

NOTICE OF AN APPLICATION FOR CONSENT

An application for consent has been made by **UMBRIA DEVELOPERS INC.**

Purpose and Effect

The purpose of the application is to request consent to sever a parcel of land currently having a total area of approximately 3.07 hectares (7.58 acres); together with easements for storm water services, storm water management pond, watermain and fire hydrant in favour of the retained lands and an easement for access in favour of the severed lands. The proposed severed lot has a frontage of approximately 13 metres (42.65 feet), a depth of approximately 90 metres (295.27 feet) and an area of approximately 1.74 hectares (4.30 acres). The effect of the application is to create a new lot for future residential purposes (One 13-Storey Residential Apartment Building).

Location of Land:

Municipal Address: 12 Henderson Avenue

Former Township: Chinguacousy

Legal Description: Part of Lot 5, Concession 1 W.H.S.

Meeting

The Committee of Adjustment has appointed **TUESDAY, January 24, 2023 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for considering the application.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property, or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** You may attend the meeting in person to express your views about this application or you may be represented by an agent or counsel for that purpose. If you do not attend the meeting, a signed written submission shall be accepted by the Secretary-Treasurer prior to or during the meeting and such submission shall be available for inspection at the meeting by any interested person. If you do not attend the meeting, the Committee may proceed and make a decision with respect to this application in your absence. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. **This will also entitle you to be advised of a possible Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment Decision may be appealed to the Ontario Land Tribunal by the applicant, the Minister, a specified person or a public body.**

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

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LAST DAY FOR RECEIVING COMMENTS: JANUARY 19, 2023

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NOTE: IT IS LIKELY THAT COMMITTEE MEMBER(S) WILL CONDUCT A SITE INSPECTION RELATED TO THE APPLICATION PRIOR TO THE MEETING.

Other Planning Act Applications

The land which is the subject of the application is the subject of an application under the *Planning Act* for:

Official Plan Amendment:	YES	File Number: C01W05.44
Zoning By-law Amendment:	YES	File Number: C01W05.44
Minor Variance:	NO	File Number:

Decision and Appeal

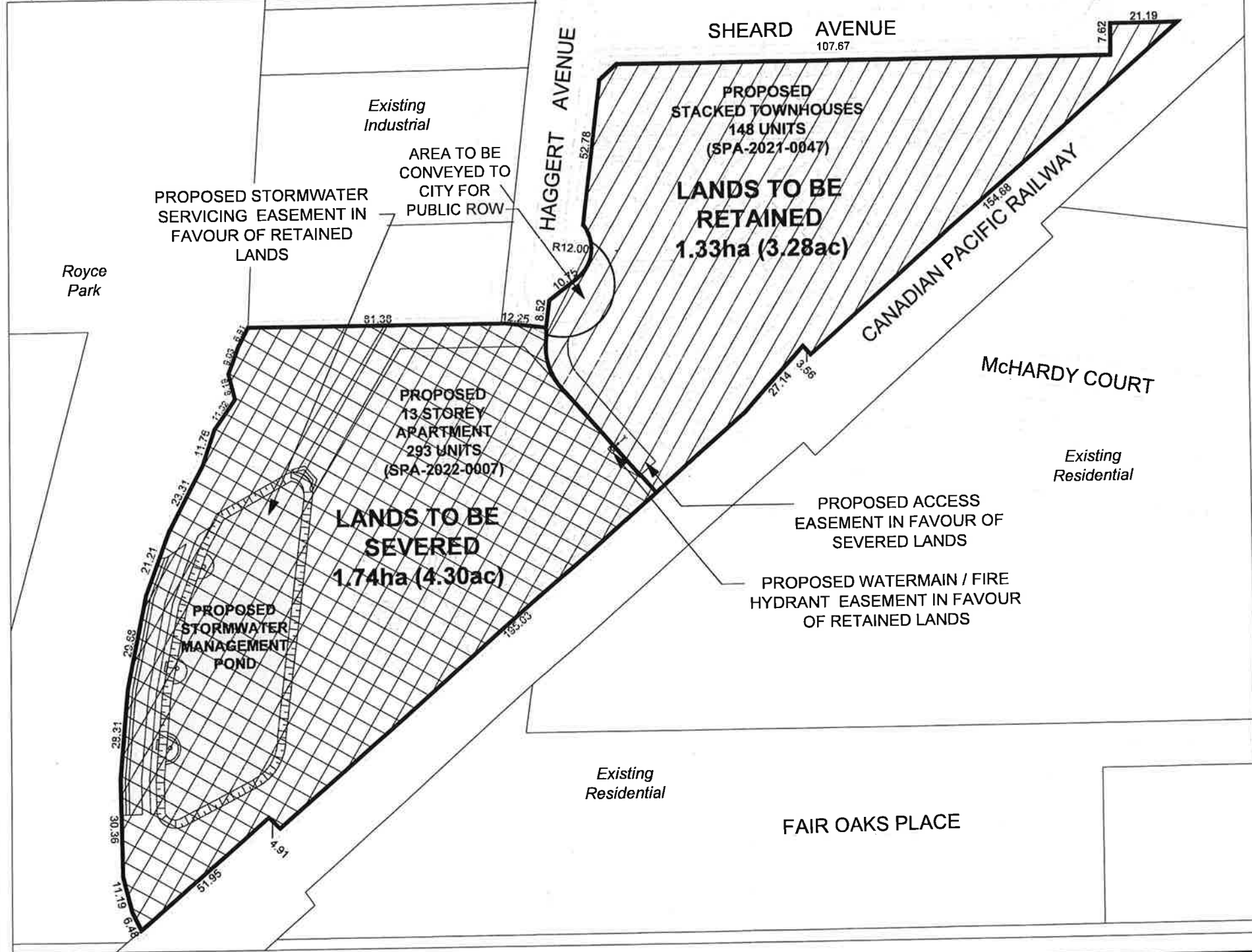
Any person or public body may, not later than **20 days after the giving of the notice of decision**, appeal the decision or any condition imposed by the Committee of Adjustment or appeal both the decision and any condition to the Ontario Land Tribunal by filing with the Secretary-Treasurer of the Committee of Adjustment a notice of appeal, accompanied by the fee prescribed under the *Ontario Land Tribunal Act, 2021*. The appeal form is available from the Ontario Land Tribunal website at <https://olt.gov.on.ca/appeals-process/forms/>

If a person or public body, that files an appeal of a decision of the Committee of Adjustment in respect of the proposed consent, does not make a written submission to the Committee of Adjustment before it gives or refuses to give a provisional consent, then the Ontario Land Tribunal may dismiss the appeal.

DATED AT THE CITY OF BRAMPTON THIS 6th Day of January, 2023




Comments may be sent to and information may be obtained between 8:30 a.m. to 4:30 p.m. Monday to Friday from:

Jeanie Myers, Secretary-Treasurer
City of Brampton Committee of Adjustment
City Clerk's Office, Brampton City Hall
2 Wellington Street West
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117 Fax: (905)874-2119
Jeanie.myers@brampton.ca



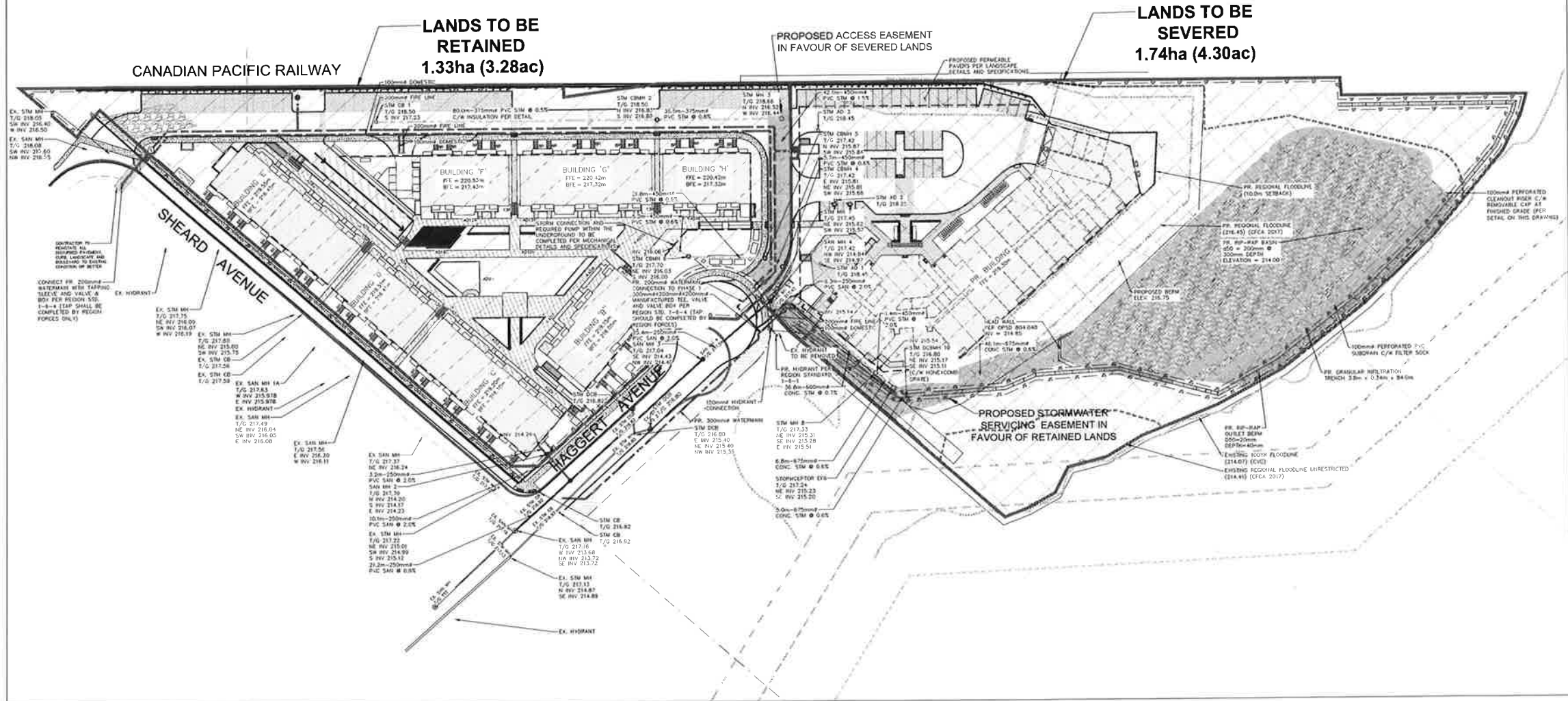
CONSENT SKETCH
 12 HENDERSON AVENUE
 CITY OF BRAMPTON
 REGIONAL MUNICIPALITY OF PEEL

