

Public Notice

Committee of Adjustment

APPLICATION # A-2022-0393 WARD #9

APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **MAYFIELD (RCH) PROPERTIES INC.** under Section 45 of the <u>Planning Act</u>, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Part of Block 161, Plan 43M-2102 and Part of Block 249, Plan 43M-2103 municipally known as **KESSLER DRIVE**, Brampton;

AND WHEREAS the applicant is requesting the following variance(s) for a proposed single detached dwelling:

1. To permit a rear yard setback of 7.41m (24.31ft.) whereas the bylaw requires a minimum rear yard setback of 7.5m (24.60 ft.)

OTHER PLANNING APPLICATIONS:

Plan of Subdivision:	NO	File Number:	
Application for Consent:	NO	File Number:	

The land which is subject of this application is the subject of an application under the Planning Act for:

The Committee of Adjustment has appointed **TUESDAY**, **January 24**, **2023 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers**, **4th Floor**, **City Hall**, **2 Wellington Street West**, **Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS. If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant, the Minister, a specified person or a public body.

RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this 12th Day of January, 2023.

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer Committee of Adjustment, City Clerk's Office, Brampton City Hall, 2 Wellington Street West, Brampton, Ontario L6Y 4R2 Phone: (905)874-2117

Fax: (905)874-2117 jeanie.myers@brampton.ca



NOTE: BUILDER TO VERIFY LOCATION OF ALL HYDRANTS, STREET LIGHTS, TRANSFORMERS AND OTHER SERVICES, IF MIN. DIMENSIONS ARE NOT MAINTAINED BUILDER IS TO RELOCATE AT HIS OWN EXPENSE

BUILDING STATISTICS 43M-2102-43M-2103 REG. PLAN No. ZONE R1F-13-2368 LOT BLOCK 161&249 LOT NUMBER LOT AREA(m) 2 341.29 BLDG AREA(m)2 LOT COVERAGE(%) No. OF STOREYS 8.58 MEAN HEIGHT(m) 5.59m x 5.80m INT, GARAGE DIMS(m) 2 - 2.44 GARAGE DOOR(m)

LEGEND

FFE HNISHED FLOOR TFW TOP OF FOUNDATION WALL
TBS TOP OF BASEMENT SLAB BELL PEDESTAL CABLE PEDESTAL UNDER SIDE FOOTING UNDER SIDE FOOTING @ REAR USF DBL. CATCH BASIN ENGINEERED FILL USFG UNDER SIDE FOOTING @
GARAGE
TEF TOP OF ENGINEERED
FILL HYDRO CONNECTION FIRE HYDRANT R NUMBER OF RISERS TO GRADE
WOD WALKOUT DECK
LOB LOOKOUT BASEMENT ST STREET LIGH WOD TRANSFORMER
SEWER CONNECTIONS 2
LOTS WALK OUT BASEMENT WALK UP BASEMENT SEWER CONNECTIONS 1 REVERSE PLAN WATER CONNECTION STD STANDARD PLAN WATER VALVE CHAMBER CHAMBER
HYDRANT AND
VALVE
HYDRO METER
GAS METER
MANHOLE - STORM WINDOW AIR CONDITIONING DOWN SPOUT TO SPLASH PAD ⊕+ MANHOLE - SANITARY CHAINLINK FENCE PRIVACY FENCE SOUND BARRIER

NO.	ISSUED OR REVISION DESCRIPTION		DWN	CHK
1	ISSUED FOR PRE-SITE ONLY	18-JUN-21	D.H	
2	ISSUED FOR REVIEW	05-AUG-21	D.H	NC
3	REVISED PER ENG COMM	23-AUG-21	D,H	NC
4	ISSUED FINAL	05-MAY-22	D.H	NC
-		_		-
-			_	-
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MPORTANT FOOTING NOTE:

-IT IS THE RESPONSIBILITY OF THE BUILDER TO VERIFY FROM THE ARCHITECTURAL DRAWINGS BEFORE CONSTRUCTION, WHETHER ARCHITECTURAL DRAWINGS BEFORE CONSTRUCTION, WHETHER ADDITIONAL THICKNESS AND PER REQUIRED.

