

APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **GOBITHA PIRATHEEPAN AND PIRANTHEEPAN KULENDRAN** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Lot 152, Plan 43M-1614 municipally known as **9 FERNCastle CRESCENT**, Brampton;

AND WHEREAS the applicants are requesting the following variance(s):

1. To permit a 0.66m (2.17 ft.) path of travel leading to a principle entrance for a second unit whereas the by-law requires a minimum unencumbered side yard width of 1.2m (3.94 ft.) be provided as a path of travel from the front yard to the entrance for a second unit.

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: _____ NO _____ File Number: _____
Application for Consent: _____ NO _____ File Number: _____

The Committee of Adjustment has appointed **TUESDAY, January 24, 2023 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant, the Minister, a specified person or a public body.

RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this this 12th Day of January, 2023.

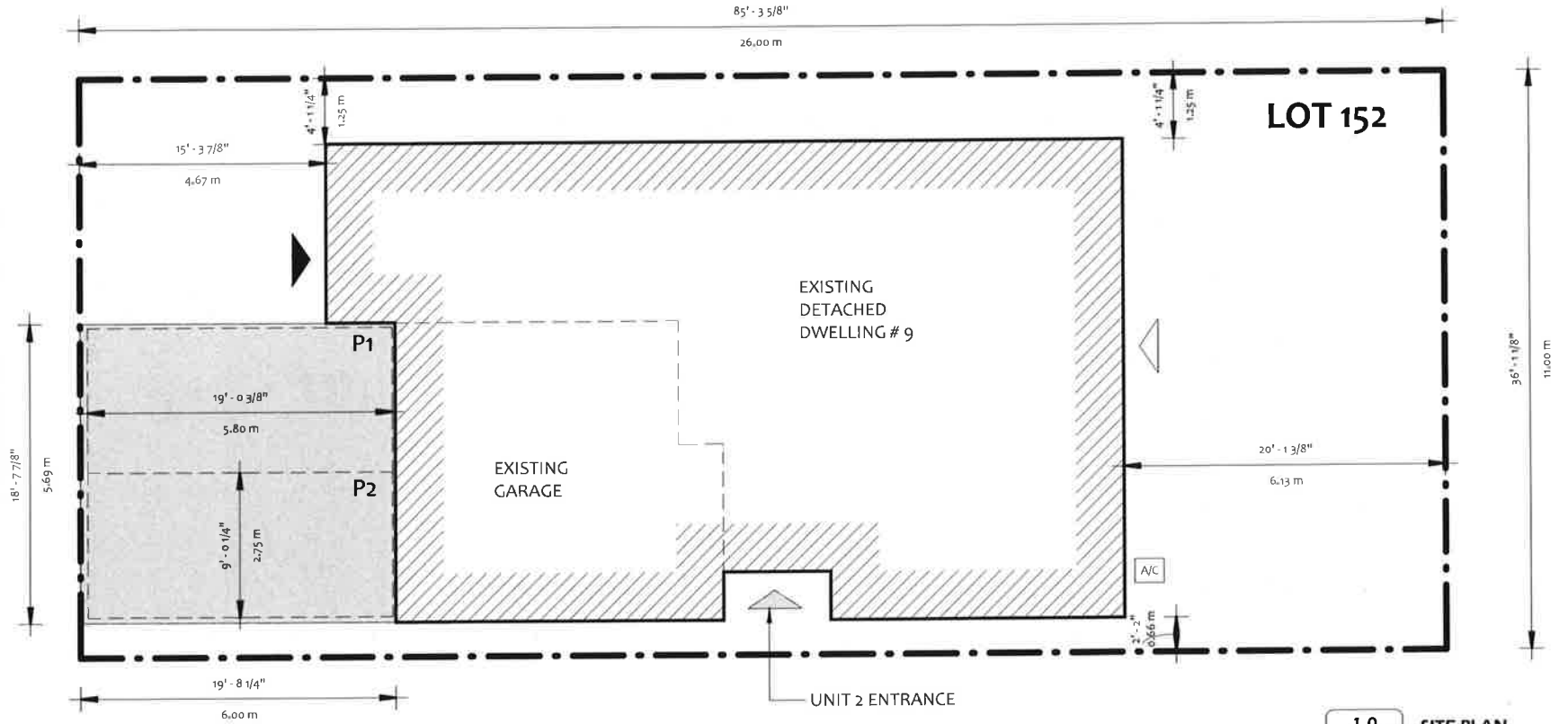
Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca



- MAIN ENTRANCE
- SECONDARY ENTRANCE
- BASEMENT ENTRANCE

FERNCASTLE CRES



1.0 SITE PLAN
A-02 1/8" = 1'-0"

FLOOR / UNIT AREA	AREA	
	SQFT	SQM
BASEMENT (UNIT 2)	830.58	77.16
BASEMENT (UNIT 1)	N/A	N/A
FIRST FLOOR (UNIT 1)	733.39	68.13
SECOND FLOOR (UNIT 1)	1153.23	107.14
TOTAL BUILDING AREA	2717.2	252.43



888.236.9958 | 416.483.5393 | 905.821.0728
INFO@YEJSTUDIO.COM
WWW.YEJSTUDIO.COM

BASEMENT SECOND UNIT
9 FERNCASTLE CRESCENT
BRAMPTON, ON L7A 3P2

THE UNDERSIGNED HAS REVIEW AND TAKES RESPONSIBILITY FOR THE DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.5(1) OF DIVISION "C" OF O.B.C.

NAME
AMR ROBAH

BCIN
42582

4/5/22



SITE PLAN

Project number: 22RE500-206
Date: 2022.08.02

A-02

Drawn by: K.D.
Scale: As indicated

Under the authority of the Emergency Management and Civil Protection Act and the Municipal Act, 2001, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

**Electronic/Hybrid Hearing Procedures
How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **January 24, 2023** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

How to Participate in the Hearing:

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, January 19, 2023.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
 1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, January 19, 2023.**
 2. To participate in-person, please email the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, January 19, 2023.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, January 19, 2023.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.



For Office Use Only
(to be inserted by the Secretary-Treasurer
after application is deemed complete)

FILE NUMBER: A-2022-0398

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION
Minor Variance or Special Permission
(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** Gobitha Piratheepan and Piratheepan Kulendran
Address 9 Ferncastle Crescent
Brampton, ON, L7A 3P2
Phone # 647-708-3546 **Fax #** _____
Email gobitha1@live.com

2. **Name of Agent** AMR ROBAH AT YEJ STUDIO AND CONSULTING INC
Address 104 Crockford Blvd, Scarborough, ON M1R 3C3
Phone # 416.483.5393 **Fax #** _____
Email PERMITS@YEJSTUDIO.COM

3. **Nature and extent of relief applied for (variances requested):**

TO PERMIT A PATH OF TRAVEL TO THE ENTRANCE OF SECONDARY UNIT OF 0.66M WIDE WHEREAS THE BYLAW REQUIRES 1.2M

4. **Why is it not possible to comply with the provisions of the by-law?**

THE ENTRANCE WAS BUILT BY BUILDER ON HE SIDE WHERE THE SIDE YARD SET BACK IS 0.66M BY CREATING AN INDENT IN THE SIDE WALL.

5. **Legal Description of the subject land:**
Lot Number 152
Plan Number/Concession Number 43M-1614
Municipal Address 9 Ferncastle Crescent Brampton, ON L7A 3P2

6. **Dimension of subject land (in metric units)**
Frontage 11 M
Depth 26 M
Area 286 M2

7. **Access to the subject land is by:**

Provincial Highway	<input type="checkbox"/>	Seasonal Road	<input type="checkbox"/>
Municipal Road Maintained All Year	<input checked="" type="checkbox"/>	Other Public Road	<input type="checkbox"/>
Private Right-of-Way	<input type="checkbox"/>	Water	<input type="checkbox"/>

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

EXISTING 2 STORY DETACHED DWELLING
TOTAL GFA=252.9 M2

PROPOSED BUILDINGS/STRUCTURES on the subject land:

ALL EXISTING STRUCTURES TO REMIAN, NO ALTERATION

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback 4.67M
Rear yard setback 6.13 M
Side yard setback 1.25M
Side yard setback 0.66M

PROPOSED

Front yard setback EXISTING TO REMAIN
Rear yard setback EXISTING TO REMAIN
Side yard setback EXISTING TO REMAIN
Side yard setback EXISTING TO REMAIN

10. Date of Acquisition of subject land: 2004
11. Existing uses of subject property: RESIDENTIAL
12. Proposed uses of subject property: RESIDENTIAL
13. Existing uses of abutting properties: RESIDENTIAL
14. Date of construction of all buildings & structures on subject land: SINCE BUILT
15. Length of time the existing uses of the subject property have been continued: SINCE BUILT

16. (a) What water supply is existing/proposed?
Municipal Other (specify) _____
Well
- (b) What sewage disposal is/will be provided?
Municipal Other (specify) _____
Septic
- (c) What storm drainage system is existing/proposed?
Sewers Other (specify) _____
Ditches
Swales

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes No

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes No

19. Has the subject property ever been the subject of an application for minor variance?

Yes No Unknown

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Signature of Applicant(s) or Authorized Agent

DATED AT THE CITY _____ OF Scarborough _____

THIS 30th DAY OF October, 2022.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Gobitha Pirathoepan, OF THE City of Brampton OF Brampton

IN THE Region OF Peel SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton

IN THE Region OF _____

Peel THIS 9th DAY OF

Nov., 2022

A Commissioner etc.

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024.

Signature of Applicant or Authorized Agent

Submit by Email

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

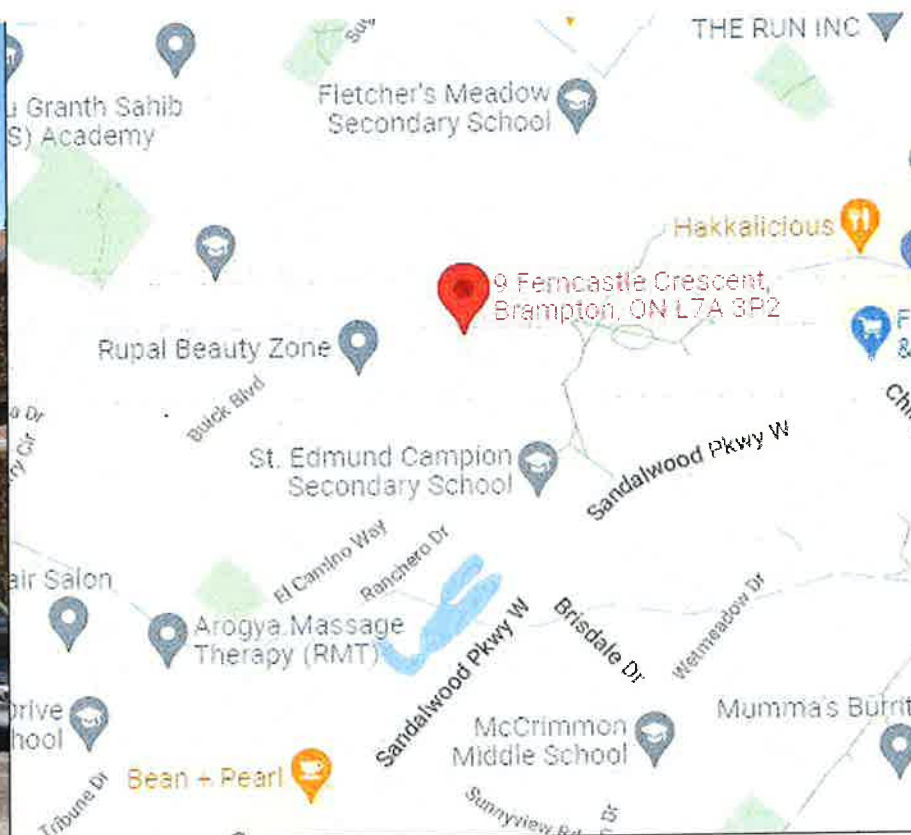
This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Zoning Officer

Date

DATE RECEIVED December 9, 2022

Date Application Deemed Complete by the Municipality



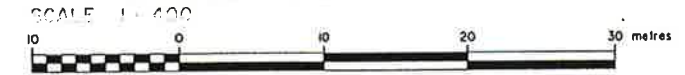
INDEX	
Number	Sheet Name
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A-01	SURVEY
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A-05	EXT. SECOND FLOOR
A-06	PROP. BASEMENT
A-07	PROP. MAIN FLOOR
A-08	PROP. SECOND FLOOR
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A-12	SCHEDULES
AN-01	GENERAL NOTES
AN-02	CONSTRUCTION NOTES
AN-03	CONSTRUCTION NOTES

BASEMENT SECOND UNIT
GØBÎTHA THANABALASINGAM
9 FERNCastle CRESCENT
BRAMPTON, ON L7A 3P2

REGISTERED

FERNCastle CRESCENT
(DEDICATED BY REGISTERED PLAN 43M-1614)

SURVEYOR'S REAL PROPERTY REPORT
PART 1 - PLAN SHOWING
LOTS 149, 150, 151, 152, 153, 165,
166, 167, 168 AND 169
REGISTERED PLAN 43M-1614
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEL



J. D. BARNES LIMITED
© COPYRIGHT

METRIC DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

PART 2 - SURVEY REPORT

- DESCRIPTION
LOTS 149, 150, 151, 152, 153, 165, 166, 167, 168 AND 169, REGISTERED PLAN 43M-1614 CITY OF BRAMPTON, REGIONAL MUNICIPALITY OF PEEL
- REGISTERED EASEMENTS AND/OR RIGHTS-OF-WAY
NONE
- ADDITIONAL REMARKS
PLAN PREPARED FOR GREAT GULF HOMES

NOTES

BEARINGS ARE GRID BEARINGS AND ARE REFERRED TO THE SOUTHWESTERLY LIMIT OF FERNCastle CRESCENT HAVING A BEARING OF N45° 39' 35" W AS SHOWN ON REGISTERED PLAN 43M-1614.