CONSENT STATISTICS

-  LANDS TO BE RETAINED - 1.33ha (3.28ac)
-  LANDS TO BE SEVERED - 1.74ha (4.30ac)
- TOTAL 3.07ha (7.58ac)
-  PROPOSED ACCESS / SERVICING EASEMENT


 SCALE 1:1500
 DECEMBER 12, 2022

 **GSAI**
 Glen Schnarr & Associates Inc.



SERVICING OVERLAY PLAN
 12 HENDERSON AVENUE
 CITY OF BRAMPTON
 REGIONAL MUNICIPALITY OF PEEL

- LEGEND**
- PROPOSED PROPERTY BOUNDARIES
 - PROPOSED ACCESS / SERVICING EASEMENT
 - PROPOSED WATERMAIN & FIRE HYDRANT
 - PROPOSED SANITARY SEWER
 - PROPOSED STORM SEWER

SCALE 1:500
 (24 x 36)
 JANUARY 5, 2023



Under the authority of the Emergency Management and Civil Protection Act and the Municipal Act, 2001, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

**Electronic/Hybrid Hearing Procedures
How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **January 24, 2023** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

How to Participate in the Hearing:

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, January 19, 2023.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
 1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, January 19, 2023.**
 2. To participate in-person, please email the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, January 19, 2023.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, January 19, 2023.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.



Glen Schnarr & Associates Inc.

December 13, 2022

Refer To File: 954-009

Partners:

Glen Broll, MCIP, RPP

Colin Chung, MCIP, RPP

Jim Levac, MCIP, RPP

Jason Afonso, MCIP, RPP

Karen Bennett, MCIP, RPP

In Memoriam, Founding Partner:

Glen Schnarr

Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, ON L6Y 4R2

Attention: Jeanie Myers, Secretary-Treasurer

B-2022-0028

**Re: Application for Consent
Umbria Developers Inc.
12 Henderson Avenue
City of Brampton**

We are pleased to submit an Application for Consent for the above-noted lands on behalf of the owners, Umbria Developers Inc. The lands are located at the southeast corner of Sheard Avenue and Haggert Avenue South and municipally known as 12 Henderson Avenue.

The subject lands have a frontage of approximately 107.67 metres on Sheard Avenue, a depth of approximately 90 metres and an area of approximately 3.07 hectares (7.58 acres). The lands are designated "Residential – Medium High / High Density" in the Downtown Brampton Secondary Plan and zoned "Residential Apartment A - Section 2997" (R4A-2997) allowing for up to 402 residential dwellings units in the form of apartment and multiple residential structural types. A Minor Variance Application processed under A-2021-0227 was approved in March 2022 allowing for an increase to a maximum of 441 dwelling units together with relief on maximum floor space index and accessory structures.

The lands are currently subject to a Site Plan Application processed under City file number SPA-2021-0047 for the development of 148 Condominium Stacked Townhouse dwellings with underground parking representing Phase 1 of a two-phase development proposal. The Site Plan Application is approved in principle and the Phase 1 site works were initiated in 2021 under a conditional permit.

The lands are also subject to a Site Plan Application for Phase 2 processed under City file number SPA-2022-0007 for the development of a 13-storey condominium apartment building with 293 dwelling units and underground parking.

For financing purposes, and as shown on the enclosed Consent Sketch, Umbria Developers Inc. is proposing to sever the property which will split the Phase 2 development (severed lands) from Phase 1 (retained lands). Due to the location of the proposed storm sewer, stormwater management pond, and fire hydrant for Phase 1 crossing into Phase 2, servicing easements in favour of the retained lands are proposed within the severed lands. We enclose the proposed Site Servicing Plans for information. Further, due to the location of the access for Phase 2 within the Phase 1 lands, an access easement is also proposed within the retained lands in favour of the severed lands.



GLEN SCHNARR & ASSOCIATES INC.

URBAN & REGIONAL PLANNERS, LAND DEVELOPMENT CONSULTANTS

With respect to zoning, the applicable Site-Specific "R4A-2997" Zone considers the lands one lot for zoning purposes, and as such, no zoning deficiencies are created as a result of severing the subject lands.

In support of the Severance Application, we have enclosed the following items:

- One (1) signed completed copy of the Consent Application form with attached legal description;
- One (1) copy of the Severance Sketch as prepared by Glen Schnarr & Associates Inc., dated December 12, 2022;
- One (1) copy of the Site Servicing Plans as prepared by CF Crozier & Associates Inc., dated February 17, 2022;
- One (1) cheque in the amount of \$ \$4119.00 payable to the City of Brampton for the Application fee;
- One (1) cheque in the amount of \$1,400 payable to the Region of Peel the Application Review fee;
- One (1) cheque in the amount of \$1,204.00 payable to the Credit Valley Conservation Authority for Plan Review Fees.

We trust this completes the Consent Application and we look forward to being placed on the January 24, 2023 hearing date. Please do not hesitate to contact the undersigned if you require anything further or wish to clarify anything contained in this application.

Sincerely,

GLEN SCHNARR & ASSOCIATES INC.

Jason Afonso, MCIP, RPP
Partner

Encl.

c. S. Kamal, Umbria Developers Inc.



The personal information collected on this form is collected pursuant to subsection 53(2) of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION
Consent
 (Please read Instructions)

NOTE: Pursuant to subsection 53(2) of the *PLANNING ACT*, the applicant shall provide the Committee of Adjustment with such information or material as the Committee of Adjustment may require. The Committee of Adjustment may refuse to accept or further consider the application until the prescribed information, material and the required fee are received.

1. (a) **Name of Owner/Applicant** Umbria Developers Inc. (Attn: Syed Kamal)
(print given and family names in full)
Address 37 Hawkridge Trail
Brampton, ON L6P 2T4
Phone # (647) 220 9355 **Fax #** N/A
Email s.kamal@umbriadevelopers.com

(b) **Name of Authorized Agent** Glen Schnarr & Associates Inc. (Attn: Jason Afonso)
Address 10 Kingsbridge Garden Circle, Suite 700
Mississauga, ON L5R 3K6
Phone # 905 568 8888 x. 227 **Fax #** 905 568 8894
Email jasona@gsai.ca

2. **The type and the purpose of the proposed transaction, such as transfer for a creation of a new lot, lot addition, an easement, a charge, a lease or a correction of title.**

Specify: Severance for the creation of a new lot together with easements for storm water services, storm water management pond, watermain and fire hydrant in favour of the retained lands and an easement for access in favour of the severed lands.

3. **If known, the name of the person to whom the land or an interest in the land is to be transferred, charged or leased.**
Unknown at this time.

4. **Description of the subject land ("subject land" means the land to be severed and retained):**

a) Name of Street	<u>Henderson Avenue</u>	Number	<u>12</u>
b) Concession No.	<u>1 WHS</u>	Lot(s)	<u>Part of Lot 5</u>
c) Registered Plan No.	<u>See attached</u>	Lot(s)	<u>See attached</u>
d) Reference Plan No.	<u>See attached</u>	Lot(s)	<u>See attached</u>
e) Assessment Roll No.	<u>211003002714200</u>	Geographic or Former Township	<u>Chinguacousy</u>

5. **Are there any easements or restrictive covenants affecting the subject land?**

Yes No
 Specify: _____

6. Description of severed land: (in metric units)

a) Frontage ± 13 m Depth ± 90 m Area ± 1.74 ha

b) Existing Use Vacant Proposed Use Residential Apartment Building

c) Number and use of buildings and structures (both existing and proposed) on the land to be severed:

(existing) None

(proposed) One 13-Storey Residential Apartment Building

d) Access will be by: Existing Proposed

Provincial Highway

Municipal Road - Maintained all year

Other Public Road

Regional Road

Seasonal Road

Private Right of Way

e) If access is by water only, what parking and docking facilities will be used and what is the approximate distance of these facilities from the subject land and the nearest public road?