-LOT GRADING FLANS ASSUME A TBS TO USF DISTANCE OF 0.23, BASED ON FOOTING THICKNESS UP TO 6:

-IF ADDITIONAL FOOTING THICKNESS IS REQUIRED THE USF IS TO BE LOWERED BY THE FOLIOWING AMOUNTS:

- UP TO F FOOTING, LOWER USF BY 0.10

- 11* FOOTING, LOWER USF BY 0.13

- 12* FOOTING, LOWER USF BY 0.15

- 13* FOOTING, LOWER USF BY 0.18

- 14* FOOTING, LOWER USF BY 0.18

DESIGN

WWW.RNDESIGN.COM T:905-738-3177 WWW.THEPLUSGROUP.CA

I, NELSON CUNHA DECLARE THAT I HAVE REVIEWED AND TAKE DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD, UNDER DIVISION C.PART-3 SUBSECTION-32. OF THE BUILDING CODE: I AM GUALHED AND THE FIRM LE REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: FIRM BCIN: DATE:

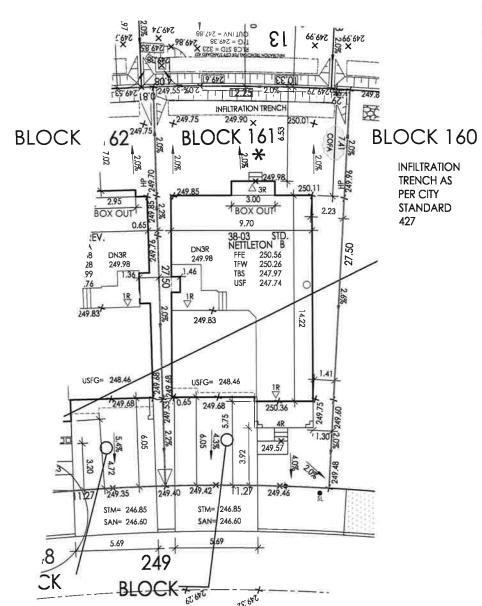
SIGNATURE:

MAYFIELD (RCH) PROPERTIES INC.

MAYFIELD VILLAGE PHASE 6 BRAMPTON

SITE PLAN

DRAWN BY D.H	SCALE 1:250
PROJECT No.	LOT NUMBER
21034	LOT BLOCK 161&249



KESSLER DRIVE

GRADING CERTIFICATION:

1. THE PROPOSED LOT GRAING AND DRAINAGE IS APPROVED AS BEING IN CONFORMITY WITH THE OVERALL APPROVED GRADING PLANS FOR THE SUBDIVISION.

2. THE BUILDER IS RESPONSIBLE FOR RELOCATION OF ALL THE

UTILITIES ON SITE.
3. THE BUILDER MUST TOPSOIL AND SOD ALL BOULEVARDS.
4. DOWNSPOUTS SHALL DISCHARGE TO THE GROUND VIA

NOTE:
LATERIAL SEWERS AS-BUILT ELEVATIONS AND UNTILITY
LOCATIONS WERE NOT AVAILABLE AT THE TIME OF
CERTIFICATION, SCHAEFFERS WILL NOT ACCEPT
LABILITY ARISING FROM THIS MATTER. REVISIONS MAY
BE REQUIRED UPON AVAILABILITY OF LATERAL
ELEVATIONS AND UTILITY LOCATIONS.
ALSO UNDERGROUND SEWERS WHERE NOT
CONSTRUCTED WHEN SITE PLANS REVIEWED AND
APPROVED.



Under the authority of the Emergency *Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both inperson and electronically).

Electronic/Hybrid Hearing Procedures How to get involved in the Hybrid Hearing

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **January 24, 2023** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

How to Participate in the Hearing:

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm**, **Thursday**, **January 19**, **2023**.