- DENOTES SURVEY MONUMENT FOUND
- DENOTES SURVEY MONUMENT SET
- SIB DENOTES STANDARD IRON BAR
- IB DENOTES IRON BAR
- SSIB DENOTES SHORT STANDARD IRON BAR
- DUC DENOTES DWELLING UNDER CONSTRUCTION
- P&S DENOTES REGISTERED PLAN 43M-1614 AND SET
- P&M DENOTES REGISTERED PLAN 43M-1614 AND MEASURED
- JDB DENOTES J. D. BARNES LIMITED
- P DENOTES PORCH

ALL BUILDING TIES ARE TAKEN TO CONCRETE FOUNDATION
ALL FOUND SURVEY MONUMENTS SET BY RADY-PENTEK & EDWARD SURVEYING LIMITED UNLESS NOTED OTHERWISE.

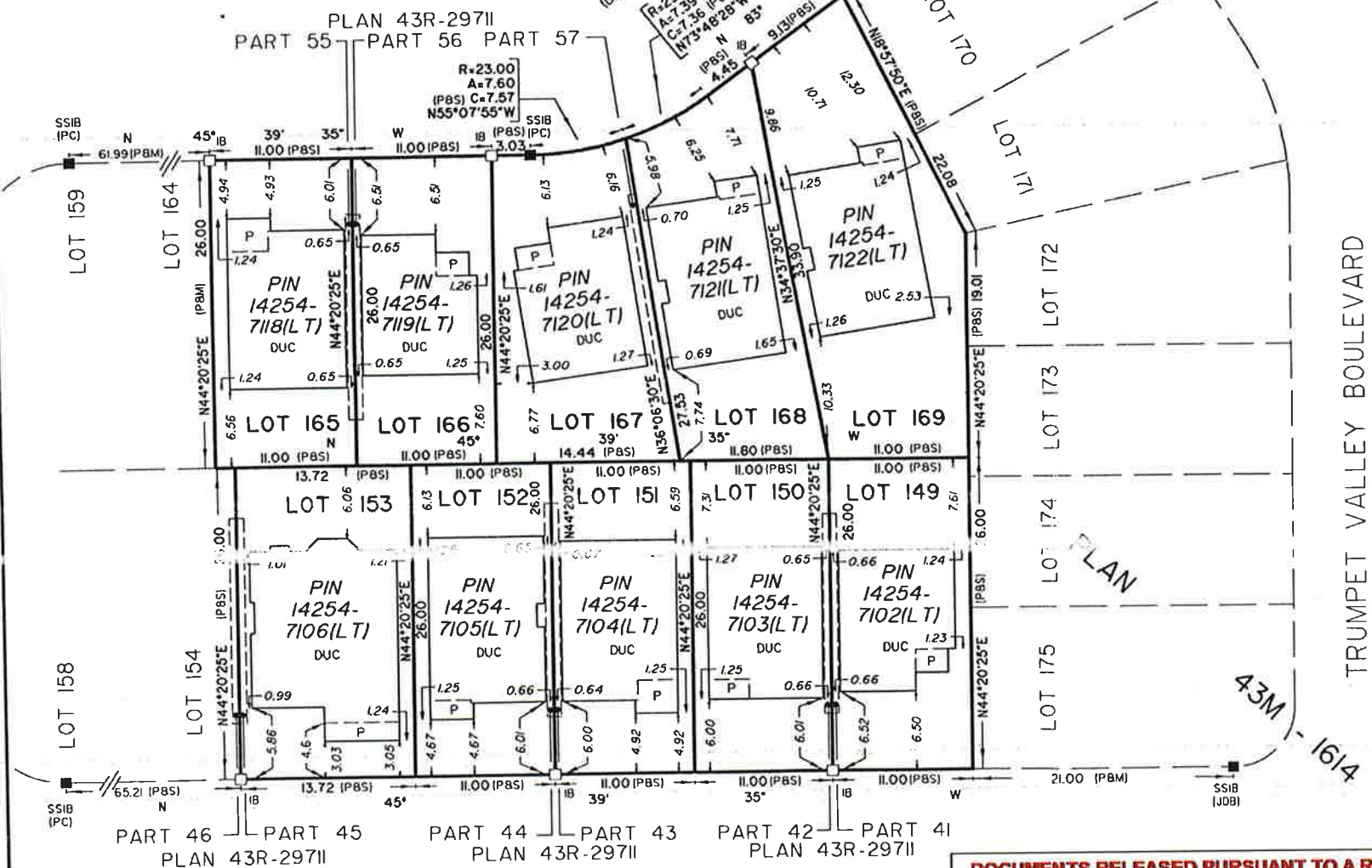
SURVEYOR'S CERTIFICATE

- I CERTIFY THAT:
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
 2. THE SURVEY WAS COMPLETED ON THE 22nd DAY OF OCTOBER, 2004.

DATE DECEMBER 24 2004
DAVID A. BLACK
ONTARIO LAND SURVEYOR

ASSOCIATION OF ONTARIO
LAND SURVEYORS
PLAN SUBMISSION FORM
1545410

THIS PLAN IS NOT VALID UNLESS IT IS AN EMBOSSED ORIGINAL COPY ISSUED BY THE SURVEYOR in accordance with Regulation 1026, Section 29(3).



TRUMPET VALLEY BOULEVARD

DOCUMENTS RELEASED PURSUANT TO A REQUEST UNDER THE MUNICIPAL FREEDOM OF INFORMATION AND PROTECTION OF PRIVACY ACT R.S.O. 1990c. M56

COPYRIGHT ACT R.S., 1985, c. C-42 APPLIES TO THE USE AND REPRODUCTION OF THESE DOCUMENTS

J.D. BARNES LIMITED
SURVEYING MAPPING

401 WHEELABRATOR WAY, SUITE A MILTON, ON L9T 3C1
T: (905) 875-9955 F: (905) 875-9956 www.jdbarnes.com

CE/WJ	DRAWN
CA	CHECKED
	DATED
DEC. 21, 2004	
	Ref. No.

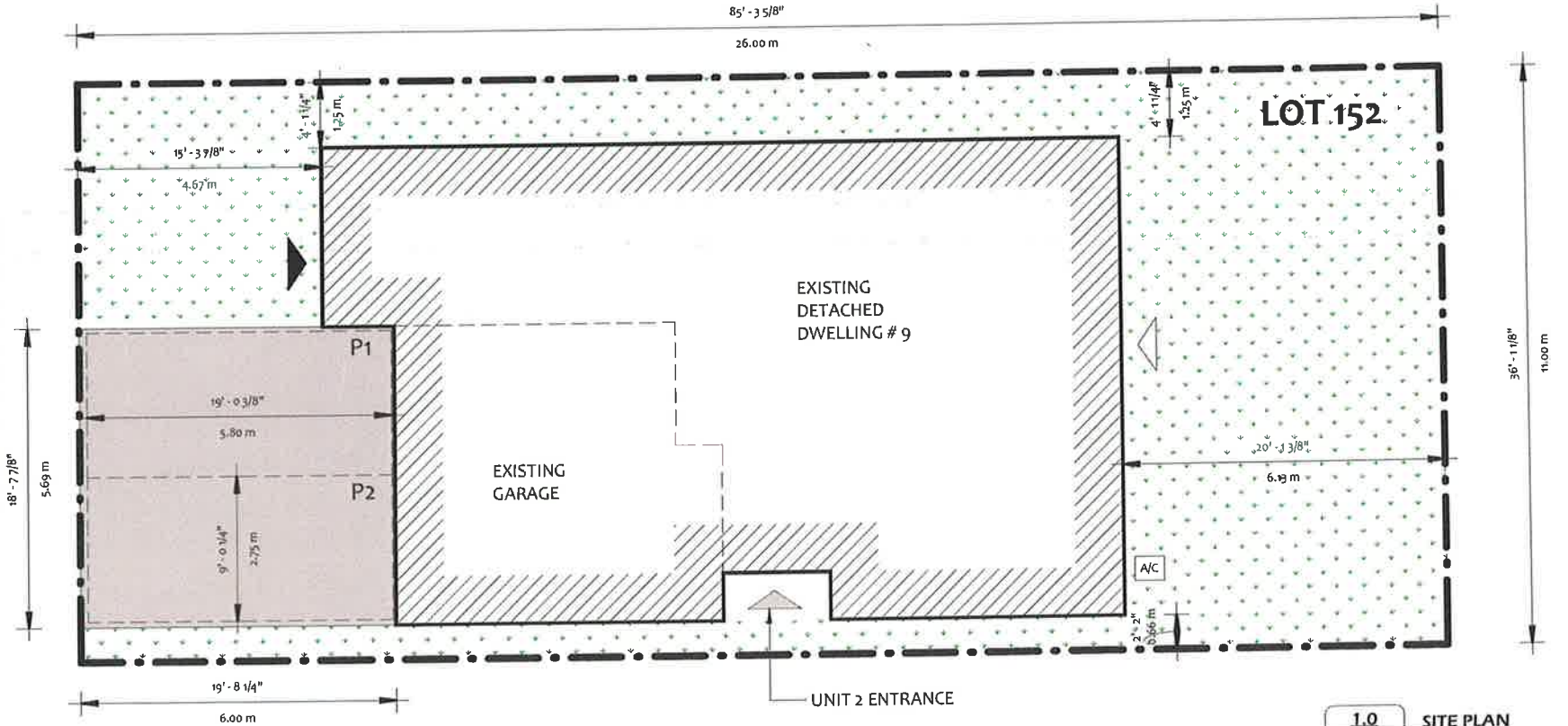
04-30-073-00-149

9/12/2004 1:30:07 PM vpr15149-1614.dgn PLOTTED 21 DEC 2004



- MAIN ENTRANCE
- SECONDARY ENTRANCE
- BASEMENT ENTRANCE

FERNCASTLE CRES



1.0 SITE PLAN
A-02 1/8" = 1'-0"

FLOOR / UNIT AREA	AREA	
	SQFT	SQM
BASEMENT (UNIT 2)	830.58	77.16
BASEMENT (UNIT 1)	N/A	N/A
FIRST FLOOR (UNIT 1)	733.39	68.13
SECOND FLOOR (UNIT 1)	1153.23	107.14
TOTAL BUILDING AREA	2717.2	252.43

YEJ
STUDIO + CONSULTING INC.
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INFO@YEJSTUDIO.COM
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BASEMENT SECOND UNIT
9 FERNCASTLE CRESCENT
BRAMPTON, ON L7A 3P2

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THE DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.
QUALIFICATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.05.1 OF DIVISION "C" OF O.B.C.
NAME: AMR ROBAH
BCIN: 42582



