

APPLICATION # A-2022-0407
WARD #9

APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **ROHIT PRASAD AND NEHA PRASAD** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Lot 13, Plan 43M-1299 municipally known as **125 SUNNY MEADOW BOULEVARD**, Brampton;

AND WHEREAS the applicants are requesting the following variance(s):

1. To permit a proposed below grade entrance in the interior side yard having a setback of 0.06m (0.20 ft.) whereas the by law requires a minimum setback of 0.3m (0.98 ft.) to a below grade entrance in a required side yard provided there is a continuous 1.2m (3.94 ft.) side yard on the opposite side of the dwelling.

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: _____ NO _____ File Number: _____
Application for Consent: _____ NO _____ File Number: _____

The Committee of Adjustment has appointed **TUESDAY, January 24, 2023 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant, the Minister, a specified person or a public body.

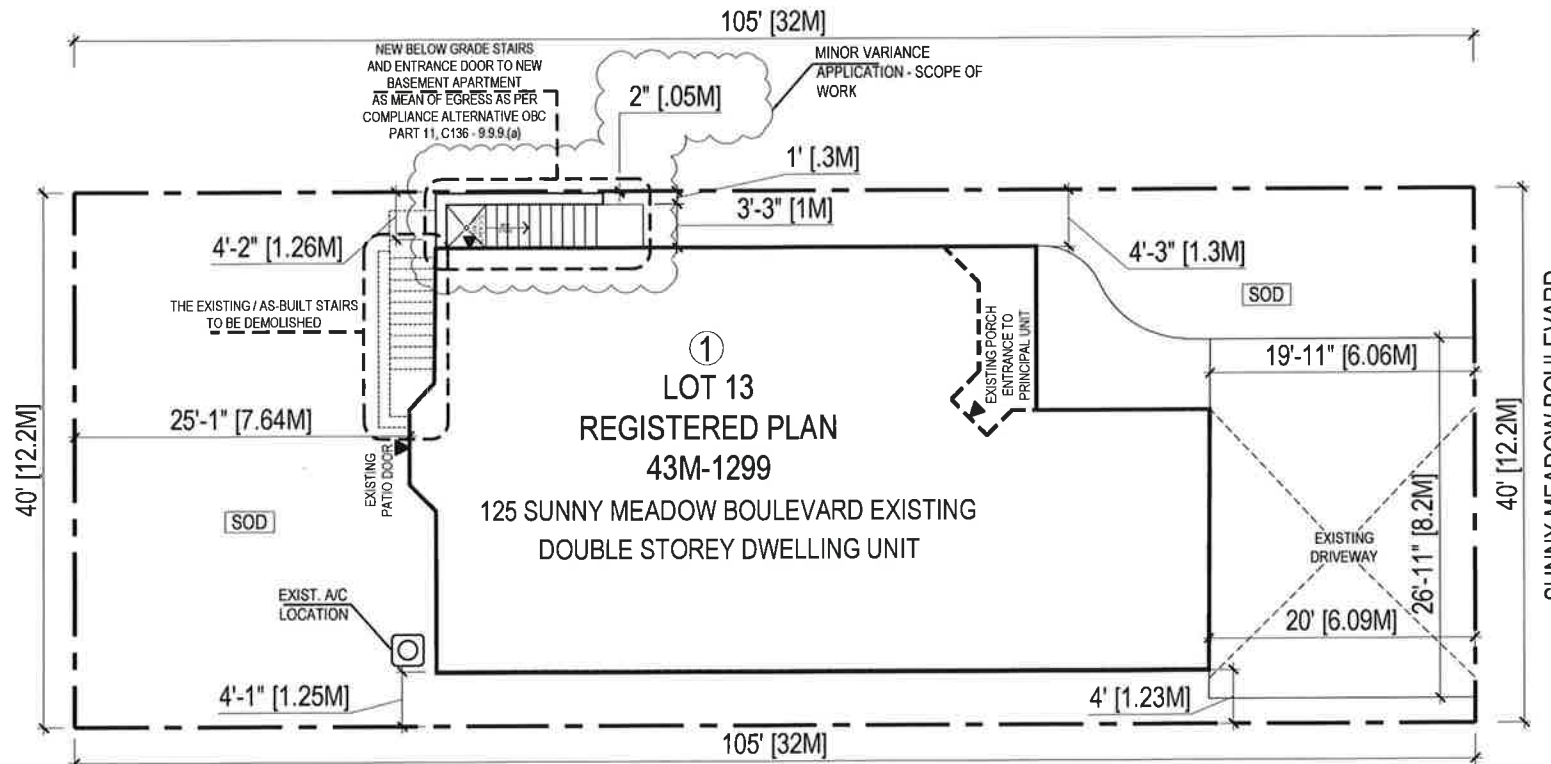
RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this this 12th Day of January, 2023.