- Advance registration for applicants, agents and other interested persons is required by one or two options;
 - Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at <u>cityclerksoffice@brampton.ca</u> or <u>jeanie.myers@brampton.ca</u> by 4:30 pm Thursday, January 19, 2023.
 - 2. To participate in-person, please email the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by 4:30 pm Thursday, January 19, 2023.
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or inperson. You can register by calling 905-874-2117 and leave a message with your name, phone number and
 the application you wish to speak to by Thursday, January 19, 2023. City staff will contact you and provide
 you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

 All Hearings will be livestreamed on the City of Brampton YouTube account at: https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx or http://video.isilive.ca/brampton/live.html .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act* (*MFIPPA*), collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

Flower City



For Office Use Only (to be inserted by the Secretary-Treasurer after application is deemed complete)

FILE NUMBER: A - 2022 - 0 3 93

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION Minor Variance or Special Permission

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the <u>Planning Act</u>, 1990, for relief as described in this application from By-Law **270-2004**.

1.	Name of	Owner(s) MAYFIELD (RCH) Pro	operties INC		
••		171 Basaltic Homes Rd#1 Con			
	,	171 Basanc Homes Now 1 Col	icora, Orveno		
	Phone #			Fax #	
	Email		 	-	
		·			
2.	Name of		Design LTD)):
	Address				
		Vaughan, ON M2J OA4			(
				Fax #	
	Phone #	905 738 3177	:	rax #	
	Email	DavidH@rndesign.com		_	
•	Natura es	ad automs of rollof applied for /	variances requests	ιd).	
3.		nd extent of relief applied for (
	Reques	ting a rear yard reduction fi	rom required 7.50	Om setback to 7.41m	
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					- I
4	Why in it	not possible to comply with t	he provisions of th	e hv-law?	
4.					CIL LA NILL
	Due to t	the pie shaped lot, the side	lot lines are dive	erging towards the front o	if the lot. Note
	that the	opposite side of the home	complies with th	e 7.5m rear yard require	ment.
	4		•		
	1				
5.		escription of the subject land:			
		ber Block 161/249 (Part block)			
	Plan Nur	nber/Concession Number	43M-2102 / 43M-2	2103	
	Municipa	al Address KESSLER DRIVE			
	•				
6.	Dimensi	on of subject land (<u>in metric u</u>	nits)		
-	Frontage				
	Depth	27.50m			
	Агеа	341.29			
	7 11 Ou				,
-					
	Acces	to the subject land is hy:			
7.		to the subject land is by:	ГП	Seasonal Road	
(*)	Provinci	al Highway		Seasonal Road	日
A.e.	Provinci Municip	al Highway al Road Maintained All Year		Other Public Road	
(e	Provinci Municip	al Highway		•••••	

8.	Particulars of all buildings and structures on or proposed for the subject land: (specify <u>in metric units</u> ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)					
	EXISTING BUILDING	S/STRUCTURES on th	e subject land: List all structures (dwelling, shed, gazebo, etc.)			
	N/A					
	PROPOSED BUILDIN	IGS/STRUCTURES on	the subject land:			
	Single detached de Ground floor Area Gross area:N/A Stories: 2 Building width: 9.7	:138.52m2	Building length: 14.22m Building height: 8.58m			
	Building width. 9.7	OIII				
9.	Location of all (specify distance	buildings and str ce from side, rear	uctures on or proposed for the subject lands: and front lot lines in <u>metric units</u>)			
	EXISTING	N/A				
Trong year a consecutive	N/A					
	Side yard setback	N/A				
	Side yard setback PROPOSED Front yard setback	5.75m				
	Rear yard setback	7.41m				
	Side yard setback Side yard setback	2.23m (R) 0.65m (L)				
10.	Date of Acquisition		July 19 2022			
11.	Existing uses of sub	oject property:	Residential			
12.	Proposed uses of s	ubject property:	Residential			
13.	Existing uses of abo	utting properties:	Residential			
14.	Date of construction	n of all buildings & stru	uctures on subject land: 2023			
15.	Length of time the e	existing uses of the su	bject property have been continued: Vacant Land			
16. (a)	What water supply Municipal Well	is existing/proposed?	Other (specify)			
(b)	What sewage dispo Municipal Septic	osal is/will be provided	? Other (specify)			
(c)	What storm drainag Sewers Ditches Swales	ge system is existing/p	Other (specify)			