SITE PLAN

Project number: 22RE500-206
Date: 2022.08.02

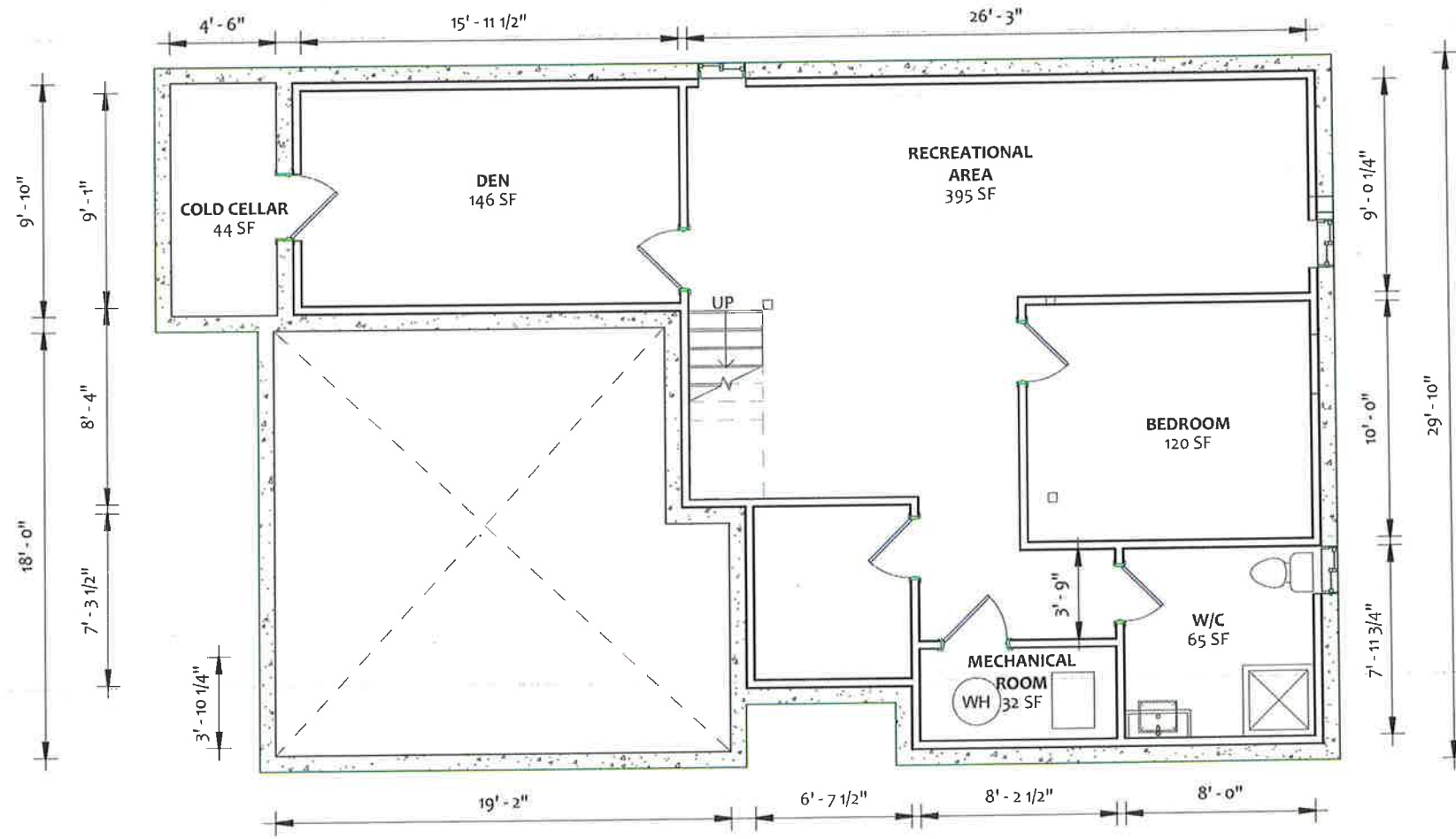
A-02

Drawn by: K.D.
Scale: As indicated

WINDOW SCHEDULE EXISTING

Type	Width	Height	Phase Created	Level
W1	2' - 0"	1' - 0"	Existing	BASEMENT
W1	2' - 0"	1' - 0"	Existing	BASEMENT
W1	2' - 0"	1' - 0"	Existing	BASEMENT

Grand total: 3



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NAME: AMR ROBAH
 BCIN: 42582
 4559



EXT. BASEMENT

Project number

22RE500-206

Date

2022.08.02

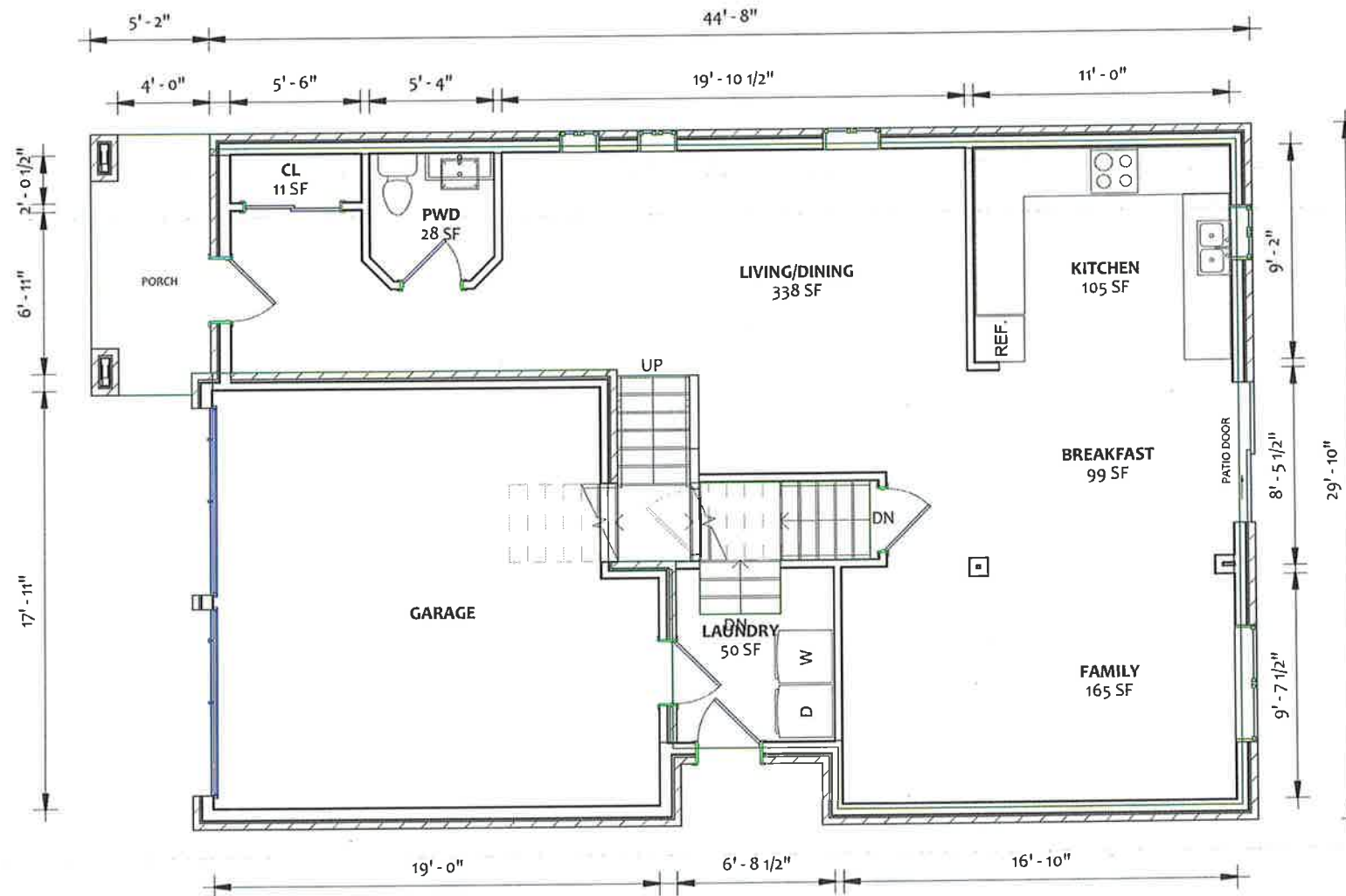
A-03

Drawn by

K.D.

Scale

3/16" = 1'-0"



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 INFO@YEJSTUDIO.COM
 WWW.YEJSTUDIO.COM

BASEMENT SECOND UNIT

**9 FERNCastle CRESCENT
 BRAMPTON, ON L7A 3P2**

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NAME: AMR ROBAH
 BCIN: 42582



EXT. MAIN FLOOR

Project number

22RE500-206

Date

2022.08.02

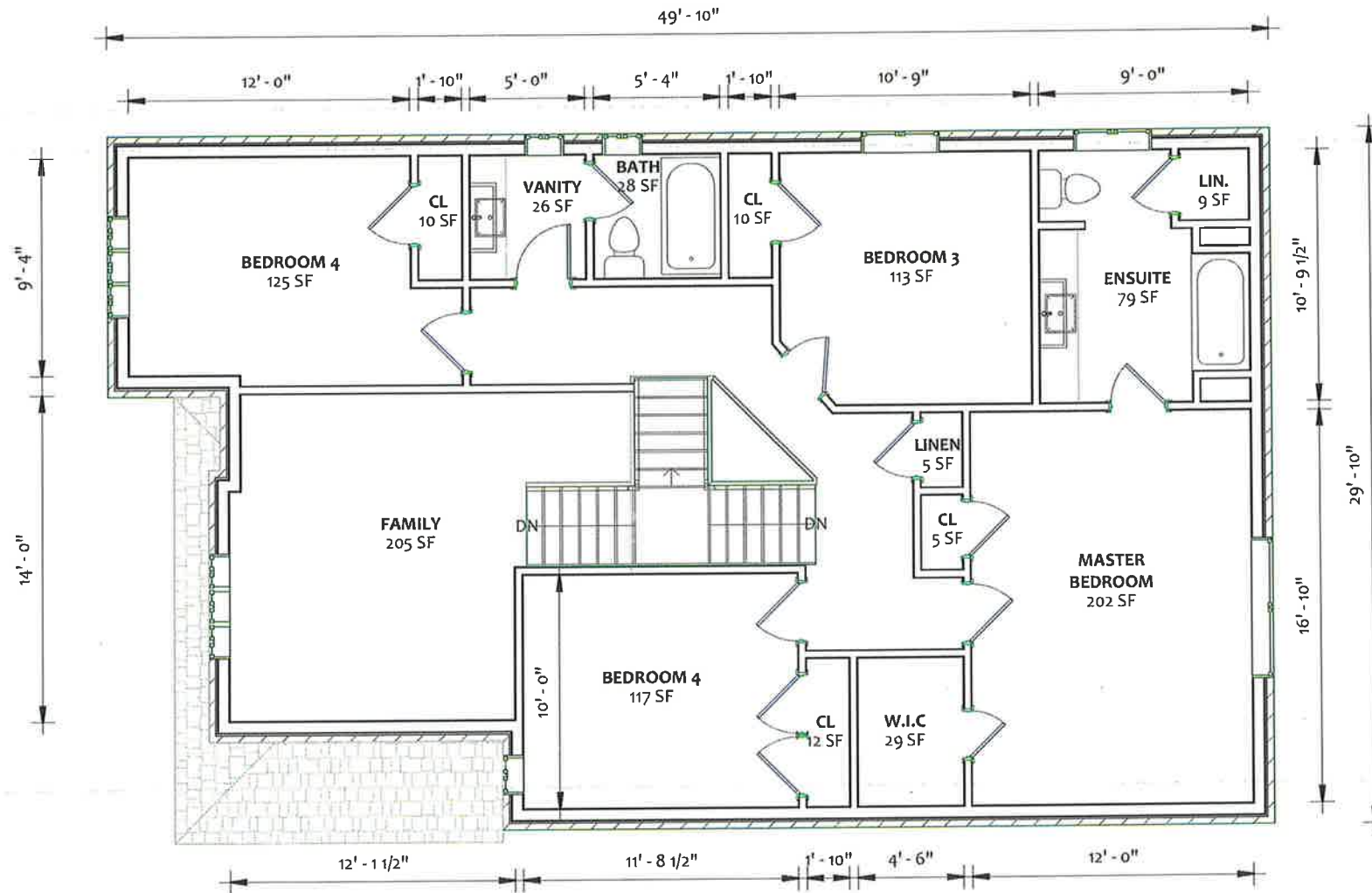
A-04

Drawn by

K.D.

Scale

3/16" = 1'-0"



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BASEMENT SECOND UNIT

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NAME: AMR ROBAH BCIN: 42582



EXT. SECOND FLOOR

Project number

Date

22RE500-206

2022.08.02

A-05

Drawn by

Scale

K.D.

3/16" = 1'-0"

OBC DIV. B, PART II C.A. APPLIED:
C.A. #152 APPLIED FOR VERTICAL & HORIZONTAL FIRE SEPARATION FOR RESIDENTIAL SUITES. 15 MIN FOR HORIZONTAL & 30 MIN VERTICAL.
C.A. #153 APPLIED FOR FURNACE ROOM FIRE SEPARATION. SPRINKLER HEAD IS PROVIDED. FIRE SEP. NOT REQUIRED.