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca



SITE PLAN

SCALE: $\frac{3}{32}'' = 1'-0''$

SCOPE OF WORK

CHANGE OF USE TO NEW BASEMENT APARTMENT INCLUDING THREE ENLARGED BASEMENT WINDOWS & NEW BELOW GRADE WALKOUT STAIRS FROM SIDE YARD. EXISTING BELOW GRADE STAIRS TO BE DEMOLISHED & EXISTING BELOW GRADE ENTRANCE DOOR TO BE CLOSED PERMANENTLY.

AREA STATISTICS

GROSS FLOOR AREA CALCULATIONS

A- PRINCIPAL RESIDENCE	
EXISTING GROUND FLOOR AREA:	117.61 M ²
EXISTING SECOND FLOOR AREA:	134.80 M ²
NEW PERSONAL USE ARE IN BASEMENT:	40.69 M ²
TOTAL AREA:	293.1 M²

B- BASEMENT	
NEW BASEMENT APARTMENT GFA:	72.09 M ²

BASEMENT APARTMENT GFA IS 24.59 % OF PRINCIPAL RESIDENCE GFA

▲ ENTRANCE / EGRESS

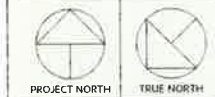
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THE BUILDER SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THE INFORMATION PROVIDED IN THESE DRAWINGS BEFORE START OF ANY JOB AT SITE. WORK NOT SPECIFICALLY DETAILED HEREBY SHALL BE DESIGNED TO THE SAME QUALITY & SAME STANDARDS THAT ARE MENTIONED FOR SIMILAR WORK. ALL WORKS SHALL BE DONE IN ACCORDANCE WITH CURRENT ONTARIO BUILDING CODE & RESPECTIVE CITY'S ZONING BY-LAWS AND STANDARDS.

WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE DESIGNER SHALL BE CONSULTED FOR CLARIFICATION. IF THE SITE CONDITIONS ENCOUNTERED ARE DIFFERENT THAN SHOWN IN THE DRAWINGS, IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES, CONTRACTOR SHALL VERIFY AND SHALL BE RESPONSIBLE FOR ALL DIMENSIONS INCLUDING MEASUREMENTS. CONSTRUCTION SHALL ONLY COMMENCE AFTER PERMIT APPROVAL HAS BEEN OBTAINED FROM ALL RESPECTIVE AUTHORITIES.

REV	DATE	DESCRIPTION



THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND SHALL BE QUALIFIED AND MEET THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE, ETC. DESIGN THE WORK SHOWN ON THE ATTACHED DOCUMENTS.

QUALIFICATION INFORMATION

Harrison Mabb
Architect
107742
11/2019
12/14

REGISTRATION INFORMATION

REGISTERED ARCHITECT OF ONTARIO UNDER THE REGULATION OF THE ARCHITECTS ACT, R.S.O. 1990, CHAPTER O.18, SECTION 11.1



weDesignBuild Inc.
MAKE IDEAS HAPPEN
205 Advance Blvd Brampton ON L6T 4V9
(647) 770 3230 info@weDesignBuild.ca
www.weDesignBuild.ca

PROJECT TITLE
BASEMENT APARTMENT AS SECOND UNIT

PROJECT ADDRESS
125 SUNNY MEADOW BOULEVARD BRAMPTON

DRAWING TITLE
SITE PLAN

PROJECT NO.
20220912

DRAWN M.N.	CHECKED H.M.
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DRAWING NO.
A102

DATE MODIFIED
JAN 10, 2023

Under the authority of the *Emergency Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

**Electronic/Hybrid Hearing Procedures
How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **January 24, 2023** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

How to Participate in the Hearing:

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, January 19, 2023.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
 1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, January 19, 2023.**
 2. To participate in-person, please email the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, January 19, 2023.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, January 19, 2023.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance.

Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.