N/A

f) Water supply will be by: Existing Proposed

Publicly owned and operated water system

Lake or other body of water

Privately owned and operated individual or communal well

Other (specify): _____

g) Sewage disposal will be by: Existing Proposed

Publicly owned and operated sanitary sewer system

Privy

Privately owned and operated individual or communal septic system

Other (specify): _____

7. Description of retained land: (in metric units)

a) Frontage ± 107.67 m (Sheard Avenue) Depth ± 90 m Area ± 1.33 ha

b) Existing Use Under Construction Proposed Use Stacked Townhouse Residential

c) Number and use of buildings and structures (both existing and proposed) on the land to be retained:

(existing) None

(proposed) ~~1 Detached Dwelling (Proposed)~~ 148 STACKED TOWNHOUSE DWELLINGS (RESIDENTIAL)

d)	Access will be by:	Existing	Proposed
	Provincial Highway	<input type="checkbox"/>	<input type="checkbox"/>
	Municipal Road - Maintained all year	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
	Other Public Road	<input type="checkbox"/>	<input type="checkbox"/>
	Regional Road	<input type="checkbox"/>	<input type="checkbox"/>
	Seasonal Road	<input type="checkbox"/>	<input type="checkbox"/>
	Private Right of Way	<input type="checkbox"/>	<input type="checkbox"/>

e) If access is by water only, what parking and docking facilities will be used and what is the approximate distance of these facilities from the subject land and the nearest public road?

N/A

f)	Water supply will be by:	Existing	Proposed
	Publicly owned and operated water system	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	Lake or other body of water	<input type="checkbox"/>	<input type="checkbox"/>
	Privately owned and operated individual or communal well	<input type="checkbox"/>	<input type="checkbox"/>
	Other (specify):	_____	

g)	Sewage disposal will be by:	Existing	Proposed
	Publicly owned and operated sanitary sewer system	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	Privy	<input type="checkbox"/>	<input type="checkbox"/>
	Privately owned and operated individual or communal septic system	<input type="checkbox"/>	<input type="checkbox"/>
	Other (specify):	_____	

8. What is the current designation of the land in any applicable zoning by-law and official plan?

	Land to be Severed	Land to be Retained
Zoning By-Law	<u>R4A-2997</u>	<u>R4A-2997</u>
Official Plans	<u>Residential - Medium High / High Density</u>	<u>Residential - Medium High / High Density</u>
City of Brampton		
Region of Peel	<u>Urban Area</u>	<u>Urban Area</u>

9. Has the subject land ever been the subject of an application for approval of a plan of subdivision under section 51 of the Planning Act or a consent under section 53 of the Act and if the answer is yes and if known, the file number of the application and the decision on the application?

Yes No

File # _____ Status/Decision _____

10. Has any land been severed from the parcel originally acquired by the owner of the subject land?

Yes No

Date of Transfer _____ Land Use _____

11. If known, is/was the subject land the subject of any other application under the Planning Act, such as:

	File Number	Status
Official Plan Amendment	C01W05.044	Approved
Zoning By-law Amendment	C01W05.044	Approved
Minister's Zoning Order		
Minor Variance	A-2021-0227	Approved
Validation of the Title		
Approval of Power and Sale		
Plan of Subdivision		

12. Is the proposal consistent with Policy Statements issued under subsection 3(1) of the Planning Act?

Yes No

13. Is the subject land within an area of land designated under any Provincial Plan?

Yes No

14. If the answer is yes, does the application conform to the applicable Provincial Plan?

Yes No

15. If the applicant is not the owner of the subject land, the written authorization, of the owner that the applicant is authorized to make the application, shall be attached. (See "APPOINTMENT AND AUTHORIZATION OF AGENTS" form attached).

Dated at the _____ City _____ of _____ Mississauga _____

this 13th day of December, 2022.


Signature of Applicant, or Authorized Agent, see note on next page

Check box if applicable:

I have the authority to bind the Corporation

DECLARATION

I, Jason Afonso, Glen Schnarr & Associates Inc. of the _____ City _____ of _____ Mississauga _____


in the County/District/Regional Municipality of _____ Peel _____ solemnly declare that all the statements contained in t application are true and I make this as if made under oath and by virtue of "The Canada Evidence Act".

Declared before me at the _____ City _____ of BRAMPTON ~~Mississauga~~ _____

in the _____ Region _____ of _____ Peel _____

this 13th day of December, 2022


Signature of applicant/solicitor/authorized agent, etc.


Signature of a Commissioner, etc.

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024.

FOR OFFICE USE ONLY - To Be Completed By the Zoning Division

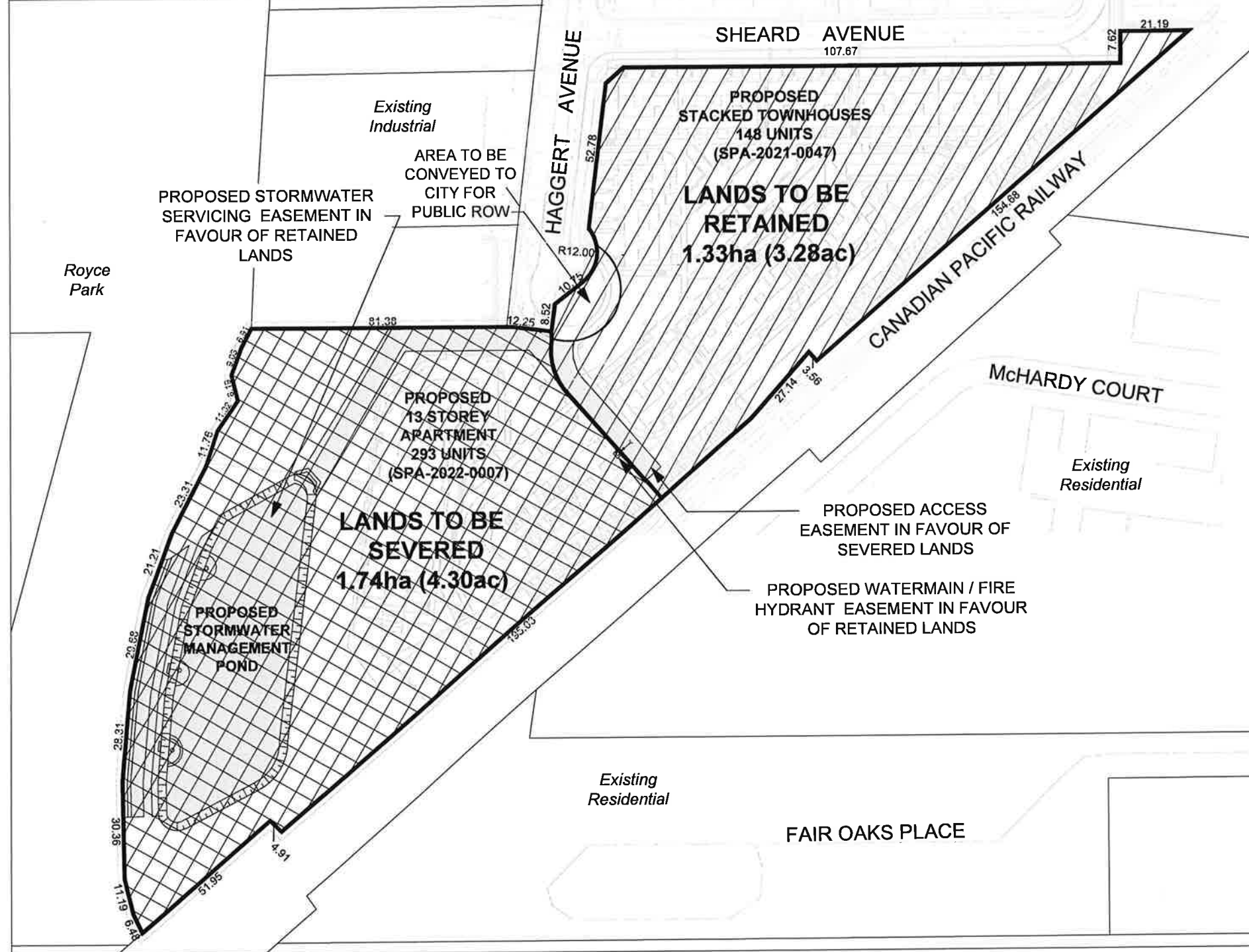
This application has been reviewed with respect to possible variances required and the results of the said review are outlined on the attached checklist.