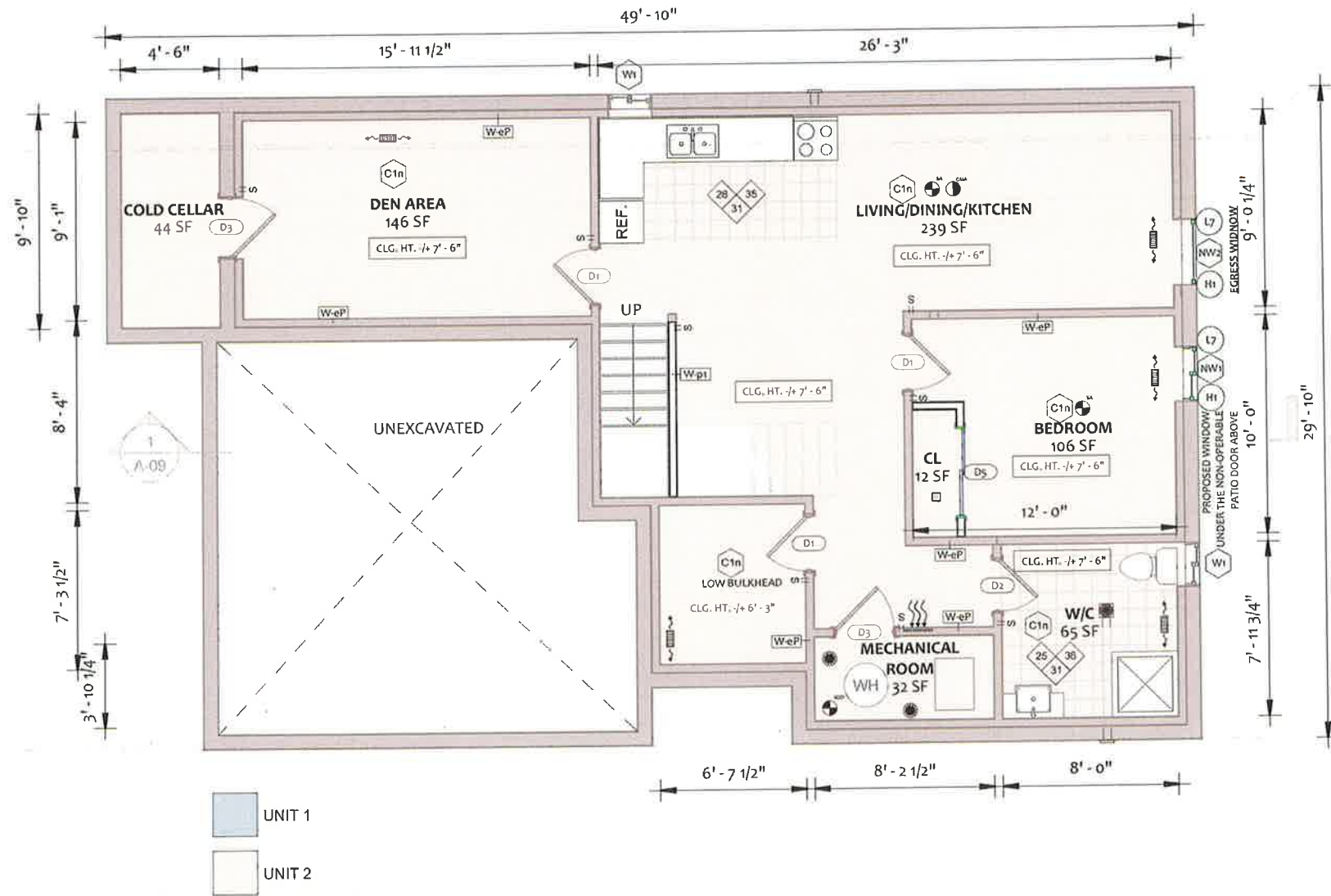
PIPING, TUBING, DUCTS, CHIMNEYS, WIRING, CONDUIT, ELECTRICAL OUTLET BOXES & OTHER SIMILAR EQUIPMENT THAT PENETRATE A FIRE SEPARATION SHALL BE TIGHTLY FITTED OR FIRE STOPPED TO MAINTAIN INTEGRITY OF THE FIRE SEPARATION.

DUCT TYPE SMOKE DETECTOR SHALL BE PROVIDED IN SUPPLY OR RETURN AIR DUCT SYSTEM SERVING THE ENTIRE HOUSE WHICH WOULD TURN OFF THE FUEL SUPPLY AND ELECTRICAL POWER TO THE HEATING SYSTEM UPON ACTIVATION OF SUCH DETECTOR.

ALL PLUMBING MUST CONFORM TO O.REG. 332/12, DIV. B PART 7 OF THE OBC.

ALL SMOKE ALARMS TO BE INTERCONNECTED WITHIN ENTIRE BUILDING AND COMMON AREAS

ENSURE FIRE RESISTANCE RATING AROUND ALL BEAMS AND COLUMNS TO MATCH SUPPORTED FLOOR ABOVE



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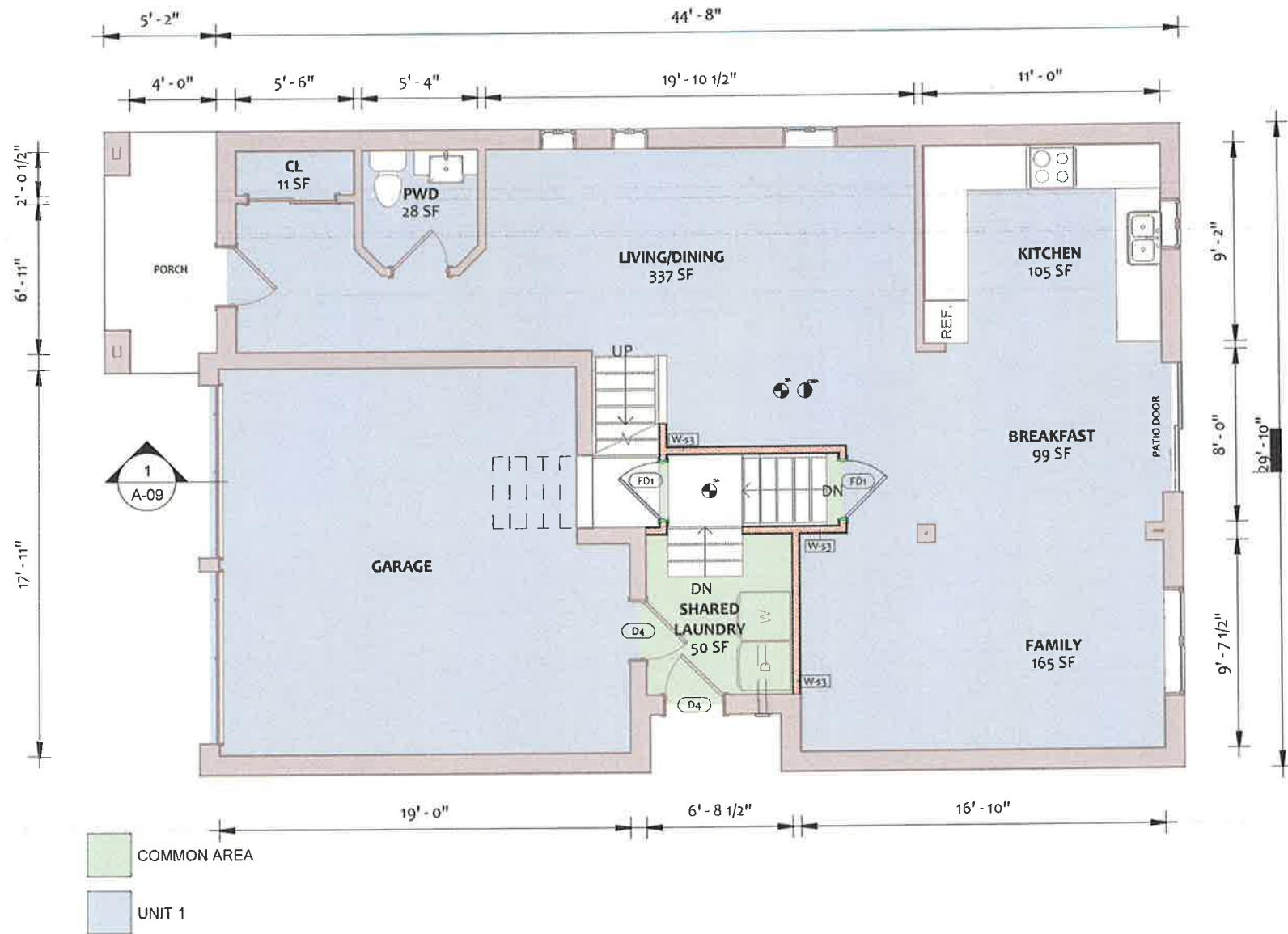
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QUALIFICATION INFORMATION
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 NAME: AMR ROBAH
 BCIN: 42582
 4553



PROP. BASEMENT

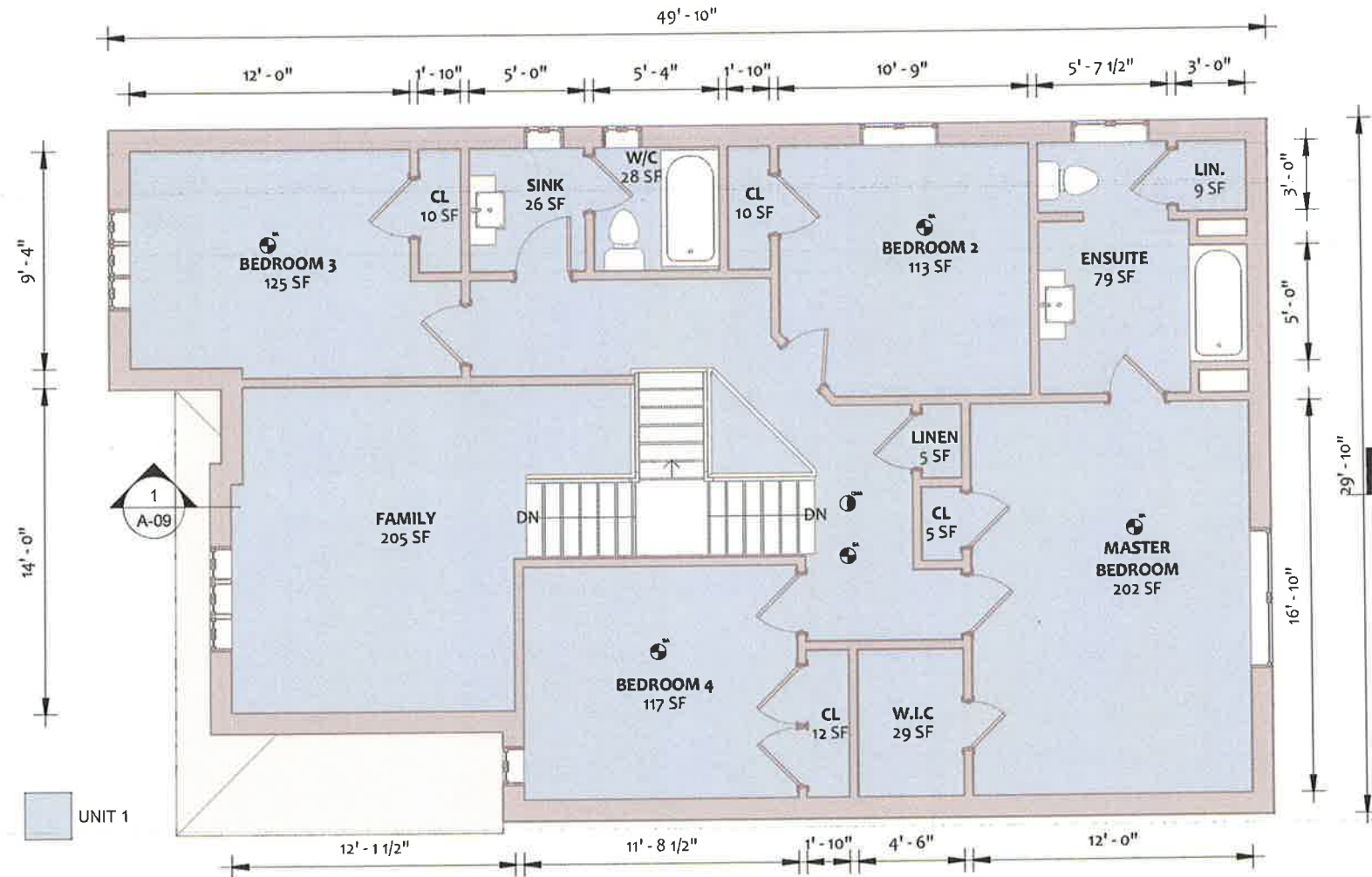
Project number: 22RE500-206
 Date: 2022.08.02

A-06
 Drawn by: K.D.
 Scale: 3/16" = 1'-0"



