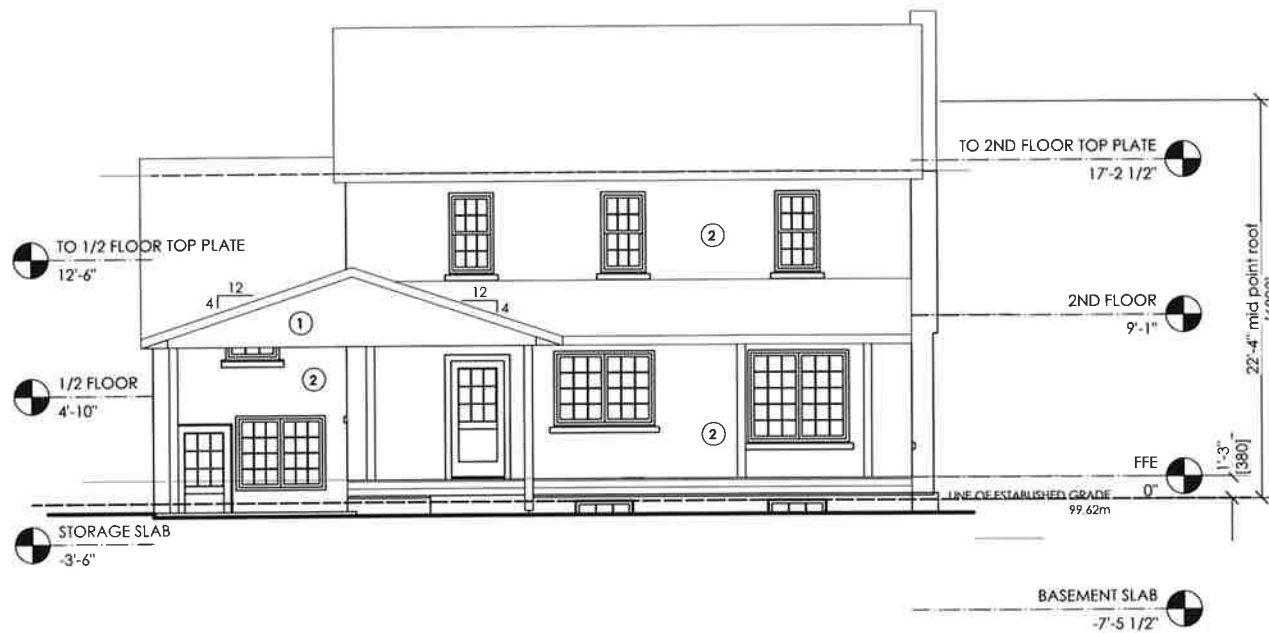
Date:  
2022 12 13

Drawn By:  
MP

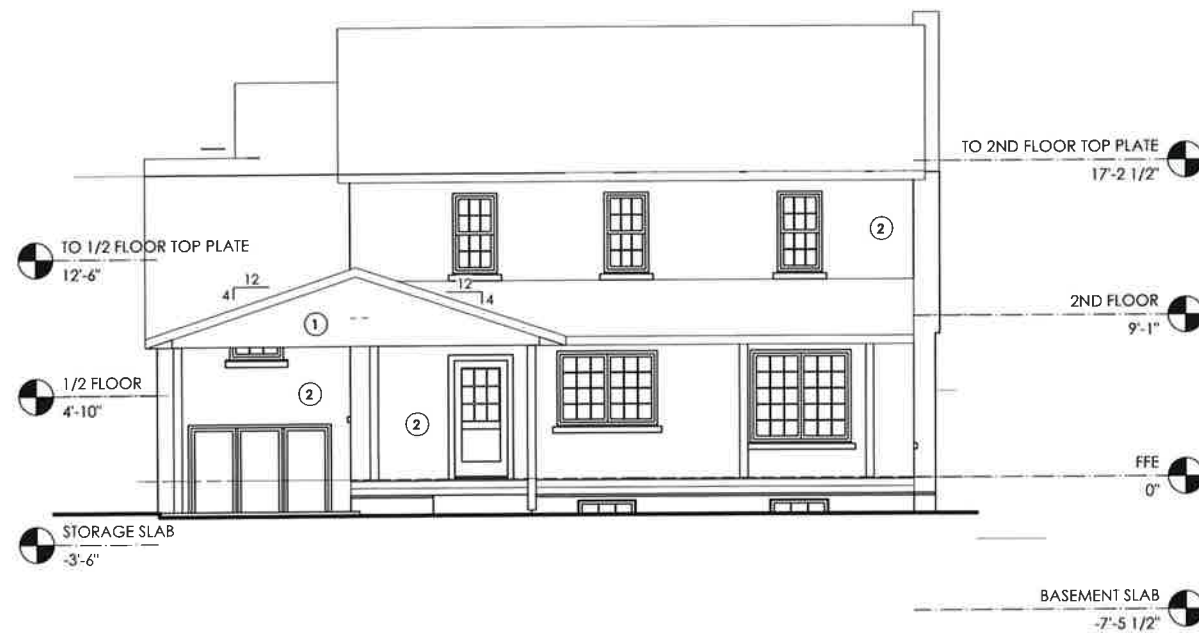
Revision #:

Scale:  
1/16"=1'

Sheet #  
A0



EXIST. FRONT ELEVATION



PROP. FRONT ELEVATION

### Exterior Finishes

1. SIDING
2. BRICK

### Disclaimer

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### Project Name:

Allin Residence

### Project Address:

11 Alexander St  
Brampton ON L6V 1H7

### Owners:

Steven & Mary Ann Allin

### Site Plan Info:

Lot 6  
Plan BR-13  
Plan 110

**CANOPY DESIGN**  
ARCHITECTURE + LANDSCAPE  
design@canopyhome.ca  
canopyhome.ca  
9 Park Ave, Georgetown ON L7G 1Y5  
289 890 0464

The undersigned hereby certifies that the design and construction of the project complies with the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION  
Required under Design Act, 2012, s. 2.3.1 of the 2012 Ontario Building Code.

DATE: 2022 10 14

SCALE: 1/8"=1'

REVISION: 1

REGISTRATION INFORMATION  
Required under Design Act, 2012, s. 2.3.1 of the 2012 Ontario Building Code.

### Front Elevations

### Date:

2022 10 14

### Drawn By:

MP

### Revision #:

### Scale:

1/8"=1'

### Sheet #

A1

1. SIDING
2. BRICK

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**Project Name:**

**Project Address:**

Brampton ON L6V 1H7

Steven &amp; Mary Ann Allin

Lot 6  
Plan BR-13  
Plan 110



22. APPLICATION INFORMATION  
 EXPIRATION DATE OF 15449949: 2016-03-31 12:53:07 PM EDT  
 D-Data Licensing Case

REGISTRATION INFORMATION  
Required unless design is exempt under Division C 3241 of the 2012  
Ontario Building Code

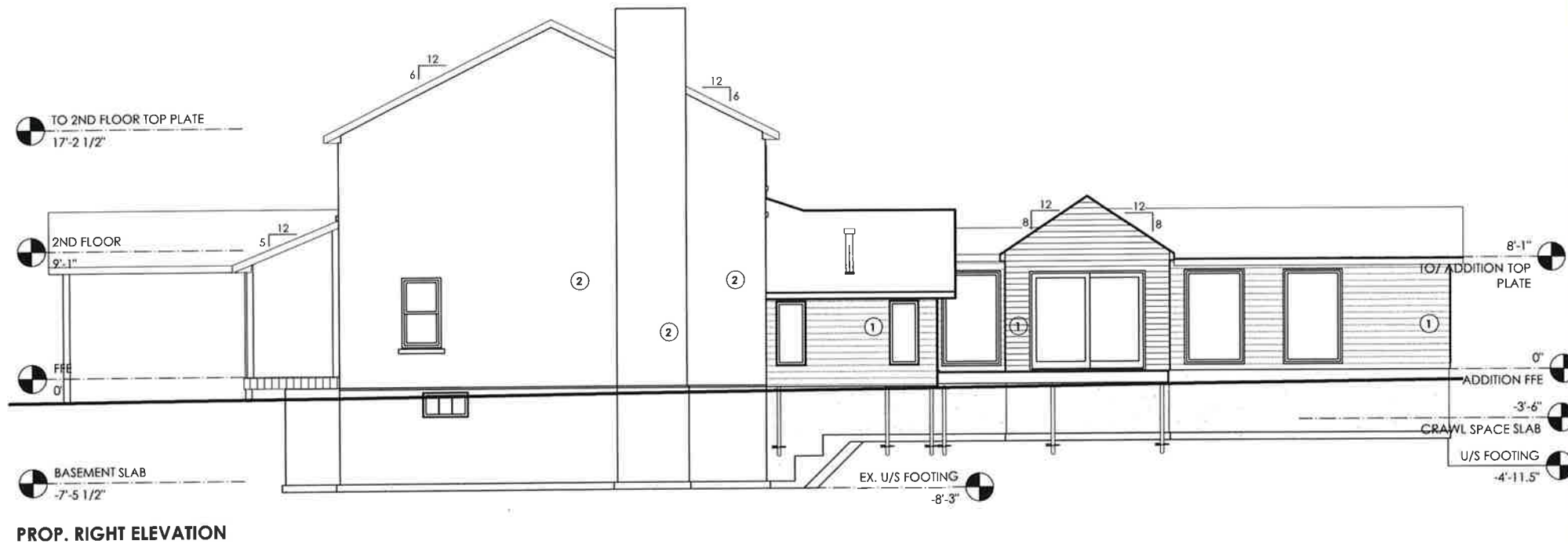
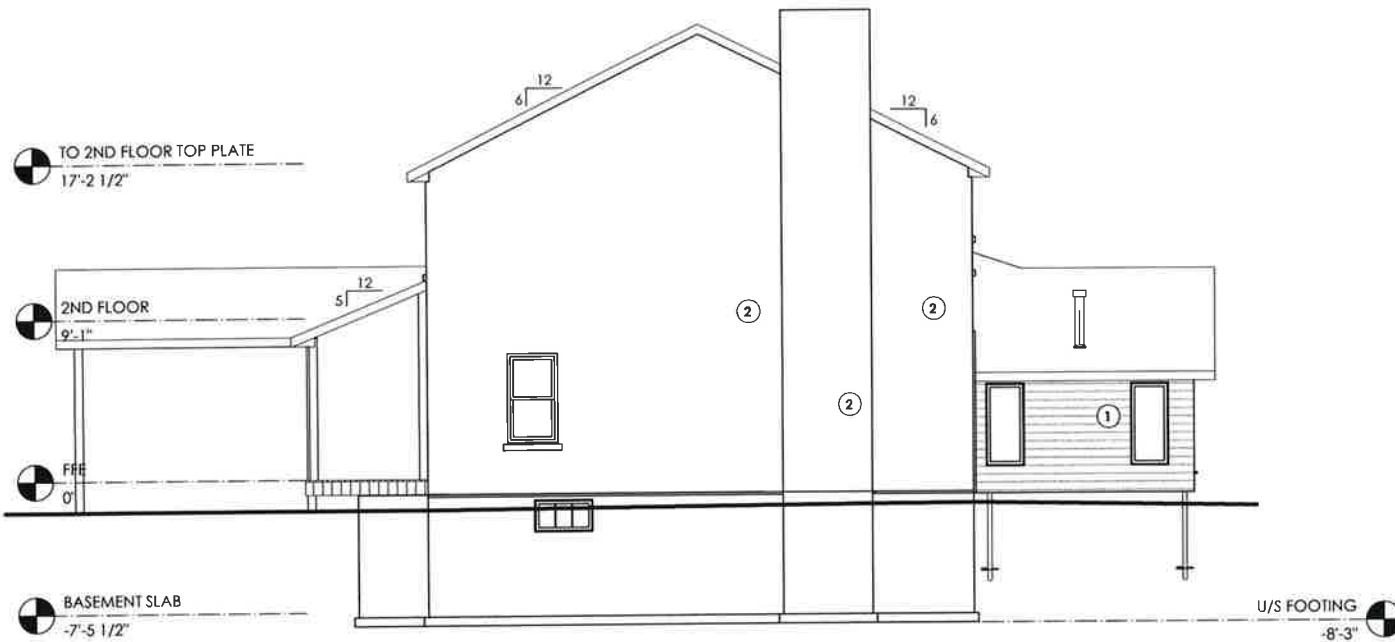
## 2022 10 14

MP

Sheet #

$$1/8" = 1'$$



### Exterior Finishes

- ① SIDING
- ② BRICK

### Disclaimer

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Project Name:

Allin Residence

Project Address:

11 Alexander St  
Brampton ON L6V 1H7

Owners:

Steven & Mary Ann Allin

Site Plan Info:

Lot 6  
Plan BR-13  
Plan 110

**CANOPY DESIGN**  
ARCHITECTURE + LANDSCAPE  
design@canopyhome.ca  
canopyhome.ca  
9 Park Ave. Georgetown ON L7G 1Y5  
289-890-0464

The undersigned hereby certifies that the design and construction of the project complies with the Ontario Building Code and the Ontario Building Act.

REGISTRATION INFORMATION  
Required under Design Act, R.S.O. 1990, c. C. 32 s. 1 of the 2012 Ontario Building Code.

WASHER PARTIDGE	SIGNATURE	DATE
NAME		DATE
CANOPY DESIGN		DATE
NAME		DATE

REGISTRATION INFORMATION  
Required under Design Act, R.S.O. 1990, c. C. 32 s. 1 of the 2012 Ontario Building Code.

### Right Elevations

Date:

2022 10 14

Drawn By:

MP

Revision #:

Scale:

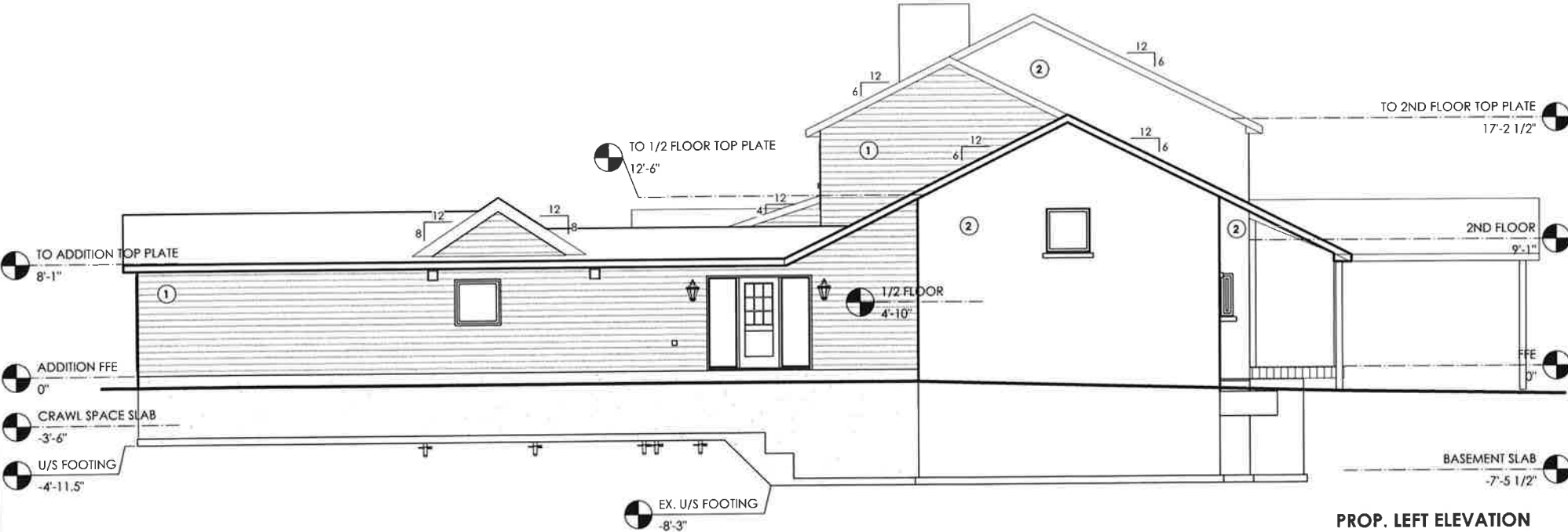
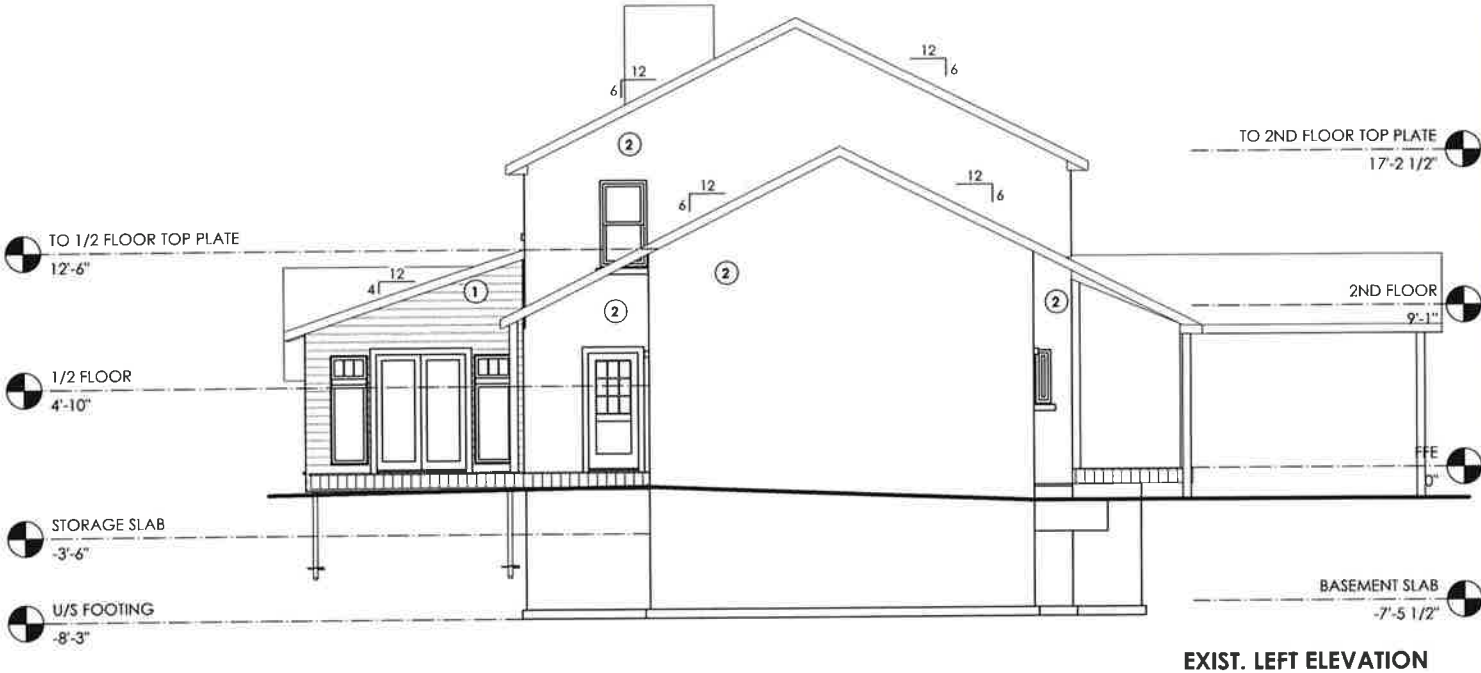
Sheet #

1/8"=1'

A3

Exterior Finishes

- 1 SIDING  
2 BRICK



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Project Name:

Allin Residence

Project Address:

11 Alexander St  
Brampton ON L6V 1H7

Owners:

Steven & Mary Ann Allin

Site Plan Info:

Lot 6  
Plan BR-13  
Plan 110



CANOPY DESIGN  
ARCHITECTURE + LANDSCAPE

design@canopyhome.ca  
canopyhome.ca  
9 Park Ave, Georgetown ON L7G 1Y5  
289-890-0464

The undersigned hereby certifies and represents that the design and construction of the project meets the requirements of the Ontario Building Code.

