

APPLICATION # A-2022-0401
WARD #1

APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **SUKHPAL SINGH AND GURJANT SINGH** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Lot 160, Plan M-175 municipally known as **73 BLACKTHORN LANE**, Brampton;

AND WHEREAS the applicants are requesting the following variance(s):

1. To permit a proposed below grade entrance between the main wall of a dwelling and the flankage lot line whereas the by-law does not permit below grade entrances between the main wall of the dwelling and the flankage lot line

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: _____ **NO** _____
Application for Consent: _____ **NO** _____

File Number: _____
File Number: _____

The Committee of Adjustment has appointed **TUESDAY, January 24, 2023 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant, the Minister, a specified person or a public body.

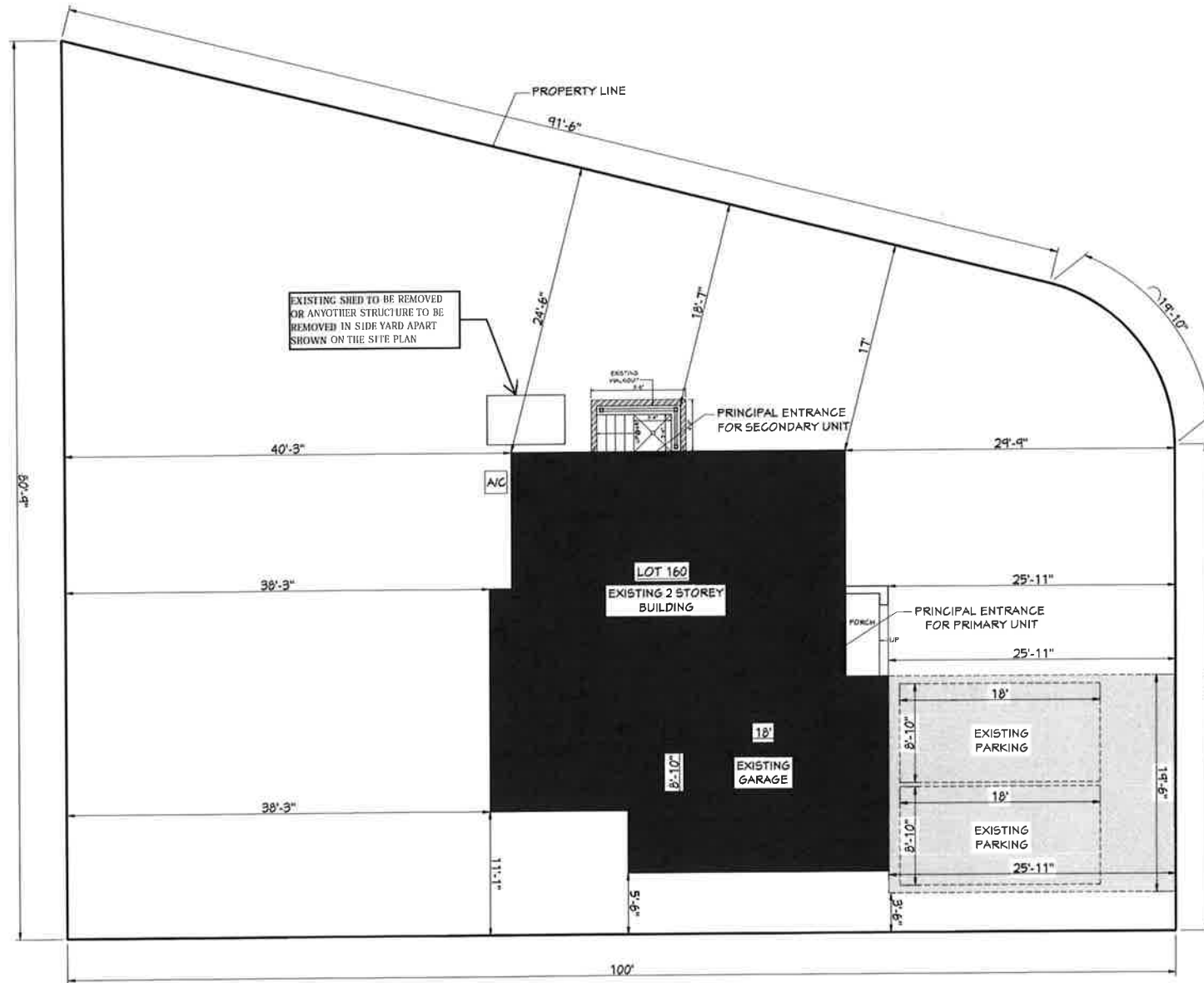
RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this this 12th Day of January, 2023.

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca



SITE LAYOUT
(SCALE : 3/32" = 1'-0")

TITLE
73 BLACKTHORN LANE,
BRAMPTON, ON
SITE PLAN

PROJECT INFORMATION

PROJECT NO. 22-196

CUSTOMER

PROJECT 73 BLACKTHORN LANE

DESIGNER INFORMATION

ENGINEER

BPP

TITLE

SCALE 3/32" = 1'-0"

REV DATE

0 2022 11 11

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ENGINEER

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DRAWN BY

BET

CHECKED BY



ALL DRAWINGS ARE THE PROPERTY OF BLUE PRINTS PERMIT AND THEY ARE NOT TO BE REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT FROM BLUE PRINTS PERMIT. CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS BEFORE COMMENCING WORK AND TO REPORT ANY DISCREPANCIES TO THE ENGINEER. ALL UNITS AS MENTIONED ON THE DRAWINGS. ALL CONSTRUCTION TO BE ACCORDING TO BEST COMMON INDUSTRY PRACTICE AND CONFORM TO THE ONTARIO BUILDING CODE.

SHEET

A104

REV

00



88 Garth Massey Drive, Cambridge,

ON, Canada, N1T2G7

MI: 647-770-2466 O: 905-566-9690

Email: info@blueprintspermit.work

Website: www.blueprintspermit.work

Under the authority of the Emergency *Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

**Electronic/Hybrid Hearing Procedures
How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **January 24, 2023** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

How to Participate in the Hearing:

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, January 19, 2023.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
 1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, January 19, 2023.**
 2. To participate in-person, please email the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, January 19, 2023.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, January 19, 2023.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.



The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION
Minor Variance or Special Permission
(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** Sukhpal Singh and Gurjant Singh
Address 73 Blackthorn Lane, Brampton, ON, L6V 3K9

Phone # 3062622018 **Fax #** _____
Email aulakhsukhpal@gmail.com

2. **Name of Agent** Blue Prints Permit c/o Malav Shah
Address 83 Garth Massey Drive, Cambridge, ON, N1T 2G7

Phone # 6477702966 **Fax #** _____
Email info@blueprintspermit.work

3. **Nature and extent of relief applied for (variances requested):**

Requesting to approve the constructed below grade entrance in side yard towards flankage lot line.

4. **Why is it not possible to comply with the provisions of the by-law?**

Below grade stairs not permitted. This application request it to permit constructed below grade entrance.

5. **Legal Description of the subject land:**
Lot Number 160
Plan Number/Concession Number M175
Municipal Address 73 Blackthorn Lane

6. **Dimension of subject land (in metric units)**
Frontage 13.22m
Depth 30.48m
Area _____

7. **Access to the subject land is by:**

Provincial Highway	<input type="checkbox"/>	Seasonal Road	<input type="checkbox"/>
Municipal Road Maintained All Year	<input checked="" type="checkbox"/>	Other Public Road	<input type="checkbox"/>
Private Right-of-Way	<input type="checkbox"/>	Water	<input type="checkbox"/>

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

Dwelling Unit 1450 Sq. ft / 135.546 m²

PROPOSED BUILDINGS/STRUCTURES on the subject land:

Single family dwelling unit with second unit dwelling in basement

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback 7.89m
Rear yard setback 11.683m
Side yard setback 1.67m
Side yard setback 5.182m / 7.46m

PROPOSED

Front yard setback No Change
Rear yard setback No Change
Side yard setback No Change
Side yard setback No Change

10. Date of Acquisition of subject land: 2021

11. Existing uses of subject property: Residential

12. Proposed uses of subject property: Residential

13. Existing uses of abutting properties: Residential

14. Date of construction of all buildings & structures on subject land: _____

15. Length of time the existing uses of the subject property have been continued: 25 years

16. (a) What water supply is existing/proposed?
Municipal Other (specify) _____
Well

(b) What sewage disposal is/will be provided?
Municipal Other (specify) _____
Septic

(c) What storm drainage system is existing/proposed?
Sewers Other (specify) _____
Ditches
Swales

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes No

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes No

19. Has the subject property ever been the subject of an application for minor variance?

Yes No Unknown

If answer is yes, provide details:

File # _____ Decision _____ Relief _____
File # _____ Decision _____ Relief _____
File # _____ Decision _____ Relief _____

Digitally signed by Malav Shah
DN: C=CA, E=info@blueprintspermit.work, O=Blue Prints Permit, CN=Malav Shah
Location: Cambridge
Reason: I am the author of this document
Contact Info: 647 770 2966
Date: 2022.12.07 13:37:27-0500
Malav Shah
Malav Shah
Signature of Applicant(s) or Authorized Agent

DATED AT THE CITY _____ OF CAMBRIDGE _____

THIS 07 DAY OF DECEMBER, 2022.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, MALAV SHAH, OF THE CITY OF CAMBRIDGE

IN THE CITY OF CAMBRIDGE SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton
IN THE Region OF Peel
THIS 9th DAY OF December, 2022

Jeanie Myers
A Commissioner etc.