The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION
Minor Variance or Special Permission
 (Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** Rohit Prasad & NEHA PRASAD
Address 125 Sunny Meadow Blvd, Brampton, ON L6R 2H8

Phone # 647-548-9315 **Fax #** _____
Email rohit08bm8009@gmail.com

2. **Name of Agent** weDesignBuild Inc. C/O Haroon Malik
Address 14 Torrance Woods Brampton ON L6Y 2N3

Phone # 647-770-3230 **Fax #** _____
Email haroon@wedesignbuild.ca

3. **Nature and extent of relief applied for (variances requested):**
 Relief request is for following item:
 To permit a reduced minimum set back of 0.06m (2") from the outside edge of the below grade concrete wall to property line whereas minimum allowed set back is 0.3m as per below mentioned clause 10.23.2.

10.23.2 Notwithstanding 10.23.1, for a single detached dwelling, with or without a second unit, exterior stairways constructed below the established grade shall be permitted in a required interior side yard, provided that a continuous side yard width of not less than 1.2 metres is provided on the opposite side of the dwelling and a minimum setback of 0.3 metres to the below grade stairway is maintained.

4. **Why is it not possible to comply with the provisions of the by-law?**
 The property owner wants to get use of side yard for below grade stairs to keep the complete backyard in his own use.
 This property has a continuous 1.2m wide side yard as clear path of travel from frontyard to backyard on the opposite side of dwelling.

5. **Legal Description of the subject land:**
Lot Number 13
Plan Number/Concession Number 43M - 1299
Municipal Address 125 Sunny Meadow Blvd, Brampton, ON L6R 2H8

6. **Dimension of subject land (in metric units)**
Frontage 12.20m
Depth 32.00m
Area 390.4 meter square

7. **Access to the subject land is by:**

Provincial Highway	<input type="checkbox"/>	Seasonal Road	<input type="checkbox"/>
Municipal Road Maintained All Year	<input checked="" type="checkbox"/>	Other Public Road	<input type="checkbox"/>
Private Right-of-Way	<input type="checkbox"/>	Water	<input type="checkbox"/>

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

Ground Floor Area: 134.80 meter square

Gross Floor Area(main floor): 134.80 meter square

Number of Storeys: 2

Width: 12.20m Length: 32.0m Height: 9m (approximately)

PROPOSED BUILDINGS/STRUCTURES on the subject land:

EXISTING TO REMAIN

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback 6.06m

Rear yard setback 7.64m

Side yard setback 1.26m

Side yard setback 1.23m

PROPOSED

Front yard setback 6.06m

Rear yard setback 7.64m

Side yard setback 1.23m

Side yard setback 1.26m, however 0.06m (2") setback proposed from outside wall of below grade concrete wall to property line.

10. Date of Acquisition of subject land: Year 2000

11. Existing uses of subject property: Single unit dwelling

12. Proposed uses of subject property: Two unit dwelling

13. Existing uses of abutting properties: Residential detached

14. Date of construction of all buildings & structures on subject land: 2000

15. Length of time the existing uses of the subject property have been continued: 22 years

16. (a) What water supply is existing/proposed?
Municipal Other (specify) _____
Well

(b) What sewage disposal is/will be provided?
Municipal Other (specify) _____
Septic

(c) What storm drainage system is existing/proposed?
Sewers Other (specify) _____
Ditches
Swales

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes No

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes No

19. Has the subject property ever been the subject of an application for minor variance?

Yes No Unknown

If answer is yes, provide details:

File # _____ Decision _____ Relief _____
File # _____ Decision _____ Relief _____
File # _____ Decision _____ Relief _____

[Handwritten Signature]

Signature of Applicant(s) or Authorized Agent

DATED AT THE City _____ OF Brampton _____

THIS 03 DAY OF December, 2022

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Haroon Malik _____ OF THE City _____ OF Brampton _____

IN THE Province _____ OF Ontario _____ SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City _____ OF Brampton _____

IN THE Province _____ OF

Ontario THIS 13 DAY OF

Dec. 2022

[Handwritten Signatures]

Signature of Applicant or Authorized Agent



Vivek Rattan
Barrister, Solicitor and Notary Public
Rattan Law Professional Corporation
205 Advance Blvd, Unit 9,
Brampton, ON L6T 4V9

A Commissioner etc.

