

Public Notice

Committee of Adjustment

APPLICATION # A-2022-0390 WARD #9

APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **MAYFIELD (RCH) PROPERTIES INC.** under Section 45 of the <u>Planning Act</u>, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Lot 1, Plan 43M-2102 municipally known as **8 KESSLER DRIVE**, Brampton;

AND WHEREAS the applicant is requesting the following variance(s) for a proposed single detached dwelling:

1. To permit a rear yard setback of 7.38m (24.22 ft.) whereas the bylaw requires a minimum rear yard setback of 7.5m (24.60 ft.)

OTHER PLANNING APPLICATIONS:

The land timen is subject of	ino application to	the subject of an application under the Planning Act for:
Plan of Subdivision:	NO	File Number:
Application for Consent:	NO	File Number:

The Committee of Adjustment has appointed **TUESDAY**, **January 24**, **2023 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers**, **4th Floor**, **City Hall**, **2 Wellington Street West**, **Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS. If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant, the Minister, a specified person or a public body.

RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this 12th Day of January, 2023.

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer Committee of Adjustment, City Clerk's Office, Brampton City Hall, 2 Wellington Street West, Brampton, Ontario L6Y 4R2 Phone: (905)874-2117

Fax: (905)874-2119 jeanie.myers@brampton.ca



NOTE: BUILDER TO VERIFY LOCATION OF ALL HYDRANTS, STREET LIGHTS, TRANSFORMERS AND OTHER SERVICES, IF MIN, DIMENSIONS ARE NOT MAINTAINED BUILDER IS TO RELOCATE AT HIS OWN EXPENSE

43M-2102
R1F-13-2368
LOT 1
341.30
Х
X
2
8.57
5.59 x 5.80
2 - 2.44m

LEGEND						
FFE	FINISHED FLOOR	SP	SUMP PUMP			
TFW	TOP OF FOUNDATION	\boxtimes	BELL PEDESTAL			
TBS	WALL TOP OF BASEMENT SLAB		CABLE PEDESTAL			
USF	UNDER SIDE FOOTING		CATCH BASIN			
	UNDER SIDE FOOTING		DBL, CATCH BASIN			
USFR	REAR	*	ENGINEERED FILL			
USFG	UNDER SIDE FOOTING @ GARAGE	++-	HYDRO CONNECTION			
TEF	TOP OF ENGINEERED	P	FIRE HYDRANT			
l R	NUMBER OF RISERS TO	SL	STREET LIGHT			
	GRADE WALKOUT DECK	\simeq	MAIL BOX			
WOD	LOOKOUT BASEMENT	\mathbf{A}	TRANSFORMER			
LOB	WALK OUT BASEMENT	∇	SEWER CONNECTIONS 2			
WUB	WALK UP BASEMENT	7	SEWER CONNECTIONS 1			
REV	REVERSE PLAN	4	WATER CONNECTION			
STD	STANDARD PLAN	ค	WATER VALVE			
	DOOR	<u> </u>	CHAMBER HYDRANT AND			
	WINDOW	¥	VALVE			
Αd	AIR CONDITIONING	H	HYDRO METER			
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	SPLASH PAD DOWNSPOUT	\circ	MANHOLE - STORM			
<u> </u>	CONNECTED TO STM SWALE DIRECTION		MANHOLE - SANITARY			
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TO CO	NFIRM WITH WORKING DRA		NG DEPTH. CONTRACTOR FOR SPECIFIC SIZES THAT			
MAYSU	IPERSEDE THIS SIZE.					

	ISSUED OR REVISION			_
NO.	DESCRIPTION	DATE	DWN	CHK
1	ISSUED FOR PRE-SITE ONLY	18-JUN-21	D.H	
2	ISSUED FOR REVIEW	05-AUG-21	D.H	NC
3	REVISED PER ENG COMM	23-AUG-21	D.H	NC
4	ISSUED FINAL	05-MAY-22	D.H	NC
_				

IMPORTANT FOOTING NOTE:

IT IS THE RESPONSIBILITY OF THE BUILDER TO VERIFY FROM THE ARCHITECTURAL DRAWINGS BEFORE CONSTRUCTION, WHETHER ARCHITECTURAL DRAWINGS BEFORE CONSTRUCTION, WHETHER ADDITIONAL THICKNESS MY BE REQUIRED.