QUALIFICATION INFORMATION:  
Required unless design is exempt under Division C.3.2.3.1 of the 2012 Ontario Building Code.

MATTHEW PARTRIDGE  
NAME SIGNATURE BCIN

CANOPY DESIGN  
FIRM NAME BCIN

REGISTRATION INFORMATION:  
Required unless design is exempt under Division C.3.2.3.1 of the 2012 Ontario Building Code.

Left Elevations

Date:

2022 10 14

Drawn By:

MP

Revision #:

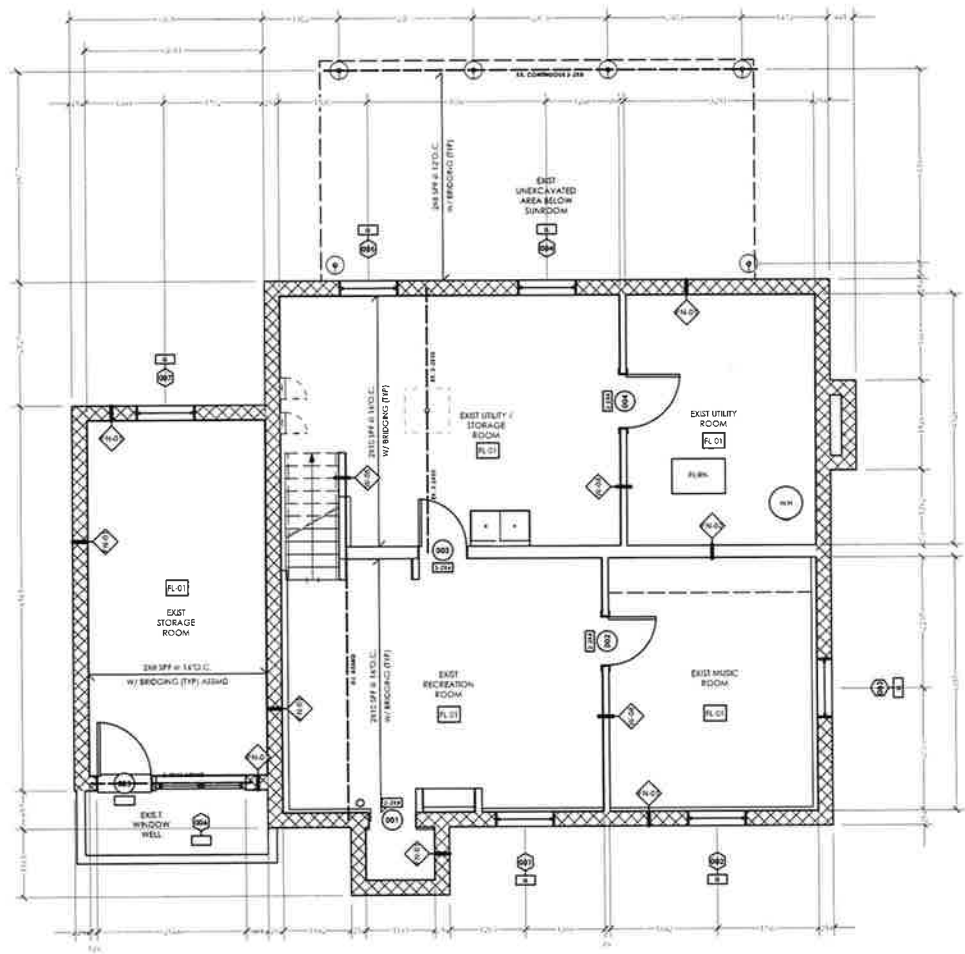
Scale:

1/8"=1'

Sheet #

A4





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**Project Name:**  
Allin Residence

**Project Address:**  
11 Alexander St  
Brampton ON L6V 1H7

**Owners:**  
Steven & Mary Ann Allin

**Site Plan Info:**  
Lot 6  
Plan BR-13  
Plan 110



**CANOPY DESIGN**  
ARCHITECTURE + LANDSCAPE

289-890-0464  
canopyhome.ca  
design@canopyhome.ca  
9 Park Ave, Georgetown ON L7G 1Y5

The undersigned has reviewed and taken responsibility for this design and that the design complies with the requirements set out in the Ontario Building Code to be a design.

**QUALIFICATION INFORMATION**  
Required unless design is exempt under Division C, 3.2.5.1 of the 2012 Ontario Building Code.

WATER FEATURE	GRADE	SOAKAWAY	EXIST. FOUNDATION
CANOPY DESIGN	NEW FLOOR	EXIST. FOUNDATION	EXIST. FOUNDATION

**REGISTRATION INFORMATION**  
Required unless design is exempt under Division C, 3.2.4.1 of the 2012 Ontario Building Code.

Exist. Basement

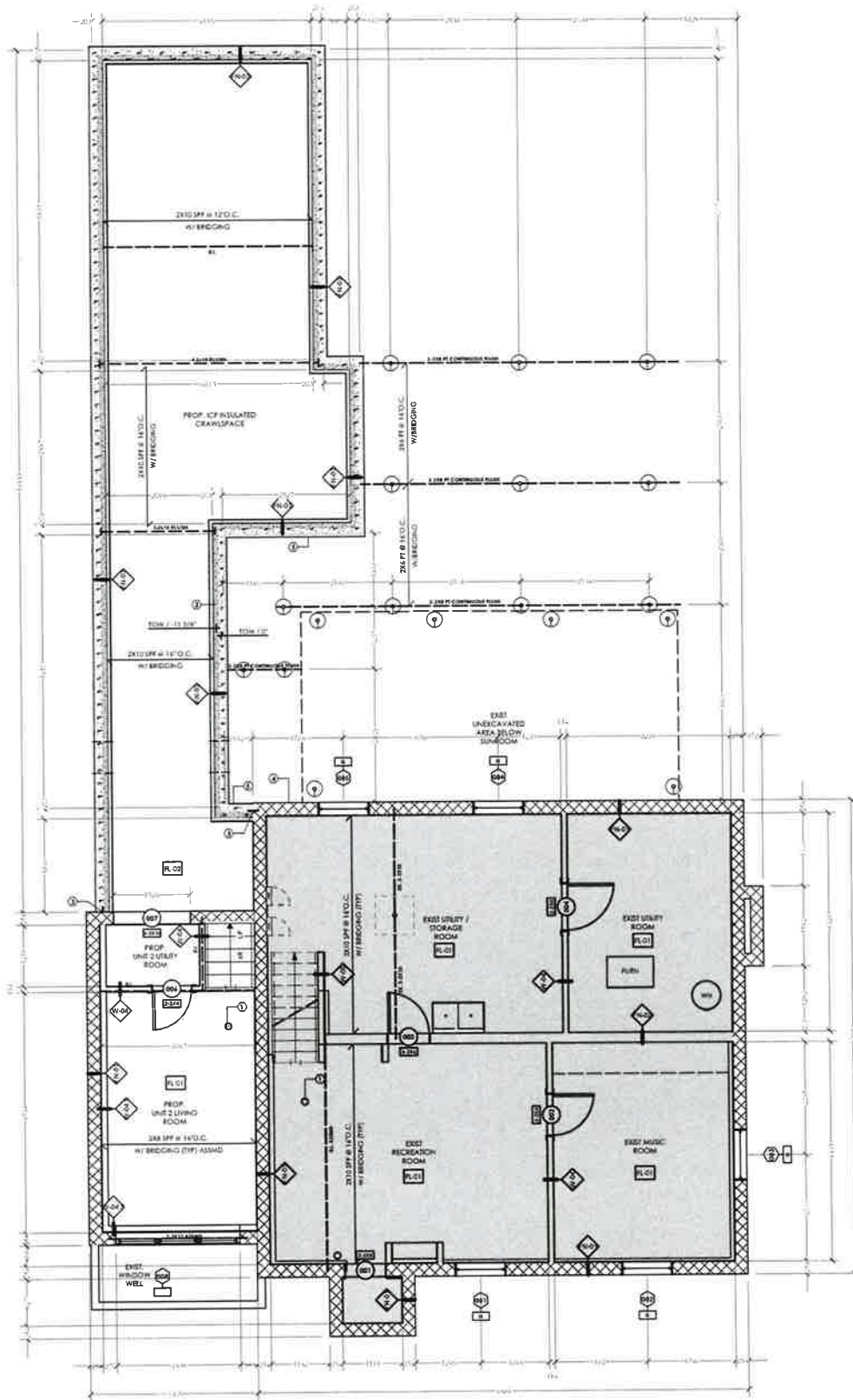
**Date:**  
2022 10 14

**Drawn By:**  
MP

**Revision #:**

**Scale:**  
1/8"=1'

**Sheet #**  
A5



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**Project Name:**

Allin Residence

**Project Address:**

11 Alexander St  
Brampton ON L6V 1H7

**Owners:**

Steven & Mary Ann Allin

**Site Plan Info:**

Lot 6  
Plan BR-13  
Plan 110



289-890-0464  
canopy@canopydesign.ca  
design@canopydesign.ca  
9 Park Ave., Georgetown ON L7G 1Y5

The undersigned has reviewed and approved this drawing for its design and construction and meets the requirements set out in the Ontario Building Code for a design.

QUALIFICATION INFORMATION:  
Requires a design professional under Division C 3.2.5.1 of the 2012 Ontario Building Code.

MATHEW PARTIDGE	108152
NAME	BCIN
CANOPY DESIGN	114449
FIRM NAME	BCIN

REGISTRATION INFORMATION:  
Requires a design professional under Division C 3.2.4.1 of the 2012 Ontario Building Code.

**Prop. Basement**

**Date:**

2022 10 14

**Drawn By:**

MP

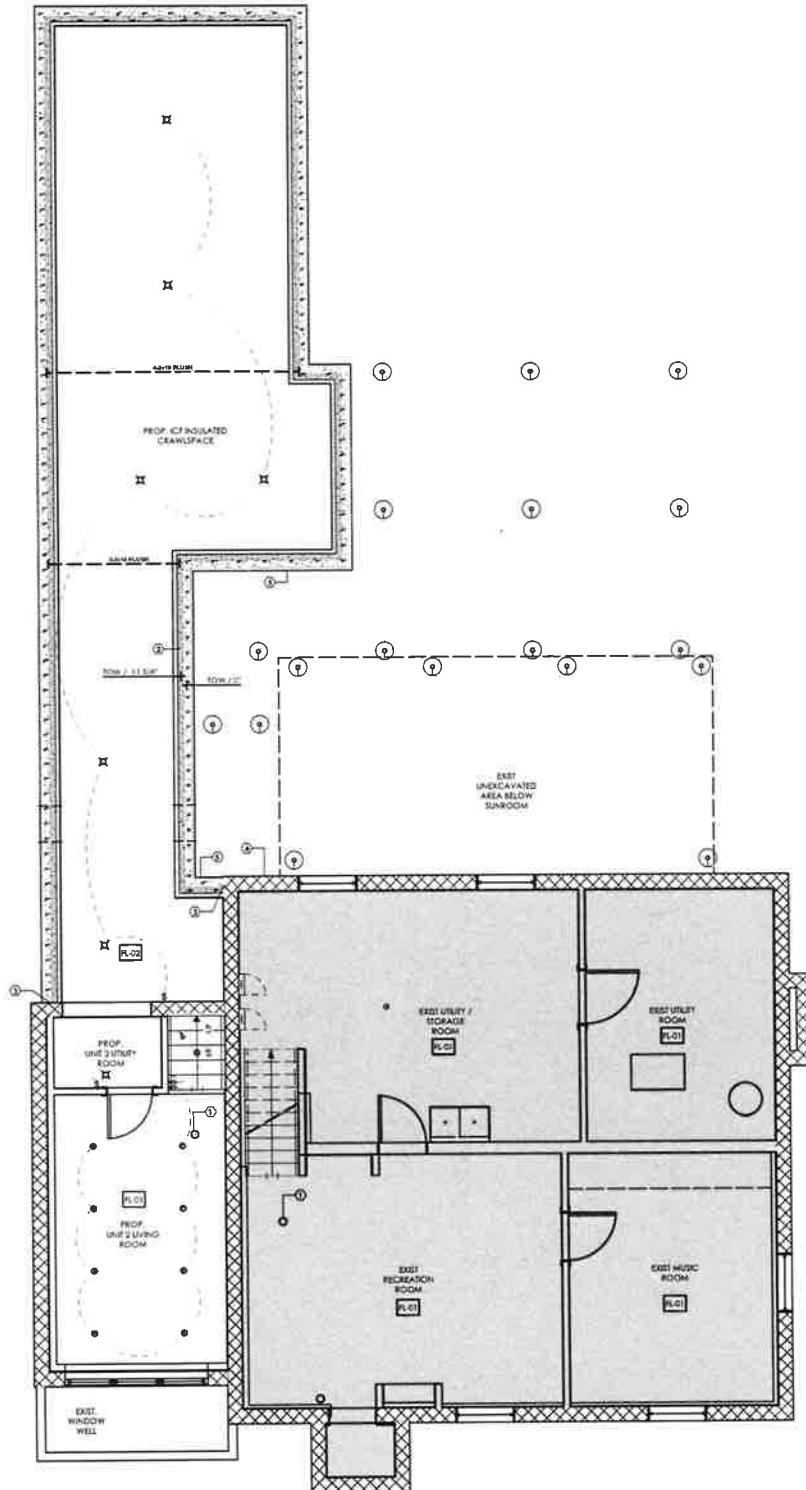
**Revision #:**

**Scale:**

1/8"=1'

**Sheet #**

A6



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#### Project Name:

Allin Residence

#### Project Address:

11 Alexander St  
Brampton ON L6V 1H7

#### Owners:

Steven & Mary Ann Allin

#### Site Plan Info:

Lot 6  
Plan BR-13  
Plan 110



289-890-0444  
canopyhomo.ca  
design@canopyhomo.ca  
9 Park Ave., Georgetown ON L7G 1Y5

The undersigned has reviewed and takes responsibility for this design and notes the qualifications and meets the requirements set out in the Ontario Building Code for this design.

QUINCY INFORMATION: 2.2.5.1 of the 2012  
Required unless design is exempt under Division C 2.2.4.1 of the 2012 Ontario Building Code.

MATHEW PARTIDGE 128152  
NAME SIGNATURE BCN

CANOPY DESIGN 11448  
FIRM NAME BCN

REGISTRATION INFORMATION:  
Required unless design is exempt under Division C 2.2.4.1 of the 2012 Ontario Building Code.