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BRAMPTON, ON L7A 3P2

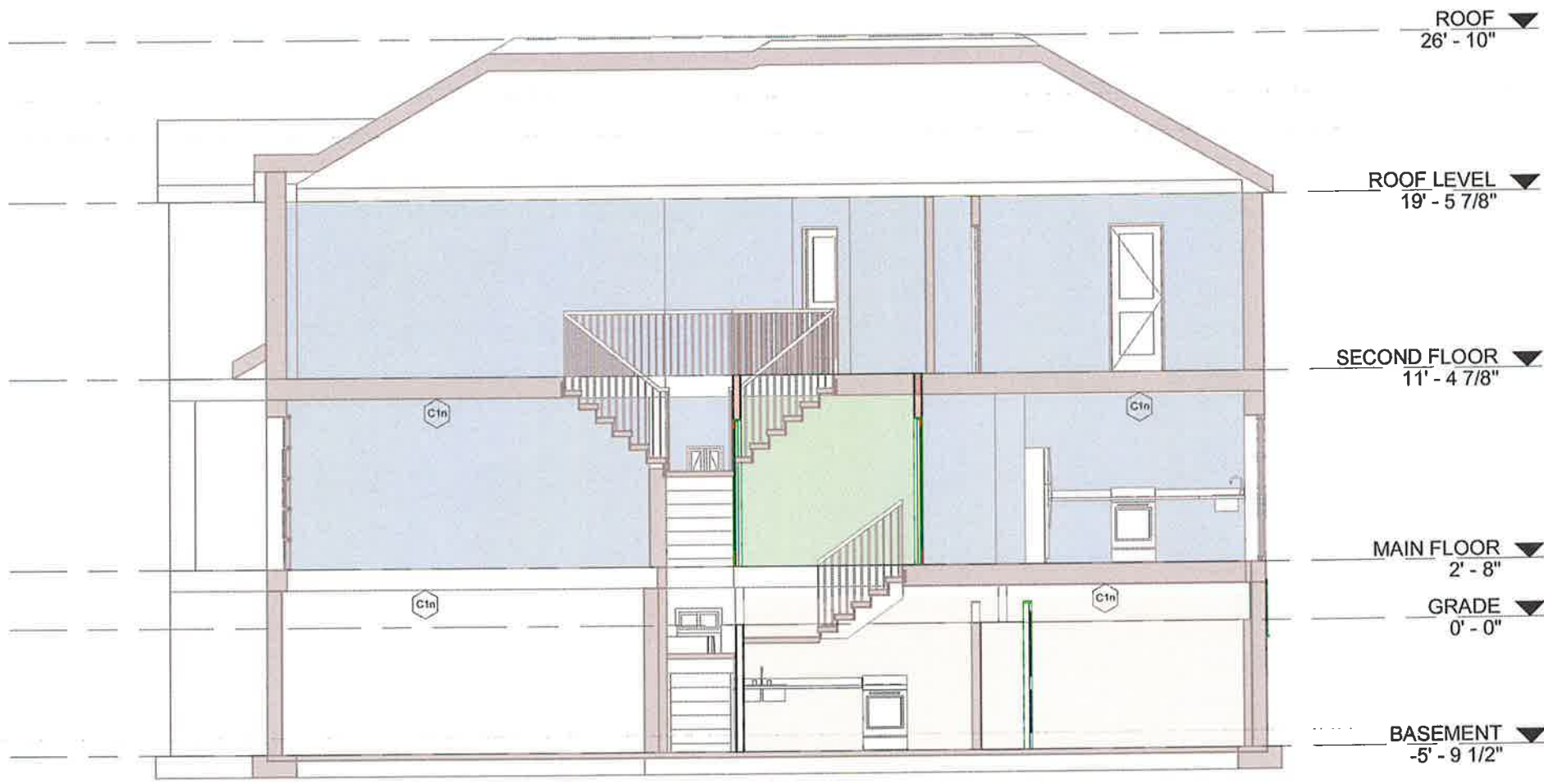
THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THE DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.
QUALIFICATION INFORMATION
 ACQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.1.2.1 OF DIVISION "C" OF O.B.C.
 NAME: AMR ROBAH
 BCIN: 42582



PROP. SECOND FLOOR

Project number: 22RE500-206
 Date: 2022.08.02

A-08
 Drawn by: K.D.
 Scale: 3/16" = 1'-0"



DOOR SCHEDULE						
Type	Ct.	Level	Width	Height	Phase Created	Comments
D5	1	BASEMENT	4' - 0"	6' - 8"	New Construction	Bedroom Closet
FD1	1	MAIN FLOOR	2' - 8"	6' - 8"	New Construction	At Stair
FD1	1	MAIN FLOOR	2' - 8"	6' - 8"	New Construction	At Stair
Grand total: 3						

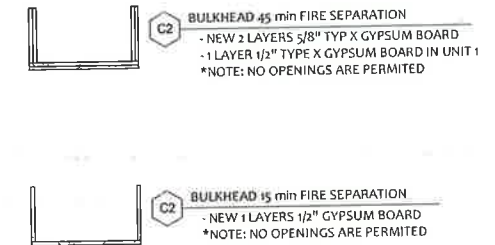
WINDOW SCHEDULE						
Type	Ct.	Level	Width	Height	GLASS AREA	Phase Created
NW1	1	BASEMENT	2' - 6"	2' - 6"	5.63 SF	New Construction
NW2	1	BASEMENT	3' - 0"	4' - 0"	10.80 SF	New Construction
W1	1	BASEMENT	2' - 0"	1' - 0"	1.80 SF	Existing
W1	1	BASEMENT	2' - 0"	1' - 0"	1.80 SF	Existing
Grand total: 4						

BASEMENT (UNIT2)						
No.	Elevation	Room Name	Room Area (sqft)	Req. Win. %	Req. Win. Area (sqft)	Class Area (sqft)
NW1		BEDROOM	106sqft	2.5 %	2.65 sqft	5.63 sqft
NW2		LIVING/ DINING/ KITCHEN	239 sqft	5 %	11.95 sqft	12.6 sqft
W1						

STRUC. ELEMENTS	
LINTEL SCHEDULE	
NO.	DESCRIPTION
H1	2 - 2x8
H2	3 - 2x8
H3	2 - 2x10
H4	3 - 2x10
H5	2 - 2x12
H6	3 - 2x12
L7	L - 5 x 3 1/2 x 5/16
L8	L - 5 x 5 x 5/16
L9	L - 5 x 5 x 1/2

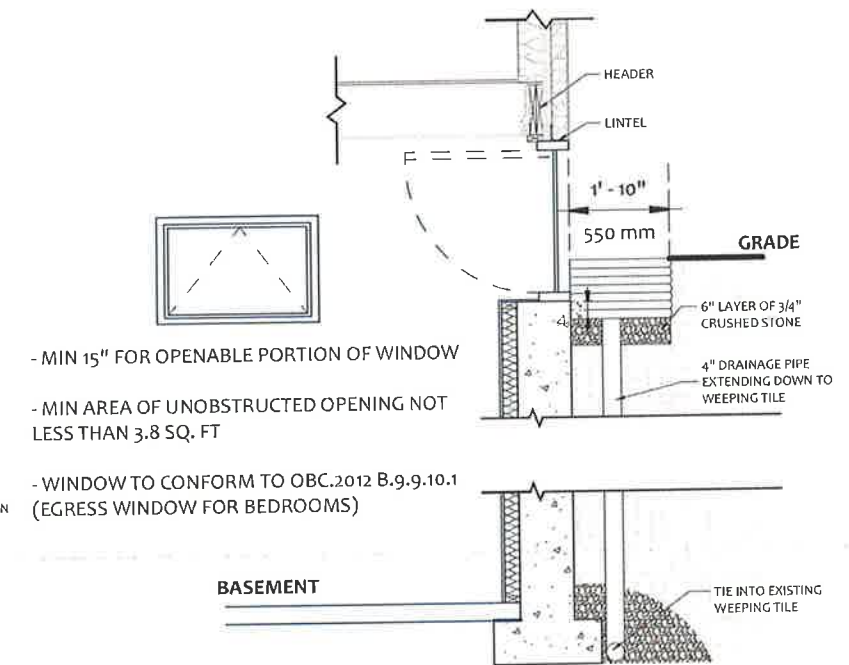
CEILING SCHEDULE

- C1n** FULL HT CLG - 1HR. FIRE SEPARATION (F9d) 545TC
 -EX. FLOOR FINISH
 -EX. FLOOR JOIST
 -NEW 3 1/2" ROXUL INSULATION IN CAVITIES
 -NEW RESILIENT CHANNEL @24" O.C.
 -NEW 2 LAYERS OF 5/8" TYPE X GWB
 * NOTE: NO OPENINGS ARE PERMITTED
- C1n** FULL HT CLG - 15MIN. FIRE SEPARATION (C.A. #152)
 -EX. FLOOR FINISH
 -EX. FLOOR JOIST
 -OPTIONAL INSULATION IN CAVITIES
 -1 LAYER 1/2" GYPSUM BOARD
 * NOTE: NO OPENINGS ARE PERMITTED
 * PART IS COMPLIANCE ALTERNATIVE APPLIED



WALL SCHEDULE

- W-eF** EXISTING FOUNDATION WALL
- W-eX** EXISTING EXTERIOR WALL
- W-eP** EXISTING STUD PARTITION WALL
- W-iP1** NEW INTERIOR - STUD PARTITION
 - 1/2" GYPSUM WALL BOARD
 - 2"x4" @16" o.c. WOOD STUDS
 - 1/2" GYPSUM WALL BOARD
- W-fsu** EXTERIOR - BASEMENT INSULATED STUD WALL
 - EXT. R20 (OR R12) INSULATION TO REMAIN
 - EXT. AIR/VAPOUR BARRIER
 - NEW 2"x4" @16" o.c. STUDS
 - NEW 1/2" GYPSUM WALL BOARD
- W-fsu** EXTERIOR - BASEMENT INSULATED STUD WALL
 - 1" AIR GAP
 - NEW 2"x4" @16" o.c. STUDS W/ R14 INSULATION
 - NEW AIR/VAPOUR BARRIER
 - NEW 1/2" GYPSUM WALL BOARD
- W-s3** NEW INTERIOR - 30min FIRE SEP. (W1c)
 - 1 LAYER 1/2" REGULAR GWB
 - 2"x4" WOOD STUDS @ 16" o.c.
 - ROXUL INSULATION IN CAVITIES
 - 1 LAYER 1/2" REGULAR GWB



I D17.2 - EGRESS WINDOW BSMT - WINDOWWELL
A-12 3/8" = 1'-0"

GENERAL NOTES :

I. ALL CONSTRUCTION SHALL MEET WITH THE LATEST REQUIREMENTS OF:

- AUTHORITIES HAVING JURISDICTION.
- ZONING RESTRICTIONS AND COMMITTEE OF ADJUSTMENT DECISIONS.
- ONTARIO BUILDING CODE
- ONTARIO REGULATIONS UNDER THE HEALTH AND PROMOTION ACT.
- ONTARIO FIRE CODE
- ALL SUPPLIERS SPECIFICATIONS RE: THE TECHNICAL METHODS TO USE MATERIALS AND THE SAFEST SYSTEM TO INSTALL BREAKABLE OR HANGING MATERIALS SUCH AS GLASS OR LIGHT FIXTURES ETC.