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

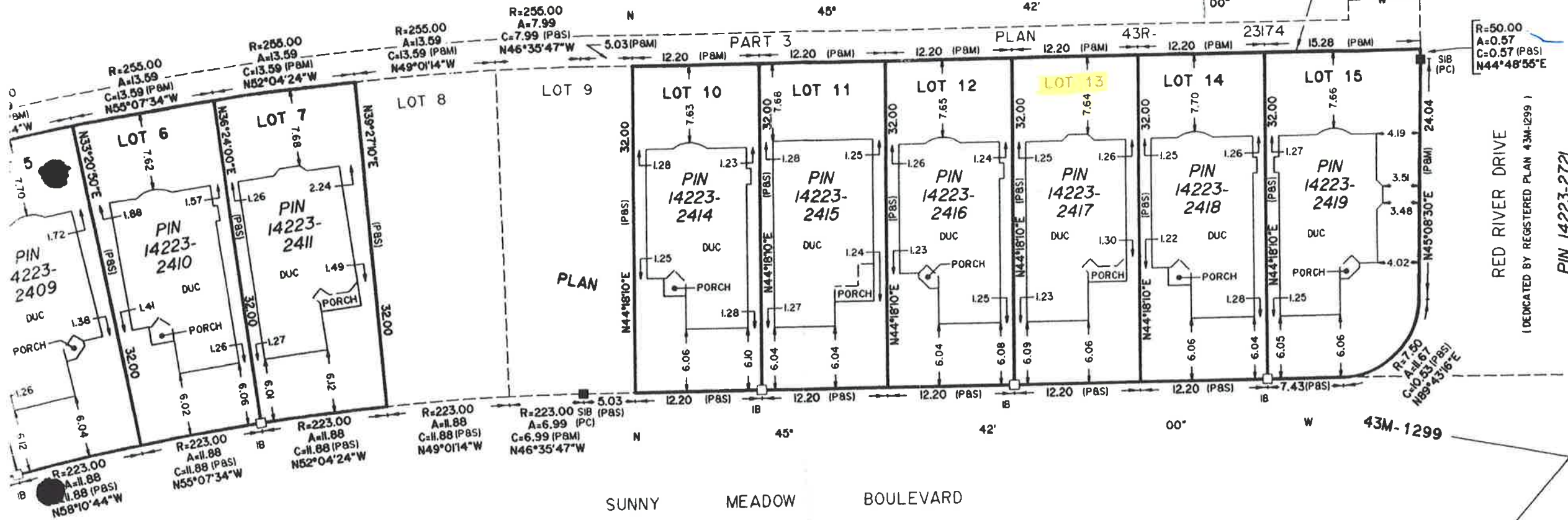
This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Zoning Officer

Date

DATE RECEIVED December 14, 2022

BLOCK 298



SUNNY MEADOW BOULEVARD

(DEDICATED BY REGISTERED PLAN 43M-1299)

PIN 14223-2716

BLOCK 307
(0.30 RESERVE)

CONCESSION 5
HURONTARIO STREET

R=50.00
A=0.57
C=0.57 (P&S)
N44°48'55"E

RED RIVER DRIVE

(DEDICATED BY REGISTERED PLAN 43M-1299)

PIN 14223-2721

DOCUMENTS RELEASED PURSUANT TO A REQUEST UNDER THE MUNICIPAL FREEDOM OF INFORMATION AND PROTECTION OF PRIVACY ACT R.S.O. 1990c. M56

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LIST OF DRAWINGS

Sr.No.	DESCRIPTION	DWG#
1	GENERAL NOTES	A101
2	SITE LAYOUT PLAN	A102
3	EXISTING / AS BUILT BASEMENT PLAN	A103
4	NEW BASEMENT APARTMENT PLAN	A104
5	EXISTING GROUND FLOOR PLAN	A105
6	EXISTING SECOND FLOOR PLAN	A106
7	NEW / EXISTING LEFT SIDE ELEVATION	A107
8	NEW / EXISTING RIGHT SIDE ELEVATION	A108
9	WALK OUT STAIR DETAILS - PLAN	A109
10	WALK OUT STAIR DETAILS - SECTION & NOTES	A110
11	WALK OUT STAIR DETAILS - SECTIONS	A111

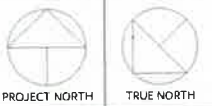
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REV DATE DESCRIPTION



PROJECT NORTH TRUE NORTH

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND THE QUALIFICATION FIRM MEET THE REQUIREMENTS SET FORTH BY THE ONTARIO BUILDING CODE TO DESIGN THIS WORK. SIGNIFY ON THE ATTACHED DOCUMENTS.