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024

Malav Shah

Digitally signed by Malav Shah
DN: C=CA, E=info@blueprintspermit.work, O=Blue Prints Permit, CN=Malav Shah
Location: Cambridge
Reason: I am the author of this document
Contact Info: 647 770 2966
Date: 2022.12.07 13:37:46-0500
Malav Shah
Signature of Applicant or Authorized Agent

Submit by Email

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: R1B(3)-153, Mature N'hood

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

L Barbuto
Zoning Officer

December 8, 2022
Date

DATE RECEIVED December 9, 2022



73 BLACKTHORN LANE, BRAMPTON

SECOND UNIT DWELLING

DRAWING INDEX

SHEET	DESCRIPTION
A101	COVER PAGE
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A106	PROPOSED BASEMENT
A107	EXISTING FIRST FLOOR
A108	PROPOSED FIRST FLOOR
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A110	WALKOUT PLAN
A111	SECTION - AA
A112	SECTION - BB
A113	GUARDRAIL DETAILS AND NOTES

TITLE 73 BLACKTHORN LANE,
BRAMPTON, ON
COVER PAGE

PROJECT INFORMATION

PROJECT NO. 22-196

CUSTOMER

PROJECT 73 BLACKTHORN LANE

DESIGNER INFORMATION

BY BPP

SCALE N.T.S.

REV. DATE

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CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS BEFORE COMMENCING WORK AND TO REPORT ANY DISCREPANCIES TO THE ENGINEER.
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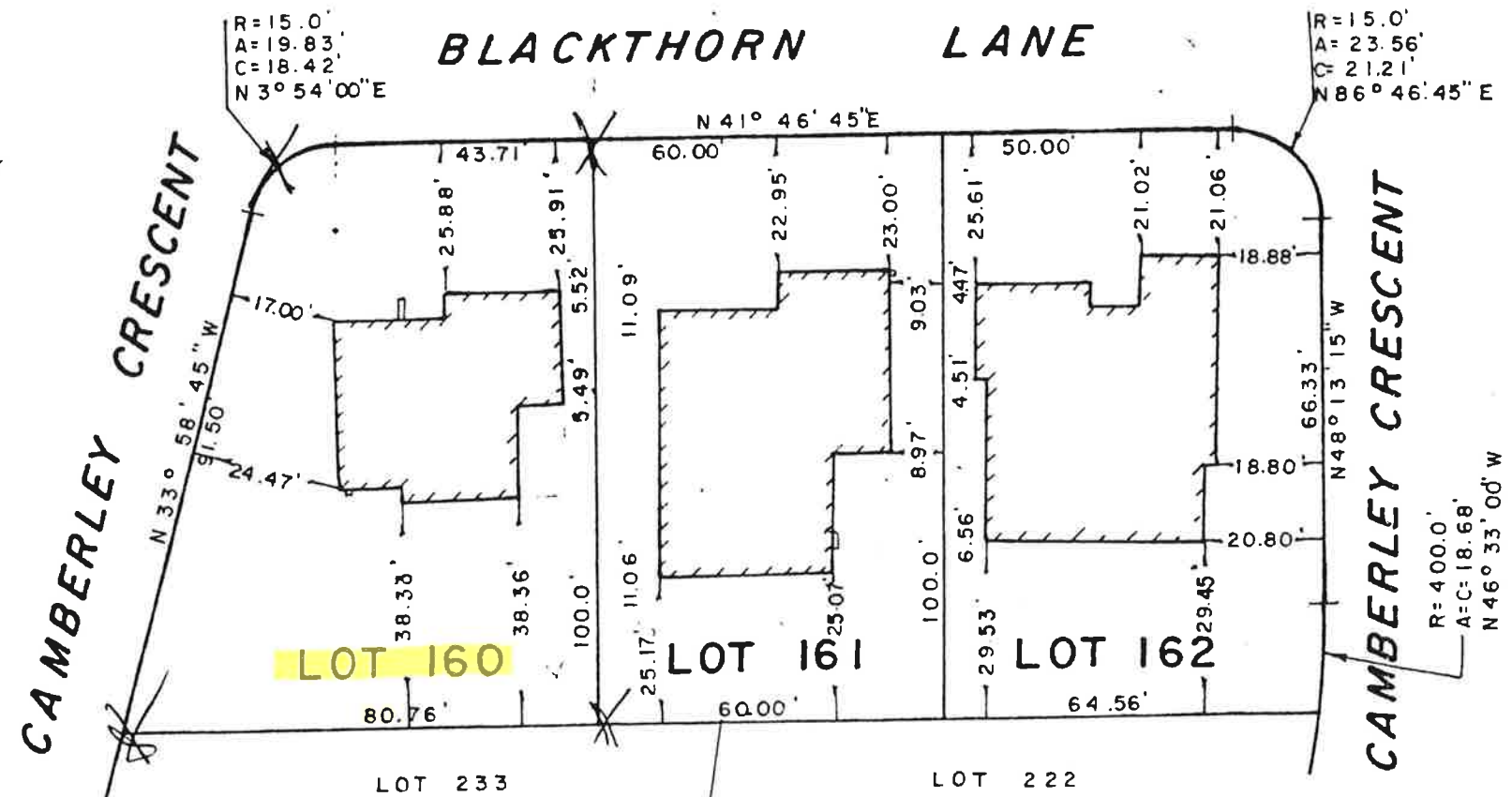
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03 Garth Massey Drive, Cambridge,
ON, Canada, N1T2G1
M: 647-710-2966 O: 405-566-4690
Email: info@blueprintspermit.com
Website: www.blueprintspermit.com

PLAN SHOWING
 LOTS 160, 161 AND 162 PLAN M-175
 CITY OF BRAMPTON
 REGIONAL MUNICIPALITY OF PEEL
 SCALE 1" = 30'













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 UNDER THE
 MUNICIPAL FREEDOM OF INFORMATION AND
 PROTECTION OF PRIVACY ACT R.S.O. 1990c. M56
 COPYRIGHT ACT R.S., 1985, c. C-42 APPLIES TO THE
 USE AND REPRODUCTION OF THESE DOCUMENTS



P. SALNA CO. LTD.
 125 WELDRICK ROAD
 RICHMOND HILL, ONT.
 PHONE 884-3988

NOTE: STRUCTURES SHOWN HEREON ARE CONCRETE BASEMENTS.

P. Salna
 P. SALNA
 ONTARIO LAND SURVEYOR
 RICHMOND HILL, OCT. 3, 1976.

-  EXHAUST
-  SPRINKLER
-  SUPPLY VENT
-  RETURN GRILLE
-  LIGHT FIXTURE
-  POT LIGHT
-  30 MIN FRR
-  EXISTING WALL
-  NEW WALL
-  DEMOLISHED WALL
-  9.10.19 LOCATION OF PROPOSED INTERCONNECTED SMOKE DETECTORS & CARBON MONOXIDE DETECTOR (CONNECTED TO A DUCT TYPE SMOKE DETECTOR)
-  DUCT TYPE SMOKE DETECTOR
- W1** EXISTING CONC. WALL
2"X4 STUDS @24 O.C. WALL
WV 6MIL POLY
R12 BATT EXISTING INSULATION
6MIL VAPOR BARRIER
1/2" GYPSUM BOARD
- W2** INTERIOR DRYWALL PARTITION
1/2" GYP. BOARD
2"X4 SPRUCE STUD @16 O.C.
1/2" GYPSUM BOARD
- W3** INTERIOR DRYWALL PARTITION (30 MIN. FRR)
1/2" GYP. BOARD
2"X4 SPRUCE STUD @16 O.C. W/ SAFE & SOUND INSULATION
89MM THICK
1/2" GYP. BOARD

-  DUPLEX RECEPTACLE OUTLET
-  SINGLE POLE SWITCH
-  3 WAY SWITCH AT TOP AND BOTTOM OF THE STAIR TO A LIGHT FIXTURE
-  DOOR SIZE 24" W X 80" H
-  DOOR SIZE 28" W X 80" H
-  DOOR SIZE 30" W X 80" H
-  DOOR SIZE 32" W X 80" H
-  DOOR SIZE 34" W X 80" H
-  DOOR SIZE 36" W X 80" H
-  DOOR SIZE 48" W X 80" H
-  COLUMN - 15 MIN FIRE RESISTING RATING
-  EMERGENCY LIGHT
-  EXTERIOR LIGHT
-  20 MIN FIRE RATED LOCKABLE & SELF-CLOSING DOOR
-  UNDERSIDE & CEILING OF STAIRS - FIRE RATING 2 LAYERS 5/8" TYPE X GYP. BOARD (1HR FFR)

DOOR SCHEDULE

TAG	DOOR TYPE				
	FLUSH	FRR	SLIDING	DBL DOOR	EXTERIOR
D24	1				
D28	1				
D30	1	1			
D32	3				1
D34					
D36					

GENERAL NOTES

1. THE CONTRACTOR SHALL VERIFY ALL THE DIMENSIONS, SITE CONDITION AND ELEVATIONS WITH THE ARCHITECTURAL DRAWINGS AND RESOLVE ANY DISCREPANCIES WITH THE ENGINEER PRIOR TO START OF THE WORK.
2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH PART 9 AND 4 OF THE ONTARIO BUILDING CODE 2012, AND THE CITY BYLAWS AND STANDARDS.
3. IT IS ASSUMED THAT ALL THE WORK DEPICTED WILL BE PERFORMED BY AN EXPERIENCED CONTRACTOR AND/OR WORKMEN HAVING WORKING KNOWLEDGE OF THE APPLICABLE CODE, STANDARDS, INSURANCE REQUIREMENTS OF INDUSTRY ACCEPTED STANDARD, AS NOT EVERY CONDITION OR ELEMENT IS (OR CAN BE) EXPLICITLY SHOWN ON THESE DRAWINGS.
4. BY COMMENCING THE CONSTRUCTION OF A BUILDING FROM THESE DRAWINGS, THE OWNER AND/OR BUILDER ACKNOWLEDGE THAT THE GENERAL NOTES HAVE BEEN UNDERSTOOD.