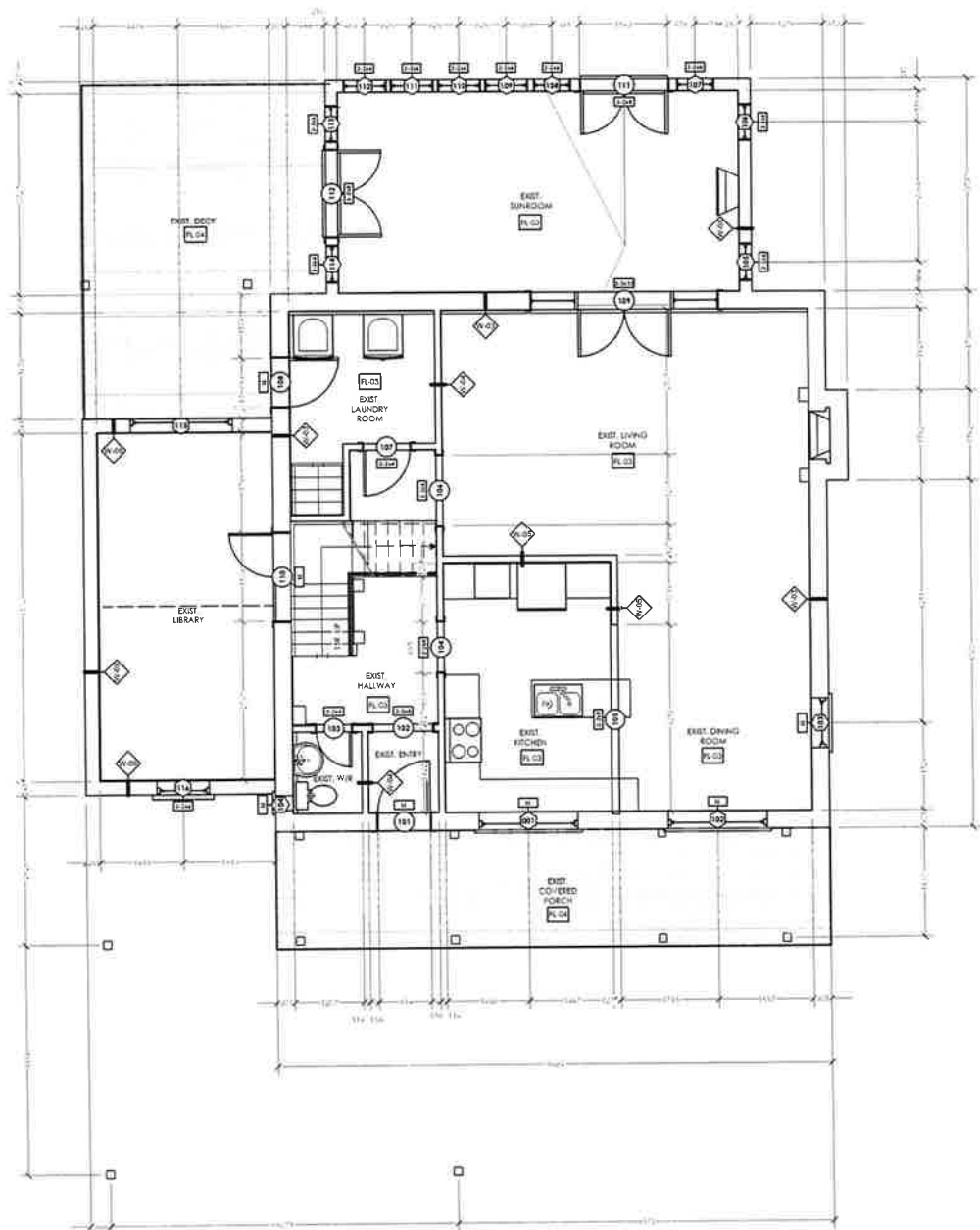
#### Prop. Basement Lighting

Date:  
2022 10 14

Drawn By:  
MP

Scale: Sheet #

1/8"=1' A6.1



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**Project Name:**  
Allin Residence

**Project Address:**  
11 Alexander St  
Brampton ON L6V 1H7

**Owners:**  
Steven & Mary Ann Allin

**Site Plan Info:**  
Lot 6  
Plan BR 13  
Plan 110



**CANOPY DESIGN**  
ARCHITECTURE + LANDSCAPE

289-890 0464  
canopyhome.ca  
design@canopyhome.ca  
9 Park Ave. Georgetown ON L7G 1Y5

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**QUALIFICATION INFORMATION**  
Required unless design is exempt under Ontario Regulation 332.31 or the 2012 Ontario Building Code

ARCHITECT	DATE	10/15/22
DESIGNER	DATE	10/15/22
DRAWN BY	DATE	10/15/22
CHECKED BY	DATE	10/15/22
APPROVED BY	DATE	10/15/22

**REGISTRATION INFORMATION**  
Required unless design is exempt under Ontario Regulation 332.31 or the 2012 Ontario Building Code

Exist. Main Floor

**Date:**  
2022 10 14

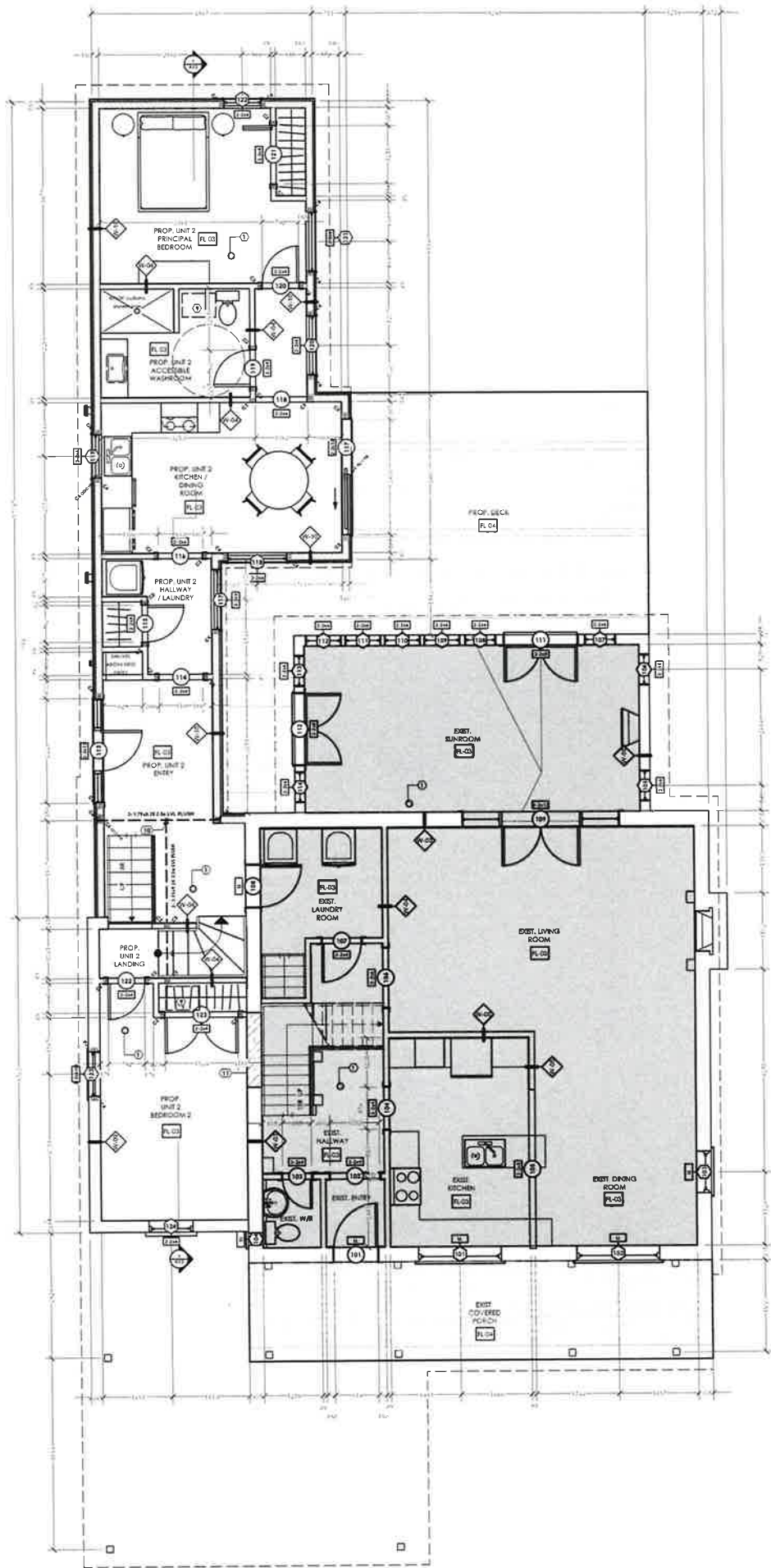
**Drawn By:**  
MP

**Scale:**  
1/8"=1'

**Revision #:**

**Sheet #**  
A7





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Allin Residence

**Project Address:**  
11 Alexander St  
Brampton ON L6V 1H7

**Owners:**  
Steven & Mary Ann Allin

**Site Plan Info:**  
Lot 6  
Plan BR-13  
Plan 110



CANOPY DESIGN  
ARCHITECTURE + LANDSCAPE

289-890-0464  
canopyhome.ca  
design@canopyhome.ca  
9 Park Ave, Georgetown ON L7G 1Y5

The project grant, recommendations and recommendations for this design, and any other design or construction, shall be subject to the terms and conditions of the project grant.

QUALIFICATION INFORMATION  
Required under the Ontario Building Code Act, R.O. 1997, s. 37(1) of the 2012 Ontario Building Code.

MATTHEW PARTIDGE	DATE	10/1/22
ARCHITECT	WORKSHEET	BCIN
CANOPY DESIGN	DATE	11/4/22
ARCHITECT	WORKSHEET	BCIN

REGISTRATION INFORMATION  
Required under the Ontario Building Code Act, R.O. 1997, s. 37(1) of the 2012 Ontario Building Code.

Prop. Main Floor

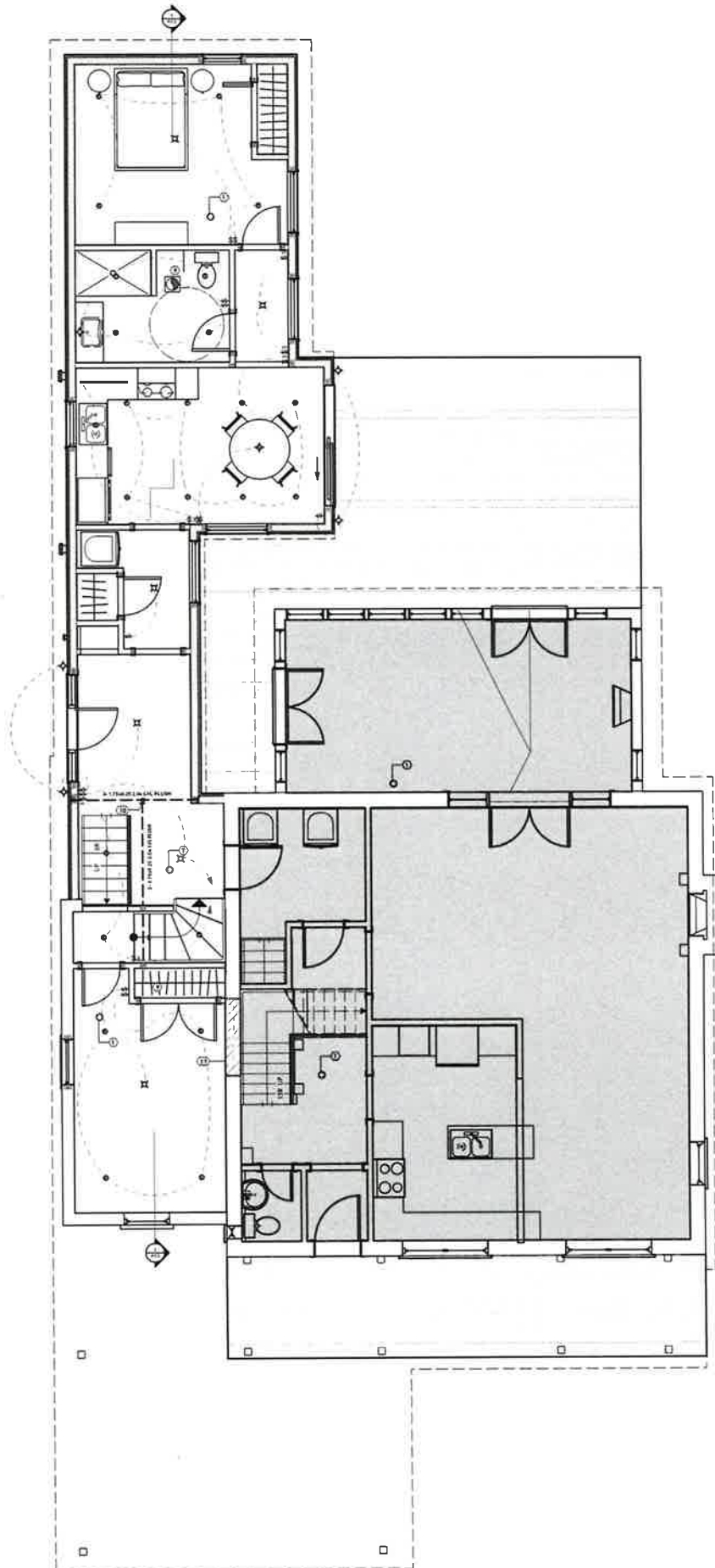
Date:  
2022 10 14

Drawn By: MP  
Revision #:

Scale: Sheet #

1/8"=1' A8





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**Project Name:**  
Allin Residence

**Project Address:**  
11 Alexander St  
Brampton ON L6V 1H7

**Owners:**  
Steven & Mary Ann Allin

**Site Plan Info:**  
Lot 6  
Plan BR-13  
Plan 110

  
**CANOPY DESIGN**  
ARCHITECTURE • LANDSCAPE

289-890-0464  
canopyhome.ca  
design@canopyhome.ca  
9 Park Ave, Georgetown ON L7G 1Y5

The undersigned has examined and found acceptable, by its original, and not the date of construction, the requirements of the Ontario Building Code to be a design.

**QUALIFICATION INFORMATION:**  
Required under Design (Ontario Building Code, 2022) for the 2022 Ontario Building Code.

MATTHEW PATRIDGE	DATE	10/11/22
NAME	SIGNATURE	BCIN
CANOPY DESIGN	DATE	11/14/25
NAME	SIGNATURE	BCIN

**REGISTRATION INFORMATION:**  
Required under Design (Ontario Building Code, 2022) for the 2022 Ontario Building Code.

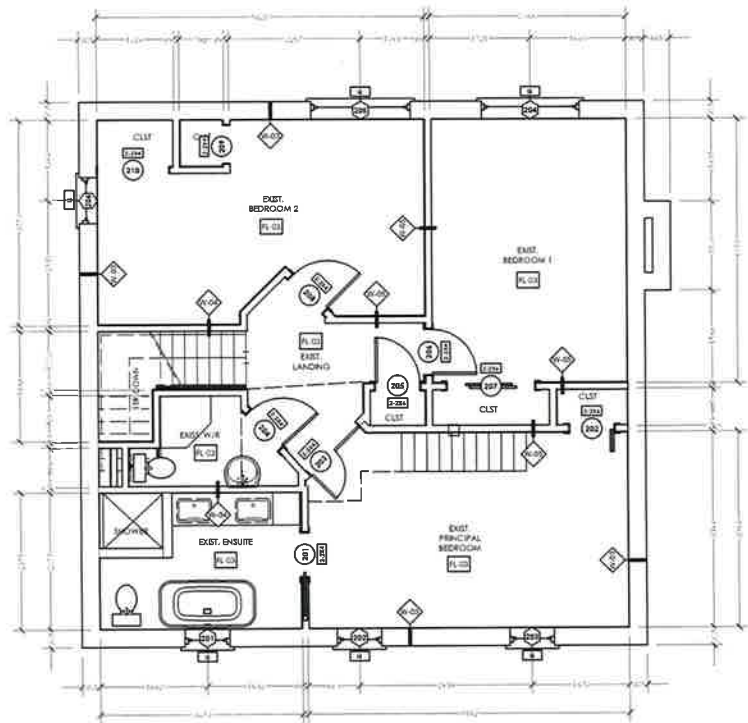
**Prop. Main Floor Lighting**

**Date:**  
2022 10 14

**Drawn By:**  
MP

**Scale:**  
1/8"=1'

**Sheet #:**  
A8.1



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**Project Name:**  
Allin Residence

**Project Address:**  
11 Alexander St  
Brampton ON L6V 1H7

**Owners:**  
Steven & Mary Ann Allin

**Site Plan Info:**  
Lot 6  
Plan BR-13  
Plan 110



**CANOPY DESIGN**  
ARCHITECTURE + LANDSCAPE

289-890-0464  
canopynoma.ca  
design@canopynoma.ca  
9 Park Ave. Georgetown ON L7G 1Y5

The undersigned has reviewed and later modified this plan for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

**QUALIFICATION INFORMATION**  
Requires a valid design license under Division C 32.5.1 of the 2012 OBC or Building Code

MATHEW PARTRIDGE	108152
NAME	REGISTERED
CANOPY DESIGN	114425
FIRM NAME	PCA

**REGISTRATION INFORMATION**  
Requires a valid design license under Division C 32.5.1 of the 2012 OBC or Building Code

Exist. 2nd Floor

**Date:**  
2022 10 14

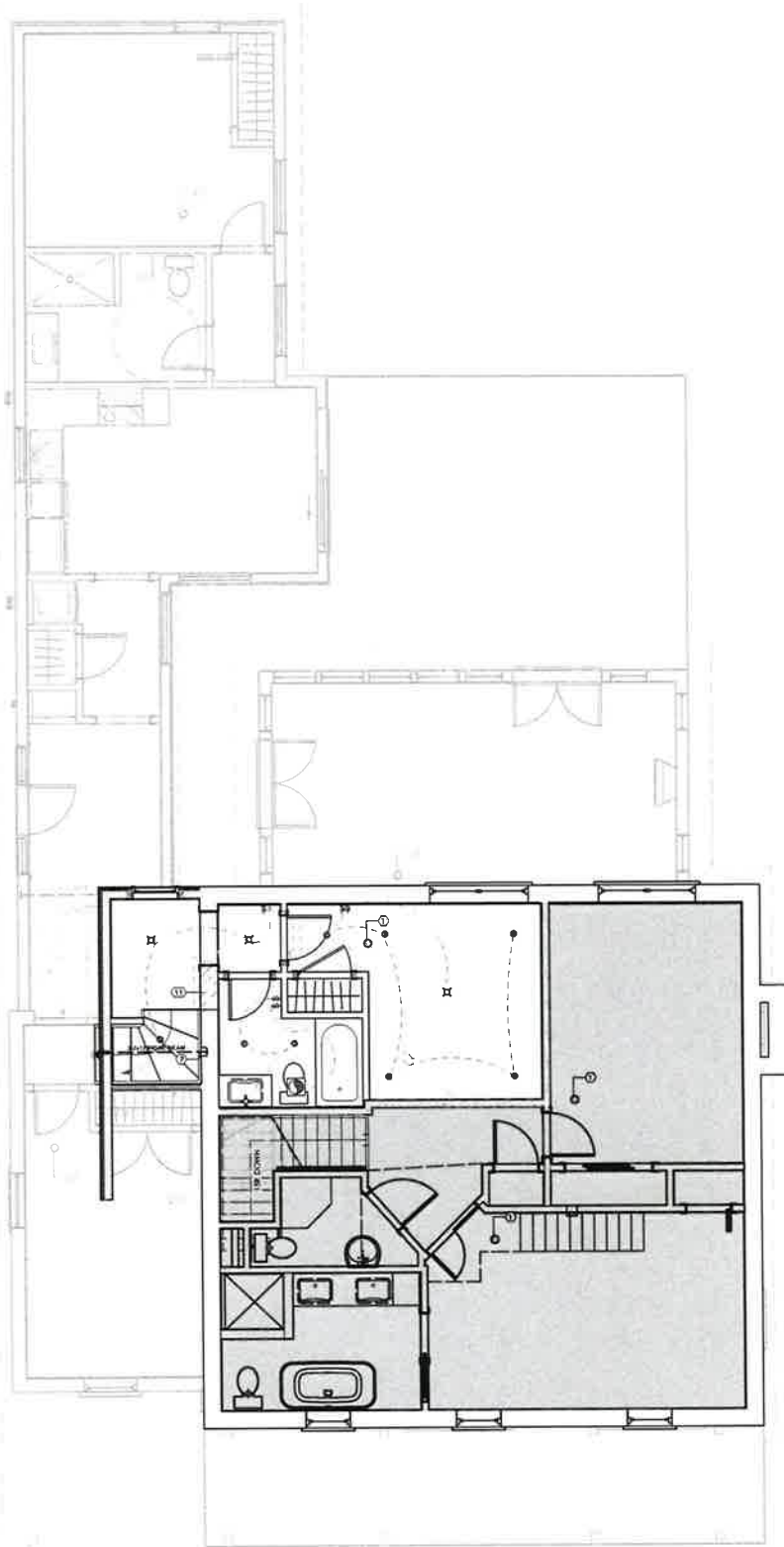
**Drawn By:**  
MP

**Revision #:**

**Scale:**  
1/8"=1'

**Sheet #**  
A9





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Project Name:  
Allin Residence