QUALIFICATION INFORMATION
 Name: Harrison Mallik
 REGISTRATION INFORMATION
 REG. NO. 102743
 REG. DATE 11/10/2011
 REG. EXPIRES 11/10/2023
 REG. FEE \$15000
 REG. FEE \$2000



weDesignBuild Inc.
 MAKE IDEAS HAPPEN
 205 Advance Blvd Brampton ON L6T 4V9
 (647) 770 3230 info@weDesignBuild.ca
 www.weDesignBuild.ca

PROJECT TITLE
BASEMENT APARTMENT AS SECOND UNIT

PROJECT ADDRESS
125 SUNNY MEADOW BOULEVARD BRAMPTON

DRAWING TITLE
LIST OF DRAWINGS

PROJECT NO.
20220912

DRAWN M.N. CHECKED H.M.

DRAWING NO.
A100

DATE MODIFIED
 DEC 14, 2022

GENERAL NOTES












- ALL WORK ACCORDING TO ONTARIO BUILDING CODE 2012 AND TOWN OF BRAMPTON BY-LAWS AND STANDARDS
- ALL DIMENSIONS AND LOCATIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION.
- ALL WOOD USED IN THE CONSTRUCTION SHALL BE SPF NO.1 OR NO.2
- MINIMUM BEARING OF STEEL LINTELS 150 MM.
- MINIMUM BEARING OF WOOD BEAM / LINTELS 90 MM
- MINIMUM BEARING OF WOOD JOISTS 40MM
- VERIFY EXISTING SUPPORT SYSTEM, INCLUDING FOUNDATIONS, FOR LOADS IMPOSED BY THE PROPOSED CONSTRUCTION
- PROVIDE ALL BRACING, SHORING AND NEEDLING NECESSARY FOR THE SAFE EXECUTION OF THIS WORK
- INFORM CITY OF ALL INSPECTION AHEAD OF TIME AND AT EACH STAGE OF CONSTRUCTION
- MINIMUM 6'-5" CLEAR CEILING HEIGHT MUST BE MAINTAINED THROUGHOUT THE NEW FINISH BASEMENT