TITLE
73 BLACKTHORN LANE,
BRAMPTON, ON
LEGEND & GENERAL NOTES

PROJECT INFORMATION

PROJECT NO: 22-196

CUSTOMER:

PROJECT: 73 BLACKTHORN LANE

DESIGNER INFORMATION

DESIGNER: BPP

SCALE: N.T.S.

REV: DATE

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SHEET
REV: 00



55 Garth Massey Drive, Cambridge,
ON, Canada, N1T2G1
M: 647-710-2966 O: 905-566-9690
Email: info@blueprintspermit.com
Website: www.blueprintspermit.com

GENERAL NOTES

- ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE ONTARIO - BUILDING CODE, O. REG. 332/12; AND ANY CONSTRUCTION CHANGES MADE THAT ARE NOT A PART OF THE ISSUED REVIEWED PERMIT DRAWINGS WILL REQUIRE AN ADDITIONAL REVISION PERMIT.
- EXCEPT FOR PERMITTED OPENINGS SUCH AS TIGHTLY FITTER ELECTRICAL OUTLET BOXES, CERTAIN DUCT; FIRE SEPARATION SHALL BE CONTINUOUS TO ANOTHER FIRE SEPARATION, EXTERIOR WALL OR ROOF.
- DOORS IN A FIRE SEPARATION MUST BE 20 MINUTE RATED OR BE 45mm SOLID CORE WOOD DOORS WITH A SELF CLOSING DEVICE. UNRATED WOOD DOOR FRAMES MUST BE A MINIMUM OF 38mm THICK. DOOR FRAME INSTALLATION MUST BE SMOKE TIGHT.
- FIRE BLOCKS SHALL BE PROVIDED AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES IN INTERIOR COVERED CEILINGS, DROP CEILINGS AND SOFFITS WHERE THE EXPOSED CONSTRUCTION MATERIALS WITHIN THE CONCEALED SPACES HAVE A SURFACE FLAME-SPREAD RATING GREATER THAN 25.
- EXCEPT FOR BATHROOMS, PUBLIC CORRIDORS AND EXITS, INTERIOR WALL AND CEILING FINISHES SHALL HAVE A SURFACE FLAME SPREAD RATING OF NOT MORE THAN 150.
- NEW SPRINKLERS IN THE FURNACE ROOM MUST BE INSTALLED IN ACCORDANCE WITH THEIR LISTING, SPRINKLER PIPING SHALL BE A RESIDENTIAL FULL FLOW-THROUGH SYSTEM CONSISTING OF MIN. 3/4" COPPER OR PEX SUPPLY PIPE AND FITTINGS.
- SMOKE ALARMS SHALL BE INSTALLED ON OR NEAR THE CEILING AND IN CONFORMANCE WITH CAN/ULC-9553, "INSTALLATION OF SMOKE ALARMS". SMOKE SHALL INCLUDE A VISUAL SIGNALING COMPONENT AND BE HARDWIRED AND INTERCONNECTED IN ACCORDANCE WITH THE REVIEWED DRAWINGS. SMOKE ALARMS SHALL HAVE BATTERY BACKUP POWER CAPABLE OF LASTING FOR 7 DAYS WHILE IN THE NORMAL CONDITION, FOLLOWED BY 4M MINUTES OF ALARM SIGNALING.
- BATTERY POWERED EMERGENCY LIGHTING UNITS CONFORMING TO CSA C22.2 NO. 14. EMERGENCY LIGHTING EQUIPMENT SHALL BE PROVIDED IN ALL COMMON MEANS OF ESCAPE.
- PROVIDE CARBON MONOXIDE ALARMS CONFORMING TO CAN/CSA-6.19, "RESIDENTIAL CARBON MONOXIDE ALARMING DEVICES" ADJACENT TO EACH SLEEPING AREA WITHIN EACH DWELLING UNIT. CARBON MONOXIDE ALARMS MAY BE HARDWIRED BATTERY OPERATED OR THE TYPE THAT CAN BE PLUGGED INTO AN ELECTRICAL OUTLET.
- WHERE NEW CONSTRUCTION COULD RESTRICT THE SUPPLY OF COMBUSTION AIR OF ANY EXISTING FUEL-FIRE APPLIANCE, AN ADEQUATE COMBUSTION AIR SUPPLY SHALL BE PROVIDED TO ENSURE PROPER COMBUSTION AND SAFE OPERATION OF THE FURNACE AND/OR SERVICE WATER SUPPLY.
- PROVISIONS SHALL BE MADE FOR RETURN-AIR FROM ALL ROOMS BY LEAVING GAPS BENEATH DOORS, USING LOUVERED DOORS OR INSTALLING RETURN-AIR INLETS SHALL NOT BE INSTALLED IN AN ENCLOSED ROOM OR CRAWL SPACE THAT PROVIDES COMBUSTION AIR TO THE FURNACE OR SERVICE WATER HEATER.
- NATURAL VENTILATION FOR LIVING ROOM, DINING ROOM, BEDROOMS AND KITCHEN MUST BE PROVIDED BY MEANS OF AN OPENABLE WINDOW AREA OF 0.28M2 PER ROOM OR COMBINATION OF ROOMS. NATURAL VENTILATION FOR BATHROOMS OR WATER CLOSET ROOMS MUST BE PROVIDED BY MEANS OF AN OPENABLE WINDOW AREA OF 0.09M2. WHERE A ROOM OR SPACE IS NOT PROVIDED WITH NATURAL VENTILATION, MECHANICAL VENTILATION SHALL BE PROVIDED. EXHAUST FANS SHALL DISCHARGE DIRECTLY TO THE EXTERIOR.
- ELECTRICAL WORK MUST BE INSPECTED BY THE ELCTRICAL SAFETY AUTHORITY.

NOTES

- MINIMUM HEADROOM : 6'5" (1950mm)
- MIN. 15 MIN. FIRE SEPARATION FOR ALL CEILINGS
- 15 MIN HORIZONTAL FIRE SEPARATION IS ACCEPTABLE WHERE, SMOKE ALARMS INSTALLED IN EVERY DWELLING UNIT AND IN COMMON AREA IN CONFORMANCE WITH 9.10.19 SMOKE ALARMS ARE INTERCONNECTED AND HAVE A VISUAL SIGNAL
- FURNACE MAY SERVE BOTH UNITS PROVIDE A SMOKE DETECTOR IS INSTALLED IN THE SUPPLY OR RETURN AIR DUCT SYSTEM WHICH WOULD TURN OFF FUEL SUPPLY AND ELECTRICAL POWER TO THE HEATING SYSTEM UPON ACTIVATION OF SUCH DETECTOR.
- TWO SPRINKLERS REQUIRED IN THE FURNACE ROOM
- INSTALL MECHANICAL VENTILATION AS PER OBC DIV B 9.32.1.3(3) REQ'S.
- EXHAUST FAN SHALL DISCHARGE DIRECTLY TO OUTSIDE.
- RETURN AIR FROM A DWELLING UNIT SHALL NOT BE RECIRCULATED TO ANY OTHER DWELLING UNIT - 6.2.4.7 (10).
- EXIT STAIR IS TO BE PROTECTED FROM FIRE EXPOSURE.

PLUMBING NOTES

- ONLY A LICENSED, INSURED, CERTIFIED PLUMBER SHALL BE USED FOR THE WORK.
- THE MAXIMUM HOT WATER TEMPERATURE SUPPLIED TO FIXTURES IN RESIDENTIAL OCCUPANCIES SHALL NOT EXCEED 49° C (120° F) AS PER OBC ARTICLE 7.6.5.1.
- DISHWASHERS AND CLOTHES WASHERS ARE EXEMPT FROM THIS REQUIREMENT.
- ALL THERMOSTATIC MIXING VALVES SHALL CONFORM TO CAN/CSA-B125, "PLUMBING FIXTURES" AND SHALL BE LABELED ACCORDINGLY.
- ALL SOLDER JOINTS MUST BE LEAD FREE AND MEET ALL REGULATORY REQUIREMENTS.
- ALL SANITARY PIPING TO HAVE CLEANOUTS TO SUIT OBC & PLUMBING CODES.
- SUPPLY AND INSTALL CLEAN OUTS WHETHER SHOWN OR NOT, AS REQUIRED BY CODE OR BY AUTHORITIES HAVING JURISDICTION ON SANITARY DRAINS.
- VENT ALL SANITARY FIXTURES AS REQUIRED BY THE ONTARIO BUILDING CODE.
- PROVIDE ONE PIECE CHROME PLATE ESCUTCHEONS ON ALL PIPING PASSING INTO EXPOSED AREAS.
- REFER TO OBC 2012 DIV. B 9.23.5 FOR NOTCHING AND DRILLING OF WOOD STRUCTURAL MEMBERS.