Project Address:  
11 Alexander St  
Brampton ON L6V 1H7

Owners:  
Steven & Mary Ann Allin

Site Plan Info:  
Lot 6  
Plan BR-13  
Plan 110



CANOPY DESIGN  
ARCHITECTURE + LANDSCAPE

289 BPO 0464  
canopyhome.ca  
design@canopyhome.ca  
9 Park Ave, Georgetown ON L7G 1Y5

The undersigned has reviewed and takes responsibility for this design and that the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION  
Required unless design is exempt under Division C 3.2.5.1 of the 2012 Ontario Building Code

MATTHEW PARTRIDGE	108152
NAME	SIGNATURE
CANOPY DESIGN	111448
PROJECT NAME	BCIN

RECORDATION INFORMATION  
Required unless design is exempt under Division C 3.2.4.1 of the 2012 Ontario Building Code

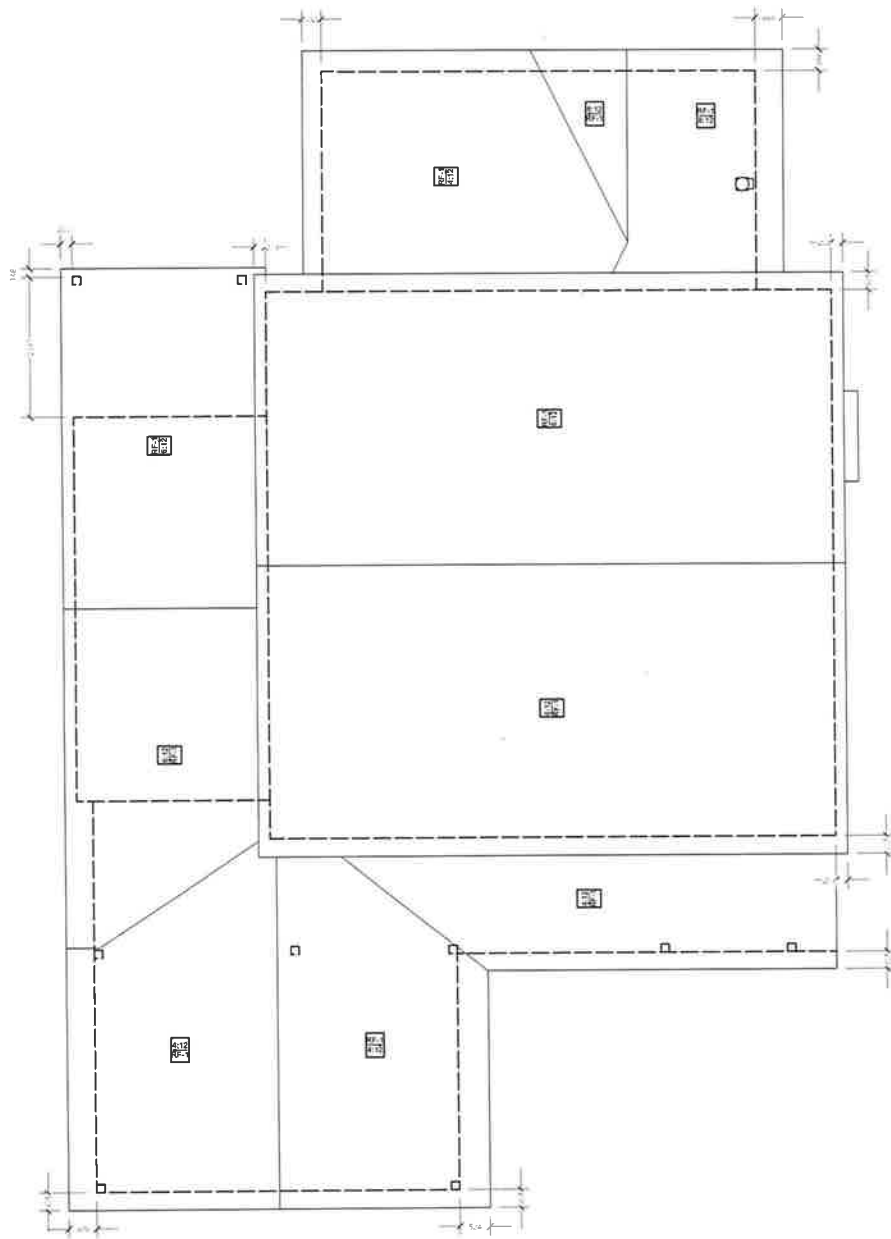
Prop. 2nd Floor  
Lighting

Date:  
2022 10 14

Drawn By:  
MP

Scale: Sheet #

1/8"=1' A10.



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**Project Name:**  
Allin Residence

**Project Address:**  
11 Alexander St  
Brampton ON L6V 1H7

**Owners:**  
Steven & Mary Ann Allin

**Site Plan Info:**  
Lot 6  
Plan 88-13  
Plan 110



289-890-0464  
canopyhoma.ca  
design@canopyhoma.ca  
9 Park Ave. Georgetown ON L7G 1Y5

The undersigned hereby certifies that the design and construction of the proposed canopy design and construction are in accordance with the Ontario Building Code, 2012, and the Ontario Building Code, 2012, and the Ontario Building Code, 2012.

QUALIFICATION INFORMATION:  
Required unless design is exempt under Section C.3.2.3.1 of the 2012 Ontario Building Code.

MATTHEW PARTRIDGE	128132
NAME	BCA
CANOPY DESIGN	114495
REGISTERED	BCA

REGISTRATION INFORMATION:  
Required unless design is exempt under Section C.3.2.3.1 of the 2012 Ontario Building Code.

#### Exist. Roof

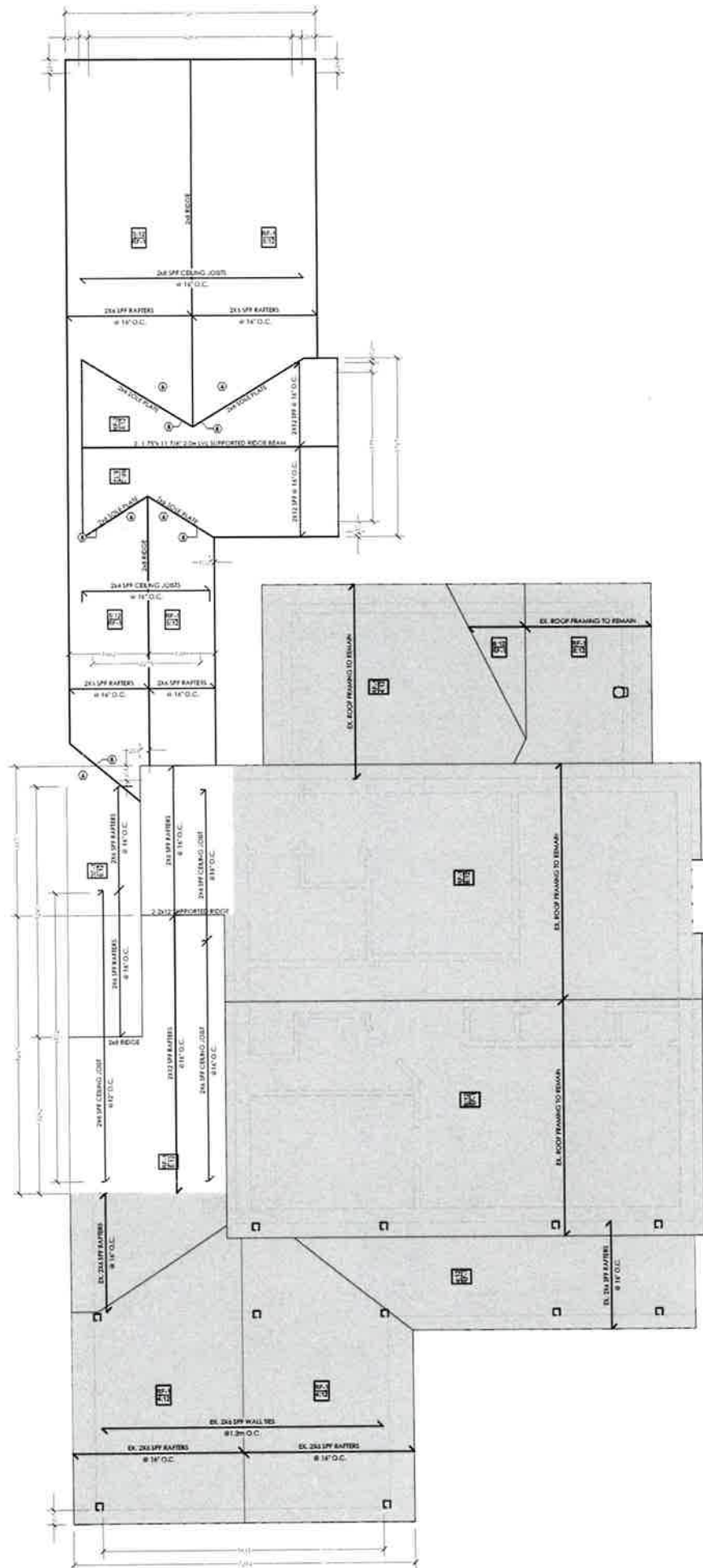
**Date:**  
2022 10 14

**Drawn By:**  
MP

**Scale:**  
1/8"=1'

**Sheet #**  
A11





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**Project Name:**  
Allin Residence

**Project Address:**  
11 Alexander St  
Brampton ON L6V 1H7

**Owners:**  
Steven & Mary Ann Allin

**Site Plan Info:**  
Lot 6  
Plan BR 13  
Plan 110



289-890-0464  
canopyhome.ca  
design@canopyhome.ca  
9 Park Ave, Georgetown ON L7G 1Y5

The undersigned hereby certifies that the undersigned is a duly qualified and licensed professional in the Province of Ontario, Canada, and is duly registered with the relevant regulatory body.

REGISTRATION INFORMATION:  
Matthew Faymonville, Architect, Ontario Professional Association, No. 123456789, dated 2022-10-14.

MATTHEW FAYMONVILLE  
ARCHITECT  
CANOPY DESIGN  
1100 KENNEDY ROAD  
SCARSBOROUGH, ONTARIO  
M1T 3Z1

REGISTRATION INFORMATION:  
Matthew Faymonville, Architect, Ontario Professional Association, No. 123456789, dated 2022-10-14.

#### Prop. Roof

**Date:**  
2022 10 14

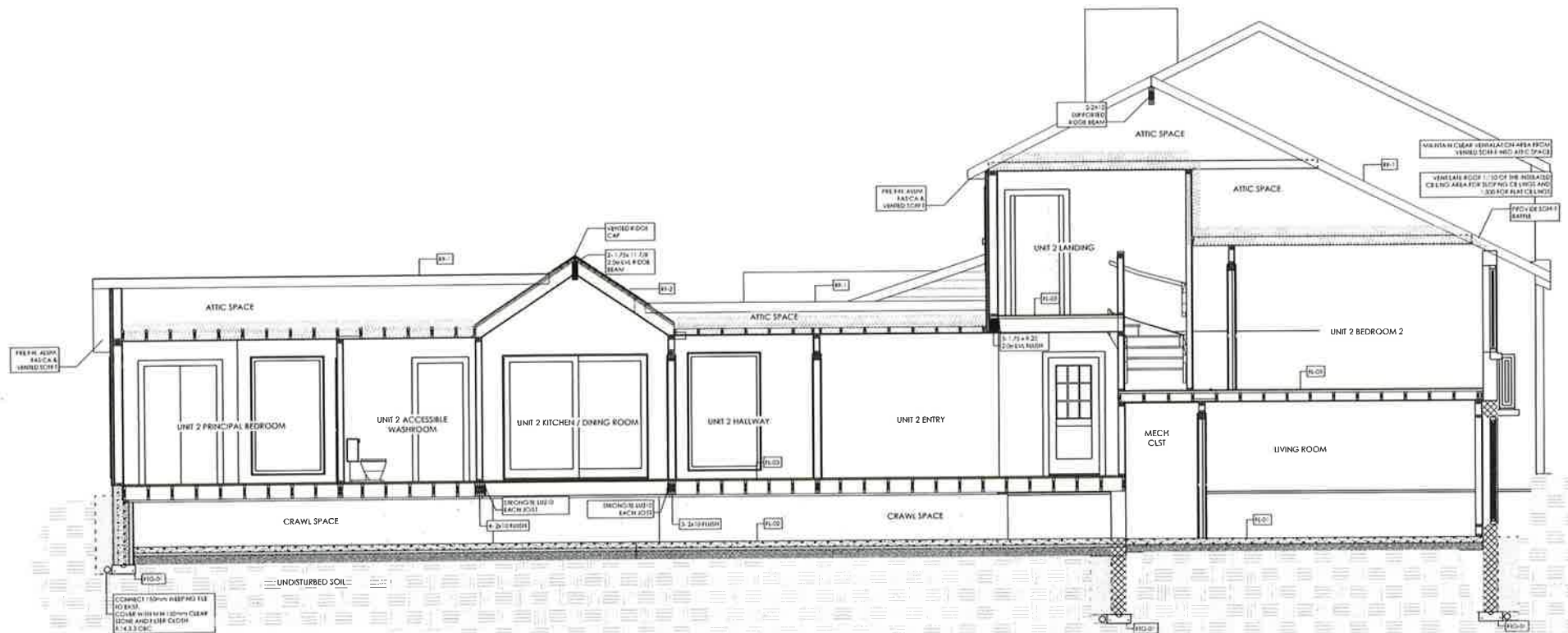
**Drawn By:**  
MP

**Scale:**  
1/8"=1'

**Revision #:**

**Sheet #**

A12



1 SECTION  
Scale: 1/4" = 1'-0"

#### Disclaimer

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THESE DRAWINGS ARE PRELIMINARY AND NOT TO BE USED FOR CONSTRUCTION. THEY ARE NOT TO BE USED FOR ANY OTHER PURPOSE. THEY ARE NOT TO BE USED FOR ANY OTHER PURPOSE.