LOT GRADING PLANS ASSUME A 785 TO USF DISTANCE OF 0.23, BASED ON FOOTING THICKNESS UP 10 05.

IF ADDITIONAL FOOTING THICKNESS US REQUIRED THE USF IS TO BE LOWERED BY THE FOLLOWING AMOUNTS:

UP TO 9" FOOTING, LOWER USF BY 0.07

10" FOOTING, LOWER USF BY 0.13

12" FOOTING, LOWER USF BY 0.13

12" FOOTING, LOWER USF BY 0.15

13" FOOTING, LOWER USF BY 0.15

13" FOOTING, LOWER USF BY 0.18

14" FOOTING, LOWER USF BY 0.18

14" FOOTING, LOWER USF BY 0.18



WWW.RNDESIGN.COM T:905-738-3177 WWW.THEPLUSGROUP.CA

I, NELSON CUNHA DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF IND DESIGN LTD, UNDER DIVISION C, PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: DATE:

CHENT

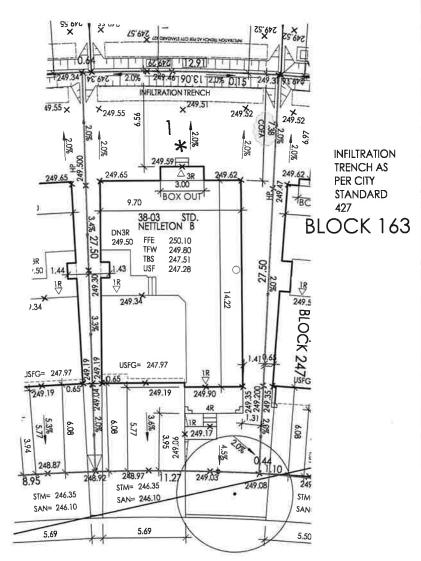
MAYFIELD (RCH) PROPERTIES INC.

MAYFIELD VILLAGE PHASE 6 **BRAMPTON**

DRAWING

SITE PLAN

DRAWN BY	SCALE 1:250
PROJECT No. 21034	LOT NUMBER



2

KESSLER DRIVE

- GRADING CERTIFICATION:

 1. THE PROPOSED LID TRAINING AND DRAININGE IS APPROVED AS BEING IN CONFORMITY WITH THE OVERALL APPROVED GRADING PLANS FOR THE SUBDIVISION.

 2. THE BULLDER IS RESPONSIBLE FOR RELOCATION OF ALL THE UTILITIES ON STITLING.
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 3. THE BUILDER MUST TOPSOIL AND SOD ALL BOULEVARDS,
 4. DOWNSPOUTS SHALL DISCHARGE TO THE GROUND VIA
 SPI ASH PAPS SPLASH PAUS... 5. BRICKLINE TO BE 150mm TO 200mm ABOVE FINAL GRADE AT

NOTE:
LATERIAL SEWERS AS-BUILT ELEVATIONS AND UNTILITY
LOCATIONS WERE NOT AVAILABLE AT THE TIME OF
CERTIFICATION. SCHAEFFER'S WILL NOT ACCEPT
LUBBILITY ASSIGNS FROM THIS MATTER. REVISIONS MAY
BE REQUIRED UPON AVAILABILITY OF LATERAL
ELEVATIONS AND UTILITY LOCATIONS.
ALSO UNDERGROUND SEWERS WHERE NOT
CONSTRUCTED WHEN SITE PLANS REVIEWED AND
ADPRIVED.



Under the authority of the Emergency *Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both inperson and electronically).

Electronic/Hybrid Hearing Procedures How to get involved in the Hybrid Hearing

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **January 24, 2023** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

How to Participate in the Hearing:

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm**, **Thursday**, **January 19**, **2023**.

- Advance registration for applicants, agents and other interested persons is required by one or two options:
 - Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at <u>cityclerksoffice@brampton.ca</u> or <u>jeanie.myers@brampton.ca</u> by 4:30 pm Thursday, January 19, 2023.
 - 2. To participate in-person, please email the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by 4:30 pm Thursday, January 19, 2023.
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or inperson. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by Thursday, January 19, 2023. City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

 All Hearings will be livestreamed on the City of Brampton YouTube account at: https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx or http://video.isilive.ca/brampton/live.html

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act* (*MFIPPA*), collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

Flower City



For Office Use Only (to be inserted by the Secretary-Treasurer after application is deemed complete)

FILE NUMBER: A-2022-0390

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION Minor Variance or Special Permission

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the <u>Planning Act</u>, 1990, for relief as described in this application from By-Law **270-2004**.