TITLE
73 BLACKTHORN LANE,
BRAMPTON, ON
GENERAL NOTES

PROJECT INFORMATION

PROJECT NO. 22-196

CUSTOMER

PROJECT 73 BLACKTHORN LANE

DESIGNER INFORMATION

BY BPP

SCALE

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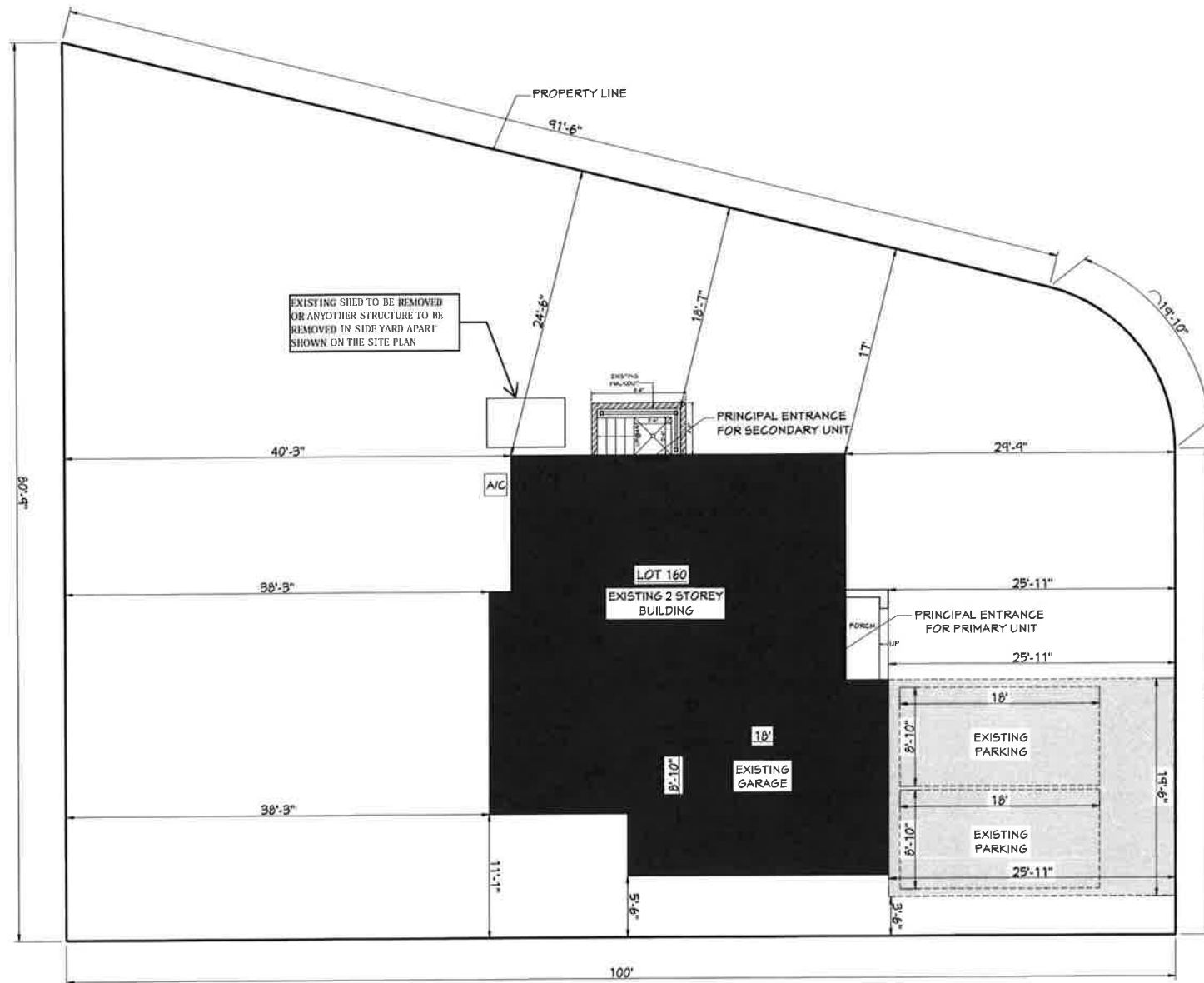
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SITE LAYOUT
(SCALE : 3/32" = 1'-0")

TITLE
**73 BLACKTHORN LANE,
BRAMPTON, ON
SITE PLAN**

PROJECT INFORMATION

PROJECT NO: 22-196

CUSTOMER:

PROJECT: 73 BLACKTHORN LANE

DESIGNER INFORMATION

ENGINEER STAMPS

BPP

TITLE

SCALE

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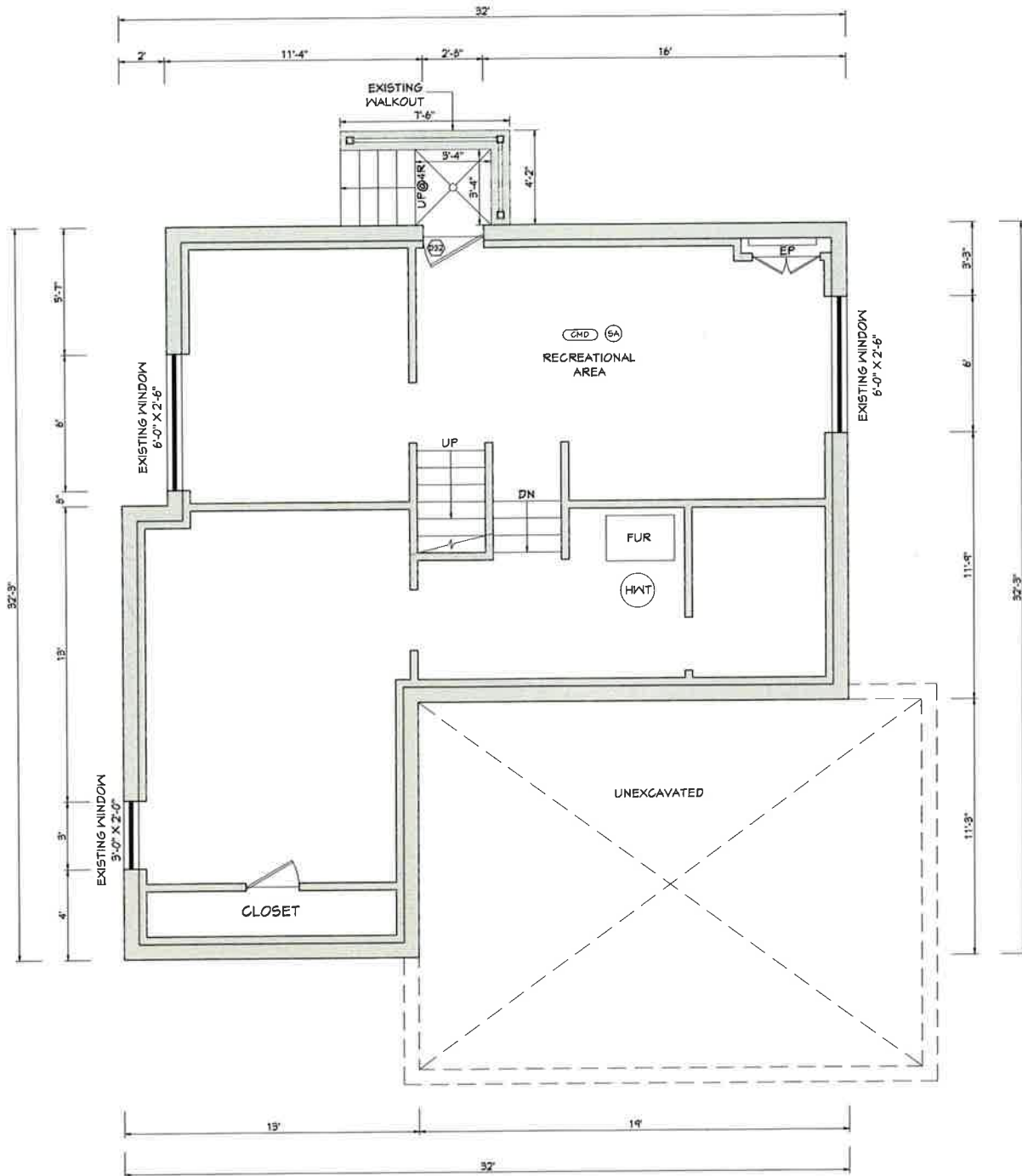
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EXISTING BASEMENT
 (SCALE : 3/16" = 1'-0")

TITLE
**73 BLACKTHORN LANE,
 BRAMPTON, ON
 EXISTING BASEMENT**

PROJECT INFORMATION

PROJECT NO: **22-196**

CUSTOMER:

PROJECT: **73 BLACKTHORN LANE**

DESIGNER INFORMATION

BPP

SCALE
 3/16" = 1'-0"