#### Project Name

Allin Residence

#### Project Address

11 Alexander St.  
Brampton ON L6Y 1H7

#### Owner

Steven & Mary Ann Allin

#### Site Plan Info

Lot: 1  
Pct: 100.00  
Pct: 100.00



CANOPY DESIGN  
ARCHITECTURE

224-890-0464  
info@canopydesign.ca  
1111 King Street West, Suite 100  
Toronto, Ontario M6H 1G5

#### Section

Date: 2022.10.14  
Drawn by: MP

Sheet #

1/4"=1'

A13

Window Schedule

Mark	Lintel	Type	Unit Size		Configuration	Elevation	Elevation Set At	Glazing Area	Comments
			O.A. Width	O.A. Height					
Basement									
01	LL		3'2"	1'8"	Casement	6'7"	Head of Window	0.351 sq m	Existing / Remain
02	LL		3'2"	1'8"	Casement	6'7"	Head of Window	0.351 sq m	Existing / Remain
03	LL		3'2"	1'8"	Casement	6'7"	Head of Window	0.351 sq m	Existing / Remain
04	LL		3'2"	1'8"	Casement	6'7"	Head of Window	0.351 sq m	Existing / Remain
05	LL		3'2"	1'8"	Casement	6'7"	Head of Window	0.351 sq m	Existing / Remain
06			5'0"	4'2"	Bi-parting Casemen	3'0"	Sill of Window	1.301 sq m	Remove
07	LL		3'2"	1'8"	Casement	7'7"	Head of Window	0.351 sq m	Remove
08			8'0"	6'0"	Custom	6'8"	Head of Window	3.179 sq m	New In Exist Opening
Main Floor									
01	LL		5'8"	4'2"	Bi-parting Casemen	3'0"	Sill of Window	1.517 sq m	Existing / Remain
02	LL		5'8"	5'2"	Bi-parting Casemen	2'0"	Sill of Window	1.951 sq m	Existing / Remain
03	LL		2'10"	5'0"	Double Hung	2'0"	Sill of Window	0.839 sq m	Existing / Remain
04	LL		1'0"	3'0"	Fixed Glass	6'8"	Head of Window	0.036 sq m	Existing / Remain
05	2-2x6		2'0"	4'6"	Casement	6"	Sill of Window	0.645 sq m	Existing / Remain
06	2-2x6		2'0"	4'6"	Casement	6"	Sill of Window	0.645 sq m	Existing / Remain
07	2-2x6		2'0"	5'10"	Custom	6"	Sill of Window	0.748 sq m	Existing / Remain
08	2-2x6		2'0"	5'10"	Custom	6"	Sill of Window	0.748 sq m	Existing / Remain
09	2-2x6		2'4"	5'10"	Custom	6"	Sill of Window	0.898 sq m	Existing / Remain
10	2-2x6		2'4"	5'10"	Custom	6"	Sill of Window	0.898 sq m	Existing / Remain
11	2-2x6		2'4"	5'10"	Custom	6"	Sill of Window	0.898 sq m	Existing / Remain
12	2-2x6		2'4"	5'10"	Custom	6"	Sill of Window	0.898 sq m	Existing / Remain
13	2-2x6		2'0"	6'0"	Custom	6"	Sill of Window	0.774 sq m	Existing / Remain
14	2-2x6		2'0"	6'0"	Custom	6"	Sill of Window	0.774 sq m	Existing / Remain
15	2-2x6		5'10"	4'10"	Bi-parting Casemen	2'0"	Sill of Window	1.871 sq m	Remove
16	2-2x6		3'0"	4'10"	Casement	2'0"	Sill of Window	0.903 sq m	Existing / Remain
17	2-2x6		4'0"	6'6"	Casement	6"	Sill of Window	2.101 sq m	New
18	2-2x6		4'0"	6'6"	Casement	6"	Sill of Window	2.101 sq m	New
19	2-2x6		3'0"	3'0"	Casement	3'6"	Sill of Window	0.661 sq m	New
20	2-2x6		4'0"	6'6"	Casement	6"	Sill of Window	2.101 sq m	New
21	2-2x6		4'0"	6'6"	Casement	6"	Sill of Window	2.101 sq m	New
22	2-2x6		2'6"	6'6"	Custom	6"	Sill of Window	1.107 sq m	New
23	2-2x6+L1		3'0"	3'0"	Casement	3'6"	Sill of Window	0.661 sq m	New
24	2-2x6		3'0"	4'10"	Casement	2'0"	Sill of Window	0.903 sq m	
2nd Floor									
01	LL		2'6"	4'6"	Double Hung	2'6"	Sill of Window	0.625 sq m	Existing / Remain
02	LL		2'6"	4'6"	Double Hung	2'6"	Sill of Window	0.625 sq m	Existing / Remain
03	LL		2'6"	4'6"	Double Hung	2'6"	Sill of Window	0.625 sq m	Existing / Remain
04	LL		5'6"	4'6"	Bi-parting Casemen	2'6"	Sill of Window	1.603 sq m	Existing / Remain
05	LL		5'7"	2'4 1/2"	Bi-parting Casemen	4'4 1/2"	Sill of Window	0.727 sq m	Existing / Remain
06	LL		2'8"	4'10"	Double Hung	2'5"	Sill of Window	0.743 sq m	Remove / Repair
07	2-2x6		2'8"	4'10"	Double Hung	2'5"	Sill of Window	0.743 sq m	New

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Allin Residence

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Brampton ON L6V 1H7

Owners:  
Steven & Mary Ann Allin

Site Plan Info:  
Lot 6  
Plan BR 13  
Plan 110



289-890-0464  
canopyhome.ca  
design@canopyhome.ca  
9 Park Ave, Georgetown ON L7G 1Y5

The undersigned has reviewed and found that the design and construction of the proposed building meets the requirements set out in the Ontario Building Code to be a design.

QUALIFICATION INFORMATION:  
Requires this design to meet Ontario Division C, 2.2.4.1 of the 2012 Ontario Building Code.

MATTHEW FERGUSON  
NAME  
CANOPY DESIGN  
1384 Active

SEALS  
TOR 12  
BCR  
11/11/22  
BCR

REGISTRATION INFORMATION:  
Requires this design to meet Ontario Division C, 2.2.4.1 of the 2012 Ontario Building Code.

Window Schedule

Date:  
2022 10 14

Drawn By:  
MP

Scale: 1/8"=1'  
Sheet # A14

Door Schedule							
Mark	Lintel	Type	Panel Size		Configuration	Hardware Group	Comments
			Width	Height			
Basement							
01	2-2X8		2'8"	6'0"	Opening	DHW-#	Existing / Remain
02	2-2X4		2'8"	6'8"	Swing Simple	DHW-#	Existing / Remain
03	3-2X6		2'8"	6'8"	Swing Simple	DHW-#	Existing / Remain
04	2-2X4		3'0"	6'8"	Swing Simple	DHW-#	Existing / Remain
05			3'0"	6'8"	Swing Simple	DHW-#	Remove
06	2-2X4		2'6"	6'8"	Swing Simple	DHW-#	New
07	2-2X10		5'0"	2'8"	Opening	DHW-#	New
Main Floor							
01	LL		3'0"	6'8"	Swing Simple	DHW-#	Existing / Remain
02	2-2x4		3'5"	6'8"	Cased Opening	DHW-#	Existing / Remain
03	2-2x4		2'0"	6'8"	Swing Simple	DHW-#	Existing / Remain
04	2-2x4		2'10 1/2"	6'8"	Cased Opening	DHW-#	Existing / Remain
05	2-2x8		10'10"	7'0"	Opening	DHW-#	Existing / Remain
06	2-2x6		4'1"	6'8"	Cased Opening	DHW-#	Existing / Remain
07	2-2x4		2'8"	6'8"	Swing Simple	DHW-#	Existing / Remain
08	LL		2'10"	6'8"	Swing Simple	DHW-#	Existing / Remain
09	2-2x12		5'4"	6'8"	Swing Bi-part	DHW-#	Existing / Remain
10	LL		5'0 7/8"	6'8"	Swing Complex	DHW-#	Remove / Repair Opening
11	2-2x8		5'0"	6'8"	Swing Bi-part	DHW-#	Existing / Remain
12	2-2x8		5'0"	6'8"	Swing Bi-part	DHW-#	Existing / Remain
13	2-2x12		2'10"	6'8"	Swing Simple	DHW-#	New
14	2-2x4		3'0"	6'8"	Cased Opening	DHW-#	New
15	2-2x4		2'6"	6'8"	Swing Simple	DHW-#	New
16	2-2x6		3'0"	6'8"	Cased Opening	DHW-#	New
17	2-2x12		8'0"	7'0"	Slider	24	New
18	2-2x6		3'6"	6'8"	Opening	DHW-#	New
19	2-2x4		2'6"	6'8"	Swing Simple	DHW-#	New
20	2-2x4		2'6"	6'8"	Swing Simple	DHW-#	New
21	2-2x4		4'0"	6'8"	Bi-fold Simple	DHW-#	New
22	2-2x4		2'6"	6'8"	Swing Simple	DHW-#	New
23	2-2x4		5'0"	6'8"	Swing Bi-part	DHW-#	New
2nd Floor							
01	2-2X4		2'6"	6'8"	Pocket Simple	DHW-#	Existing / Remain
02	2-2X6		2'6"	6'8"	Bi-fold Simple	DHW-#	Existing / Remain
03	2-2X4		3'10"	6'8"	Swing Complex	DHW-#	Existing / Remain
04	2-2X4		2'8"	6'8"	Swing Simple	DHW-#	Existing / Remain
05	2-2X6		2'6"	6'8"	Swing Simple	DHW-#	Existing / Remain
06	2-2X4		2'6"	6'8"	Swing Simple	DHW-#	Existing / Remain
07	2-2X6		4'11"	6'8"	Slider	DHW-#	Existing / Remain
08	2-2X4		2'8"	6'8"	Swing Simple	DHW-#	Remove
09	2-2X4		2'1 1/2"	6'8"	Cased Opening	DHW-#	Remove
10	2-2X4		4'0"	6'8"	Cased Opening	DHW-#	Remove
11	2-2x4		3'0"	6'8"	Swing Simple	DHW-#	New
12	2-2x4		2'6"	6'8"	Swing Simple	DHW-#	New
13	2-2x4		2'4"	6'8"	Swing Simple	DHW-#	New
14	B-B L2		3'0"	6'8"	Cased Opening	DHW-#	New

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11 Alexander St  
Brampton ON L6V 1H7

Owners:  
Steven & Mary Ann Allin

Site Plan Info:  
Lot 6  
Plan BR 13  
Plan 110

  
CANOPY DESIGN  
ARCHITECTURE + LANDSCAPE

289.890.0464  
canopyhome.ca  
design@canopyhome.ca  
9 Park Ave, Georgetown ON L7G 1Y5

The undersigned has prepared and has responsibility for the design and has the duty to inform and advise the owner of the design and the duty to inform and advise the owner of the design and the duty to inform and advise the owner of the design.

QUALIFICATION INFORMATION:  
Residing in the province of Ontario, Canada, I am a member of the Ontario Association of Architects (OAA) and the Ontario Association of Landscape Architects (OALA).

MATHEW PAVINCH  
DESIGNER

SEAN BURL  
DESIGNER

CANOPY DESIGN  
FIRM SEAL

SEAN BURL  
DESIGNER

REGISTRATION INFORMATION:  
Residing in the province of Ontario, Canada, I am a member of the Ontario Association of Architects (OAA) and the Ontario Association of Landscape Architects (OALA).

Door Schedule

Date:  
2022 10 14

Drawn By:  
MP

Revision #:

Scale  
1/8"=1'

Sheet #  
A15



## SB-12 ANALYSIS

Gross Insulated Area & % of Openings Unit 1 17%  
Gross Insulated Area & % of Openings Unit 2 16%

## Compliance Package

1. Zone 1 Electric  
2. Heating 3.1, 1.11 [2] (ip)  
3. Compliance Table Column 5  
4. Package

## Minimum Values Required

Ceiling w/ attic space Nominal R 60  
Ceiling w/o attic space Nominal R 31  
Exposed floor Nominal R 31  
Walls above grade Nominal R 22+10ci  
Basement walls Nominal R 20ci  
Slab (edge <= 24") Nominal R 10  
(all <= 24") Nominal R 10  
Windows & sliding glass doors U 0.25

## CLIMATIC DATA &amp; DESIGN LOADS

## CLIMATIC LOCALITY

Brampton

## ROOF SNOW LOADING

GROUND SNOW LOADING (Ss) 1.3  
RAIN LOAD (Sr) 0.40  
SNOW LOAD FACTOR (Cb) 0.55  
ROOF DESIGN SNOW LOAD 1.12  
ROOF & CEILING DESIGN DEAD LOAD .35

## FLOOR LOADING:

GROUND FLOOR LIVE LOAD 1.92  
GROUND FLOOR DEAD LOAD 0.75

## WIND LOADING:

1/50 WIND PRESSURE 0.44  
1/10 WIND PRESSURE 0.34

## TEMPERATURE:

DEGREE DAYS BELOW 18°C 4100

## SOIL:

ASSUMED ALLOWABLE BEARING PRESSURE 75  
AT FOOTING FOUNDING ELEVATION (SOIL)

## ELECTICAL LEGEND:

DROP CORD LIGHT  
 RECESSED LED LIGHT  
 WALL SCONCE  
 FLUSH MOUNT LIGHT  
 UNDER COUNTER LED LIGHTING  
 3WAY SWITCH  
 SINGLE POLE SWITCH  
 110 CFM EXHAUST FAN  
 SMOKE / CARBON DIOXIDE COMBO LINKED, HARDWIRED

## SYMBOLS:

HYDRO METER  
 GAS METER  
 HOSE BIB  
 RAIN WATER LEADER  
 NATURAL GAS VALVE  
 FLOOR DRAIN  
 SUMP PUMP PIT  
 HOT WATER TANK  
 HEAT RECOVERY VENTILATOR

## WALL SCHEDULE:

**FN-01 EXISTING**  
10" THICK CMU FOUNDATION PARGED ON CONTINUOUS 6" THK STRIP FOOTING (ASSUMED)

**FN-02 EXISTING**  
8" THICK CMU FOUNDATION ON CONTINUOUS 6" THK STRIP FOOTING (ASSUMED)

**FN-03 NEW**  
CONC. PARGING TO 6" ABOVE FINISHED GRADE  
SELF-ADHESIVE WATERPROOF MEMBRANE BELOW GRADE  
POURED CONCRETE ICF FOUNDATION WALL W/ 15M REBAR 16" C/C VERT AND 15M @ 36" C/C HORIZONTAL  
1/2" CEMENT BOARD INTERIOR CAULKED JOINTS

**W-03 EXISTING**  
DOUBLE BRICK  
3/4" STRAPPING VERT 16" C/C  
VAPOUR BARRIER  
1/2" DRYWALL

**W-04.5 NEW**  
1" AIR SPACE  
2x4 STUDS @ 16" O.C. W/ DOUBLE TOP PLATE W SILL GASKET  
R20 CLOSED CELL SPRAY FOAM INSULATION  
1/2" DRYWALL

**W-10**  
5/8" HORIZONTAL VINYL SIDING  
2" RIDGID INSULATION R10 ci TAPED  
TYPAR WEATHER BARRIER  
1/2" PLWOOD SHEATHING  
2 x 6 STUDS @ 16" O.C. W/ DOUBLE TOP PLATE  
R22 (5-1/2") MINERAL WOOL INSULATION  
6 mil POLY. VAPOUR BARRIER  
1/2" DRYWALL

**W-04 EXISTING / NEW**  
1/2" DRYWALL  
2 x 4 STUDS @ 16" O.C. W/ DOUBLE TOP PLATE  
1/2" DRYWALL

**W5a**  
2x 1/2" TYPE X DRYWALL  
1/2" METAL CHANNEL @ 16" O.C. HORZ.  
MINERAL WOOL INSULATION  
2 x 4 STUDS @ 16" O.C. W/ DOUBLE TOP PLATE  
1/2" TYPE X DRYWALL

## EXISTING PARTITION FOR REMOVAL

**W-09 EXISTING**  
4" BRICK VENEER  
1/2" AIR SPACE  
MINERAL WOOL INSULATION  
6 mil POLY. VAPOUR BARRIER  
2 x 4 STUDS @ 16" O.C. W/ DOUBLE TOP PLATE  
1/2" DRYWALL

**W-05 EXISTING**  
3/4" PLASTER & LATH  
2 x 4 STUDS @ 16" O.C. W/ DOUBLE TOP PLATE  
3/4" PLASTER & LATH

**W-08 EXISTING**  
5/8" HORIZONTAL VINYL SIDING  
1" RIDGID INSULATION R5 ci TAPED  
TYPAR WEATHER BARRIER  
1/2" PLWOOD SHEATHING  
2 x 6 STUDS @ 16" O.C. W/ DOUBLE TOP PLATE  
R22 (5-1/2") MINERAL WOOL INSULATION  
6 mil POLY. VAPOUR

## FOOTING SCHEDULE:

**FTG-01**  
16" x 6" CONT. POURED  
20MPa CONC. STRIP FOOTING W/ KEYWAY  
c/w 2 - 15M CONT. BARS ON UNDISTURBED SOIL  
MIN. 4'-0" BELOW GRADE  
STEP FOOTINGS AS REQUIRED MIN 24" HORIZONTAL & MAX 24" VERT

## COLUMN SCHEDULE

**"PL" =** Structural Point Load From Above  
**C2** 2-2x4 SPF #2 (1 JACK+ 1 KING)  
**C3** 3-2x4 SPF #2  
**C4** 2-2x4 SPF #2 (1 JACK+ 1 KING)  
**C5** 3-2x4 SPF #2 (2 JACK+ 1 KING)  
**C6** 3-2x4 SPF #2

## FLOOR SCHEDULE:

**FL-01 existing**  
6" THICK 3/4" CLEAR GRAVEL  
6" THICK 20 MPA CONCRETE 5-8% AIR ENTRAPMENT  
1/2" EXPANSION JOINTS AT PERIMETER SEALED TO FOUNDATION WALL 9.18.6.2 OBC

**FL-02 new**  
6" THICK 3/4" CLEAR GRAVEL  
2" THICK SM INSULATION  
6" THICK 20 MPA CONCRETE 5-8% AIR ENTRAPMENT  
1/2" EXPANSION JOINTS AT PERIMETER SEALED TO FOUNDATION WALL 9.18.6.2 OBC

**FL-03 existing / new**  
5/8" GLUED & SCREWED T&G PLYWOOD SHTG.  
TO FRAMING

**FL-04 new**  
5/4x6" CCMC APPROVED COMPOSITE DECKING  
SCREWED FROM ABOVE OR PT WOOD  
FRAMING AS SHOWN ON PLAN

**Ffg Upgraded existing for STC50**  
5/8" GLUED & SCREWED T&G PLYWOOD SHTG.  
TO FRAMING  
4" MINERAL WOOL INSULATION  
RESILIENT METAL CHANNELS 406mm o.c.  
2x 1/2" TYPE X INSULATION

## BEAM SCHEDULE

AS SHOWN ON PLANS

## ROOF SCHEDULE:

**RF-01 EXISTING / NEW**  
30 YR. FIBERGLASS SHINGLES  
APPROVED ROOF UNDERLAYMENT  
2 ROWS ICE & WATER SHIELD @ PERIM.  
1/2" PLYWOOD w/ H-CLIPS  
RAFTERS & TRUSSES AS PER PLAN  
R60 INSULATION  
6 mil POLY. VAPOUR BARRIER  
5/8" DRYWALL

**RF-02 NEW VAULTED CEILING**  
30 YR. FIBERGLASS SHINGLES  
APPROVED ROOF UNDERLAYMENT  
2 ROWS ICE & WATER SHIELD @ PERIM.  
1/2" PLYWOOD w/ H-CLIPS  
2 LAYERS 1X2 SPF HORIZON/ VERT @ 16" O.C.  
RAFTERS & TRUSSES AS PER PLAN  
R31 INSULATION  
6 mil POLY. VAPOUR BARRIER  
1/2" DRYWALL

## LINTEL &amp; BEAM SHORT HAND:

"LL" = Loose Lintel  
"BA" = Brick Arch  
"A" = Assumed  
"DA" = Decorative Arch  
"FL" = Flush  
"B-B" = Back To Back

L1= L-85x89x6.4  
L2= L-102x89x7.9  
L3= L-102x89x7.9  
L4= L-127x89x11

## RENOVATION NOTES:

PROVIDE ALL BRACING, SHORING AND NEEDLING NECESSARY FOR THE SAFE EXECUTION OF THIS WORK

## GENERAL NOTES

- INTERCONNECTED SMOKE / CO ALARM 9.10.19 OBC
- 4"W FRAMING LEDGE
- 10M REBAR DOWEL @ 16" VERT C/C MIN 4" EMBED TO EXIST FOUNDATION EMBED W/ NON-SHRINK GROUT
- 2X6 PT LEDGER BOARD ATTACH W/ 2x 1/2" @ 6" GALV. SLEEVE ANCHORS @ 16" C/C. USE STONGTIE LU26 GALV HANGERS EACH JOIST (TYP)
- REMOVE ICF FOAM FOR 2X6 PT LEDGER BOARD ATTACH W/ 2x 1/2" @ 6" GALV. SLEEVE ANCHORS @ 16" C/C. USE STONGTIE LU26 GALV HANGERS EACH JOIST (TYP)
- 2X4 SPF @ 16" O.C. FRAME SADDLE
- PROVIDE 4" DEEP BEARING POCKET FOR RIDGE BEAM PACK BEAM W/ NON-SHRINK GROUT
- PRE-FIN. ALUMINUM VALLEY
- ATTIC ACCESS HATCH 500mm x 700mm 9.19.2.1 OBC
- STRONGTIE HUS410 HANGER
- REPAIR EXISTING WALL TO MATCH EXIST
- STEP FOOTINGS TO MATCH EXIST NOT EXCEEDING 600mm VERT AND 600mm HORIZ 9.15.3.9 OBC

DENOTES UNMODIFIED SPACE

## Disclaimer

DO NOT SCALE THIS DRAWING. THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION UNLESS APPROVED BY CANOPY DESIGN. THIS DRAWING IS THE EXCLUSIVE PROPERTY OF CANOPY DESIGN AND SHALL NOT BE USED WITHOUT CONSENT. COPYRIGHT RESERVED.