Zoning Officer

Dec 20, 2022




Date

DATE RECEIVED December 13, 2022



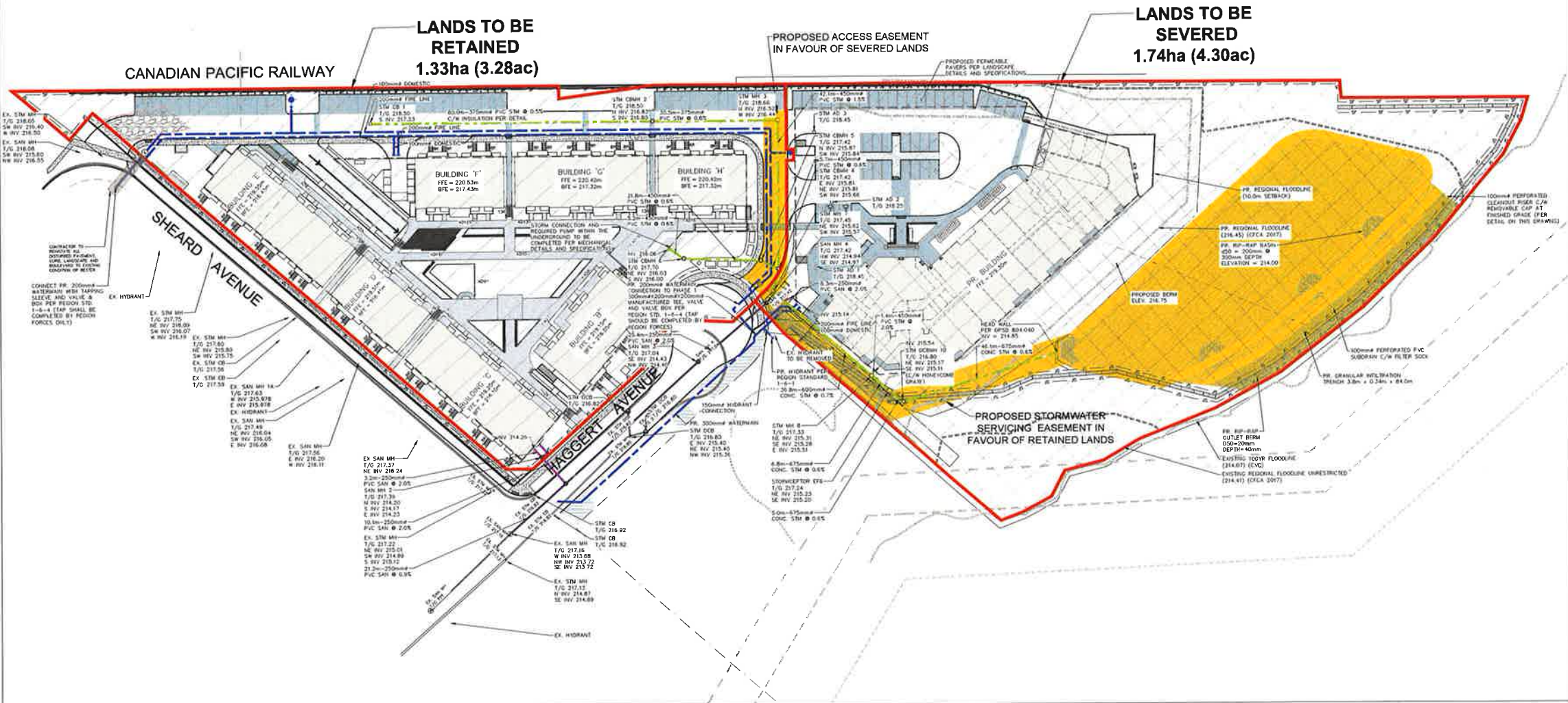
CONSENT SKETCH
 12 HENDERSON AVENUE
 CITY OF BRAMPTON
 REGIONAL MUNICIPALITY OF PEEL

CONSENT STATISTICS

-  **LANDS TO BE RETAINED - 1.33ha (3.28ac)**
-  **LANDS TO BE SEVERED - 1.74ha (4.30ac)**
- TOTAL 3.07ha (7.58ac)**
-  **PROPOSED ACCESS / SERVICING EASEMENT**


 SCALE 1:1500
 DECEMBER 12, 2022

 **GSAI**
 Glen Schnarr & Associates Inc.



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SERVICING OVERLAY PLAN
12 HENDERSON AVENUE
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEL

- LEGEND**
- PROPOSED PROPERTY BOUNDARIES
 - PROPOSED ACCESS / SERVICING EASEMENT
 - PROPOSED WATERMAIN & FIRE HYDRANT
 - PROPOSED SANITARY SEWER
 - PROPOSED STORM SEWER

12 Henderson Avenue – Legal Description

FIRSTLY; PT HAGGERT AV, PL 429 AS CLOSED BY BYLAW RO1105450, PTS 1, 2, 43R17885; PT HAGGERT AV BEING PT LOT 5 CON 1 WHSCH AS CLOSED BY RO1105450, PTS 7 & 8 43R17885; PT LOT5 CON 1 WHSCH AS IN BR30450, EXCEPT PT 3 43R20299; SECONDLY; LTS 15-26, PL E14, BLKS B,C & D, PL E14, JOY AV, PL E14, CLOSED BY BL299, PT SHEARD AV, PL E14, CLOSED BY RO772529, PT LT 5, CON 1, WHSCH, PTS 1 & 2, 43R21104, EXCEPT PT 6, 43R17885, CITY OF BRAMPTON

Structure ID	Structure	Standard	Grade
San MH 1	1200 mm	P111 120-2-3	P111 STD 2-3-13
San MH 2	1200 mm	P111 120-2-3	P111 STD 2-3-13
San MH 3	1200 mm	P111 120-2-3	P111 STD 2-3-13
San MH 4	1200 mm	P111 120-2-3	P111 STD 2-3-13
San MH 5	1200 mm	P111 120-2-3	P111 STD 2-3-13
San MH 6	1200 mm	P111 120-2-3	P111 STD 2-3-13
San MH 7	1200 mm	P111 120-2-3	P111 STD 2-3-13
San MH 8	1200 mm	P111 120-2-3	P111 STD 2-3-13
San MH 9	1200 mm	P111 120-2-3	P111 STD 2-3-13
San MH 10	1200 mm	P111 120-2-3	P111 STD 2-3-13
San MH 11	1200 mm	P111 120-2-3	P111 STD 2-3-13
San MH 12	1200 mm	P111 120-2-3	P111 STD 2-3-13
San MH 13	1200 mm	P111 120-2-3	P111 STD 2-3-13
San MH 14	1200 mm	P111 120-2-3	P111 STD 2-3-13
San MH 15	1200 mm	P111 120-2-3	P111 STD 2-3-13
San MH 16	1200 mm	P111 120-2-3	P111 STD 2-3-13
San MH 17	1200 mm	P111 120-2-3	P111 STD 2-3-13
San MH 18	1200 mm	P111 120-2-3	P111 STD 2-3-13
San MH 19	1200 mm	P111 120-2-3	P111 STD 2-3-13
San MH 20	1200 mm	P111 120-2-3	P111 STD 2-3-13

NOTE:
DAYLIGHTING IS REQUIRED FOR ALL UTILITY CROSSINGS PRIOR TO AND DURING CONSTRUCTION AND UNDER REGION OF PEEL INSPECTION SUPERVISION.

NOTE:
WATERMAIN & WATER SERVICES SHALL HAVE A MINIMUM DEPTH OF 1.7m AND SHALL HAVE A MINIMUM OUTSIDE BARRIER. VERTICAL SEPARATION OF 0.5m & HORIZONTAL SEPARATION OF 2.5m.

PIPE MATERIALS NOTE:
FOR SANITARY, STORM, AND/OR WATERMAIN PIPE MATERIALS, REFER TO NOTES ON THIS SHEET.

NOTE:
DISTURBED AREAS WITH HENDERSON AVENUE, SHEARD AVENUE AND HAZZETT AVENUE SOUTH ROAD, DUE TO SERVICE CONNECTION INSTALLATION ARE TO BE RESTORED TO MATCH EXISTING CONDITIONS OR BETTER, (INCLUDING PAVEMENT STRUCTURE) PAVED AREAS ARE TO BE REINSTALLED C/W LAP JOINT, ROYER TO DETAIL.

STORM SEWER NOTE:
MAIN SEWERS LESS THAN 600mm Ø OR EQUAL TO SHALL BE PVC PIPE PER 35 (ØPSS 410), MIN. PIPE STIFFNESS SHALL BE 320kPa.