SPECIFICATIONS

- 1 FOUNDATION WALL WITH EXISTING INSULATION EXISTING FOUNDATION WALL, MOISTURE BARRIER, 2X4 STUDS @ 16" O.C., R12 INSULATION, 6 MIL POLYETHYLENE V.B., ½" GYPSUM DRYWALL JOINTS TAPED AND SEALED AND PAINTED
- 1A FOUNDATION WALL WITH NEW INSULATION NEW FOUNDATION WALL, MOISTURE BARRIER, 2X4 STUDS @ 16" O.C., R20ci INSULATION, 6 MIL POLYETHYLENE V.B., ½" GYPSUM DRYWALL JOINTS TAPED AND SEALED AND PAINTED
- 2 INTERIOR WALLS NEW or EXISTING WOOD FRAMED WALL CONSISTING OF 2x4 WOOD STUDS @ 16" O.C. WITH 1/2" DRY WALL ON BOTH SIDES, JOINTS TAPED AND SEALED. WATER RESISTANT GWB ON BATHROOMS' WALLS.
- 2A INTERIOR FIRE RATED WALLS PROVIDE **W4d from SB-3** AS FIRE SEPARATION WALL SEPARATING FINISHED BASEMENT FROM THE PRINCIPAL RESIDENCE AND BETWEEN FURNACE ROOM AND FINISHED BASEMENT **SB-3, W4d. FIRE RESISTANCE : 60 MIN, STC: 53**
- 3 NEW CEILING ½" REGULAR DRY WALL CEILING ATTACHED TO BOTTOM OF JOISTS OF FLOOR ASSEMBLY ABOVE. JOINTS TAPED AND SEALED AND PAINTED.
- 3A NEW CEILING 5/8" TYPE X DRYWALL CEILING ATTACHED TO RESILIENT CHANNELS @406 MM O.C. WITH OR WITHOUT ABSORPTIVE MATERIAL IN CAVITY, TO BOTTOM OF JOISTS OF FLOOR ASSEMBLY ABOVE . FIRE RESISTANCE : 30 MIN WITHOUT INSULATION AS PER WALL ASSEMBLY OBC SB-3: F10c
- 3B NEW CEILING (FOR COLD ROOM TO BE FINISHED) DRYWALL CEILING ATTACHED TO BOTTOM OF FLOOR JOISTS OF GROUND FLOOR ASSEMBLY. JOINTS TAPED AND SEALED AND PAINTED. ½" REGULAR GYPSUM BOARD WITH ABSORPTIVE MATERIAL IN CAVITY AND R31 INSULATION
- 3C EXISTING CEILING EXISTING DRY WALL CEILING ATTACHED TO BOTTOM OF FLOOR JOISTS OF THE GROUND FLOOR ASSEMBLY SHALL SATISFY THE HORIZONTAL FIRE SEPARATION REQUIREMENT AS PER COMPLIANCE ALTERNATIVE C-152b OF PART 11 OF OBC 2012
- 4 20 MIN. RATED DOOR WITH SELF CLOSING DEVICE FOR FURNACE ROOM AND BETWEEN FINISHED BASEMENT AND BASEMENT AREA WHICH IS PART OF PRINCIPAL RESIDENCE
- 5 EXISTING DUCT WORK LOCATED IN THE CEILING SHALL BE RELOCATED SO THAT THE DIRECTION OF THE HEAT FLOW IS TOWARDS THE FLOOR
- 6 MECHANICAL VENTILATION 50 CFM EXHAUST FAN VENTED TO EXTERIOR COMPLETE WITH RATED CAP. 5 L/S EXHAUST FANS IN KITCHEN AND WASHROOM AND 37.5 L/S FOR PRINCIPAL EXHAUST
- 7 INTERCONNECTED AND WIRED SMOKE + STROBE (VISUAL SIGNALING DEVICE) ALARMS ONE AT EACH BEDROOM AND ONE IN COMMON FLOOR AREA INCLUDING BASEMENT - AS PER OBC 9.10.19
- 8 INTERCONNECTED AND WIRED CARBON MONOXIDE DETECTOR AS PER OBC 2012 B 9.33.4.3. & CAN/CSA-6.19
- 9 FOR ALL ELECTRICAL WORK AND PERMIT CONTACT ELECTRICAL SAFETY AUTHORITY
- 10 SELF CONTAINED EMERGENCY LIGHTING UNIT CONFORMING TO CSA C22.2 NO.141, "EMERGENCY LIGHTING EQUIPMENT" - AS PER OBC 9.9.12
- 11 EXHAUST SYSTEM SHALL DISCHARGE DIRECTLY TO THE OUTDOORS AS PER OBC 6.2.3.8.
- 12 CLOTHES DRYER SHALL COMPLY WITH OBC 6.2.4.11. REQUIREMENTS.

LEDGEND

ELECTRICAL & MECHANICAL

3 OR 4 WAY SWITCH INSTALL AT 3'-3" ABOVE FINISH FLOOR 3 DENOTES 3-WAY SWITCH SPECIFICATION GRADE WHITE, WITH WHITE COVER PLATE4 DENOTES 4-WAY SWITCH SHALL BE INSTALLED AT THE ENDS OF EACH STAIRWAYS	
15A, 120V DUPLEX RECEPTACLE SPECIFICATION GRADE, WHITE CMW WHITE COVER PLATE GFI- GROUND FAULT TYPE WP- WEATHERPROOF COVER C - ABOVE COUNTER	
DUCT-TYPE SMOKE DETECTOR TO BE INSTALLED IN THE SUPPLY OR RETURN AIR DUCT SYSTEM SERVING THE ENTIRE BUILDING THAT MUST TURN OFF THE FUEL SUPPLY AND ELECTRICAL POWER TO THE HEATING SYSTEM UPON ACTIVATION	
EXHAUST FAN	
FD: FLOOR DRAIN	
SPRINKLER	
SD: SMOKE DETECTOR + STROBE (VISUAL SIGNALING DEVICE)	
CO: CARBON MONOXIDE DETECTOR	
LIGHT	
EMERGENCY LIGHT	
RECEPTACLE 50A, 208V, STOVE OR DRYER OUTLET.	