MEASUREMENTS, LOT LINES, EXISTING FEATURES, INDICATIONS OF GRADE ARE APPROXIMATE ONLY, BUT WITH REASONABLE ACCURACY FOR THE CONCEPTUAL PURPOSES INTENDED.

GRAPHICAL SYMBOLS IN THIS DRAWING DO NOT NECESSARILY REPRESENT THE ACTUAL PRODUCT.

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ALL ERRORS AND/OR OMISSIONS TO CANOPY DESIGN. CONTRACTOR SHALL VERIFY ALL PROPERTY LINES, HOUSE, STRUCTURES, SET BACKS, EASEMENTS AND BY LAWS, & PERMIT REQUIREMENTS PRIOR TO ANY CONSTRUCTION.

## Project Name:

Allin Residence

## Project Address:

11 Alexander St  
Brampton ON L6V 1H7

## Owners:

Steven &amp; Mary Ann Allin

## Site Plan Info:

Lot 6  
Plan BR-13  
Plan 110CANOPY DESIGN  
ARCHITECTURE + LANDSCAPE

289 890 0464  
canopyhome.ca  
design@canopyhome.ca  
9 Park Ave, Georgetown ON L7G 1Y5

This drawing shall not be reviewed and taken into account by the contractor's design and shall not be used for construction unless approved by the architect and the client.

## LEGENDATION INFORMATION:

Revised drawings shall be submitted under the same conditions as the original drawings.

DATE: 2022 10 14

Drawn By: Revision #:

MP

Scale: Sheet #

1/8"=1' A16

## Notes

Date:  
2022 10 14

Drawn By: Revision #:

MP

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1/8"=1' A16



**DIVISION 1: GENERAL REQUIREMENTS**

ALL CONSTRUCTION TO MEET OR EXCEED THE REQUIREMENTS OF THE 2012 ONTARIO BUILDING CODE, CSA-086, AND SUPPLEMENTARY STANDARDS.

AVOID SCALING DIRECTING FROM THE DRAWINGS. IF THERE IS AMBIGUITY OR LACK OF INFORMATION, INFORM THE CONSULTANT.

ANY CHANGE THROUGH THE DISREGARDING OF THIS NOTICE TO BE THE RESPONSIBILITY OF THE CONTRACTOR.

GENERAL CONTRACTOR TO CHECK AND VERIFY ALL DRAWINGS. REPORT ANY DISCREPANCIES TO THE CONSULTANT FOR CLARIFICATION.

VERIFY THAT ALL WORK, AS IT PROCEEDS, IS EXECUTED IN ACCORDANCE WITH DIMENSIONS WHICH MAINTAIN POSITION, LEVELS, AND CLEARANCES TO ADJACENT WORK AS SET OUT BY REQUIREMENTS OF THE DRAWINGS. ENSURE THAT WORK INSTALLED IN ERROR IS RECTIFIED BEFORE CONSTRUCTION CONTINUES.

**DIVISION 2: SITE WORK**

REMOVE ALL TOPSOIL AND VEGETABLE MATTER TO A MINIMUM OF 1'-0" DEEP AND 2'-0" BEYOND THE BUILDING'S PERIMETER. EXCAVATE FOR FOUNDATIONS AND BUILDING SERVICES TO DEPTHS REQUIRED TO ALLOW FOR PROPER PLACEMENT OF THE WORK. ALL FOOTINGS TO EXTEND TO A MINIMUM 4'-0" BELOW FINISHED GRADES (OR AS NOTED ON THE PLANS) AND TO REST ON UNDISTURBED SOIL OR ROCK. EXCAVATIONS TO BE KEPT FREE FROM STANDING WATER. THE BOTTOM OF EVERY EXTERIOR FOUNDATION WALL TO BE DRAINED BY DRAINAGE TILE OR PIPE LAID AROUND THE OUTSIDE EDGE OF THE FOOTING. THE TOP AND SIDES OF THE DRAINAGE TILE TO BE COVERED WITH A CONTINUOUS 12" THICK LAYER OF CRUSHED STONE. FOUNDATION DRAINS TO DRAIN TO A SEWER, DRAINAGE DITCH OR DRY WELL BY GRAVITY DRAINAGE OR BY PUMPING.

AFTER THE CONSTRUCTION OF FOOTINGS, PITS, WALLS OR PIERS, BACKFILL ALL EXCAVATIONS WITH EXISTING APPROVED GRANULAR MATERIALS TO WITHIN 5" OF UNDERSIDE OF CONCRETE SLAB AND WITHIN 6" OF UNDERSIDE OF NEW EXTERIOR FINISHED GRADES.

SLOPE ALL FINISHED GRADES AWAY FROM BUILDING. WATER SUPPLY WELL OR SEPTIC TANK DISPOSAL BED AND ENSURE PROPER POSITIVE SURFACE DRAINAGE.

**DIVISION 3: CONCRETE**

CONCRETE FOR UNREINFORCED FOOTINGS AND FOUNDATION WALLS TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 20 MPa AFTER 28 DAYS WITH A MAXIMUM 4" SLUMP. STEPPED FOOTINGS TO HAVE A MINIMUM 2'-0" HORIZONTAL DISTANCE BETWEEN STEPS. VERTICAL STEPS TO BE 2'-0" MAXIMUM. REFER TO OBC, 9.15.3.8. OTHER FOOTINGS SHALL BE MINIMUM 6" THICK AND PROJECT MINIMUM 6" BEYOND FACE OF FOUNDATION WALL UNLESS OTHERWISE NOTED ON THE DRAWINGS.

FOOTINGS TO ADEQUATELY SUPPORT ALL SUPERIMPOSED LOADS WITH A MINIMUM BEARING CAPACITY OF 1500 PSF.

FOUNDATION WALLS TO EXTEND A MINIMUM 6" ABOVE FINISHED GRADE. REDUCED FOUNDATION WALLS TO ALLOW BRICK FACING AND MAINTAIN LATERAL SUPPORT. TIE MASONRY TO MINIMUM 4" WIDE x MAXIMUM 8" HIGH CONCRETE UPSTAND WITH DOVE TAIL MASONRY ANCHORS AT 8" O.C. VERTICALLY AND 3'-0" O.C. HORIZONTALLY. FILL COLLAR JOINT SOLID WITH MORTAR. PROVIDE 4"x4" BRICK KEY AT TOP OF FOUNDATION WALL. PROVIDE BEAM POCKETS (DENOTED ON PLANS) WHEREVER STEEL BEAMS BEAR ON THE CONCRETE FOUNDATION WALL.

CONCRETE FOR GARAGE SLABS, EXTERIOR STEPS AND EXTERIOR PORCHES TO BE 32 MPa AT 28 DAYS WITH 5% - 7% AIR ENTRAINMENT. OTHER SLABS TO BE MINIMUM 20 MPa AT 28 DAYS. CONCRETE SLABS ON GRADE TO BE MINIMUM 5" THICK AND REINFORCED WITH 10M REBAR AT 24" O.C. LOCATED NEAR MID-DEPTH OF THE SLAB.

HABITABLE ROOMS ON CONCRETE SLAB TO BE DAMP-PROOFED WITH 6 mil. POLY. BASEMENT OPENINGS (WINDOWS) GREATER THAN 3'-11" IN LENGTH OR CONTAINING OPENINGS IN MORE THAN 25% OF ITS LENGTH TO BE REINFORCED AS PER ENG. SPECS. (2 - #3 RODS EXTEND 12" ON EACH SIDE (4'-0" WINDOW)).

**DIVISION 4: MASONRY**

BRICK & STONE VENEER CONSTRUCTION TO BE TIED BACK TO SOLID FRAMING MEMBERS WITH 1" x 7" x 22 GAUGE, CORRUGATED, CORROSION RESISTANT STRAPS AT 16" O.C. HORIZONTAL AND 24" O.C. VERTICAL. PROVIDE WEEP HOLES SPACED AT 2'-0" O.C. AT THE BOTTOM COURSE OF BRICK OR STONE AND OVER ALL OPENINGS. PROVIDE 6 mil. BLACK REINFORCED POLY. DAMP-COURSE FLASHING EXTENDED UP 6" VERTICAL AT THESE LOCATIONS AND INSERT BEHIND SHEATHING PAPER.

MASONRY CORBELLING TO CONSIST OF SOLID UNITS WITH MAXIMUM 1" PROJECTION PER COURSE AND TOTAL PROJECTION NOT TO EXCEED 13" OF WALL THICKNESS.

**DIVISION 5: METALS**

STEEL PIPE COLUMNS TO BE A MINIMUM OUTSIDE DIAMETER OF 2 7/8" AND A MINIMUM WALL THICKNESS OF 3/16" FITTED WITH A 4" x 4" x 3/16" STEEL PLATE AT EACH END, WHERE AREA OF SUPPORTED FLOOR EXCEEDS 220 SQ. FT. OR IS FOR TWO FLOORS OR MORE. THE STEEL PIPE COLUMN TO BE A MINIMUM OUTSIDE DIAMETER OF 3 1/2" AND A MINIMUM WALL THICKNESS OF 0.188" WITH 4" x 8" x 3/8" PLATES. TOP STEEL PLATE MAY BE OMITTED WHERE COLUMN SUPPORTS A STEEL BEAM BY WELDING, BOLTING OR OTHER APPROVED METHOD. BASE PLATES TO BE SECURED TO CONCRETE FOOTINGS WITH MINIMUM 2 - 1/2" DIA BOLTS PLACED MINIMUM 4" DEEP INTO FOOTING OR TO BE POURED IN PLACE WITH THE FLOOR SLAB. ALL STEEL BEAMS REQUIRE MINIMUM 3 1/2" BEARING AND STEEL ANGLE LINTELS REQUIRE MINIMUM 6" BEARING. ALL STEEL COLUMNS, STEEL BEAMS AND STEEL ANGLE LINTELS TO BE SHOP PRIMED WITH ONE COAT OF RUST-INHIBITIVE PAINT. REFER TO LINTEL SCHEDULES.

**DIVISION 6: WOOD AND PLASTICS**

ALL FLOOR JOISTS AND FRAMING LUMBER TO BE NO. 2 GRADE SPRUCE OR BETTER. ALL WOOD LINTELS OVER OPENINGS TO BE 2 - 2 x 10 UNDER DOUBLE TOP PLATE UNLESS OTHERWISE NOTED. ALL LOAD-BEARING WOOD STUD PARTITIONS TO HAVE A DOUBLE TOP PLATE. STUD WALLS WITHOUT SHEATHINGS ON BOTH SIDES TO HAVE MID-GIRTS. PROVIDE DOUBLE STUDS AROUND OPENINGS AND TRIPLE STUDS IN CORNERS OF LOAD-BEARING STUD PARTITIONS. SILL PLATES TO BE 2 x 6 x 6 ON SILL PLATE FOAM GASKET AND FASTENED TO TOP OF FOUNDATION WITH 1/2" DIA ANCHOR BOLTS @ MAXIMUM 7'-10" O.C. AND EMBEDDED MINIMUM 4" INTO CONCRETE.

LOAD-BEARING STUD WALLS PARALLEL TO FLOOR JOISTS TO BE SUPPORTED BY WALLS OR BEAMS OF SUFFICIENT STRENGTH TO SAFELY TRANSFER THE DESIGNED LOADS TO VERTICAL SUPPORTS. WALLS AT RIGHT ANGLES TO FLOOR JOISTS TO BE LOCATED AT MAXIMUM 2'-0" FROM THE JOIST SUPPORT IF SUPPORTING ONE OR MORE FLOORS UNLESS THE JOIST SIZE IS DESIGNED TO ACCOMMODATE SUCH LOADS.

INTERIOR WOOD BEARING WALLS IN BASEMENT TO BE MIN. 2 x 4 @ 16" O.C. ON FOAM SILL GASKET AND ANCHORED SECURELY THROUGH ASHLAR COURSE TO CONCRETE FOOTING WITH 1/2" DIA ANCHOR BOLTS @ MAXIMUM 7'-10" O.C. INTERIOR STUD WALLS TO BE MIN. 2 x 6 @ 16" O.C. AND EXTERIOR STUDS TO BE 2 x 6 @ 16" O.C. INTERIOR WOOD STUD WALLS AT BASEMENT PERIMETER (FROST WALL) TO BE 2 x 4 @ 16" O.C.

ALL NON-LOADBEARING WOOD STUD WALLS TO BE 2 x 4 @ 16" O.C. PROVIDE MINIMUM 1 x 4 RIBBON BOARDS EACH SIDE OF STEEL BEAM FOR LATERAL SUPPORT IF APPLICABLE.

JOISTS TO HAVE A MINIMUM 1 1/2" END BEARING WHEREAS WOOD BEAMS TO HAVE A MINIMUM OF 3 1/2" END BEARING. JOISTS FRAMED INTO THE SIDE OF WOOD BEAMS TO BE SUPPORTED TO STEEL JOIST HANGERS. JOIST HANGERS ARE ALSO REQUIRED WHERE HEADERS, TRIMMERS, AND DOUBLE JOISTS FRAME INTO THE SIDE OF OTHER MEMBERS. HEADER JOISTS TO BE DOUBLED WHERE THEY EXCEED 3'-11 1/4" IN LENGTH. HEADER JOISTS EXCEEDING 10'-6" IN LENGTH TO BE DETERMINED BY CALCULATION. TRIMMER JOISTS TO BE DOUBLED WHEN LENGTH OF HEADER JOISTS EXCEED 2'-7 1/2". WHEN HEADER JOIST LENGTH EXCEEDS 6'-6 1/4", THE SIZE OF THE TRIMMER JOISTS TO BE DETERMINED BY CALCULATION. PROVIDE FRAMING OR SOLID BLOCKING AS REQUIRED FOR PROPER LOAD TRANSFER OF POINT LOADS FROM ABOVE.

PROVIDE DOUBLE JOISTS UNDER ALL NON-LOADBEARING PARTITIONS OVER 6'-0" IN LENGTH PARALLEL TO FLOOR JOISTS. WHEN SUCH PARTITIONS CONTAIN NO FULL HEIGHT OPENINGS THE JOISTS DO NOT NEED TO BE DOUBLED. DOUBLE JOISTS CAN BE SEPARATED BY MAXIMUM 8" APART BY USING 2 x 4 SOLID WOOD BLOCKING AT 4'-0" O.C. CANTILEVERED FLOOR JOISTS SUPPORTING ROOF LOADS HAVE TO EXTEND INWARD AWAY FROM THE CANTILEVERED SUPPORT FOR A DISTANCE EQUAL TO AT LEAST 6 TIMES THE LENGTH OF THE CANTILEVER. JOISTS AND BEAMS TO BE STAGGERED MINIMUM 4" AT PARTY WALL.

ALL BRIDGING TO BE 2 x 2 WOOD CROSS BRACING OR SOLID WOOD BLOCKING AT 6'-10" O.C. WHERE CLEAR SPAN OF FLOOR JOIST IS WITHIN 18" OF MAXIMUM SPAN PERMITTED PROVIDE BRIDGING AT 4'-0" O.C. TYPICAL FLOOR CONSTRUCTION TO CONSIST OF FINISHED FLOORING ON 5/8" T&G SHEATHING ON WOOD FLOOR JOISTS AS INDICATED ON THE DRAWINGS. PROVIDE MORTAR SCRATCH COAT ON SHEATHING AT LOCATIONS WHERE CERMAIC TILE IS USED ON FLOORS.

TYPICAL ROOF COSTRUCTION TO CONSIST OF 215 LB ASPHALT SHINGLES ON 1/2" PLYWOOD SHEATHING WITH H-CLIP SUPPORTS ON PRE-ENGINEERED WOOD TRUSSES AT 2'-0" O.C. BOTTOM CHORD OF TRUSSES TO BE DESIGNED TO SUPPORT CEILING LOADS.