17.		ubject prope sion or conse		ct of an a _l	oplication u	nder t	the Planning	Act, for	approval of a plan of
	Yes [No 🔽						
	If answe	er is yes, pro	vide details:	File #				Status	
18.	Has a p	e-consultati	on applicatio	n been file	ed?				
	Yes [No 🗹						
19.	Has the	subject prop	perty ever be	en the sub	ject of an ap	oplica	tion for mind	or varian	ce?
	Yes [No 🔽		Unknown				
	if answe	er is yes, pro	vide details:						
	File File File	#	Decision Decision Decision				Relief_ Relief_ Relief		
							20 20 	3 20	
							D.Dyc	ce	
					Sig	natur	e of Applicant	(s) or Au	thorized Agent
DAT	ED AT TI-	2		OF	BRAMPTON				4
THIS	S <u>25</u>	DAY OF	NOVEMBER		, 20 22				
THE SUB	JECT LA PLICANT	NDS, WRITT IS A CORF	EN AUTHOR	IZATION C	F THE OWN	IER N HALL	NUST ACCOM BE SIGNE	IPANY T	HAN THE OWNER OF THE APPLICATION. IF N OFFICER OF THE
	I.	David	Huie		, OF TH	ΗE	City	OF	Brampton
IN THI	E Provin	ce OF	Ontario		-: _SOLEMNLY	/ DEC	LARE THAT:		
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Ontario		-	_ DAY OF		=	\mathcal{L}	David S	Huie	
Novem	ber	, 20		Hailian	Wanger	Signati	ure of Applica Davi	nt or Autl d Huie	horized Agent
>	griss !	>		NOTA	RY M		Submit	by Ema	il
Hailian Wa	ang	missioner et	C.	MAN ONT	110 / di 110 add				
		d Notary Public Licensee #P16	391	FOR OF	FICE USE O	NLY			
	Dresen	t Official Pla	n Designatio		,02 002 0				
			law Classific				R1F-9-23	368	
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	THIS &	ррисации на			ned on the at			ina inc ro	Suite of the
		18	arbuto				Decemb	er 5. 20	022
			ng Officer					Date	
			r peoes :==	10	1	<u> </u>	2022	•	
		Date Applica	E RECEIVED		ecember		7, 2020		Revised 2020/01/07
	Con	inlete by the	Municipality	/ I					



NOTE: BUILDER TO VERIFY LOCATION OF ALL HYDRANTS, STREET LIGHTS, TRANSFORMERS AND OTHER SERVICES, IF MIN, DIMENSIONS ARE NOT MAINTAINED BUILDER IS TO RELOCATE AT HIS OWN EXPENSE

BUILDING STATISTICS 43M-2102-43M-2103 REG. PLAN No. R1F-13-2368 ZONE LOT BLOCK 161&249 LOT NUMBER 341.29 LOT AREA(m)² BLDG AREA(m)² LOT COVERAGE(%) No. OF STOREYS 8.58 5.59m x 5.80m INT, GARAGE DIMS(m) 2 - 2.44 GARAGE DOOR(m)

FFE FINISHED FLOOR ELEVATION TOP OF FOUNDATION WALL M BELL PEDESTAL CABLE PEDESTAL TOP OF BASEMENT SLAB TBS CATCH BASIN USF UNDER SIDE FOOTING UNDER SIDE FOOTING @ DBL, CATCH BASIN ENGINEERED FILL UNDER SIDE FOOTING @ GARAGE TOP OF ENGINEERED FILL USFG HYDRO CONNECTION TEF STREET LIGHT NUMBER OF RISERS TO GRADE WALKOUT DECK MAIL BOX WOD LOB M TRANSFORMER SEWER CONNECTIONS 2 LOTS LOOKOUT BASEMENT WALK OUT BASEMENT WOB SEWER CONNECTIONS I WUB WALK UP BASEMENT REVERSE PLAN WATER CONNECTION WATER VALVE CHAMBER HYDRANT AND VALVE STD STANDARD PLAN DOOR ф. HYDRO METER GAS METER \mathbb{H} ΑQ AIR CONDITIONING DOWN SPOUT TO SPLASH PAD MANHOLE - STORM DOWNSPOUT CONNECTED TO STM SWALE DIRECTION 0 MANHOLE - SANITARY CHAINLINK FENCE PRIVACY FENCE SOUND BARRIER SOUND BARRIER

FOOTING TO BE EXTENDED
TO 1,22 (MIN) BELOW GRADE
NOTE: USF IS BASED ON 150mm (6') FOOTING DEPTH. CONTRACTO
TO CONFIRM WITH WORKING DRAWINGS FOR SPECIFIC SIZES THAT
MAY SUPERSEDE THIS SIZE.