II. CONTRACTOR SHALL:

- CONFIRM ALL DIMENSIONS ON SITE AND REPORT ANY DISCREPANCIES OR ERRORS TO THE ARCHITECT AND THE PARTIES INVOLVED.
- WORK ONLY FROM THE APPROVED PERMIT DRAWINGS AND SPECIFICATIONS THAT ARE STAMPED AND SIGNED BY THE ARCHITECT.
- RETAIN A CERTIFIED SURVEYOR TO CHALK OUT ALL PROPERTY LINES, BUILDING BOUNDARIES AND LIMITATIONS AND CONFIRM GRADES OF THE LOT.
- PRIOR TO EXCAVATION, TAKE PRECAUTION IN SUCH A MANNER TO PREVENT DAMAGE TO ADJACENT PROPERTIES, EXISTING STRUCTURE, UTILITIES, ROADS AND SIDEWALKS.
- PRIOR TO CONSTRUCTION CHECK WITH ALL INSPECTORS OF ALL AUTHORITIES HAVING JURISDICTION ON THE PROJECT REGARDING SCHEDULES OF INSPECTIONS AND ARRANGE FOR THEIR SITE VISITS AND CALL ALL UTILITY COMPANIES (GAS, HYDRO, CABLE, WORKS DEPT...etc.) TO CHECK ALL EXISTING LINES, PIPES, TREES,
- PROVIDE ALL REQUIRED LATERAL FRAMING SUPPORTS (TO ENSURE RIGIDITY AND STURDINESS) THAT DO NOT SHOW ON DRAWINGS
- NOT PLACE MATERIALS NOR PLACE OR OPERATE EQUIPMENT IN OR ADJACENT TO AN EXCAVATION IN A MANNER THAT MAY ENDANGER THE INTEGRITY OF THE EXCAVATION OR ITS SUPPORTS.
- NOT SCALE DRAWINGS UNLESS OTHERWISE MENTIONED
- COMPLY BY SOIL REPORT WHENEVER APPLICABLE.
- USE ONLY APPROVED SUPPLIERS & INSTALLERS

III. SHOP DRAWINGS:

- THE REVIEW OF SHOP DRAWINGS IS FOR THE SOLE PURPOSE OF ASCERTAINING CONFORMANCE WITH THE GENERAL DESIGN CONCEPT. IT SHALL NOT MEAN APPROVAL OF THE DETAIL DESIGN INHERENT IN THE SHOP DRAWING, RESPONSIBILITY FOR WHICH SHALL REMAIN WITH THE CONTRACTOR SUBMITTING SAME, AND SUCH REVIEW SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY FOR MEETING ALL REQUIREMENTS OF THE CONTRACT DOCUMENTS. THE CONTRACTOR IS RESPONSIBLE FOR DIMENSIONS TO BE CONFIRMED AND CORRECTED AT THE JOB SITE, FOR INFORMATION THAT PERTAINS SOLELY TO FABRICATION, PROCESSES OR TO TECHNIQUES OF CONSTRUCTION AND INSTALLATION AND OR COORDINATION OF THE WORK OF ALL SUB-TRADES.
- ALL SHOP DRAWINGS SHALL BE STAMPED BY THE MANUFACTURER'S STRUCTURAL ENGINEER PRIOR TO SUBMITTING FOR REVIEW BY ARCHITECT.
- SEQUENCE OF SHOP DRAWINGS REVIEW: - CONTRACTOR - STRUCTURAL ENGINEER - ALL OTHER INVOLVED CONSULTANTS - ARCHITECT
- SHOP DRAWINGS SHALL BE PROVIDED FOR: - STEEL - PREFAB. CONC. - CANOPIES - WINDOWS - DOORS

GENERAL NOTES :

IV. RENOVATION AND ADDITION CONSTRUCTION:

- REPAIR ALL DEFECTIVE OR DAMAGED CONDITIONS IN BUILDING AND SITE THEN FINISH THEM TO MATCH
- ALL EXISTING CONSTRUCTION SHALL BE ALL FINISHED UNLESS OTHERWISE MENTIONED, CHECK WITH ARCHITECT.

V. BONDING EXISTING TO NEW CONSTRUCTION:

- PROVIDE 1/2" DIA. X 6" LONG ANCHOR BOLTS SPACED 3'-0" O/C VERTICALLY OR HORIZONTALLY BETWEEN EXISTING AND NEW STUDS AND ROOF FRAMINGS.
- PROVIDE OVERLAPPED VERTICAL JOINTS BETWEEN EXISTING AND NEW MASONRY VENEERS, WALLS AND FOUNDATION.
- SAND BLASTED AREA SHALL BE FINISHED WITH A CLEAR SEALANT.

CONSTRUCTION SPECIFICATIONS

1. WOOD

- ALL WOOD CONSTRUCTION SHALL BE IN ACCORDANCE WITH CSA 086
- BEAMS AND LINTELS & JOISTS SHALL BE KILN DRIED, STAMPED SPRUCE #2, UNLESS OTHERWISE MENTIONED.
- ALL WOOD MEMBERS WHICH ARE PLACED IN SOIL SHOULD BE PRESSURE TREATED WITH A WOOD PRESERVATIVE.
- ALL EXTERIOR WOOD SHALL BE STAINED OR PAINTED.

2. CONCRETE

- SHALL COMPLY WITH CSA A23 SERIES INCL. COLD WEATHER CONCRETING.
- MINIMUM COMPRESSIVE STRENGTH OF UNREINFORCED CONCRETE: 25 MPA AND 35 MPA FOR LOADING DOCK AND FOR ALL EXPOSED CONCRETE AFTER 28 DAYS WITH AIR ENTRAINMENT 6 %
- MAXIMUM SLUMP 3"
- PROVIDE SEALANT-TOPPED EXPANSION JOINT BETWEEN EXISTING AND NEW CONCRETE FLOORS.
- REINFORCEMENT SHALL CONFORM CSA 30.12 GRADE 58

3. STEEL

- SHALL CONFORM TO CSA STANDARDS & CAN 3-G40.21 (STRUCTURAL STEEL QUALITY)
- SHALL BE TREATED ON THE OUTSIDE SURFACE WITH AT LEAST ONE COAT OF RUST INHIBIT PAINT.
- ALL EXPOSED STEEL SHALL BE GALVANIZED:
- STEEL GRADE
 - I) HOLLOW SECTION: G 40.21-M 350W
 - II) I BEAMS & COLUMNS: G 40.21-M 350W
- O.W.S.J. : LIVE LOAD DEFLECTION SHALL NOT EXCEED 1/360 OF SPAN, TOTAL LOAD DEFLECTION SHALL NOT EXCEED 1/300 OF SPAN.
- WELDING SHALL COMPLY WITH CSA W59 AND EXECUTED BY CERTIFIED WELDER.
- ALL BOLTS A 325 BOLTS.
- FOR ALL STEEL FABRICATION, PROVIDE SHOP DRAWINGS AND CALCULATIONS STAMPED BY P. ENG.

CONSTRUCTION SPECIFICATIONS

4. MINIMUM STRUCTURAL BEARING

(PROVIDE 2 SOLID MASONRY BLOCKS BELOW BEARING)

- WOOD JOIST: 2"
- WOOD BEAMS: 4"
- STEEL BEAM: 8"
- STEEL LINTEL: 8"
- O.W.S.J. : 6" ON MASONRY & 2 1/2" ON STEEL & SHALL HAVE 4" DEEP SHOES

5. MASONRY

- SHALL HAVE 1000 PSI MIN. CRUSHING STRENGTH.
- PROVIDE GALVANIZED STANDARD BLOCK-LOK EACH 2ND COURSE.
- VERTICAL JOINTS SHALL BE STAGGERED & CORNERS INTERLOCKED.
- PROVIDE SHOP DRAWINGS STAMPED BY P. ENG. FOR STONE VENEER & PREFAB PANELS.
- VERTICAL CRACK CONTROL JOINTS (DESIGNED TO RESIST MOISTURE PENETRATION AND KEYED TO PREVENT RELATIVE DISPLACEMENT OF THE WALL PORTIONS ADJACENT TO THE JOINT) SHALL BE PROVIDED IN FOUNDATION WALLS MORE THAN 8'-0" LONG AT INTERVALS OF 50'-0" MAX. AND FLUSH WITH OPENING JAMBS.

6. FOUNDATION

- FOOTING AND SONO TUBE FOUNDATION SHALL BEAR ON UNDISTURBED SOIL OR COMPACTED ENGINEERED FILL (TO 98 % STANDARD PROCTOR DENSITY) CAPABLE OF A BEARING OF 3000 PSF, SOIL SHALL BE CHECKED BY SOIL ENGINEER
- DEPTH OF FOOTING ARE PROVISIONAL & SUBJECT TO VERIFICATION ON SITE BY A SOIL ENGINEER.
- ALL EXTERIOR (OR EXPOSED TO EXTERIOR) WALLS, PARTITION, COLUMNS SHALL BE PROVIDED WITH 4'-0" DEEP FOUNDATION.
- PROVIDE 5/8" DIA. X 16" LONG ANCHOR TIES (8" IN NEW CONSTRUCTION).
- TOP TWO COURSES OF CONCRETE BLOCKS SHALL BE FILLED WITH CONCRETE.
- PROVIDE MIN 8"X2'-0" WIDE STRIP FOOTING BELOW ANY INTERIOR LOAD BEARING WALL

7. COLUMNS

- SHALL BE SECURELY FASTENED TO CENTER OF FOUNDATIONS AND TO THE SUPPORTED MEMBERS TO PREVENT LATERAL MOVEMENT.

8. DESIGN LOADS

UN FACTORED DESIGN LOADS

1. SNOW LOAD = kPa (PART 4 DESIGN, S_s = 2.0 kPa, S_r = 0.4kPa)
2. ROOF DEAD LOAD = 0.75kPa
3. SECOND FLOOR DEAD LOAD=0.75kPa
4. MAIN FLOOR DEAD LOAD=1.0kPa
5. OCCUPANCY LIVE LOAD=1.9kPa
6. WIND PRESSURE q(1/50) = 0.44 Kpa
7. ASSUMED SOIL BEARING CAPACITY =75 kPa
8. GUARDS TO BE BUILT ACCORDING TO OBC 2012 SB-7



888.236.9958 | 416.483.5393 | 905.821.0728
INFO@YEJSTUDIO.COM
WWW.YEJSTUDIO.COM

BASEMENT SECOND UNIT

**9 FERNCASTLE CRESCENT
BRAMPTON, ON L7A 3P2**

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THE DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION

REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.5.1 OF DIVISION "C" OF O.B.C.

NAME: AMR ROBAH
BCIN: 42582



GENERAL NOTES

Project number: 22RE500-206
Date: 2022.08.02

AN-01

Drawn by
Scale

A.R

CONSTRUCTION NOTES

ALL CONSTRUCTION TO ADHERE TO THESE PLANS AND SPECS AND TO CONFORM TO ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE CODE AND AUTHORITIES HAVING JURISDICTION THESE REQUIREMENTS ARE TO BE TAKEN AS MINIMUM SPECIFICATIONS ONT.REG.350/06

- 1 **ROOF CONSTRUCTION**
NO210 ROOF ASPHALT SHINGLES ON 1/8" PLYWOOD SHEATHING WITH H-CLIPS. APPROVED WOOD TRUSSES @24" O.C. MAX APPROVED EAVES PROTECTION TO EXCEED 3" FROM EDGE OF ROOF AND MIN. 12" INNER FACE OF EXTERIOR WALL. 2"x4" TRUSS BRACING @6' O.C. BOTTOM CORD. PREFIN. ALUM. EAVSTROUGH, FASCIA, RVL & VENTED SOFFIT. ATTIC VENTILATION 1:300 OF INSULATED CEILING AREA WITH 50% AT EAVS.
- 2 **STONE VENEER WALL CONSTRUCTION**
4" FACE STONE, 1" AIR SPACE 0.03 THICK X 7/8" WIDE GALVANIZED METAL TIES INSTALLED W/ GALVANIZED SPIRAL NAILS 32" O.C. HORIZ. 16" O.C. VERT. SHEATHING PAPER, LAYERS TO OVERLAP EACH OTHER ON 1/2" EXTERIOR TYPE SHEATHING, 2"x6" WOOD STUDS @16" O.C. R24 BATT INSULATION IN CONTINUOUS CONTACT W/ SHEATHING AND VAPOUR BARRIER (AIR BARRIER BOULE PLAT AT THE TOP, SINGLE PLATE AT THE BOTTOM
- 3 **STONE VANEER @ FDN. WALL**
20 MM POLY FLASHING MINIMUM 6" UP BEHIND SHEATHING PAPER. WEeping HOLES @ MIN 2'-9" APART
- 4 **STUCCO WALL CONSTRUCTION**
3 COATS OF STUCCO FINISH ON STUCCO LATH ON 1/2" T&G EPS INSULATION BOARD FASTENED WITH NAILS OF MIN 3.2 MM DIA. W/ MIN 11.1 MM HEAD SPACED @ MAX. 6" O.C. VERTICALLY AND 16" O.C. HORIZONTALLY OR 4" O.C. VERTICALLY AND 24" HORIZONTALLY ON SHEATHING PAPER. @ NOT LESS THAN 8" ABOVE FINISHED GROUND
- 5 **WOOD SIDING WALL CONSTRUCTION**
FRAME WALL CONSTRUCTION FINISH WITH VYNEL SIDING SIDING PAPER LAYERS TO OVERLAP EACH OTHER EXTERIOR TYPE SIDING ON 2X6 WOOD STUDS @ 16" O.C. DOUBLE PLATE AT THE TOP SINGLE PLATE @ BOTTOM R24 BATT INSULATION IN CAVITIES.
- 6 **FOUNDATION WALLS**
BITUMINOUS DAMPROOFING ON 1/4" PARING ON 10" CONCRETE BLOCKS FDN. WALL TOP COURSE FILLED W/ CONCRETE PROVIDE PARING COVERED OVER 24"x12" POURED CONCRETE FOOTING TO BEAR ON UNDISTURBED SOIL PROVIDE DRAINAGE LAYER:
- MIN 3/4" MINERAL FIBRE INSULATION W/ A DENSITY OF NOT LESS THAN 3.6 LB/FT OR
- MIN. 4" OF FREE DRAINAGE GRANULAR MATERIAL OR
- A B.M.E.C. APPROVED DRAINAGE LAYER MATERIAL.
- 7 **REDUCTION IN FOUNDATION WALL THICKNESS**
WHERE THE TOP OF FOUNDATION WALL IS REDUCED IN THICKNESS TO PERMIT THE INSTALLATION OF FLOOR JOIST, THE REDUCED SECTION SHALL BE NOT MORE 13 3/4" HIGH AND NOT LESS THAN 3 1/2" THICK, WHERE THE TOP OF FOUNDATION WALL IS REDUCED IN THICKNESS TO PERMIT THE INSTALLATION OF A MASONRY EXTERIOR FACING, THE REDUCED SECTION SHALL BE NOT LESS 3 1/2" THICK AND TIED TO THE FACING MATERIAL W/ METAL TIES.
- 8 **INTERIOR STUD PARTITIONS (NO BEARING)**
NO BEARING PARTITIONS 1/2" DRYWALL FINISH ON BOTH SIDES OF 2"x4" WOOD STUDS @16" O.C. 2 TOP PLATES & 1 BOTTOM PLATE PROVIDE SOUND ATTENUATION INSULATION IN BATHROOM WALLS & WHERE INDICATED ON PLANS.