TRUSS MANUFACTURER TO CHECK AND VERIFY THAT ALL LOADING AND STRESSES COMPLY WITH AND ARE IN ACCORDANCE WITH THE LOCAL CONDITIONS AND REQUIREMENTS. TRUSS MANUFACTURER TO NOTIFY CONSULTANTS OF ANY DISCREPANCIES THAT MAY AFFECT ROOF LINTELS AS INDICATED. PROVIDE 2 x 4 TRUSS BRACING AT 7'-0" O.C. AT BOTTOM CHORD OR AS PER MANUFACTURER'S DESIGN.

INTERIOR STAIRS TO HAVE A MAXIMUM RISE OF 7 7/8". A MINIMUM RUN OF B 1/4", AND A MINIMUM TREAD DEPTH OF 9 1/4". BASEMENT STAIR TO BE 3'-6" WIDE ROUGH STUD OPENING, STAIR FROM FIRST FLOOR TO SECOND FLOOR TO BE 3'-6" FROM ROUGH STUD FACE TO EXPOSED FACE OF STRINGER. INTERIOR STAIR HEADROOM TO BE MINIMUM 6'-5" AND EXTERIOR STAIR HEADROOM OR SERVING MULTI-FAMILY DWELLING UNITS TO BE MINIMUM 6'-9". ONLY ONE SET OF WINDERS ARE ALLOWED STAIR WIDTH.

HANDRAILS WITHIN THE DWELLING UNIT TO BE 2'-8" HIGH ABOVE THE NOSING. GUARDRAILS WITHIN THE DWELLING UNIT TO BE 3'-0" HIGH ABOVE THE NOSING. EXTERIOR BALCONY GUARDRAILS TO BE 3'-6" HIGH ABOVE FINISHED BALCONY LEVEL IF GREATER THAN 5'-11" ABOVE FINISHED GRADE. PROVIDE MAXIMUM 4" SPACE BETWEEN VERTICAL PICKETS AND NO HORIZONTAL MEMBERS BETWEEN 4" OR 3'-0" ABOVE NOSING OR BALCONY LEVEL.

PROVIDE ONE 3/4" THICK x 12" WIDE WOOD SHELF COMPLETE WITH COAT ROD AND BRACKETS AS REQUIRED AT EACH CLOTHES CLOSET LOCATION. PROVIDE FIVE 3/4" THICK x 18" WIDE WOOD SHELVES AT ALL LINEN CLOSET LOCATIONS.

**DIVISION 7: THERMAL AND MOISTURE PROTECTION**

CONCRETE FOUNDATION WALLS TO HAVE ALL EXTERIOR TIE HOLES AND RECESSES SEALED WITH MORTAR OR WATERPROOFING MATERIALS. CONCRETE FOUNDATION WALLS TO BE DAMP-PROOFED TO BE COVERED WITH A LIBERAL COAT OF BITUMINOUS MATERIAL. COVE DAMP-PROOFING OVER ALL FOOTINGS AND OBSTRUCTIONS TO PROVIDE WATERPROOF JUNCTION.

PROVIDE SUITABLE FIRE STOPS FOR ALL CONCEALED AREAS AT EACH FLOOR, CEILING, AND ROOF LEVEL AND AT STAIRS. CLEARANCES BETWEEN CHIMNEYS OR GAS VENTS AND THE ADJOINING CONSTRUCTION WHICH ALLOW AIR LEAKAGE AND HEAT LOSS FROM WITHIN THE BUILDING INTO THE ADJACENT ROOF SPACE TO BE SEALED WITH NON-COMBUSTIBLE MATERIAL TO PREVENT SUCH LEAKAGE.

PROVIDE THE MINIMUM THERMAL RESISTANCE VALUES THROUGHOUT THE BUILDING CONSTRUCTION AS NOTED ON THE DRAWINGS.

PERIMETER INSULATION FOR FOUNDATION WALLS ENCLOSING HEATED AREAS SHALL BE AS NOTED IN 2 x 4 STUDS COMPLETE WITH INTEGRAL 6 mil. POLY. VAPOUR BARRIER.

WALL AND CEILING INSULATION TO BE PROTECTED BY 6 mil. TYPE 1 VAPOUR RETARDANT INSTALLED IN SUCH A MANNER THAT ALL JOINTS OCCUR OVER WOOD FRAMING MEMBERS AND ARE LAPPED MINIMUM 4". ALL PERFORATIONS THROUGH THE VAPOUR RETARDANT CAUSED BY THE INSTALLATION OF ELECTRICAL OR MECHANICAL ITEMS TO BE TIGHTLY SEALED USING CAULKING, TAPE OR OTHER APPROVED METHOD OF SEALING IN ORDER TO MAINTAIN THE INTEGRITY AND CONTINUITY OF THE VAPOUR RETARDANT IN THE BUILDING ENVELOPE.

EXPOSED FLASHING TO BE 0.013" GALVANIZED STEEL, 0.018" ZINC OR 0.019" ALUMINUM. CONCEALED FLASHING TO BE BLUESKIN OR TYPE 'S' ROLL ROOFING. FLASHING TO BE INSTALLED AT THE FOLLOWING LOCATIONS:  
- AT EVERY HORIZONTAL JUNCTION BETWEEN DIFFERENT EXTERIOR FINISHES EXCEPT WHERE THE UPPER FINISH OVERLAPS THE LOWER FINISH.  
- OPENINGS IN EXTERIOR WALLS WHEN VERTICAL DISTANCE BETWEEN TOP OF OPENING AND BOTTOM OF EAVES EXCEEDS 1/4 OF HORIZONTAL EAVE OVERHANG.  
- BENEATH SANDSTONE AND JOINTED MASONRY WINDOW SILLS.  
- OPEN VALLEYS TO BE FLASHED WITH NOT LESS THAN ONE LAYER OF SHEET METAL MINIMUM 2'-0" WIDE WITH A LAYER OF #15 ROOFING PAPER OR FELT UNDERLAY. OR TWO LAYERS OF ROLL ROOFING. BOTTOM LAYER 55 LB. WITH MINIMUM WIDTH NOT LESS THAN 18" WIDE AND TOP LAYER 90 LB. WITH MINIMUM WIDTH 36" WIDE.  
- INTERSECTIONS OF ASPHALT SHINGLE ROOF AND MASONRY WALLS OR CHIMNEYS TO BE PROTECTED BY COUNTER FLASHING EMBEDDED A MINIMUM OF 1" INTO THE MASONRY AND EXTENDED NOT LESS THAN 6" DOWN THE MASONRY AND LAP LOWER FLASHING MINIMUM 4" ALONG THE SLOPE OF THE ROOF TO BE STEPPED SO THAT THERE IS A MINIMUM OF 3" HEAD LAP IN BOTH LOWER AND COUNTER FLASHING. FLASHING AT THE INTERSECTION OF SHINGLE ROOFS AND CLADDING OTHER THAN MASONRY TO EXTEND UP THE WALL MINIMUM 3" BEHIND SHEATHING PAPER AND MINIMUM 3" HORIZONTALLY.  
- THE INTERSECTION OF SINGLE PLY MEMBRANE ROOFS AND ADJACENT WALL SURFACES TO HAVE A CANT STRIP WITH THE MEMBRANE EXTENDED MINIMUM 6" UP THE WALL AND COUNTER FLASHED OR SET BEHIND THE SHEATHING PAPER.  
- CHIMNEY FLASHING IS REQUIRED AT INTERSECTION WITH ROOF. FLASH OVER CHIMNEY SADDLE WHEN WIDTH OF CHIMNEY EXCEEDS 2'-6".

ROOF EAVE TO BE FINISHED WITH PRE-FINISHED ALUMINUM EAVES TROUGH, FASCIA AND VENTED SOFFIT. PROVIDE ONE PRE-FINISHED ALUMINUM DOWNSPOUT FOR EACH 30' RUN OF EAVES TROUGH OR PAR THEREOF AROUND THE PERIMETER OF THE BUILDING. CONNECTION DOWNSPOUTS TO THE STORM SEWER SYSTEM OR INTO GRADE WITH PRECAST CONCRETE SPLASH PADS TO PREVENT EROSION. ROOF SPACE VENTILATION TO BE 1/300 OF INSULATED AREA FOR ROOF SLOPES GREATER THAN 2/12 AND 1/150 OF INSULATED AREA FOR ROOF SLOPES LESS THAN 2/12 OR ANY ROOF WHERE AN INTERIOR FINISH IS APPLIED TO THE UNDERSIDE OF THE ROOF JOISTS. NOT MORE THAN HALF OF THE REQUIRED VENTILATION AREA IS TO BE PROVIDED NEAR THE RIDGE EXCEPT FOR CATHEDRAL CEILINGS AND ROOFS WHERE CONTINUOUS RIDGE AND EAVE VENTILATION IS REQUIRED. ALL VENTILATION OPENINGS TO BE PROTECTED FROM WEATHER AND INSECTS. VENTS TO BE CONSTRUCTED OF RUST-PROOF MATERIAL. PROVIDE MINIMUM TYPE 'S' ROLL ROOFING OR DOUBLE LAYER OF #15 ASPHALT SATURATED FELT AS EAVE PROTECTION AT ALL ROOF EDGES AND EXTEND TO A LINE NOT LESS THAN 12" INSIDE THE INNER FACE OF THE EXTERIOR WALL. ALL PENETRATIONS AND JOINTS BETWEEN HEATED AND UNHEATED SPACES SHALL BE ADEQUATELY SEALED WITH CAULKING OR APPROVED EQUAL (INCL. BUT NOT LIMITED TO: WHERE THE WALL PLATES MEET THE FLOORS OR TRUSSES, AT THE SILL PLATES, WHERE THE SLAB MEETS THE FOUNDATION WALL, AT WINDOWS & DOORS, ATTIC ACCESSES, VENTS, PLUMBING STACKS, ELECTRICAL SERVICES, TELEPOSTS, ETC.) (REFER TO OBC, 9.25).

**DIVISION 8: DOORS AND WINDOWS**

WINDOW SIZES AND TYPES TO BE AS DENOTED ON PLANS. ALL WINDOWS TO BE DOUBLE GLAZED OR TO INCLUDE REMOVABLE STORM WINDOWS IN ORDER TO MINIMIZE HEAT LOSS AND AIR INFILTRATION. MINIMUM SIZE OF TRANSPARENT OPENINGS FOR HABITABLE ROOMS TO BE 10% OF APPLICABLE FLOOR AREA AND FOR BEDROOMS TO BE 5% OF APPLICABLE FLOOR AREA. AT LEAST ONE WINDOW PER BEDROOM TO HAVE AN INDIVIDUAL UNOBSTRUCTED OPENING NOT LESS THAN 3.7 SQ. FT. WITH NO WINDOW DIMENSION LESS THAN 15".

DOOR SIZES AND TYPES TO BE DENOTED ON PLANS. MAIN ENTRANCE DOOR TO HAVE A THUMB TURN LOCK SET WHICH ALLOWS OPENING THE DOOR FROM THE INSIDE WITHOUT A KEY. ALL GLASS IN SIDE LIGHTS GREATER THAN 20". IN SLIDING PATIO DOORS AND IN STORM DOORS TO BE LAMINATED OR TEMPERED SAFETY GLASS. THE DOOR BETWEEN THE GARAGE AND HABITABLE AREAS TO BE A SOLID CORE EXTERIOR TYPE WITH A SELF-CLOSING DEVICE AND TIGHT-FITTING WEATHER STRIPPING TO PROVIDE AN EFFECTIVE BARRIER AGAINST GAS AND EXHAUST FUMES. PROVIDE A 6" MIN. HIGH STEP AT THIS DOOR.

PROVIDE ACCESS HATCHES TO CRAWL SPACES OR ATTICS WITH ROOF SPACES MORE THAN 2'-0" HIGH. ACCESS HATCH OPENING TO BE A MINIMUM 20" x 28" AND FITTED WITH DOORS OR COVERS THAT ARE INSULATED AND WEATHER STRIPPED.

ALL WINDOWS AND DOORS SHOWN ON THE DRAWINGS TO BE AS PER MANUFACTURER'S SPECIFICATIONS.

TYPE: ALUMINUM CLAD CASEMENT OR AS NOTED.

**DIVISION 9: FINISHES**

SOUND TRANSMISSION CLASSIFICATION RATINGS BETWEEN DWELLING UNITS TO BE MINIMUM 45 DECIBELS. FLAME SPREAD RATING OR INTERIOR FINISHES TO BE 150 MAXIMUM OR 200 MAXIMUM WHEN P.O.C. DETECTORS ARE INSTALLED.

FINISHED FLOORING IN BATHROOMS, LAUNDRY ROOMS, ENTRANCES, GENERAL STORAGE AREAS AND KITCHENS TO BE RESILIENT TYPE PROVIDING WATER RESISTANCE. REFER TO CONTRACTOR'S SCHEDULE.

ALL EXTERIOR MOLDINGS, TRIMS, PEDIMENTS, PILASTERS, ETC. TO BE AS SUPPLIED.

**DIVISION 10: SPECIALTIES**

CHIMNEYS TO EXTEND THROUGH UNIT IN FURRED SPACES AND UP THROUGH ROOF CONSTRUCTION A MINIMUM OF 3'-0" ABOVE POINT OF CONTACT WITH ROOF BUT NOT LESS THAN 2'-0" ABOVE ROOF SURFACE WITHIN A HORIZONTAL DISTANCE OF 10'-0".

**DIVISION 11: EQUIPMENT**

STOVES, RANGES AND SPACE HEATERS USING SOLID FUELS TO CONFORM TO UNDERWRITERS' LABORATORIES OF CANADA TEST S627-M1983 "STANDARDS FOR SPACE HEATERS FOR USE WITH SOLID FUELS".

**Disclaimer**

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CONSTRUCTION OF ALL EXTERIOR AND INTERIOR WALLS, ROOFS, FLOORS, CEILINGS, AND PARTS OF THE BUILDING SHALL BE IN ACCORDANCE WITH THE CANADIAN NATIONAL BUILDING CODE AND THE CANADIAN NATIONAL BUILDING CODE OF ONTARIO. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.

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**Project Name:**  
Allin Residence

**Project Address:**  
11 Alexander St  
Brampton ON L6V 1H7

**Owners:**  
Steven & Mary Ann Allin

**Site Plan Info:**  
Lot A  
Plan BR 13  
Plan 110

**Canopy Design**  
Architecture - Landscape

**Design Office:**  
canopydesign.ca  
design@canopydesign.ca  
1 Park Ave. Georgetown, ON L7G 1Y5

**Notes**

**Date:**  
2022 10 14

**Drawn By:**  
MP

**Scale:**  
1/4"=1'

**Sheet #**  
A17

**DIVISION 15: MECHANICAL**  
LOCATION OF WATER METER AND GAS METER TO BE IN ACCORDANCE WITH THOSE AUTHORITIES HAVING APPROPRIATE JURISDICTION.

DUCTWORK IN ATTIC OR ROOF SPACES TO HAVE ALL JOINTS TAPED AND SEALED TO ENSURE THAT DUCTS ARE AIRTIGHT THROUGHOUT THEIR LENGTH.

PROVIDE MINIMUM OF 1 SQ. FT. UNOBSTRUCTED NATURAL VENTILATED AREA FOR EVERY 500 SQ. FT. OF FLOOR AREA IN CRAWL SPACES AND BASEMENTS. PROVIDE MINIMUM 3 SQ. FT. UNOBSTRUCTED NATURAL VENTILATED AREA IN FINISHED OR HABITABLE AREAS. PROVIDE MINIMUM 1 SQ. FT. UNOBSTRUCTED NATURAL VENTILATED AREA IN BATHROOMS. WHEN MECHANICAL VENTILATION IS REQUIRED PROVIDE MINIMUM ONE AIR CHANGE PER HOUR. DISCHARGE EXHAUST DIRECTLY TO OUTDOORS AND PROVIDE BACK FLOW DAMPERS AT DUCT END OR FAN.

METAL CHIMNEYS AND VENTS TO BE ULC LABELED, CLASS B FOR GAS-FIRED FURNACES. A METAL CHIMNEY NOT SUPPORTED ON A FOUNDATION TO BE SUPPORTED BY NON-COMBUSTIBLE MATERIAL AND THE SUPPORT TO BE INDEPENDENT OF THE APPLIANCE IT SERVES.

**DIVISION 16: ELECTRICAL**  
LOCATION OF HYDRO METER AND ELECTRICAL PANEL TO BE IN ACCORDANCE WITH THOSE AUTHORITIES HAVING APPROPRIATE JURISDICTION.

PROVIDE 3 WAY WALL SWITCHES LOCATED AT THE HEAD AND FOOT OF EVERY STAIRWAYS EXCEPT AT UNFINISHED BASEMENTS.

PROVIDE A SEPARATE THREE WIRE CIRCUIT WITH NO OTHER OUTLET CONNECTIONS TO EACH DRYER RECEPTACLE, STOVE RECEPTACLE AND AT LEAST THREE SPLIT RECEPTACLES IN EACH KITCHEN. TWO OF THE KITCHEN RECEPTACLES MUST BE INSTALLED ABOVE THE COUNTER LEVEL.

ELECTRICAL SWITCHES, RECEPTACLES, ETC. ON OPPOSITE SIDES OF DEMISING WALL TO BE STAGGERED. ALL WALL MOUNTED EQUIPMENT (I.E. ELECTRICAL SERVICE PANELS) TO BE INSTALLED IN SUCH A MANNER AS TO MAINTAIN THE INTEGRITY OF THE DEMISING WALL FIRE SEPARATION.