REV DATE

1 2022-11-11

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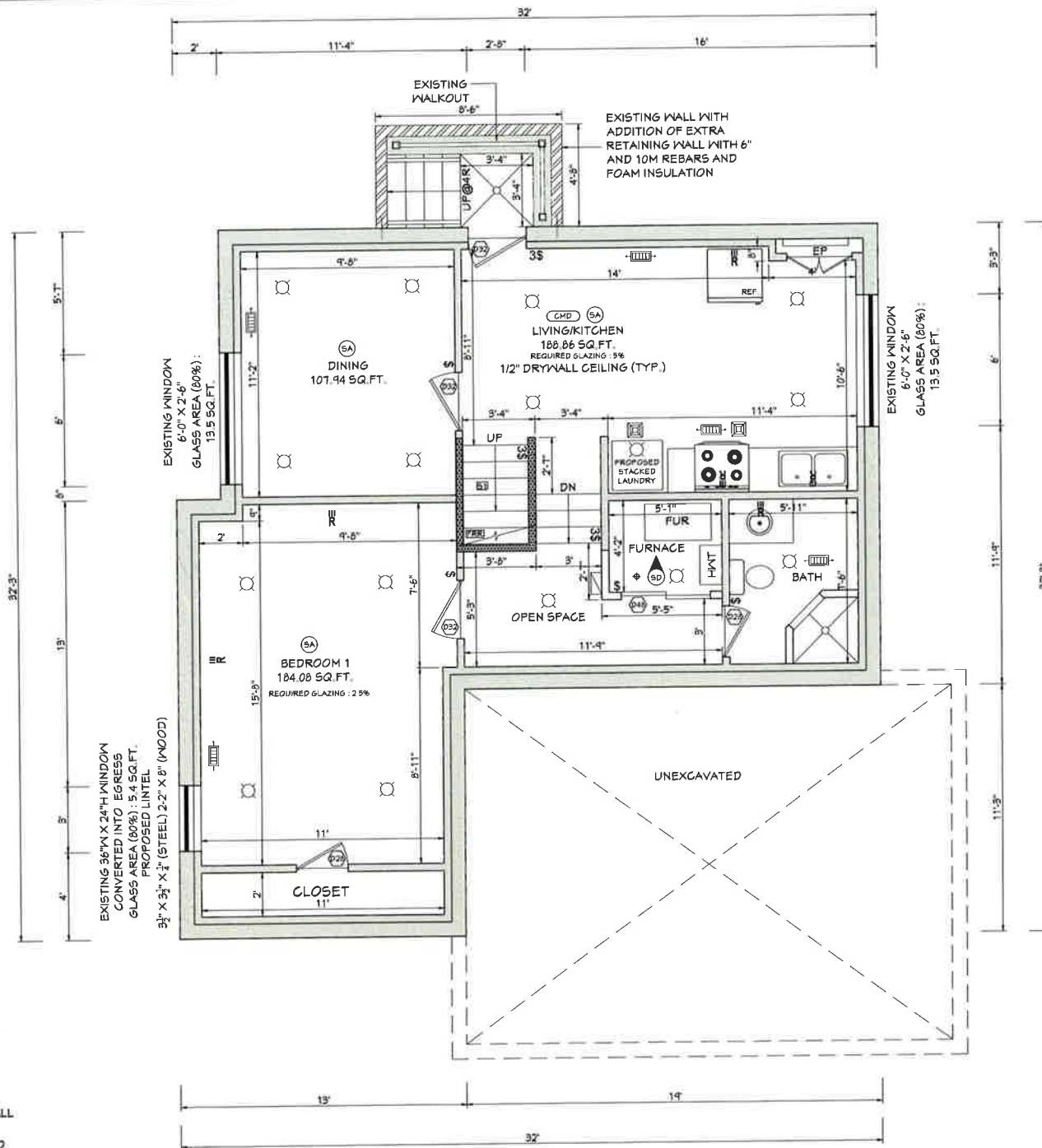
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PROPOSED BASEMENT
(SCALE : 3/16" = 1'-0")

-  EXISTING WALL
-  NEW WALL
-  FIRE RATED WALL
-  6" WALL AROUND THE EXISTING RETAINING WALL

TITLE
**73 BLACKTHORN LANE,
PROPOSED BASEMENT**

PROJECT INFORMATION

PROJECT NO: 22-196

CUSTOMER

73 BLACKTHORN LANE

DESIGNER INFORMATION

ENGINEER

BPP

SCALE

3/16" = 1'-0"

REV. DATE

1 2022-11-11

ENGINEER

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SHEET

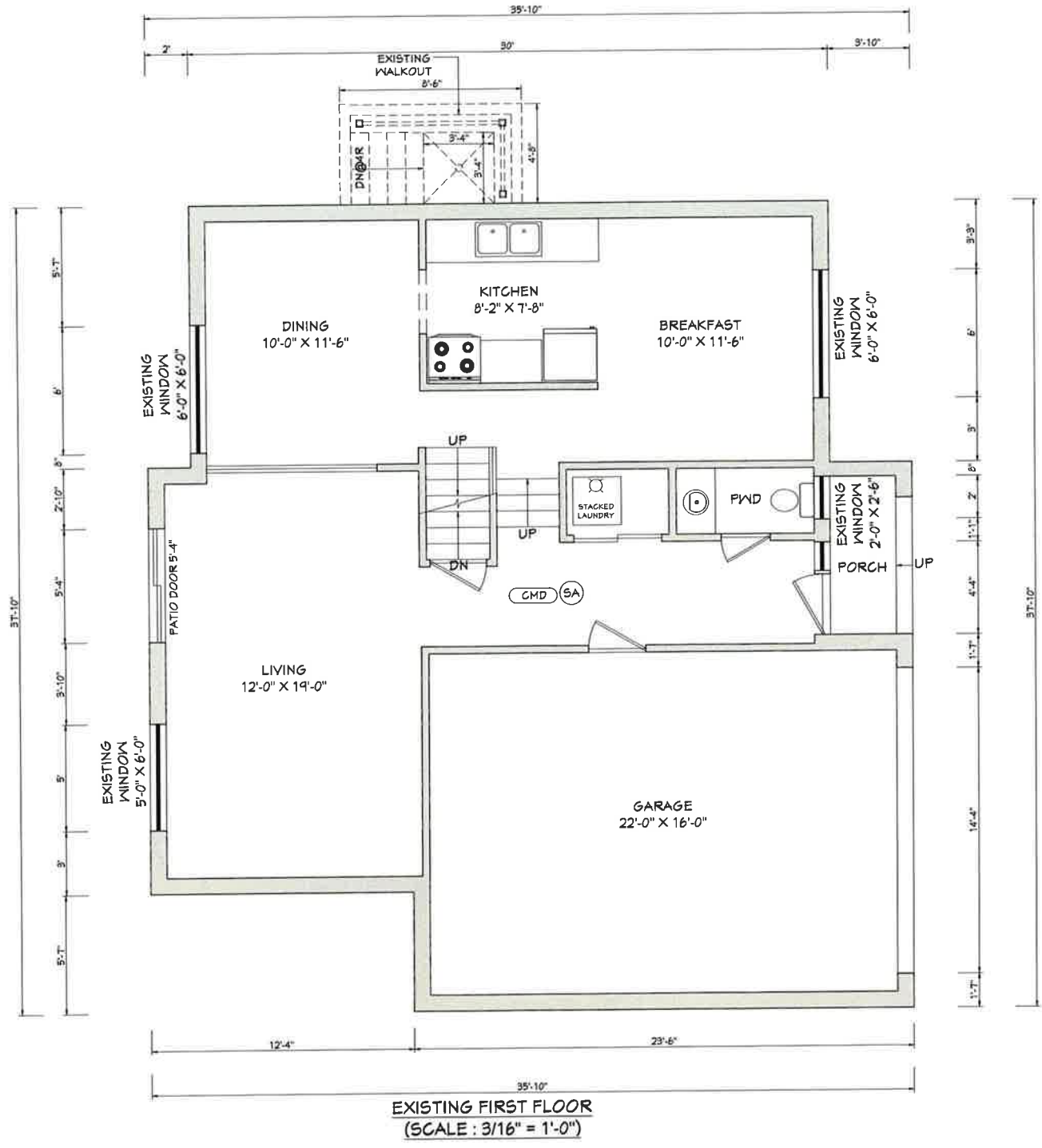
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EXISTING FIRST FLOOR
(SCALE : 3/16" = 1'-0")