SCHEDULES

ROOM FINISH SCHEDULE

ROOM NO.	ROOM NAME	FLOOR		BASE		WALLS		CEILING		HEIGHT	REMARKS
		MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH		
BASEMENT FLOOR											
1	LIVING/DINING	WOOD	STAIN	VINYL		DRYWALL	PAINT	DRYWALL	PAINT	7'-6"	
2	BEDROOMS (2 No.)	WOOD	STAIN	VINYL		DRYWALL	PAINT	DRYWALL	PAINT	7'-6"	
3	W.I.C./CLOSET/STORAGE	WOOD	STAIN	VINYL		DRYWALL	PAINT	DRYWALL	PAINT	7'-6"	
4	BATH	CERAMIC		VINYL		DRYWALL	PAINT	DRYWALL	PAINT	7'-6"	
5	UTILITY / FURNACE	CONC.		VINYL		DRYWALL	PAINT	DRYWALL	PAINT	7'-6"	
6	KITCHEN	CERAMIC		VINYL		DRYWALL	PAINT	DRYWALL	PAINT	7'-6"	
7	LAUNDRY	CERAMIC		VINYL		DRYWALL	PAINT	DRYWALL	PAINT	7'-6"	

DOOR SCHEDULE

- 1- ALL INTERIOR DOORS ARE SLAB DOOR 1-3/8 TH. HOLLOW CORE. THE SIZES ARE MENTIONED ON THE FLOOR PLAN. THE HEIGHT OF ALL DOORS IS 80" UNLESS OTHERWISE MENTIONED ON PLANS.
- 2- EGRESS DOOR - NEW BELOW GRADE EXTERIOR TYPE STEEL DOOR PROVIDES ACCESS TO THE OUTSIDE
- 3- ALL FIRE RATED DOORS SHALL HAVE SELF-CLOSING DEVICES

WINDOW SCHEDULE

- ONE WINDOW PER FLOOR TO HAVE AN UNOBSTRUCTED OPEN PORTION W/A MIN. AREA OF 0.35m2 W/ NO DIMENSION LESS THAN 380mm & MAXIMUM SILL HEIGHT OF 1 M ABOVE FLOOR WINDOW SIZES HAVE BEEN PROVIDED ON THE FLOOR PLANS SEE NOTE-1 ON BASEMENT FLOOR PLAN
- ALL WINDOW SIZES AR MENTIONED ON THE FLOOR PLAN

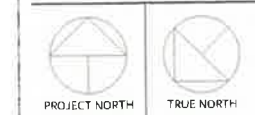
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WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE DESIGNER SHALL BE CONSULTED FOR CLARIFICATION. IF THE SITE CONDITIONS ENCOUNTERED ARE DIFFERENT THAN SHOWN IN THE DRAWINGS OR DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES, CONTRACTOR SHALL VERIFY AND SHALL BE RESPONSIBLE FOR ALL DIMENSIONS INCLUDING BOUND OPENINGS ETC. CONSTRUCTION SHALL ONLY COMMENCE AFTER PERMIT APPROVAL HAS BEEN OBTAINED FROM ALL RESPECTIVE AUTHORITIES.

REV	DATE	DESCRIPTION



THE PROFESSIONAL HAS EXAMINED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND THE QUALITY THEREOF AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN HEREIN IN ACCORDANCE WITH THE QUALIFICATION INFORMATION.