PRODUCTS OF COMBUSTION DETECTORS TO BE A SINGLE STATION ALARM TYPE SUCH AS AN IONIZATION P.O.C. DETECTOR OR A SPOT TYPE PHOTO ELECTRICAL SMOKE DETECTOR WHICH IS U.L.C. LABELED AND LISTED. DETECTORS TO BE EQUIPPED WITH A VISUAL INDICATOR WHICH DEMONSTRATES THAT THE UNIT IS PERATIONAL. DETECTORS TO BE PERMANENTLY MOUNTED TO A JUNCTION BOX OR STANDARD ELECTRICAL OUTLET ON THE CEILING AND WIRED TO THE MAIN ELECTRICAL PANEL ON A SEPARATE CIRCUIT. THE DETECTOR IS LOCATED AT THE CEILING LEVEL BETWEEN THE BEDROOMS OR SLEEPING AREAS AND THE REMAINDER OF THE DWELLING UNIT, AS WELL AS WITHIN EACH BEDROOM. SUCH AS INDICATED ON THE DRAWINGS.

**Disclaimer**

DO NOT SCALE THIS DRAWING. THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION UNLESS APPROVED BY CANOPY DESIGN. THIS DRAWING IS THE PROPERTY OF CANOPY DESIGN AND SHALL NOT BE USED WITHOUT CANOPY DESIGN'S WRITTEN PERMISSION.

MEASUREMENTS, LOT LINES, EXISTING FEATURES, AND EXISTING UTILITIES ARE APPROXIMATE ONLY. BUT NOT REASONABLE ACCURACY FOR THE CONCEPTUAL PURPOSES INTENDED.

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**Project Name:**  
Allin Residence

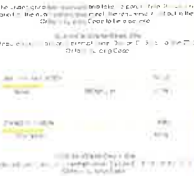
**Project Address:**  
11 Alexander St  
Brampton ON L6V 1H7

**Owner:**  
Steven & Mary Ann Allin

**Site Plan Info:**  
Lot #  
Plan BE-13  
Plan 110



289-890-0444  
canopyhome.ca  
design@canopyhome.ca  
9 Park Ave. Georgetown ON L7G 1Y5



**Notes**

**Date:**  
2022 10 14

**Drawn By:**  
MP

**Scale:**  
1/4"=1' A18

## Notice of Decision

### Committee of Adjustment

FILE NUMBER A-2022-0269

HEARING DATE SEPTEMBER 13, 2022

APPLICATION MADE BY STEVEN ALLIN AND MARY ANN ALLIN

IN THE MATTER OF SECTION 45 OF THE PLANNING ACT; ZONING BY-LAW 270-2004 AND AN APPLICATION FOR MINOR VARIANCE OR SPECIAL PERMISSION FOR THE FOLLOWING VARIANCE(S):

1. To permit a rear yard setback of 11.21m (36.78 ft.);
2. To permit lot coverage of 36%.

(11 ALEXANDER STREET, PART OF LOT 110, PLAN BR-2, PART 1, PLAN 43R-20649)

THE REQUEST IS HEREBY APPROVED SUBJECT TO THE FOLLOWING CONDITIONS  
(APPROVAL IS GRANTED SUBJECT TO A BUILDING PERMIT BEING ISSUED BY THE CITY OF BRAMPTON WHERE REQUIRED AND DEVELOPMENT CHARGES AUGUST BE APPLICABLE)

### SEE SCHEDULE "A" ATTACHED

#### REASONS:

This decision reflects that in the opinion of the Committee:

1. The variance authorized is desirable for the appropriate development or use of the land, building, or structure referred to in the application, and
2. The general intent and purpose of the zoning by-law and the City of Brampton Official Plan are maintained and the variance is minor.

Any and all written submissions relating to this application that were made to the Committee of Adjustment before its decision and any and all oral submissions related to this application that were made at the Committee of Adjustment meeting, held under the *Planning Act*, have been, on balance, taken into consideration by the Committee as part of its deliberations and final decision on this matter.

MOVED BY: D. Doerfler

SECONDED BY: A. C. Marques

CHAIR OF MEETING: RON CHATHA

WE THE COMMITTEE MEMBERS NOTED BELOW HEREBY CONCUR IN THE DECISION

*AUTHORIZED BY VOTE HELD AT A MEETING ON SEPTEMBER 13, 2022.*

RON CHATHA, MEMBER

DAVID COLP, MEMBER

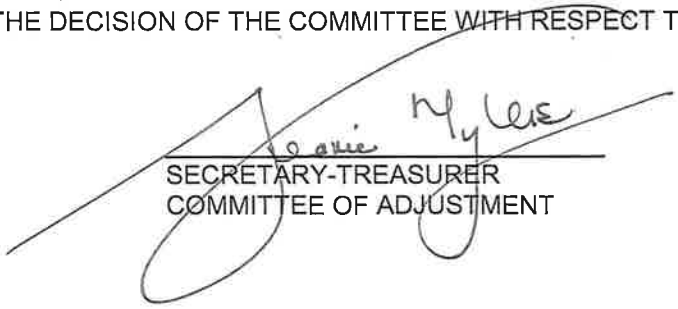
DESIREE DOERFLER, MEMBER

ANA CRISTINA MARQUES, MEMBER

DATED THIS 13TH DAY OF SEPTEMBER, 2022

**NOTICE IS HEREBY GIVEN THAT THE LAST DAY FOR APPEALING THIS DECISION TO THE ONTARIO LAND TRIBUNAL WILL BE OCTOBER 3, 2022**

I, JEANIE MYERS, SECRETARY-TREASURER OF THE COMMITTEE OF ADJUSTMENT CERTIFY THAT THE FOREGOING IS A CORRECT COPY OF THE DECISION OF THE COMMITTEE WITH RESPECT TO THE ABOVE APPLICATION.



\_\_\_\_\_  
SECRETARY-TREASURER  
COMMITTEE OF ADJUSTMENT

Flower City



brampton.ca

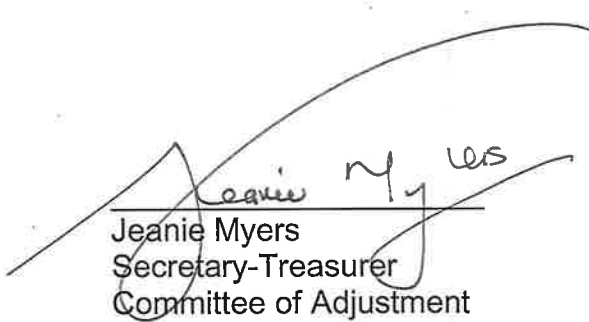
THIS IS SCHEDULE "A" REFERRED TO ON THE NOTICE OF DECISION

APPLICATION NO: **A-2022-0269**

DATED: **September 13, 2022**

Conditions:

1. That the extent of the variance be limited to that shown on the sketch attached to the Notice of Decision;
2. That the owner finalize site plan approval under City File SPA-2022-0141, and post any required financial securities and insurance to the satisfaction of the Director of Development Services;
3. That the above grade entrance shall not be used to access an unregistered second unit;
4. That drainage on adjacent properties shall not be adversely affected; and
5. That failure to comply with and maintain the conditions of Committee shall render the approval null and void.

  
Jeanie Myers  
Secretary-Treasurer  
Committee of Adjustment

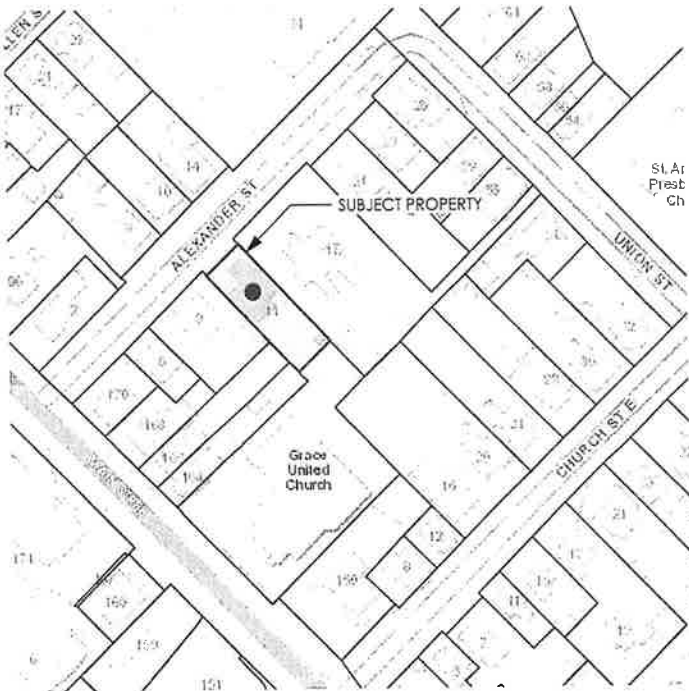


Site Statistics

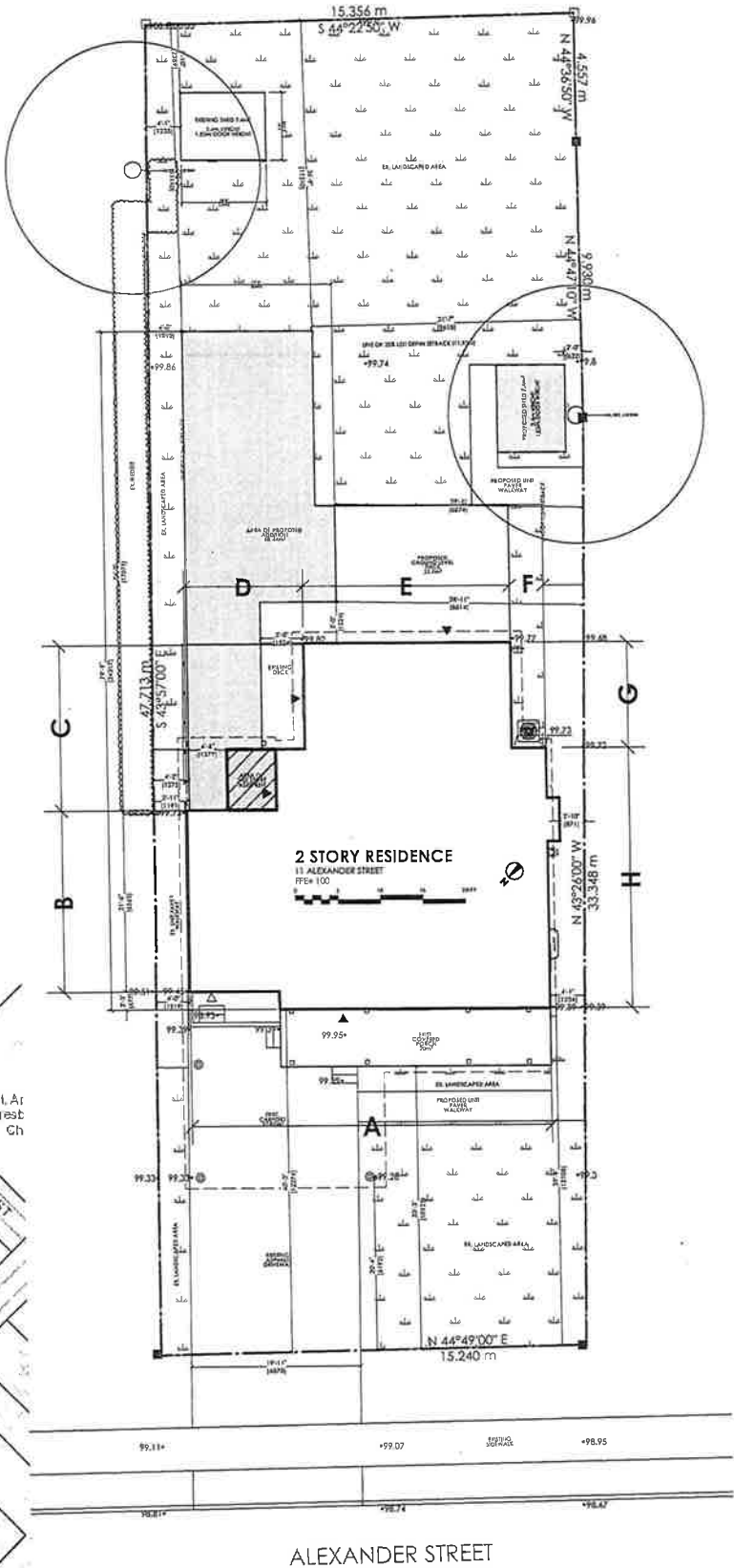
Lot	735.20 m2
House	140.89 m2
Existing Porch	20.00 m2
Existing Carport	32.87 m2
Existing Shed	7.40 m2
Existing Lot Coverage	26%
Proposed Shed	7.40 m2
Proposed Addition	68.44 m2
Proposed Lot Coverage	36%

Established Grade Calculations				
	el.1	el.2	LENGTH	(el.1+el.2)/2*L
A	99.39	99.39	12.9 m	1282.13
B	99.45	99.73	6.6 m	657.29
C	99.73	99.82	5.9 m	588.67
D	99.73	99.82	4.3 m	429.03
E	99.82	99.77	7.4 m	738.48
F	99.77	99.73	1.2 m	119.70
G	99.77	99.74	3.7 m	369.09
H	99.73	99.39	9.4 m	935.86
	Total		51.4 m	5120.27
	Established Grade			99.62

HEIGHT FROM ESTABLISHED GRADE TO MID-POINT  
OF ROOF = 6.8m



2 KEY PLAN  
Scale: 1:2000



1 Site Plan  
Scale: 1/16" = 1'-0"

Disclaimer

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Project Name:  
Allin Residence

Project Address:  
11 Alexander St  
Brampton ON L6V 1H7

Owners:  
Steven & Mary Ann Allin

Site Plan Info:  
Lot 6  
Plan BR-13  
Plan 110

CANOPY DESIGN  
ARCHITECTURE + LANDSCAPE

289-890-0464  
canopyhome.ca  
design@canopyhome.ca  
9 Park Ave, Georgetown ON L7G 1Y5

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION  
Required unless design is exempt under Division C-3.2.5.1 of the 2012 Ontario Building Code

MATHEW PARRODIE  
NAME  
SIGNATURE  
DATE  
10/1/22  
3/24/23  
11/4/23  
3/24/23

REGISTRATION INFORMATION  
Required unless design is exempt under Division C-3.2.4.1 of the 2012 Ontario Building Code

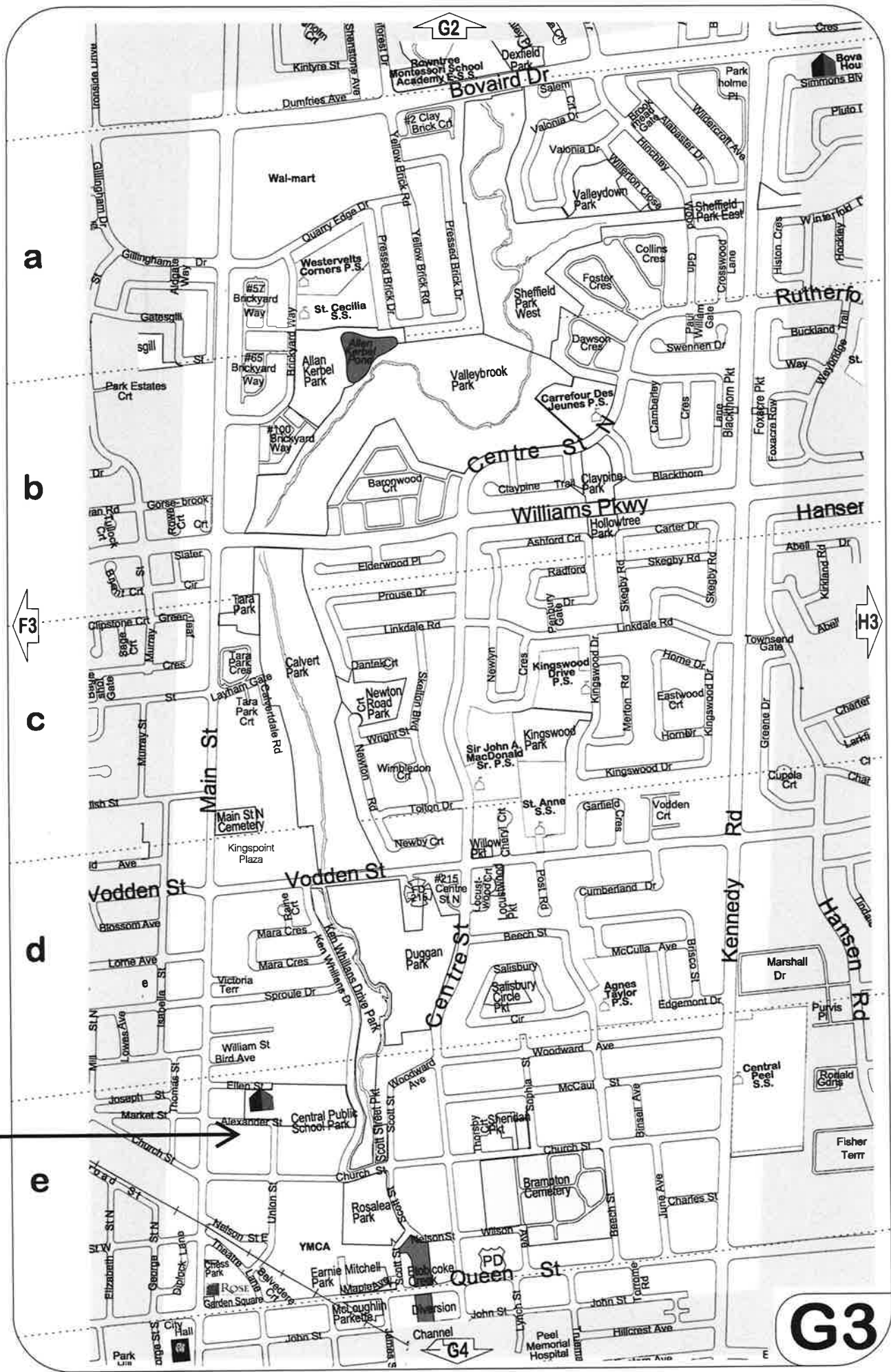
Site Plan

Date:  
2022 05 30

Drawn By:  
MP

Scale:  
1/16"=1'

Revision #:  
Sheet #



A-2022-0384

G3