- 9 **INTERIOR STUD PARTITIONS (BEARING)**
BEARING PARTITIONS 1/2" DRYWALL FINISH ON BOTH SIDES OF 2"x6" WOOD STUDS @16" O.C. 2 TOP PLATES & 1 BOTTOM PLATE PROVIDE SOUND ATTENUATION INSULATION IN BATHROOM WALLS & WHERE INDICATED ON PLANS.
- 10 **WALL INSULATION**
MIN. R24 INSULATION BATTS TO COVER THE INTERIOR FACE OF THE EXTERIOR WALLS WITH CONTINUOUS AIR / VAPOUR BARRIER
- 11 **FOUNDATION INSULATION**
R20 INSULATION BLANKET WITH AIR/VAPOUR BARRIER FROM SUB-FLOOR TO BASEMENT SLAB. DAMPROOF W/ BLDG. PAPER BETWEEN THE FOUNDATION WALL AND INSULATION UP TO GRADE LEVEL.
- 12 **STUD WALL REINFORCEMENT**
PROVIDE WOOD BLOCKING REINFORCEMENT TO STUD WALLS FOR FUTURE GRAB BARS
INSTALLATION IN MAIN BATHROOM 33"x36" A.F.F. BEHIND TOILET 33" A.F.F. ON THE WALL OPPOSITE THE ENTRANCE TO THE TUB AND SHOWER
- 13 **SILL PLATE**
2"x6" SILL PLATE FASTENED TO FOUNDATION WALL WITH MIN. 1/2" DIA. ANCHOR BOLTS EMBEDDED MIN. 4" IN CONCRETE @ 7'-10" O.C. MAX. PROVIDE CAULKING FOR GASKET BETWEEN PLATE AND FOUNDATION WALL.
- 14 **FLOOR FRAMING**
5/8" T&G PLYWOOD NAILED AND GLUED ON 2" X 8" JOIST WITH MIN. 1 1/2" END BEARING ON EACH SIDE WITH CROSS BRIDGING OR SOLID BLOCKING @ MAX. 6'-11" O.C.
- 15 **ENGINEERED FLOOR FRAMING**
5/8" T&G PLYWOOD NAILED AND GLUED ON 2" X 10" JOIST WITH MIN. 1 1/2" END BEARING ON EACH SIDE WITH CROSS BRIDGING OR SOLID BLOCKING @ MAX. 6'-11" O.C.
- 16 **BASEMENT SLAB**
MIN. 3" 25 MPA CONC. SLAB ON 4" COARSE GRANULAR FILL WITH DAMP PROOFING BELOW SLAB.
- 17 **STEEL BASEMENT COLUMN**
MIN 3" DIA. AND WALL THICKNESS OF MIN. 3/16" WITH 4"x4"x1/4" THICK STEEL PLATE WELDED TOP AND BOTTOM AND SUPPORTED ON A 36"x36"x18" THK CONCRETE FOOTING.
- 18 **STEEL BEAM**
W150x22 SITTING ON STEEL COLUMN ON ONE END AND 3 1/2" END BEARING ON FOUNDATION WALL ON THE OTHER END WITH 1"x3" CONTINUOUS WOOD STRAPPING ON EACH SIDE OF THE BEAM
- 19 **GRADE**
SLOPE GRADE AWAY FROM BUILDING FACE & PROVIDE SEMI SOLID BLOCK COURSE AT OR BELOW GRADE LEVEL.
- 20 **DRAINAGE**
4" DIA. WEeping TILE W/ 6" CRUSHED STONE OVER AND AROUND
- 21 **CRAWL SPACE ACCESS HATCH**
CRAWL SPACE CLEARANCE MIN. 24" CLEAR TO U/S OF STRUCTURE PROVIDE 1/64" POLY GROUND COVER MIN. 11 13/16" OVERLAP, SEALED AT JOISTS & FOUNDATIONS WALL & WEIGHTED DOWN W/ MIN ACCESS OPENING OF 2' 7" X 1' 10"
- 22 **ATTIC ACCESS**
ATTIC ACCESS HATCH 22"x28" WITH WEATHERSTRIPPING (MIN. 3.4 FT²) RSI 8.8 (R50) RIGID INSULATION BACKING.

- 23 **CEILING CONSTRUCTION**
MIN 5/8" DRYWALL FINISH ON ALL CEILINGS WITH CONTINUOUS AIR VAPOUR BARRIER WITH MIN. R40 INSULATION FOR ATTIC
- 24 **DRYER VENT**
CAPPED DRYER EXHAUST VENTED TO EXTERIOR. DUCT SHALL CONFORM TO OBC 2012 DIV. B PART 6
- 25 **WASHROOM EXHAUST**
MECHANICAL EXHAUST FAN, VENTED TO EXTERIOR, TO PROVIDE AT LEAST ONE AIR CHANGE PER HOUR. PROVIDE DUCT SCREEN AS PER OBC 2012 DIV. B 9.32.3.12
- 26 **CABINERY ABOVE RANGE**
FRAMING FINISHES AND CABINERY ABOVE A RANGE MUST HAVE MIN 2'-6" CLEARANCE, UNLESS FRAMING, FINISHES AND CABINERY ARE NON-COMBUSTABLE OR ARE PROTECTED AS PER 9.10.22.(2)(10)(1) AND (11)
- 27 **SMOKE ALARM O.B.C. 9.10.19**
PROVIDE ONE PER FLOOR NEAR THE STAIRS CONNECTING THE FLOOR LEVEL. ALARM TO BE CONNECTED TO AN ELECTRICAL CIRCUIT AND INTERCONNECTED TO ACTIVATE ALL ALARMS IF 1 SOUNDS. IT SHOULD BE INSTALLED IN CONFORMANCE WITH CAN/ULC-553
- 28 **CARBON MONOXIDE ALARM O.B.C. 9.33.4**
PROVIDE CARBON MONOXIDE DETECTOR ADJACENT TO EACH SLEEPING AREA.
- 29 **EXCAVATION AND BACKFILL**
* EXCAVATION SHOULD BE UNDER TAKEN IN SUCH A MANNER SO AS TO PREVENT DAMAGE TO EXISTING STRUCTURES AND ADJACENT PROPERTY
* THE TOPSOIL AND VEGETABLE MATTER IN UNEXCAVATED AREAS UNDER A BUILDING SHALL BE REMOVED. THE BOTTOM OF EXCAVATIONS FOR FOUNDATIONS SHALL BE FREE OF ALL ORGANIC MATERIALS.
* IF TERMITES ARE KNOWN TO EXIST, ALL STUMPS, ROOTS AND WOOD DEBRIS SHALL BE REMOVED TO A MIN DEPTH OF 11 3/4" IN EXCAVATED AREAS UNDER A BUILDING AND THE CLEARANCE BETWEEN UNTREATED STRUCTURAL WOOD ELEMENTS AND THE GROUND SHALL BE NOT LESS THAN 17 3/4"
* BACK FILL WITHIN 23 5/8" OF THE FOUNDATION WALLS SHALL BE FREE OF DELETERIOUS DEBRIS AND BOULDERS OVER 7/8" IN DIAMETER.
- 30 **NOTCHING AND DRELLING OF TRUSSES, JOISTS AND RAFTERS**
* HOLES IN FLOORS, ROOFS AND CEILING MEMBERS TO BE MAX. 1/4 X ACTUAL DEPTH OF MEMBER AND NOT LESS THAN 2" FROM EDGES.
* NOTCHES IN FLOORS, ROOF, CEILING MEMBERS TO BE LOCATED ON TOP OF THE MEMBER WITHIN 1/2 THE ACTUAL DEPTH FROM THE EDGE OF BEARING AND NOT GREATER THAN 1/3 JOIST DEPTH.
* WALL STUDS MAY BE NOTCHED OR DRILLED PROVIDE THAT NOT LESS THAN 2/3 THE DEPTH OF THE STUD REMAINS, IF LOAD BEARING AND 1 1/2 IF NON LOAD BEARING WALL.
* ROOF TRUSS MEMBERS SHALL NOT BE NOTCHED, DRILLED, OR WEAKENED UNLESS ACCOMMODATED IN THE DESIGN.
- 31 **CERAMIC TILES**
WHEN CERAMIC TILES APPLIED TO A MORTAR BED WITH ADHESIVE, THE BED SHALL BE A MIN. OF 1/2" THICK & REINFORCED WITH GALVANIZED DIAMOND MESH LATH, APPLIED OVER POLYETHYLENE ON SUBFLOORING ON JOISTS AT NO MORE THAN 16" O.C. WITH AT LEAST 2 ROWS CROSS BRIDGING.
- 32 **2 STORY VOLUME SPACE**
2 STORY HIGH (18'-0") EXTERIOR WALL STUDS TO BE 2-2"x6" CONTINUOUS STUDS @12" O.C. TRIPLE UP AT EVERY THIRD DOUBLE STUDS QW 3/8" EXTERIOR PLYWOOD SHEATHING. PROVIDE SOLID WOOD BLOCKING BETWEEN WOOD STUDS @ (4'-0") O.C. VERTICALLY. FOR HORIZONTAL DISTANCE NOT EXCEEDING (9'-6") PROVIDE (2-2"x6") TOP PLATE AND A SINGLE BOTTOM PLATE. MIN. OF 3-2"x8" CONTINUOUS HEADER AT GROUND CEILING LEVEL TOE-NAILED AND GLUED AT TOP, BOTTOM PLATES AND HEADERS FOR 9" HIGH GROUND/FIRST FLOOR CEILING ADD TRIPPLE HEADERS NAILED ON TOP OF FOUNDATION WALL SILL PLATE AND ADD 1-2"x6" CONTINUOUS BOTTOM PLATE NAILED ON TOP OF HEADERS.

- 33 **FOOTING**
24"x12" DEEP POURED CONCRETE 2200 PSI. ON UNDISTURBED SOIL. MIN. 48" BELOW FINISHED GRADE
- 34 **BUILT UP POST**
3-2"x4" BUILT UP POST WITH DAMPROOFING MATERIAL WRAPPED AT END OF POST ANCHORED TO 24"x24"x12" CONC. FOOTING.
- 35 **RANGE HOOD EXHAUST**
MECHANICAL EXHAUST HOOD WITH MIN 100 CFM AND 6" DIM. RIGID STEEL DUCT OR EQUIVALENT TO OUTDOOR.
- 36 **SHOWER AND TUB VALVES**
1. ALL SHOWER VALVES SHALL CONFORM TO OBC DIV. B 7.6.5.2
2. WATERPROOF FINISH REQUIRED AT SHOWER AND TUB AREAS TO CONFIRM TO OBC DIV B 9.39.2
- 37 **WALL REINFORCEMENT FOR FUTURE GRAB BARS INSTALLATION IN WASHROOM**
SEE WASHROOM DETAIL SHEET
- 38 **GARAGE WALL-GAS PROOFING**
ATTACHED GARAGES MUST BE COMPLETELY SEALED TO PREVENT THE INFILTRATION OF CARBON MONOXIDE & GASOLINE FUMES INTO THE DWELLING.
1. PROVIDE 1/2" DRYWALL W/ MIN. 2 COATS OF JOINT COMPOUND AT ALL WALLS ADJACENT TO DWELLING.
2. CAULK BETWEEN GYPSUM BOARD AND OTHER SURFACES W/ ACOUSTIC SEALANT.
3. CAULK ALL PENETRATIONS SUCH AS HOSE BIBS W/ FLEXIBLE CAULKING.
4. DOORS BETWEEN GARAGE & DWELLING SHALL BE TIGHT FITTING & WEATHER STRIPPED & PROVIDED W/ A SELF CLOSING DEVICE. DOOR MUST NOT OPEN INTO A ROOM INTENDED FOR SLEEPING.
5. GARAGE SLAB SHALL BE SLOPED TO DRAIN OUTDOORS.
6. UNIT MASONRY WALLS FORMING THE SEPARATION BETWEEN THE DWELLING, ATTACHED GARAGE SHALL BE PROVIDED W/ 2 COATS OF SEALER OR COVERED W/ PLASTER OR GYPSUM BOARD ON THE GARAGE SIDE.
- 39 **PRECAST STAIRS**
PRECAST CONCRETE STEPS OR WOOD STEPS (PERMITTED TO A MAX. OF 3 RISERS) WHEN NOT EXPOSED TO WHETHER MAX RISE 7-7/8" MIN. THREAD 9-1/2". GREATER THAN 3 RISERS WILL REQUIRE LANDING/GUARD / HANDRAIL AND FOUNDATION UNDER CONC. STEPS.
- 40 **WOOD FRAME STAIRS. STAIRS DETAILS**
MAX RISE = 7-7/8"
MIN RUN = 8-1/4"
MIN TREAD = 9-1/4"
MAX NOSIN = 1"-0
MIN HEADROOM = 6'-5"
RAIL@LANDING = 2'-11"
RAIL@STAIRS = 2'-8"
MIN STAIRS WIDTH = 2'-10"
- 41 **INSULATION VALUES**
ABOVE GRADE WALLS R-24
BASEMENT WALLS R-12 MIN BATT INSULATION
CEILING WITH ATTIC SPACE R-60
CEILING WITHOUT ATTIC SPACE R-31
- CURVED STAIRS**
MIN AVG. RUN = 7-7/8"
MIN RUN = 5'-7/8"
- RAILING**
FINISHED RAILING ON PICKETS SPACED MAX. 4".
INFERIOR GUARDS 2'-11" MIN.
EXTERIOR GUARDS 3'-6" MIN.