NO.	DESCRIPTION	DATE	DWN	CHK
1	ISSUED FOR PRE-SITE ONLY	18-JUN-21	D.H	
2	ISSUED FOR REVIEW	05-AUG-21		NC
3	REVISED PER ENG COMM	23-AUG-21	D.H	NC
4	ISSUED FINAL	05-MAY-22	D.H	NC
		-		H
		-		-
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IMPORTANT FOOTING NOTE:

-IT IS THE RESPONSIBILITY OF THE BUILDER TO VERIFY FROM THE IT IS THE RESPONSIBILITY OF THIS BUILDER TO VERIFY FROM THE ARCHITECTURAL DRAWINGS BEFORE CONSTRUCTION, WHETHER ARCHITECTURAL DRAWINGS BEFORE CONSTRUCTION, WHETHER ADDITIONAL HICKNESS MY SE REQUIRED.

LOT GRADING PLANS ASSUME A T8S TO USF DISTANCE OF 0.23, BASED ON FOOTING THICKNESS UP TO 5".

IF ADDITIONAL FOOTING THICKNESS US REQUIRED THE USF IS TO BE LOWERED BY THE FOLLOWING AMOUNTS:

UP 10 9" FOOTING, LOWER USF BY 0.10

11" FOOTING, LOWER USF BY 0.13

12" FOOTING, LOWER USF BY 0.15

13" FOOTING, LOWER USF BY 0.15

13" FOOTING, LOWER USF BY 0.18

14" FOOTING, LOWER USF BY 0.18



WWW.RNDESIGN.COM T:905-738-3177 WWW.THEPLUSGROUP.CA

I. NELSON CUNHA DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD, UNDER DIVISION C, PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE RIFIN IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: FIRM BCIN: DATE:

SIGNATURE:

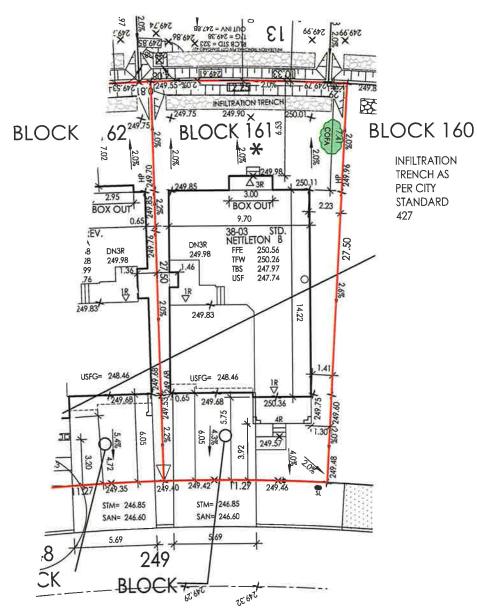
MAYFIELD (RCH) PROPERTIES INC

MAYFIELD VILLAGE PHASE 6 BRAMPTON

DRAWING

SITE PLAN

DRAWN BY D.H	1:250
PROJECT NO.	LOT NUMBER
21034	LOT BLOCK 161&249



KESSLER DRIVE

GRADING CERTIFICATION:

1. THE PROPOSED LOT GRAING AND DRAINAGE IS APPROVED AS BBIND IN COMPORMITY WITH THE OVERALL APPROVED GRADING PLANS FOR THE SUBDIVISION.

2. THE BULLDER IS RESPONSIBLE FOR RELOCATION OF ALL THE LIBRIDGE AUGUST.

5. BRICKLINE TO BE 150mm TO 200mm ABOVE FINAL GRADE AT

NOTE:
LATERIAL SEWERS AS BUILT ELEVATIONS AND UNT
LOCATIONS WERE NOT AVAILABLE AT THE TIME OF
CERTIFICATION. SCHAEFFER'S WILL NOT ACCEPT
LIBBILITY ASIGNS FROM THIS MATTER. REVISIONS
BE REQUIRED UPON AVAILABILITY OF LATERAL
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APPROVED.