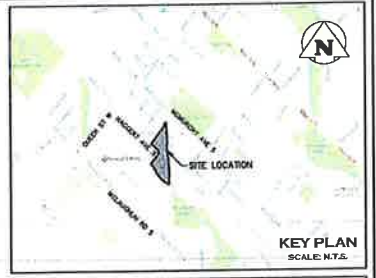
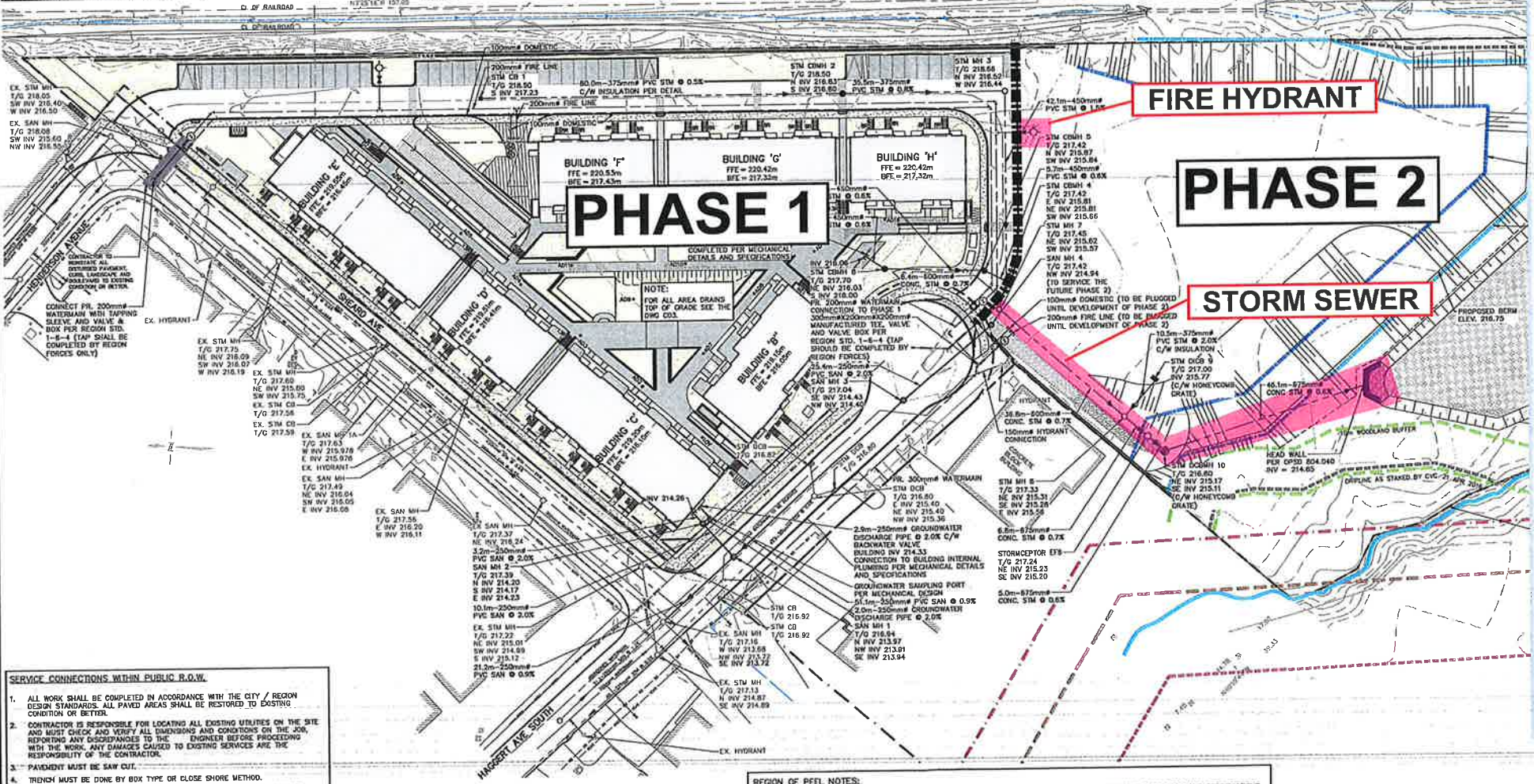
SANITARY SEWER NOTE:
SANITARY SEWER - SDP 33 PVC WITH MINIMUM PIPE STIFFNESS OF 320kPa - MANUFACTURED TO C.S.A. STANDARD B182.2 (A.S.T.M. SPECIFICATION D 3034) WITH RUBBER GASKETED BELL AND SPIGOT JOINTS.

NOTE: WHEN INSTALLING WATERMAIN WITHIN STEEL LINERS, THE FOLLOWING SHALL APPLY:

1. ALL GASK SPACERS ARE TO BE MADE OF T-304 STAINLESS STEEL.
2. BEARING SURFACES (RUNNERS) SHALL BE ULTRA HIGH MOLECULAR WEIGHT POLYMER OR EQUIVALENT.
3. POSITIONING OF SPACERS ALONG THE WATERMAIN IS TO BE AS PER THE MANUFACTURER'S SPECIFICATIONS.
4. POSITION OF PIPE WITHIN LINER IS TO BE CENTERED AND RESTRAINED, SUFFICIENT ENOUGH TO PROVIDE NO LESS THAN 18 mm (3/4 INCH) CLEARANCE BETWEEN THE CASING PIPE AND THE OUTSIDE BARRIER OF THE LINER FOR THE ENTIRE LENGTH OF THE LINER AND BEYOND WHEN STARTED ON THE CONTRACT DRAWINGS.
5. LINER TO BE SEALED USING WARP AROUND RUBBER GASKETS COMPLETE WITH STAINLESS STEEL (1-304) BANDING.

NOTE:
PROPOSED WATER CONNECTION TO BE PER REGION STANDARD DRAWING 1-B-3.

ORANGEVILLE RAILWAY DEVELOPMENT CORP.
CANADIAN PACIFIC RAILWAY



LEGEND

- PROPERTY LINE
- EXISTING WATERMAIN & GATE VALVE
- EXISTING STORM SEWER & MANHOLE
- EXISTING SINGLE/DOUBLE CATCHBASIN
- EXISTING SANITARY SEWER & MANHOLE
- PROPOSED WATERMAIN & GATE VALVE
- PROPOSED FIRE HYDRANT & GATE VALVE
- PROPOSED SAMOSE CONNECTION
- PROPOSED STORM SEWER & MANHOLE
- PROPOSED SINGLE/DOUBLE CATCHBASIN
- PROPOSED SANITARY SEWER & MANHOLE
- PROPOSED SAN SERVICE LATERAL (Ø200mm)
- EXISTING REGIONAL FLOODLINE (CVC MODEL)
- EXISTING REG. FLOODLINE SETBACK (10.0m)
- EX. 100YR FLOODLINE (214.07m) (CVC MODEL)
- PROPOSED REGIONAL FLOODLINE - 100YR SETBACK AND
- PROPOSED LIMIT OF DEVELOPMENT (CFCA 2017)
- PROPOSED REGIONAL FLOODLINE (CFCA 2017)
- MEANDER BELT
- EROSION HAZARD LIMIT
- REGULATED REDSIDED DACE HABITAT
- PROPOSED CHECK VALVE IN CHAMBER PER REGIONAL STD. 1-1-5 & 1-3-1
- PROPOSED WATER METER AND BACK FLOW PREVENTER IN BUILDING PER MECHANICAL DETAILS AND SPECIFICATIONS AND REGION STD.1-1-4-1

SERVICE CONNECTIONS WITHIN PUBLIC R.O.W.

1. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE CITY / REGION DESIGN STANDARDS. ALL PAVED AREAS SHALL BE RESTORED TO EXISTING CONDITION OR BETTER.
2. CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES ON THE SITE AND MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE DAY OF REPORTING ANY DISCREPANCIES TO THE ENGINEER BEFORE PROCEEDING WITH THE WORK. ANY DAMAGES CAUSED TO EXISTING SERVICES ARE THE RESPONSIBILITY OF THE CONTRACTOR.
3. PAYMENT MUST BE SAW CUT.
4. TRENCH MUST BE DONE BY BOX TYPE OR CLOSE SHORE METHOD.
5. CONTRACTOR TO SUPPLY AND PLACE TACK COAT OVER THE BASE ASPHALT PRIOR TO PLACING TOP ASPHALT. TACK COAT SHALL CONSIST OF 50-1 ENCLOSED ASPHALT EMULSION WITH AN EQUAL VOLUME OF WATER. THE EMULSION MATERIAL SHALL BE ACCORDING TO ØPSS 1103.
6. WHERE PROPOSED ASPHALT MATCH EXISTING ASPHALT, DRIND EXISTING ASPHALT MINIMUM 300mm WIDE AND 40mm DEEP FOR KEYING. APPLY HOT RUBBER SEALANT COMPOUND IN ACCORDANCE WITH ØPSS 1212. ALL SURFACE TO TACK COATED WITH SS-1.
7. ROAD TO BE RESTORED AS PER THE FOLLOWING:
 - a) ALL TRENCHES SHALL BE BACKFILLED WITH GRAN #1.
 - b) PAYMENT SHALL BE RESTORED TO THE ORIGINAL STATE AS PER THE CURRENT CITY / REGION SPECIFICATIONS.
8. ALL EXCESS EARTH AND MATERIALS SHALL BE REMOVED FROM THE ROAD ALLOWANCES AND SHALL BE HAULED AWAY WITH NO EXPENSE TO THE MUNICIPALITY OR OWNER.
9. ALL SURFACE FEATURES SUCH AS CURBS AND SIDEWALKS DISTURBED, DAMAGED OR REMOVED DURING THE CONTRACTOR'S ACTIVITIES SHALL BE REPLACED TO ITS ORIGINAL CONDITIONS.
10. ALL EXISTING FEATURES TO REMAIN, I.E. MANHOLE LIDS, CATCH BASINS, VALVE CHAMBER LIDS, VALVE BOXES, ETC. SHALL BE ADJUSTED TO SUIT THE FINISHED ELEVATIONS.

NOTE:
ALL EXISTING MUNICIPAL SERVICE AND UTILITIES ARE SHOWN FOR COORDINATION PURPOSE ONLY. CONTRACTOR TO VERIFY ON SITE THE EXACT HORIZONTAL AND VERTICAL LOCATIONS OF THE EXISTING MUNICIPAL SERVICES USING A LOCATOR COMPANY AND ADVISE THE ENGINEER RECORDING ANY DISCREPANCIES PRIOR TO CONSTRUCTION START.