TITLE
**73 BLACKTHORN LANE,
BRAMPTON, ON
EXISTING FIRST FLOOR**

PROJECT INFORMATION

PROJECT NO: 22-196
CLIENT: 73 BLACKTHORN LANE

DESIGNER INFORMATION

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SCALE: 3/16" = 1'-0"
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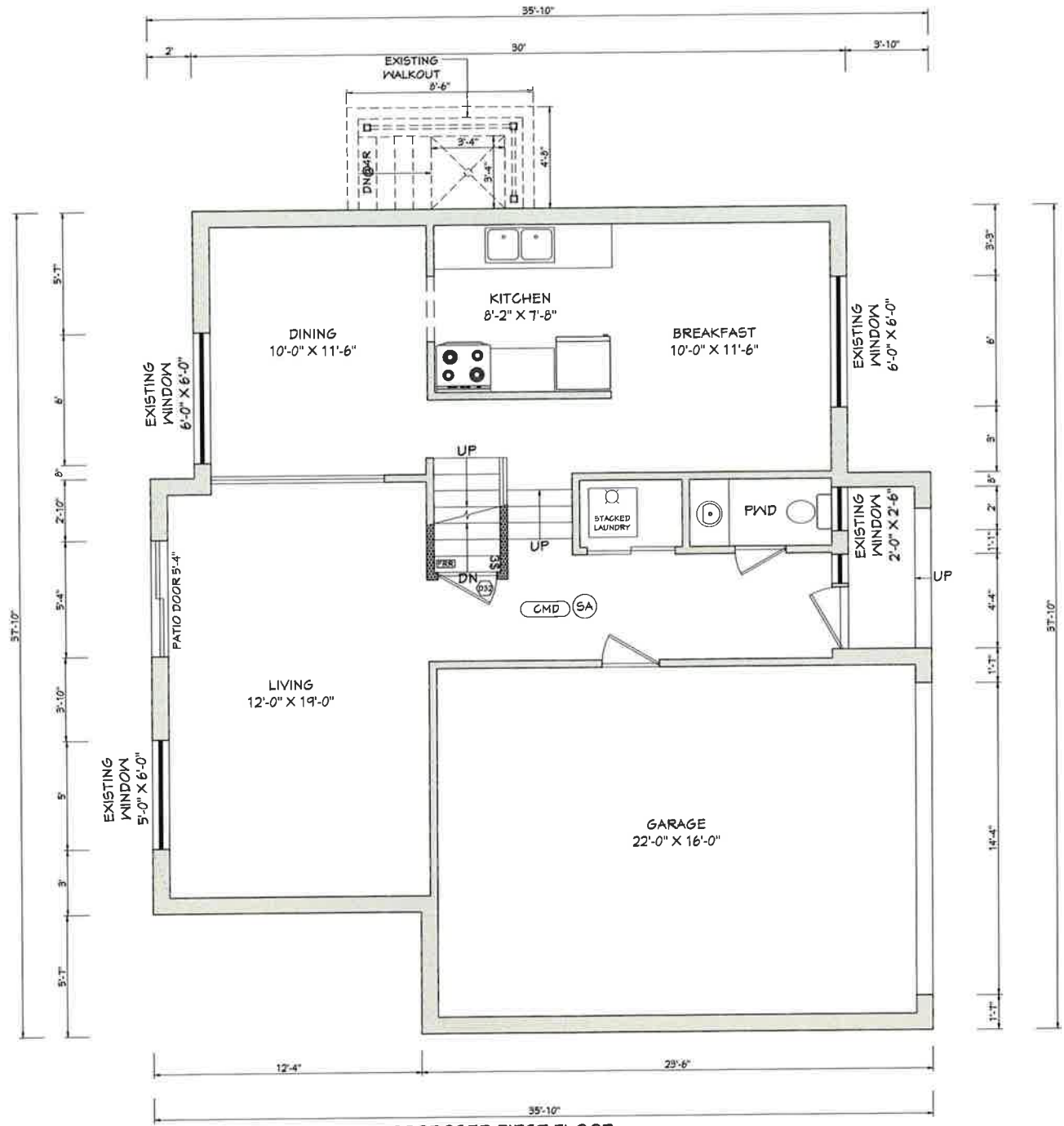


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PROPOSED FIRST FLOOR
 (SCALE : 3/16" = 1'-0")

TITLE
 73 BLACKTHORN LANE,
 BRAMPTON, ON
 PROPOSED FIRST FLOOR

PROJECT INFORMATION

PROJECT NO: 22-196
 CLIENT: [REDACTED]

PROJECT: 73 BLACKTHORN LANE

DESIGNER INFORMATION

DESIGNER: BPP
 ENGINEER STAMPS:

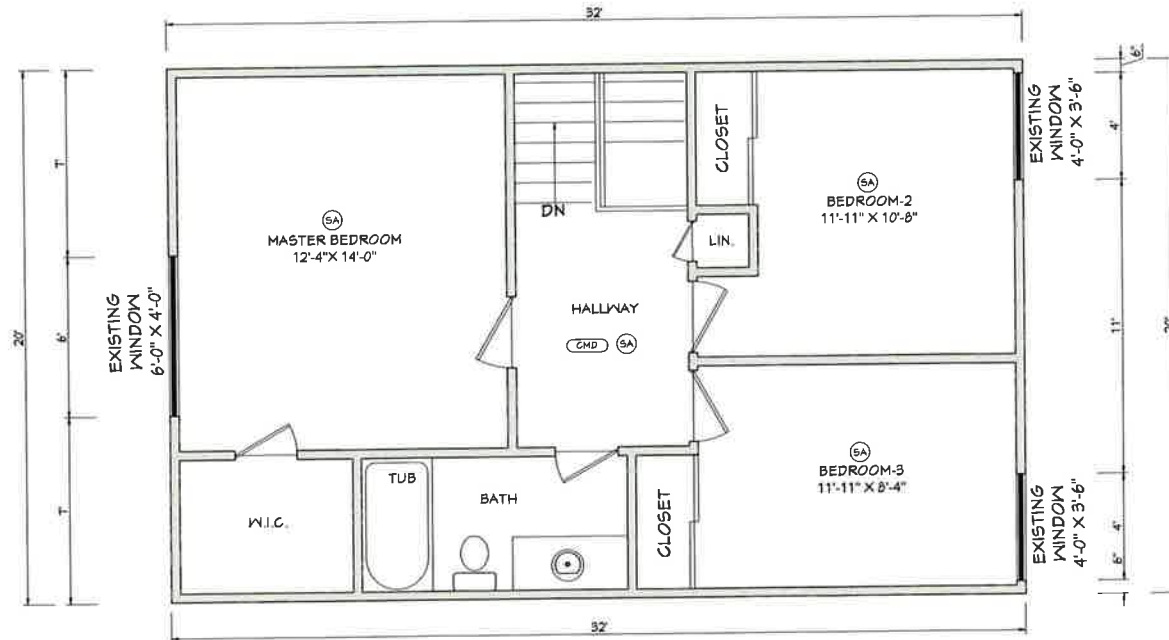


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EXISTING SECOND FLOOR
(SCALE : 3/16" = 1'-0")

TITLE
**73 BLACKTHORN LANE,
BRAMPTON, ON
EXISTING SECOND FLOOR**

PROJECT INFORMATION

PROJECT NO. 22-196

CUSTOMER

PROJECT 73 BLACKTHORN LANE

DESIGNER INFORMATION

ENGINEER/STAFF

BPP

TITLE

SCALE 3/16" = 1'-0"

REV DATE

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ENGINEER

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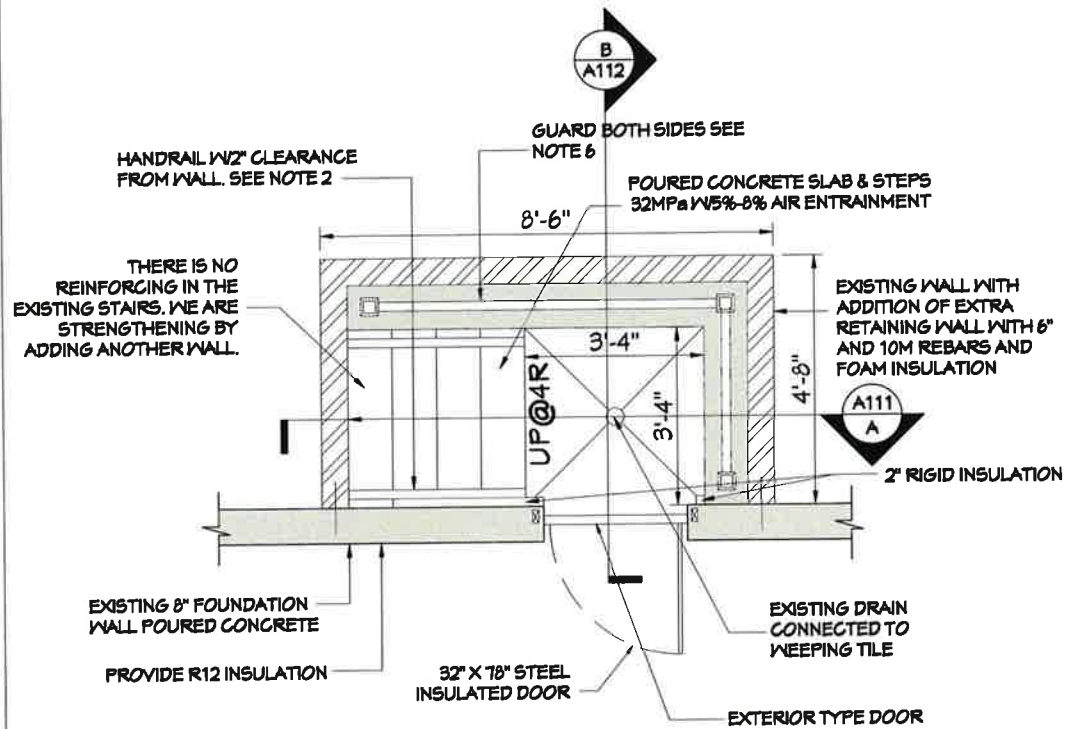
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WALKOUT PLAN
(SCALE : 3/8" = 1'-0")

GENERAL NOTES:

1. THE CONSTRUCTION OF GUARDS SHALL CONFORM TO THE LOADING CRITERIA IN OBC DIVISION B. ARTICLE 4.1.5.15 OR SUPP. STD SB-7
2. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH OBC AND REGULATIONS
3. MATERIALS SHALL BE AS FOLLOWS -
 - 3.1 - CONC. 32Mpa AT 28 DAYS WITH 5-8% AIR ENTRAINMENT
 - 3.2 - REINFORCEMENT STEEL, CSA G30, 18M GRADE 400
 - 3.3 - GROUT, HILTI HIT HY 150 OR EQUAL
 - 3.4 - INSULATION, 100mm DOW STYROFOAM SM
 - 3.5 - BACKFILL TO BE OPS GRANULAR OR SUITABLE EXCAVATED MATERIAL
4. ELECTRIC FEED FOR THE LIGHT TO BE SEPARATE FROM ANY OTHER SWITCHED CIRCUIT
5. EXTERIOR DOOR SHALL CONFORM TO O.B.C. STANDARD 9.7.5. AND RESIST FORCED ENTRY PER O.B.C. STD. 9.7.5.2
6. EXTRUDED POLY STYRENE TO ACHIEVE A MINIMUM COMPRESSIVE STRENGTH OF 30PSI/207KPA AND A MINIMUM R-VALUE AS PER THE EXISTING INSULATION.