Name of						
Address	171 Basaltic Home	es Rd#1 Cor	cord, ON L4h	(1G4		
Phone # Email				Fax	#	
Name o Address			Design LTD)			
Phone # Email	905 738 3177 DavidH@rndesign.com	1		Fax	#	
	and extent of relief					
Reque	sting a rear yard r	eduction fi	rom require	d 7.50m set	back to 7.38m	
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1						
L					-20	
Why is	it not possible to co	mply with t	he provisions	s of the by-la	w?	
						ont of the lot. No
Due to	the pie shaped lo	ot, the side	lot lines ar	e diverging	towards the fro	ont of the lot. No
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8.	land: (specify i	<u>n metric units</u> gr	structures on or proposed for the subject ound floor area, gross floor area, number of c., where possible)
	EVICTING BILLI DING	S/STRUCTURES on the	e subject land: List all structures (dwelling, shed, gazebo, etc.)
	N/A	3/3TROCTORES OF THE	Estan shottines (aweiling) sheet quies sees
	DDODOSED BLIII DIA	IGS/STRUCTURES on	the subject land:
	Single detached d Ground floor Area Gross area:N/A Stories: 2 Building width:9.70	welling : 138.52m2	Building length:14.22m Building height:8.57m
9.	Location of all (specify distance	buildings and struce from side, rear	uctures on or proposed for the subject lands: and front lot lines in <u>metric units</u>)
	EXISTING Front yard setback Rear yard setback Side yard setback Side yard setback	N/A N/A N/A	
	PROPOSED Front yard setback Rear yard setback Side yard setback Side yard setback	5.77m 7.38m 0.65m(L) 1.41m(R)	
10.	Date of Acquisition	of subject land:	July 19 2022
11.	Existing uses of sul	oject property:	Residential
12.	Proposed uses of s	ubject property:	Residential
13.	Existing uses of abo	utting properties:	Residential
14.	Date of construction	n of all buildings & stru	uctures on subject land: 2023
15.	Length of time the	existing uses of the sul	bject property have been continued: Vacant land
16. (a)	What water supply Municipal Well	is existing/proposed? ☐ ☐	Other (specify)
(b)	What sewage dispo Municipal Septic	osal is/will be provided	? Other (specify)
(c)	What storm drainages Sewers Ditches Swales	ge system is existing/p	oroposed? Other (specify)

Swales



NOTE: BUILDER TO VERIFY LOCATION OF ALL HYDRANTS. STREET LIGHTS, TRANSFORMERS AND OTHER SERVICES, IF MIN. DIMENSIONS ARE NOT MAINTAINED BUILDER IS TO RELOCATE AT HIS OWN EXPENSI

BUILDING STATISTICS					
REG. PLAN No.	43M-2102				
ZONE	R1F-13-2368				
LOT NUMBER	LOT 1				
LOT AREA(m) ²	341.30				
BLDG AREA(m) ²	X				
LOT COVERAGE(%)	X				
No OF STOREYS	2				
MEAN HEIGHT(m)	8.57				
INT, GARAGE DIMS(m)	5.59 x 5.80				
GARAGE DOOR(m)	2 - 2.44m				

USFG CONNECTION
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ISSUED OR REVISION COMMENTS

NO.	DESCRIPTION	DATE	NWC	CHK
1	ISSUED FOR PRE-SITE ONLY	18-JUN-21		
2	ISSUED FOR REVIEW	05AUG-21	D.H	
3	REVISED PER ENG COMM	23-AUG-21	D.H	NČ
4	SSUED FINAL	05-MAY-22	D.H	NC
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MICREAN FOLLING NOISE

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ARCHITECTURAL DEANNINGS BEFORE CONSTRUCTION WHETHER
ADDITIONAL THICKNESS MAY BE REQUIRED.
LOT GRADING FURNA ASSUME, AS TO SUF STSTANCE OF 0.23. BASED
ON FOOTING THICKNESS LIFT OF S.