42 **WINDOWS**

- WINDOWS TO BE SEALED TO THE AIR AND VAPOR BARRIER
- WINDOWS THAT SEPERATE HEATED SPACE FROM UNHEATED SPACE SHALL HAVE AN OVERALL COEFFICIENT OF HEAT TRANSFER OF 1.6 OR
- AN ENERGY RATING OF NOT LESS THAN 21 FOR OPERABLE WINDOWS AND 31 FOR FIXED WINDOWS
- SKYLIGHTS SHALL HAVE AN OVERALL COEFFICIENT OF HEAT TRANSFER OF 2.8W/(M2.K)

43 **DOORS AND WINDOWS**

- EVERY FLOOR LEVEL CONTAINING A BEDROOM AND NOT SERVED BY AN EXTERIOR DOOR SHALL CONTAIN AT LEAST ONE WINDOW HAVING AN UNOBSTRUCTED OPEN AREA OF 0.35 m². AND NO DIMENSION LESS THAN 380MM, WHICH IS OPENABLE FROM THE INSIDE WITHOUT TOOLS.
- EXTERIOR HOUSE DOORS AND WINDOWS WITHIN 2000MM FROM GRADE SHALL BE CONSTRUCTED TO RESIST FORCED ENTRY AND SHALL HAVE A DEADBOLT LOCK.
- THE PRINCIPAL EXTRY DOOR SHALL HAVE EITHER A DOOR VIEWER, TRANSPARENT GLAZING OR A SIDELIGHT.

44 **HVAC NOTES**

- CONTRACTOR TO COORDINATE DUCTS INSTALLATION WITH PIPES, ELECTRICAL LIGHTING & BUILDING STRUCTURE.
- ALL MECHANICAL DUCTWORK SHALL BE CONCEALED IN ATTIC SPACE OR BULKHEADS UNLESS OTHERWISE NOTED.
- PROVIDE FLUE VENT, COMBUSTION AIR AND TERMINATION KIT FOR FURNACE AND INSTALL AS PER MANUFACTURER WRITTEN INSTRUCTION.
- PROVIDE BALANCING DAMPERS AT ALL AIR SUPPLY TAKE-OFFS: (A.) AT BRANCH DUCT OFF MAIN TRUNK DUCT. (B) IN DRY WALL AREA, PROVIDE DAMPER AT GRILLE WITH APPROVED LOCKING DEVICE TO ENGINEER'S APPROVAL.
- CUTTING FOR DUCTS SHALL BE DONE BY THIS CONTRACTOR OBTAIN APPROVAL BEFORE CUTTING IN ANY WALL, STRUCTURAL BEAM, FLOOR AND ROOF.
- COORDINATE LOCATION OF EACH S.A. GRILLE AND RETURN AIR GRILLE ON SITE BEFORE CUTTING AND ROUGH-IN.
- INSULATE ALL EXHAUST AIR DUCTS MIN. 150MM FROM WALLS OR ROOF.
- CONNECT GAS PIPE TO EACH UNIT COMPLETE WITH SHUT OFF VALVE. ALL GAS PIPING SHALL BE CSA AND CGA APPROVED. INSTALL PIPES IN ACCORDANCE TO B149.1 CODE.
- INSULATE ALL DUCTS IN CEILING SPACE, ATTIC SPACE AND GARAGE.
- TEST AND BALANCE SYSTEM. SUBMIT BALANCING REPORT.
- COORDINATE ROUTING DUCTS AND LOCATION OF EACH GRILLE, FAN AND FURNACE WITH STRUCTURAL MEMBERS, PIPING, CONDUITS AND LIGHTING. OFFSET AS REQUIRED AND MAINTAIN REQUIRED SERVICE ACCESS.
- COORDINATE ROUTING DUCTS AND LOCATION OF EACH GRILLE, FAN AND FURNACE WITH STRUCTURAL MEMBERS, PIPING, CONDUITS AND LIGHTING. OFFSET AS REQUIRED AND MAINTAIN REQUIRED SERVICE ACCESS.
- PROVIDE R.A. GRILLES AT HIGH AND LOW LEVELS. EACH GRILLE SHALL BE COMPLETED WITH BALANCING DAMPER.
- USE SPACE BETWEEN JOISTS AND WALL STUDS FOR RETURN WHERE APPLICABLE. PROVIDE SHEET METAL JOISTS LINER (JL) AS REQUIRED.

45 **MECHANICAL VENTILATION:**

A MECHANICAL VENTILATION SYSTEM IS REQUIRED WITH A TOTAL CAPACITY AT LEAST EQUAL TO THE SUM OF:
 10.0 L/S EACH FOR BASEMENT AND MASTER BEDROOM
 5.0 L/S FOR EACH OTHER ROOM
 -A PRINCIPAL DWELLING EXHAUST FAN SHALL BE INSTALLED AND CONTROLLED BY A CENTRALLY LOCATED SWITCH IDENTIFIED AS SUCH.
 -SUPPLEMENTAL EXHAUST SHALL BE INSTALLED SO THAT THE TOTAL CAPACITY OF ALL KITCHEN, BATHROOM AND OTHER EXHAUSTS, LESS THE PRINCIPAL EXHAUST, IS NOT LESS THAN THE TOTAL REQUIRED CAPACITY.
 -A HEAT RECOVERY VENTILATOR MAY BE EMPLOYED IN LIEU OF EXHAUST TO PROVIDE VENTILATION. AN HRV IS REQUIRED IF ANY SOLID FUEL BURNING APPLIANCES ARE INSTALLED.
 -SUPPLY AIR INTAKES SHALL BE LOCATED SO AS TO AVOID CONTAMINATION FROM EXHAUST OUTLETS.

46 **NATURAL VENTILATION**

-EVERY ROOF SPACE ABOVE AN INSULATED CEILING SHALL BE VENTILATED WITH UNOBSTRUCTED OPENINGS EQUAL TO NOT LESS THAN 1/500 OF THE INSULATED CEILING AREA.
 -INSULATED ROOF SPACES NOT INCORPORATING AN ATTIC SHALL BE VENTILATED WITH UNOBSTRUCTED OPENINGS EQUAL TO NOT LESS THAN 1/150 OF THE INSULATED CEILING AREA.
 -ROOF VENTS SHALL BE UNIFORMLY DISTRIBUTED WITH MIN. 25% AT TOP OF THE SPACE AND 25% AT BOTTOM OF THE SPACE DESIGNED TO PREVENT THE ENTRY OF RAIN, SNOW, OR INSECTS.
 -UNHEATED CRAWL SPACES SHALL BE PROVIDED WITH 0.1m²

47 **BASEMENT EGRESS WINDOW**

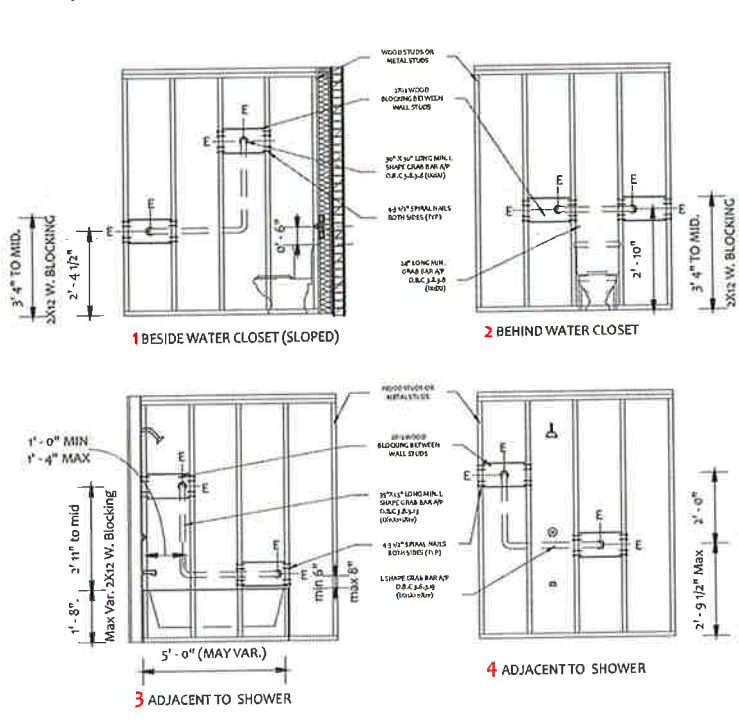
MIN. UNOBSTRUCTED OPENING SIZES	
WIDTH	HEIGHT
18"	30"
19"	28.8"
20"	27.36"
21"	26.04"
22"	24.84"
23"	23.76"
24"	22.8"
25"	21.84"
26"	21"
27"	20.16"

48 **MINIMUM ROOM AREAS**

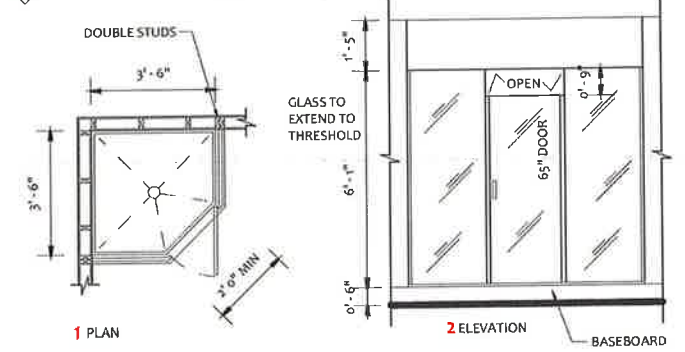
ONE BEDROOM APPARTEMENT		
LIVING AREA	13.5M ²	145.3ft ²
	11.0M ²	118.4ft ² IF LIVING AREA IS COMBINED WITH DINING QUARTER ONLY
DINING AREA	7.0M ²	75.3ft ²
	3.25M ²	35.0ft ² IF DINING AREA IS COMBINED WITH OTHER SPACE
1 BEDROOM	9.8M ²	105.5ft ²
	8.8M ²	94.7ft ² IF A BUILT IN CLOSET IS PROVIDED
OTHER BEDROOMS	4.2M ²	45.2ft ² IF THE BEDROOM AREA IS COMBINED IN OTHER SPACE
	7.0M ²	75.3ft ² IF A BUILT IN CLOSET IS PROVIDED

TWO BEDROOM APPARTEMENT		
LIVING AREA	13.5M ²	145.3ft ²
	13.5M ²	145.3ft ² IF LIVING AREA IS COMBINED WITH DINING QUARTER ONLY
DINING AREA	7.0M ²	75.3ft ²
	3.25M ²	35.0ft ² IF DINING AREA IS COMBINED WITH OTHER SPACE

49 **STUD WALL REINFORCEMENT**



50 **SHOWER GLASS ENCLOSURE**



LEGEND	
	SMOKE ALARM
	CM ALARM
	DUCT SMOKE DETECTOR
	EXHAUST FAN DUCTED DIRECTLY OUTSIDE
	FLOOR DRAIN
	HEAT REGISTER
	AIR RETURN
	LIGHT FIXTURE
	SPRINKLER
	EMERGENCY LIGHT
	ELECTRICAL OUTLET
	LINTEL NOTE
	DOOR TAG
	WALL TAG
	WINDOW TAG
	CEILING TAG
	CONSTRUCTION NOTE
	EXISTING WALL
	DEMOLISHED WALL
	PROPOSED WALL
	COMMON AREA
	UNIT 1
	UNIT 2
	UNIT 3

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