TITLE 73 BLACKTHORN LANE,
BRAMPTON, ON
WALKOUT PLAN

PROJECT INFORMATION

PROJECT NO 22-196

CUSTOMER

PROJECT 73 BLACKTHORN LANE

DESIGNER INFORMATION

ENGINEER STAMP

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SCALE 3/8" = 1'-0"

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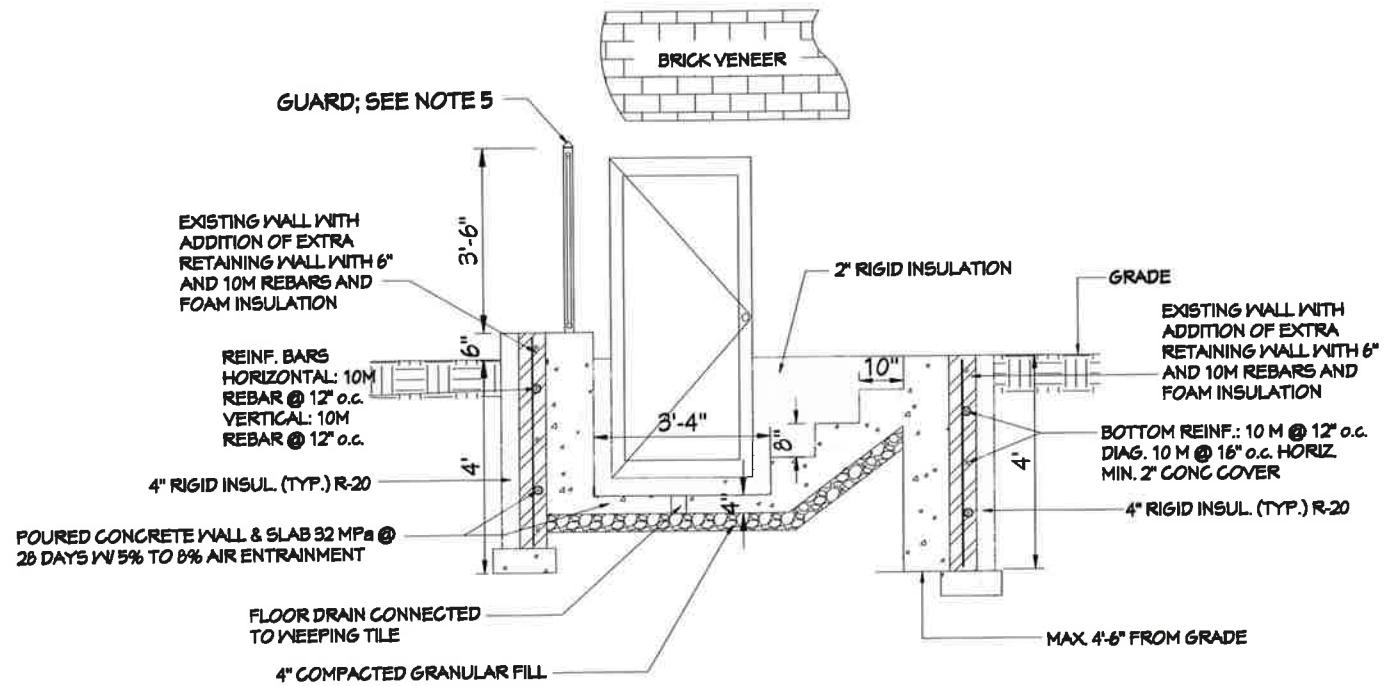
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SECTION -AA
 (SCALE : 3/8" = 1'-0")

TITLE 73 BLACKTHORN LANE,
 BRAMPTON, ON
 SECTION A-A

PROJECT INFORMATION

PROJECT NO. 22-196

CLIENT

PROJECT 73 BLACKTHORN LANE

DESIGNER INFORMATION

ENGINEER NAME

BPP

TITLE

3/8" = 1'-0"

REV DATE

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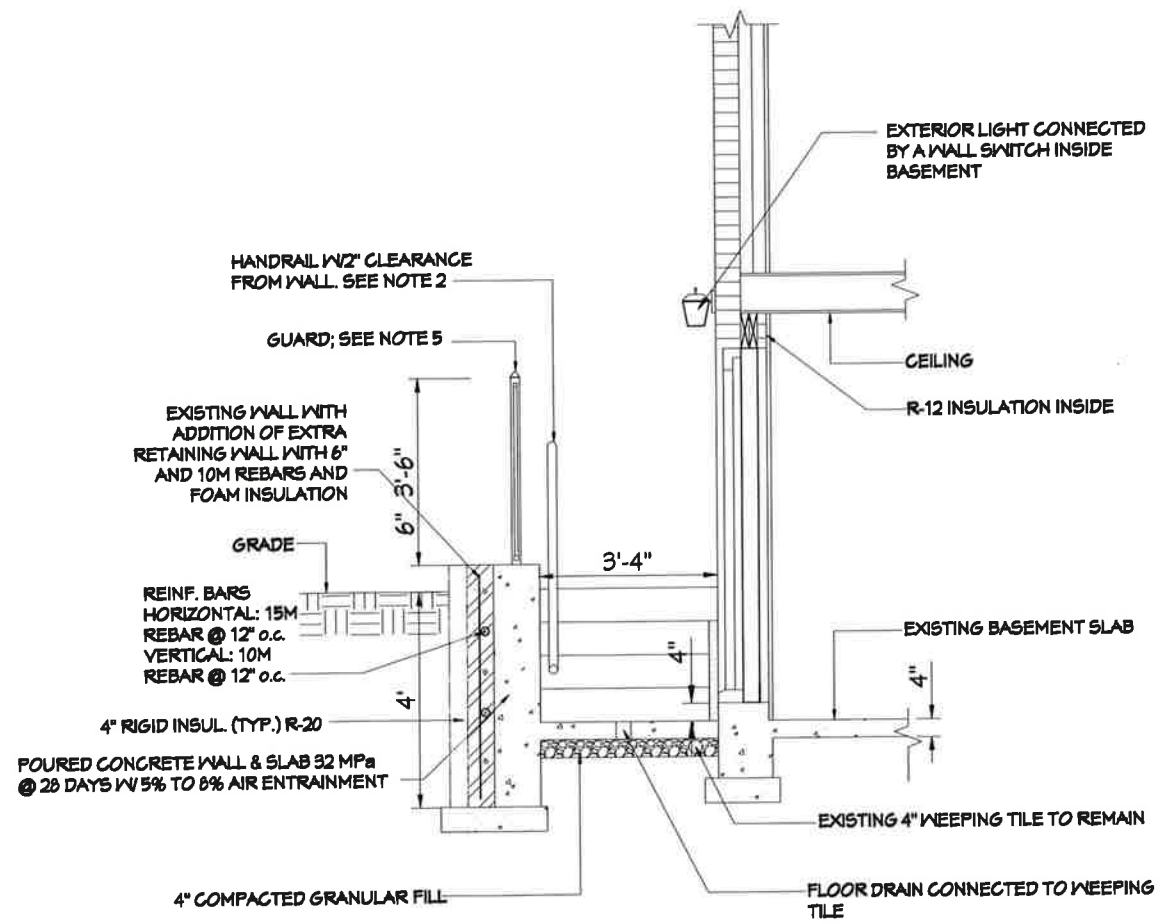
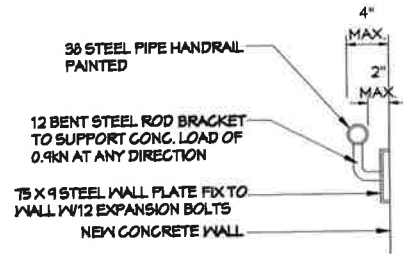
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SECTION -BB
(SCALE : 3/8" = 1'-0")