NOTE:
CONTRACTOR TO INSTALL STORM SERVICE WHERE COVER IS LESS THAN 1.2m. INSULATION SHALL BE PER ØPSS 108-030

REGION OF PEEL NOTES:

1. ALL MATERIALS AND CONSTRUCTION METHODS MUST CORRESPOND TO THE CURRENT PEEL PUBLIC WORKS STANDARDS AND SPECIFICATIONS.
2. WATERMAIN AND/OR WATER SERVICE MATERIALS 100mm AND LARGER MUST BE PVC DR-18 AWWA C 300. SIZE 50mm AND SMALLER MUST BE COPPER TYPE "K" ASTM 888-88.
3. WATERMANS AND/OR SERVICES ARE TO HAVE A MINIMUM COVER OF 1.7m WITH A MINIMUM HORIZONTAL SPACING OF 1.2m FROM THEMSELVES AND ALL OTHER SERVICES.
4. PROVISIONS FOR FLOODING WATER LINE, FROM TESTING, ETC. MUST BE PROVIDED WITH AT LEAST A 50mm Ø OUTLET ON 100mm Ø AND LARGER LINES. COPPER LINES ARE TO HAVE FLUSHING POINTS AT THE END. THE SAME SIZE AS THE LINE. THEY MUST ALSO BE NUGED DR. PIPES TO ALLOW WATER TO DRAIN ONTO A PARKING LOT OR DOWN A DRAIN ON FIRE LINES. FLUSHING OUTLET TO BE 100mm MINIMUM ON A HYDRANT.
5. ALL CURB STOPS TO BE 3.0m OFF THE FACE OF THE BUILDING UNLESS NOTED OTHERWISE.
6. HYDRANT AND VALVE SET TO REGION STANDARD 1-6-1 DIMENSION 'A' (0.7m) & 'B' (0.9m) AND TO HAVE PUMPER NOZZLE.
7. WATERMANS TO BE INSTALLED TO GRADES SHOWN ON APPROVED SITE PLAN. COPY OF GRADE SHEET MUST BE SUPPLIED TO INSPECTOR PRIOR TO COMMENCEMENT OF WORK, WHERE REQUESTED BY INSPECTOR.
8. WATERMANS MUST HAVE A VERTICAL CLEARANCE OF 0.3m OVER AND 0.5m UNDER SEWERS AND ALL OTHER UTILITIES WHEN CROSSING.
9. ALL PROPOSED WATER PIPING MUST BE ISOLATED FROM EXISTING LINES IN ORDER TO ALLOW INDEPENDENT PRESSURE TESTING AND DECOMMISSIONING FROM EXISTING SERVICES.
10. ALL LINE TAPPING AND OPERATION OF REGION WATER VALVES SHALL BE ARRANGED THROUGH THE REGIONAL INSPECTOR ASSIGNED, OR BY CONTACTING THE OPERATIONS AND MAINTENANCE DIVISION.
11. LOCATION OF ALL EXISTING UTILITIES IN THE FIELD TO BE ESTABLISHED BY THE CONTRACTOR.
12. THE CONTRACTOR(S) SHALL BE SOLELY RESPONSIBLE FOR LOCATES, EXPOSING, SUPPORTING AND PROTECTING OF ALL UNDERGROUND AND OVERHEAD UTILITIES AND STRUCTURES EXISTING AT THE TIME OF CONSTRUCTION IN THE AREA OF THEIR WORK, WHETHER SHOWN ON PLANS OR NOT AND FOR ALL REPAIRS AND CONSEQUENCES RESULTING FROM DAMAGE TO SAME.
13. THE CONTRACTOR(S) SHALL BE SOLELY RESPONSIBLE TO GIVE 72 HOURS WRITTEN NOTICE TO THE UTILITIES PRIOR TO CROSSING SUCH UTILITIES. FOR THE PURPOSE OF A RECORDATION BY THE CONCERNED UTILITY. THIS INSPECTION WILL BE FOR THE DURATION OF THE CONSTRUCTION, WITH THE CONTRACTOR RESPONSIBLE FOR ALL COSTS ARISING FROM SUCH INSPECTION.
14. ALL PROPOSED WATER PIPING MUST BE ISOLATED THROUGH A TEMPORARY CONNECTION THAT SHALL INCLUDE AN APPROPRIATE CROSS-CONNECTION CONTROL DEVICE, CONSISTENT WITH THE DEGREE OF HAZARD, FOR BACKFLOW PREVENTION OF THE ACTIVE DISTRIBUTION SYSTEM, CONFORMING TO REGION OF PEEL STANDARDS 1-7-7 OR 1-7-8.

No.	ISSUE / REVISION	DATE
11	ISSUED FOR SPA	2022/10/17
10	ISSUED FOR CVC PERMIT	2022/10/07
9	ISSUED FOR CVC PERMIT	2022/04/19
8	ISSUED FOR CVC PERMIT	2021/DEC/02

SURVEY NOTES:
TOPOGRAPHIC INFORMATION COMPILED FROM FIELD SURVEY BY RIDGES CLIPSHAM INC. COMPLETED SEPTEMBER 2015 AND DECEMBER 21, 2020.
REFERENCE No.: 16-5284
DIPLINE STAKED BY CVC MEASURED 21 APRIL 2016.
BEARINGS ARE UTM GRID. DERIVED FROM RTM OBSERVATIONS UTM ZONE 17, WGS84 (EPSG) (20110).
DISTANCES ARE GROUND AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.9996791

SITE PLAN NOTES:
DESIGN ELEMENTS ARE BASED ON SITE PLAN ERROR AUDITS AND PLANNERS DRAWING NO.: 04105, (2021/FE3/03)
PROJECT NO.: 18-015

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THIS DRAWING IS TO BE READ AND UNDERSTOOD IN CONJUNCTION WITH ALL OTHER PLANS AND DOCUMENTS APPLICABLE TO THIS PROJECT. DO NOT SCALE THIS DRAWING.
ALL EXISTING UNDERGROUND UTILITIES TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO CONSTRUCTION.

12 HENDERSON AVENUE
CITY OF BRAMPTON

SITE SERVICING PLAN
SPA-2021-0047



CROZIER & ASSOCIATES
Consulting Engineers

2800 High Point Drive
Suite 100
Brampton, ON L6Y 6P4
905-875-0006 T
905-875-4915 F
www.ccrozier.ca

Drawn: S.T.L. Check: S.T.L./A.C. Date: 1:500 Project No.: 1259-6076 Sheet: C 02

NOTE:
ALL EXISTING MUNICIPAL SERVICE AND UTILITIES ARE SHOWN FOR INFORMATION PURPOSES ONLY. CONTRACTOR TO VERIFY ON SITE THE EXACT HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING MUNICIPAL SERVICES USING A LOCATED COMPANY AND ADVISE THE ENGINEER RECORDING ANY DISCREPANCIES PRIOR TO CONSTRUCTION START.

NOTE:
DARKENING IS REQUIRED FOR ALL UTILITY CROSSINGS PRIOR TO AND DURING CONSTRUCTION AND UNDER REGION OF PEEL INSPECTION SUPERVISION.

Structure ID	Structure	Standard	Circle
STW-001	150mm	PER STD 23-3	151.175 23-13
STW-002	150mm	PER STD 23-3	151.175 23-13
STW-003	150mm	PER STD 23-3	151.175 23-13
STW-004	150mm	PER STD 23-3	151.175 23-13
STW-005	150mm	PER STD 23-3	151.175 23-13
STW-006	150mm	PER STD 23-3	151.175 23-13
STW-007	150mm	PER STD 23-3	151.175 23-13
STW-008	150mm	PER STD 23-3	151.175 23-13
STW-009	150mm	PER STD 23-3	151.175 23-13
STW-010	150mm	PER STD 23-3	151.175 23-13

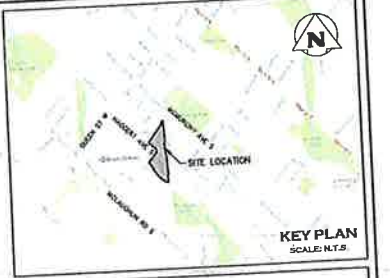
NOTE:
WATERMAIN & WATER SERVICES SHALL HAVE A MINIMUM DEPTH OF 1.2m AND SHALL HAVE A MINIMUM OUTSIDE BARREL VERTICAL SEPARATION OF 0.5m & HORIZONTAL SEPARATION OF 2.5m.

PIPE MATERIALS NOTE:
FOR SANITARY, STORM, AND/OR WATERMAIN PIPE MATERIALS, REFER TO NOTES ON THIS SHEET.