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UNIVERSITY OF THE COLOMING ANALOUSE
TO FOOTING, LOWER LIFT BY 0.01

11 FOOTING, LOWER LIFT BY 0.01

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12 FOOTING, LOWER LIFT BY 1.01

13 FOOTING, LOWER LIFT BY 1.01

14 FOOTING, LOWER LIFT BY 1.01

15 FOOTING, LOWER LIFT BY 1.01

16 FOOTING, LOWER LIFT BY 1.01

17 FOOTING, LOWER LIFT BY 1.01

18 FOOTING, LOWER LIFT BY 0.20.

DESIGN

WWW.RNDESIGN.COM T:905-738-3177 WWW,THEPLUSGROUP.CA

NESON CURNA DECLAPETHAT I HAVE REVIEWED AND TAXE DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHAL OF AN DESIGN ITDUNDER DIVISION C.PARTS SUBSECTION-S.2. OF THE BUILDING CODE. TAM GUALIFED AND THE RRM REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: FIRM BCIN: DATE:

MAYFIELD (RCH) PROPERTIES INC. MAYFIELD VILLAGE PHASE 6

BRAMPTON

SITE PLAN

DRAWN BY	3CALE 1:250
PROJECT No. 21034	LOT NUMBER LOT 1

X 25 672 as amount up the broader solvening 720% 129 461 90 EL 170% 1015 12 *** 2.0% 2.0% INFILTRATION 249.59 A TRENCH AS PER CITY 249.65 1000円 STANDARD 38-03 STD. NETTLETON B BLOCK 163 FFE TFW TBS USF 1.45 18 18 3R 1.50 1.44 0 1R 1R ▽ 249.34 14.22 BLOCK 2478 USFG= 247.97 JSFG= 247.97 7249.19 UF0'68Z 2.0% 5,177 5.3% 6.08 6.08 3.95 248.97× 249.03 248.97 11.27 STM= 246.35 SAN= 246.10 8.95 245 SAN 5.69

2

KESSLER DRIVE

BRADING CERTIFICATION:
THE PROPOSED LOT GRAING AND DRAINAGE IS APPROVED AS
BEING IN CONFORMITY WITH THE OVERALL APPROVED GRADING
LAUS FOR THE SUBDIVISION
THE BUILDER IS RESPONSIBLE FOR RELOCATION OF ALL THE

THE BUILDER NO PIECE
LITTLES ON SITE.
THE BUILDER MUST TOPSOIL AND SOD ALL BOLLEVARDS
DOWNSPOUTS SHALL DISCHARGE TO THE GROUND VIA

s TO BE 150mm TO 200mm ABOVE FINAL GRADE AT

17.		ibject proper ion or conse		ct of an a	pplication u	nder t	he Planning	Act, for	approval of a plan of
	Yes 🗆	3	No 🔽						
	If answe	r is yes, prov	vide details:	File #				Status	
18.	Has a pr	e-consultatio	on applicatio	n been file	ed?				
	Yes []	No 🗹						
19.	Has the	subject prop	erty ever be	en the sub	ject of an a	pplica	tion for mind	or varian	ce?
	Yes [3	No 🔽		Unknown				
	if answe	er is yes, prov	vide details:						
		#	Decision Decision				Relief Relief		
	File	#	Decision				Relief_		*
							D. Dy	ce	
					Sig	gnature	e of Applicant	t(s) or Au	thorized Agent
DAT	ED AT TH	E CITY		OF	BRAMPTON				- 9
THIS	S <u>25</u>	DAY OF	NOVEMBER		_, 20<u>22</u>_ .				
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	l .	David	Huie		j OF TI	HE	City	OF	Brampton
IN TH	E Province	ce OF	Ontario		-: _SOLEMNL`	Y DEC	LARE THAT:	:	
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IN THE		Province	OF)	
<u>Ontario</u>	_	-	– DAY OF			\mathcal{L}	David S	Huie	
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>	drives	>		NOTA	IRY		Submit	by Ema	ail
Hailian W Licensed	ang	missioner etc d Notary Public	·.	MARION ONTA	RIO RESERVE				
		Licensee #P163	391	FOR OF	FICE USE O	NLY			
	Presen	t Official Pla	n Designatio	n:					
	Presen	t Zoning By-	law Classific	ation:			R1F-9-2	368	
	This a	pplication has			spect to the vined on the af			and the re	esults of the
1									
1		LB	arbuto				Decemb	er 5, 2	022
			arbuto ng Officer		-		Decemb	per 5, 2 Date	022
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