TITLE 73 BLACKTHORN LANE,
BRAMPTON, ON
SECTION B-B

PROJECT INFORMATION	
PROJECT NO.	22-196
CUSTOMER	
PROJECT	73 BLACKTHORN LANE

DESIGNER INFORMATION	
DESIGNER	BPP
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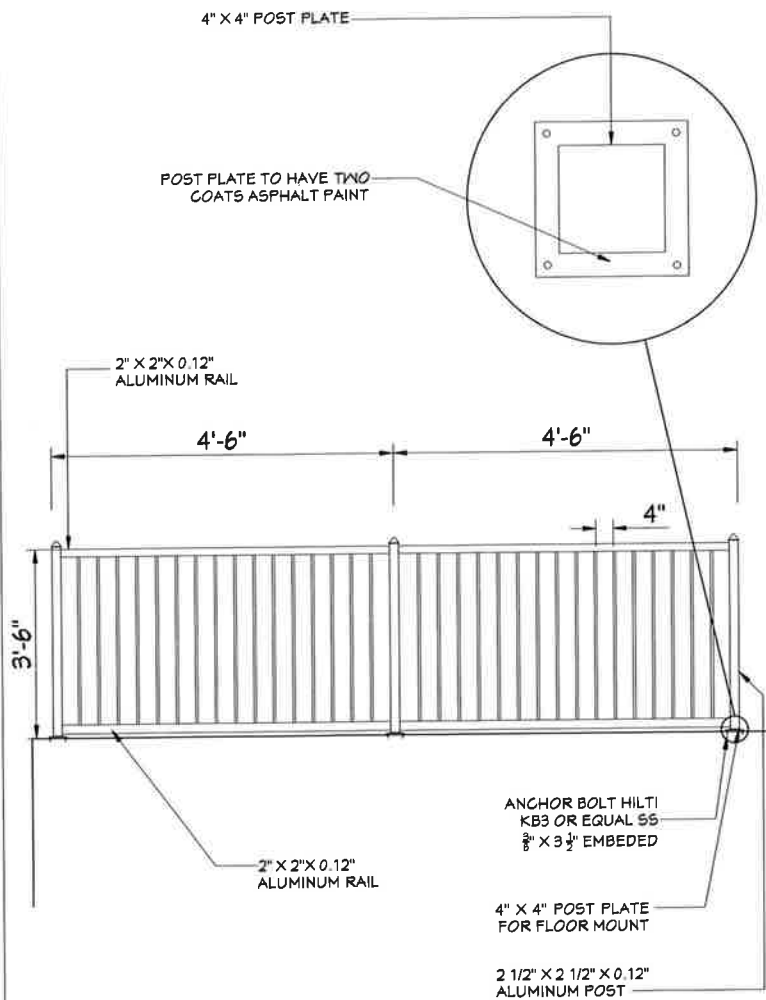


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GUARDRAIL DETAILS
(SCALE : 3/8" = 1'-0")

- 1 **FOOTINGS:**
FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OR COMPACTED GRANULAR FILL WITH A MINIMUM SOIL BEARING CAPACITY OF 75 kPa
- 2 **HANDRAILS**
HANDRAILS SHOULD BE BETWEEN 34 TO 38 IN ABOVE THE TREAD AT THE LEADING EDGE LINE.
2 IN CLEARANCE FROM THE WALL IS REQUIRED
START AND END POINT OF HANDRAILS MUST NOT OBSTRUCT PEDESTRIAN TRAFFIC OR CREATE A HAZARD
BOTH SIDE HANDRAILS REQUIRED IF STAIRS ARE 43 IN OR WIDER.
- 3 **EXTERIOR STAIRS**
7 7/8" RISE MAXIMUM 4 7/8" MINIMUM
8 1/2" RUN MINIMUM 14" MAXIMUM
9 1/4" TREAD MINIMUM 14" MAXIMUM
- 4 **RETAINING WALL**
PROVIDE 10M REBAR @ 12" o.c.
- 5 **GUARDS (PRE-ENGINEERED)**
42 INCH HIGH WHERE DISTANCE FROM GRADE TO BOTTOM OF WALKOUT EXCEEDS 5'-11"
36" FOR LESSER HEIGHTS. MAXIMUM 4" BETWEEN VERTICAL PICKETS.
- 6 **LIGHT**
ELECTRIC FEED FOR THE LIGHT TO BE SEPARATE FROM ANY OTHER SWITCHED CIRCUIT.
- 7 **EXTERNAL DOOR**
EXTERIOR DOOR GENERAL PERFORMANCE CRITERIA AND THERMAL RESISTANCE TO COMPLY WITH OBC 9.7.3
INSTALLATION OF MANUFACTURED AND PRE-ASSEMBLED DOORS SHALL CONFORM TO THE MANUFACTURER'S INSTRUCTIONS.
ALL UNFINISHED PORTIONS OF THE FRAME AND OTHER COMPONENTS OF DOORS IN CONTACT WITH THE EDGES OF MASONRY OR CONCRETE SHALL BE PROTECTED WITH CAULKING.
- 8 **INSULATION DETAILS**
RIGID INSULATION TO HAVE FOLLOWING SPECIFICATIONS:
- STYROFOAM™ Brand 5M Extruded Polystyrene Foam Insulation
- RSI value of 0.87/25 mm [R-5 PER 1 INCH]
- Board Size: [as Indicated on Drawings].
- Compressive Strength: 210 kPa
- Draining Capacity: > 0.72 m3/hr/m
- 9 **INSULATION FINISHING**
INSTALL RIGID INSULATION ON EXISTING FOUNDATION WALL MIN 4 FT ABOVE EXISTING FOOTING
INSULATIONS TO BE INSTALLED ON EXPOSED FOUNDATION WALL ONLY STARTING FROM GRANULAR FILL UNDER STEPS COVER INSULATION WITH 1/2" CEMENT BOARD
INSTALL 2 1/2" GALVANIZED 'J' TRACK TO SECURE AND PROTECT ALL EXPOSED EDGES
ALL JOINTS TO THE EXISTING WALL AND NEW STEPS MUST BE CAULKED
APPLY SEAL GUARD TO ALL JOINTS ON CEMENT BOARD PARGE CEMENT BOARD OR APPLY ACRYLIC FINISH

TITLE 73 BLACKTHORN LANE,
BRAMPTON, ON

GUARDRAIL DETAILS AND NOTES

PROJECT INFORMATION

PROJECT NO. 22-196

CUSTOMER

PROJECT 73 BLACKTHORN LANE

DESIGNER INFORMATION

ENGINEER/ARCHITECT

BPP

TITLE

SCALE 3/8" = 1'-0"

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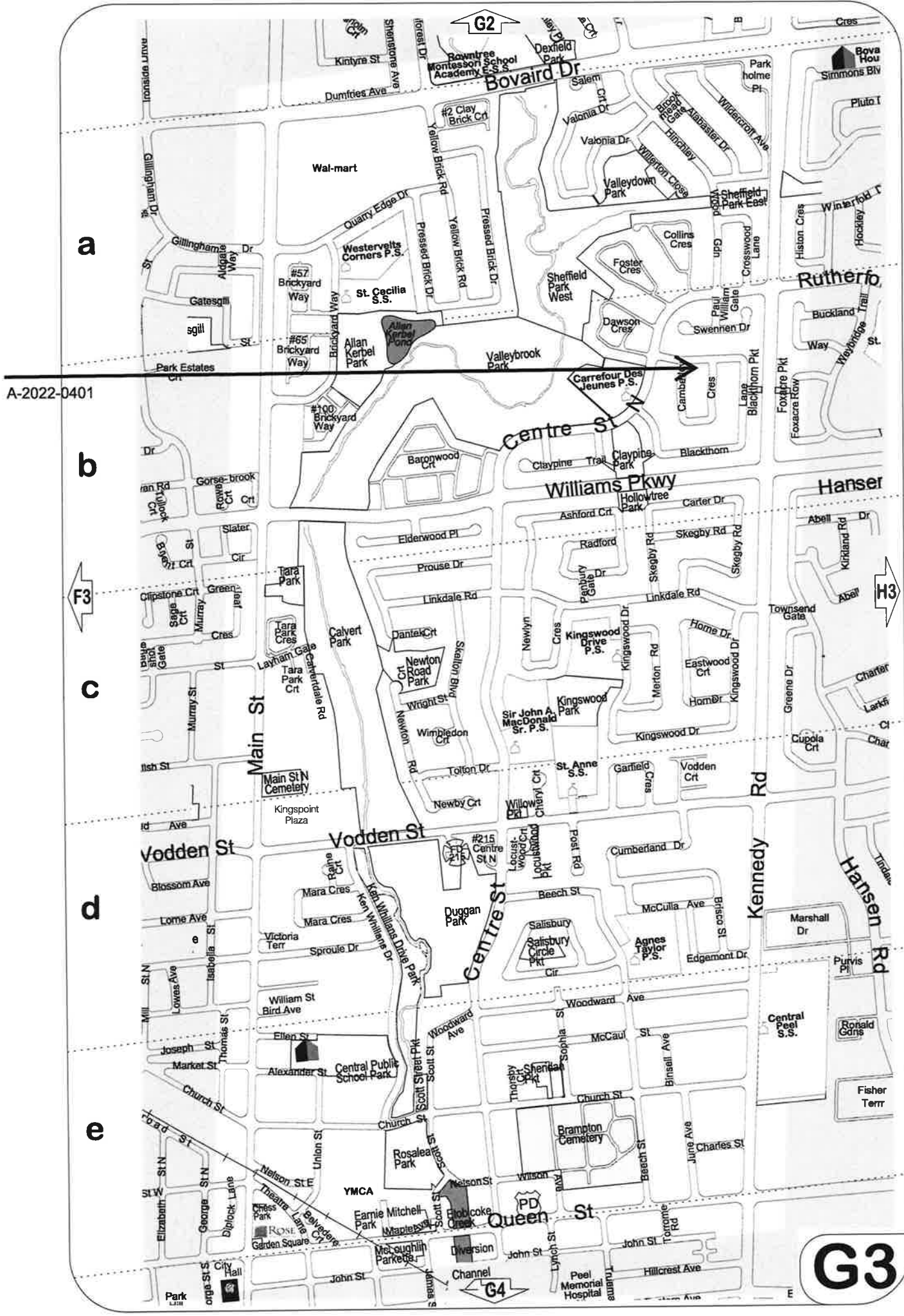
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H3

G3

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