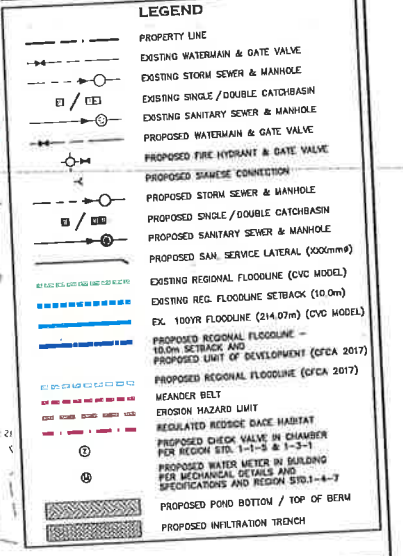
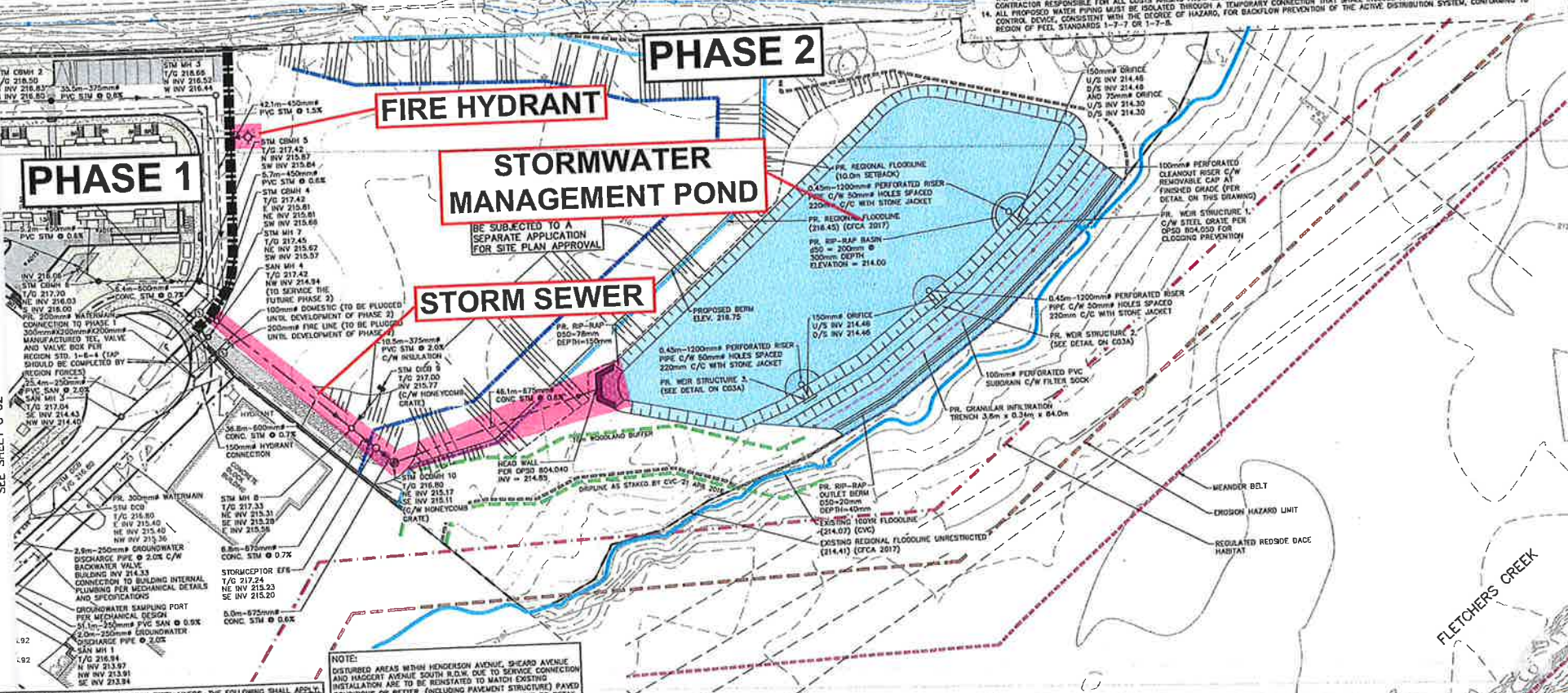
NOTE:
CONTRACTOR TO INSULATE STORM SERVICE WHERE COVER IS LESS THAN 1.2m.

NOTE:
PROPOSED WATER CONNECTION TO BE PER REGION STANDARD DRAWING 1-B-3.

- REGION OF PEEL NOTES:**
- ALL MATERIALS AND CONSTRUCTION METHODS MUST CORRESPOND TO THE CURRENT PEEL PUBLIC WORKS STANDARDS AND SPECIFICATIONS.
 - WATERMAIN AND/OR WATER SERVICE MATERIALS 100mm# AND LARGER MUST BE PVC DR-18 AWWA C 900, SIZE 50mm# AND SMALLER MUST BE COPPER TYPE "K" ASTM B88-48.
 - WATERMAIN AND/OR SERVICES ARE TO HAVE A MINIMUM COVER OF 1.2m WITH A MINIMUM HORIZONTAL SPACING OF 1.2m FROM THEMSELVES AND ALL OTHER SERVICES.
 - PROVISIONS FOR FLOODING WATER LINE PRIOR TO TESTING, ETC., MUST BE PROVIDED WITH AT LEAST A 50mm# OUTLET ON 100mm# AND LARGER LINES. COPPER LINES ARE TO HAVE FLUSHING POINTS AT THE END, THE SAME SIZE AS THE LINE. THEY MUST ALSO BE HOSED OR PIPES TO ALLOW WATER TO DRAIN INTO A PARKING LOT OR DOWN A DRAIN ON THE FACILITY UNLESS NOTIFIED OTHERWISE.
 - ALL CURB STOPS TO BE 3.0m OFF THE FACE OF THE BUILDING UNLESS NOTIFIED OTHERWISE.
 - HORIZONTAL AND VALVE SET TO REGION STANDARD 1-6-1 DIMENSION AT 0.2m & 1/2" (0.8m) AND TO HAVE PUMPER NOZZLE.
 - WATERMANS TO BE INSTALLED TO GRADES SHOWN ON APPROVED SITE PLAN. COPY OF GRADE SHEET MUST BE SUPPLIED TO INSPECTOR PRIOR TO COMMENCEMENT OF WORK. WORK IS REQUESTED BY INSPECTOR.
 - WATERMANS MUST HAVE A VERTICAL CLEARANCE OF 0.3m OVER AND 0.5m UNDER SEWERS AND ALL OTHER UTILITIES WHEN CROSSING.
 - ALL PROPOSED WATER PIPING MUST BE ISOLATED FROM EXISTING LINES IN ORDER TO ALLOW INDEPENDENT PRESSURE TESTING AND CHLORINATING SYSTEMS.
 - ALL LINE TAPPING AND OPERATION OF REGION WATER VALVES SHALL BE ARRANGED THROUGH THE REGIONAL INSPECTOR ASSIGNED, OR BY CONTACTING THE OPERATIONS AND MAINTENANCE DIVISION.
 - LOCATION OF ALL EXISTING UTILITIES IN THE FIELD TO BE ESTABLISHED BY THE CONTRACTOR.
 - THE CONTRACTOR(S) SHALL BE SOLELY RESPONSIBLE FOR LOCATES, EXPOSING, SUPPORTING AND PROTECTING ALL UTILITIES SHOWN ON THE PLANS OR NOT AND UTILITIES AND STRUCTURES EXISTING AT THE TIME OF CONSTRUCTION IN THE AREA OF THEIR WORK, WHETHER SHOWN ON THE PLANS OR NOT AND FOR ALL REPAIRS AND CONSEQUENCES RESULTING FROM DAMAGE TO SAME.
 - THE CONTRACTOR(S) SHALL BE SOLELY RESPONSIBLE TO GIVE 72 HOURS WRITTEN NOTICE TO THE UTILITIES PRIOR TO CROSSING SUCH UTILITIES, FOR THE PURPOSE OF INSPECTION BY THE CONCERNED UTILITY. THIS INSPECTION WILL BE FOR THE DURATION OF THE CONSTRUCTION, WITH THE CONTRACTOR RESPONSIBLE FOR ALL COSTS ARISING FROM SUCH INSPECTION.
 - ALL PROPOSED WATER PIPING MUST BE ISOLATED THROUGH A TEMPORARY CONNECTION THAT SHALL INCLUDE AN APPROPRIATE CROSS-CONNECTION CONTROL DEVICE, CONSISTENT WITH THE DEGREE OF HAZARD, FOR BACKFLOW PREVENTION OF THE ACTIVE DISTRIBUTION SYSTEM, CONFORMING TO REGION OF PEEL STANDARDS 1-7-1 OR 1-7-2.



ORANGEMILE RAILWAY DEVELOPMENT CORP.
CANADIAN PACIFIC RAILWAY



NO.	ISSUE / REVISION	DATE
11	ISSUED FOR SPA	2022/FEB/17
10	ISSUED FOR CVC PERMIT	2022/FEB/07
9	ISSUED FOR CVC PERMIT	2022/JAN/19
8	ISSUED FOR CVC PERMIT	2021/DEC/07
	ISSUE / REVISION	YYYY/MM/DD

SURVEY NOTES:
TOPOGRAPHIC INFORMATION COMPILED FROM FIELD SURVEY BY FIDDES CUPSHAM INC. COMPLETED SEPTEMBER 2015 AND DECEMBER 23, 2020.
REFERENCE HULL: 14-3284
DEPICTED STAKED BY CVC MEASURED 21 APRIL 2016.
BEARINGS ARE UTM GRID, DERIVED FROM BEN OBSERVATIONS UTM ZONE 12, HAZARD (COSA) CORNER.
DISTANCES ARE GRID AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.999781.

SITE PLAN NOTES:
DESIGN ELEMENTS ARE BASED ON SITE PLAN KIRKOR ARCHITECTS AND PLANNERS. DRAWING HULL: 2408 (2021/7ER/05)
PROJECT NO: 19-015

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ALL EXISTING UNDERGROUND UTILITIES TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO CONSTRUCTION.

12 HENDERSON AVENUE
CITY OF BRAMPTON
SITE SERVICING PLAN
SPA-2021-0047

CROZIER & ASSOCIATES
Consulting Engineers
2800 High Point Drive
Suite 100
Milton, ON L7T 6W4
905-875-0040
905-875-4015
www.crozier.ca

Drawn: S.L.T. Date: S.L.T./A.C. Scale: 1:500
Checked: A.S./C. Date: A.S. Date: 1:500

1259-6076
C 02A

- NOTE:** WHEN INSTALLING WATERMAIN WITH STEEL LINERS, THE FOLLOWING SHALL APPLY:
- ALL CASIN SPACERS ARE TO BE MADE OF T-304 STAINLESS STEEL.
 - BEARING SURFACES (RUNNERS) SHALL BE ULTRA HIGH MOLECULAR WEIGHT POLYMER OR EQUIVALENT.
 - POSITIONING OF SPACERS ALONG THE WATERMAIN IS TO BE AS PER THE MANUFACTURER'S SPECIFICATIONS.
 - POSITION OF PIPE WITH LINER TO BE CENTERED AND RESTRAINED, SUFFICIENT ENOUGH TO PROVIDE NO LESS THAN 19 mm (3/4") HIGH CLEARANCE BETWEEN THE CASING PIPE AND THE OUTSIDE DIAMETER OF THE LINER.
 - THE WATERMAIN SHALL BE RESTRAINED LATERALLY FOR THE ENTIRE LENGTH OF THE LINER AND BEYOND WHEN STARTED ON THE CONTRACT DRAWINGS.
 - LINER TO BE SEALED USING WRAP AROUND RUBBER ENDG COMPLETE WITH STAINLESS STEEL (T-304) BANDING.

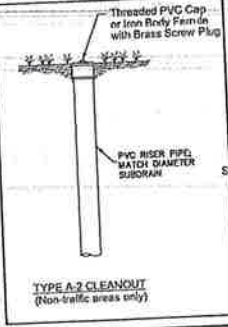
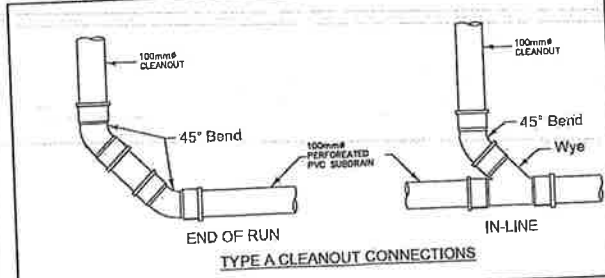
NOTE:
DISTURBED AREAS WITHIN HENDERSON AVENUE, SHEARD AVENUE AND HAZZETT AVENUE SOUTH BLDG. DUE TO SERVICE CONNECTION INSTALLATION ARE TO BE RESTRAINED TO MATCH EXISTING CONDITIONS OR BETTER, (INCLUDING PAVEMENT STRUCTURE) PAVED AREAS ARE TO BE REHABILITATED C/W LAP JOINTS; REFER TO DETALS.

STORM SEWER NOTE:
MAN SEWERS LESS THAN 600mm# OR EQUAL TO SHALL BE PVC PIPE SDR 35 (SPSS 410), MIN. PIPE STIFFNESS SHALL BE 3200Pa.

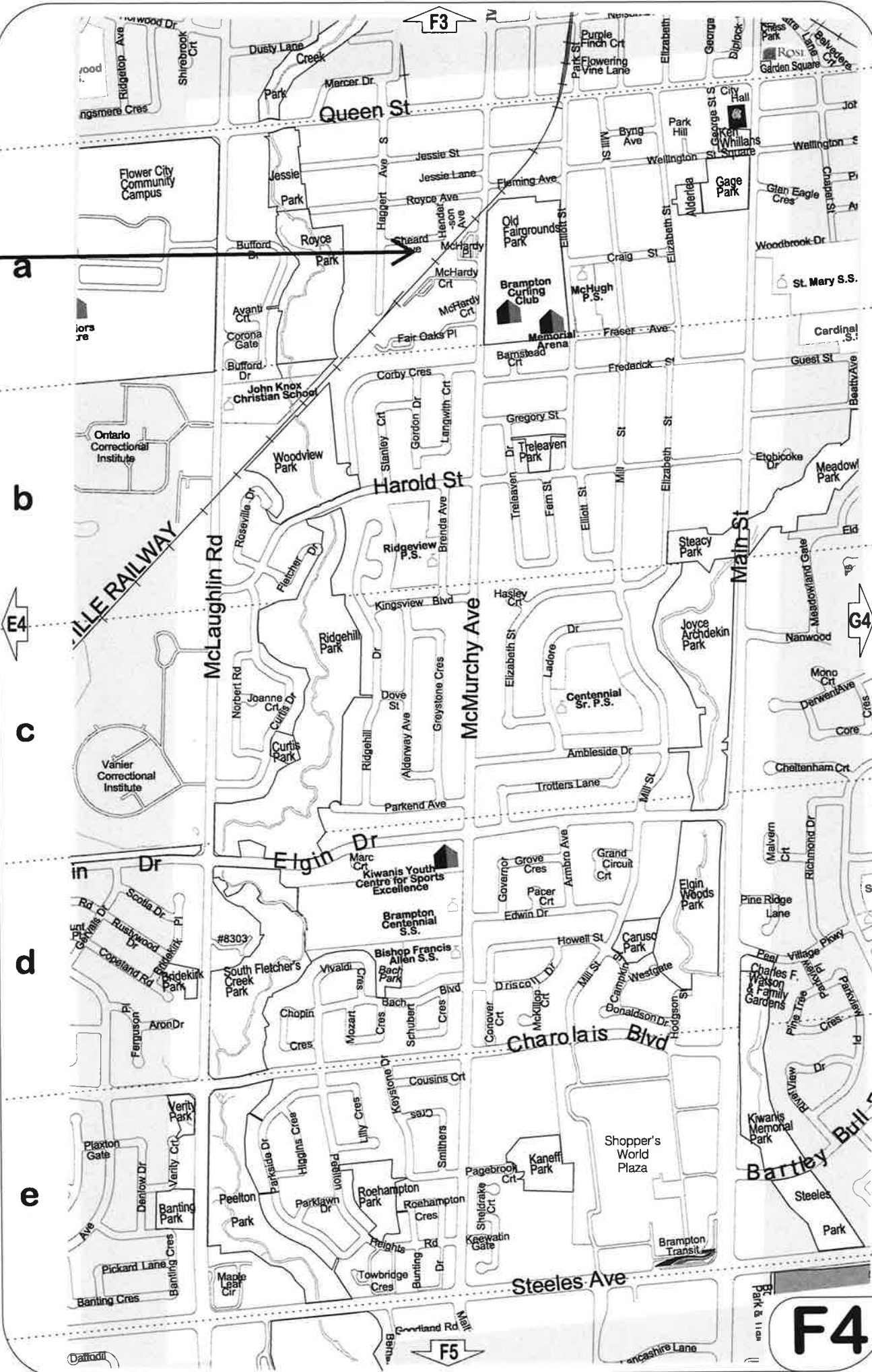
SANITARY SEWER NOTE:
SAN SEWERS - SDR 35 PVC WITH MINIMUM PIPE STIFFNESS OF 3200Pa - MANUFACTURED TO C.S.A. STANDARD B182.2 (A.S.T.M. SPECIFICATION C 3034) WITH RUBBER CASKETTED BELL AND SPIGOT JOINTS.

SERVICE CONNECTIONS WITHIN PUBLIC R.O.W.

- ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE CITY / REGION DESIGN STANDARDS. ALL PAVED AREAS SHALL BE RESTORED TO EXISTING CONDITION OR BETTER.
- CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES ON THE SITE AND MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE JOB. REPORTING ANY DISCREPANCIES TO THE ENGINEER BEFORE PROCEEDING WITH THE WORK. ANY DAMAGES CAUSED TO EXISTING SERVICES ARE THE RESPONSIBILITY OF THE CONTRACTOR.
- PAVEMENT MUST BE SAW CUT.
- TRENCH MUST BE DONE BY BOX TYPE OR EDGE SHOE METHOD.
- CONTRACTOR TO SUPPLY AND PLACE TACK COAT OVER THE BASE ASPHALT PRIOR TO PLACE TOP ASPHALT. TACK COAT SHALL CONSIST OF SS-1 EMULSIFIED ASPHALT DILUTED WITH AN EQUAL VOLUME OF WATER. THE UNDILUTED MATERIAL SHALL BE APPLIED AT A RATE OF 1.0kg/m² FOR KEYING. APPLY HOT RUBBER SEALING WHERE PROPOSED ASPHALT MATCH EXISTING ASPHALT. OPEN EXISTING ASPHALT MINIMUM 500mm WIDE AND 40mm DEEP FOR KEYING. APPLY HOT RUBBER SEALING COMPOUND IN ACCORDANCE WITH SPSS 1213. ALL SURFACE TO TACK COATED WITH SS-1.
- ROAD TO BE RESTORED AS PER THE FOLLOWING:
A) ALL TRENCHES SHALL BE BACKFILLED WITH GRAN #1.
B) PAVEMENT SHALL BE RESTORED TO THE ORIGINAL STATE AS PER THE CURRENT CITY / REGION SPECIFICATIONS.
C) ALL EXCESS EARTH AND MATERIALS SHALL BE REMOVED FROM THE ROAD ALLOWANCES AND SHALL BE HAULLED AWAY WITH NO EXPENSE TO THE MUNICIPALITY OR OWNER.
D) ALL SURFACE FEATURES SUCH AS CURBS AND SIDEWALKS DISTURBED, DAMAGED OR REMOVED DURING THE CONTRACTOR'S ACTIVITIES SHALL BE REPLACED TO ITS ORIGINAL CONDITIONS.
E) ALL EXISTING FEATURES TO REMAIN, I.E. MANHOLE LIDS, CATCH BASINS, VALVE CHAMBER LIDS, VALVE BOXES, ETC. SHALL BE ADJUSTED TO SUIT THE FINISHED ELEVATIONS.



B-2022-0028



a

b

c

d

e

F3

F4

G4

F5

F4