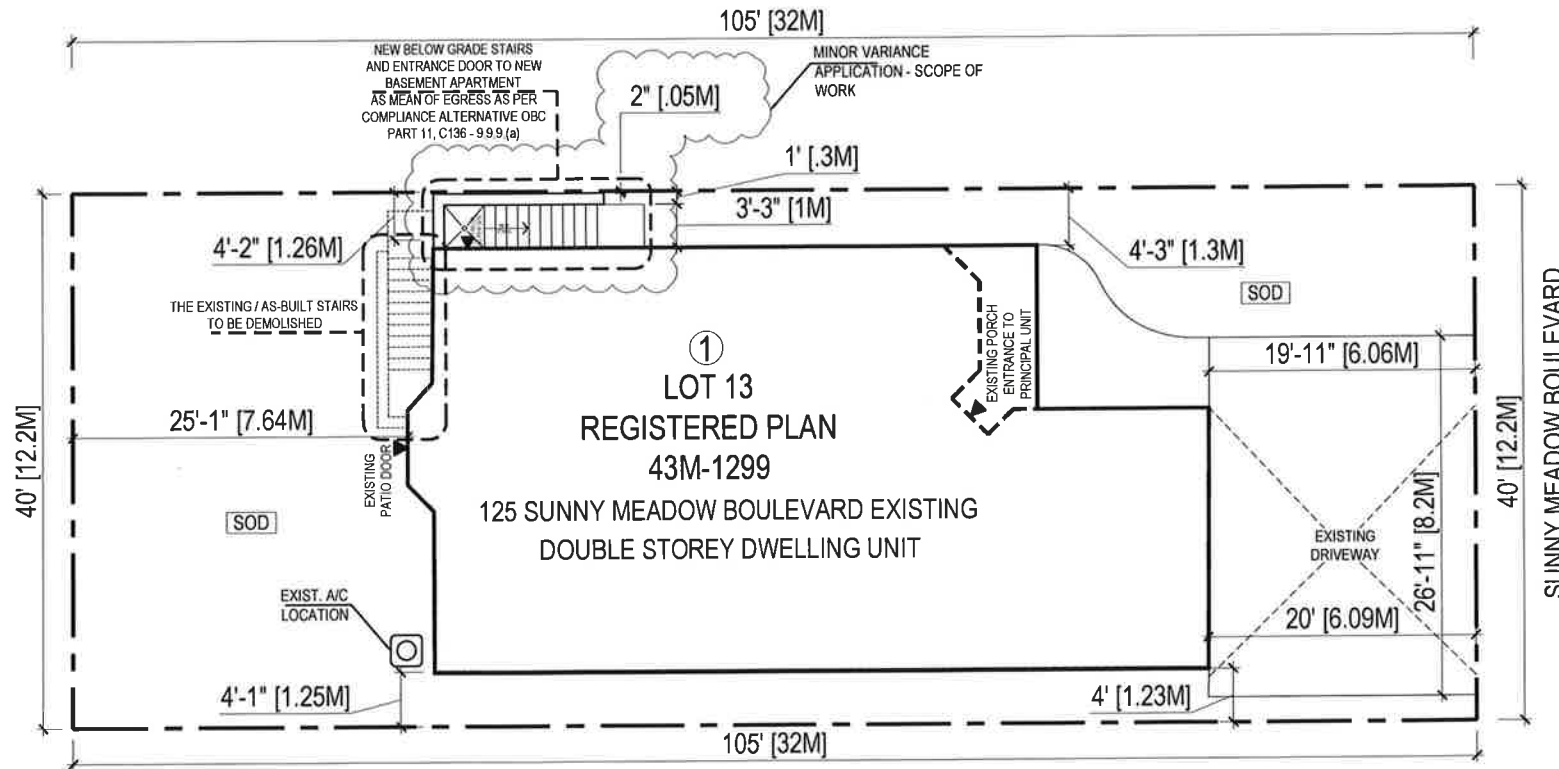
Name: **Haroon Mulla** REGISTRATION INFORMATION: 102242
 REG. NO. WEDESIGNBUILD INC. REG. NO. 111001
 WEDESIGNBUILD INC. REG. NO. 111001



PROJECT TITLE
 BASEMENT APARTMENT
 AS SECOND UNIT
PROJECT ADDRESS
 125 SUNNY MEADOW
 BOULEVARD BRAMPTON
DRAWING TITLE
 GENERAL NOTES

PROJECT NO.
 20220912
DRAWN
 M.N. **CHECKED**
 H.M.

DRAWING NO.
A101
DATE MODIFIED
 DEC 14, 2022



SITE PLAN
SCALE: $\frac{3}{32}'' = 1'-0''$

SCOPE OF WORK

CHANGE OF USE TO NEW BASEMENT APARTMENT INCLUDING THREE ENLARGED BASEMENT WINDOWS & NEW BELOW GRADE WALKOUT STAIRS FROM SIDE YARD. EXISTING BELOW GRADE STAIRS TO BE DEMOLISHED & EXISTING BELOW GRADE ENTRANCE DOOR TO BE CLOSED PERMANENTLY.

AREA STATISTICS

GROSS FLOOR AREA CALCULATIONS

A- PRINCIPAL RESIDENCE	
EXISTING GROUND FLOOR AREA:	117.61 M ²
EXISTING SECOND FLOOR AREA:	134.80 M ²
NEW PERSONAL USE ARE IN BASEMENT:	40.69 M ²
TOTAL AREA:	293.1 M²
B- BASEMENT	
NEW BASEMENT APARTMENT GFA:	72.09 M²

BASEMENT APARTMENT GFA IS 24.59 % OF PRINCIPAL RESIDENCE GFA

▲ ENTRANCE / EGRESS

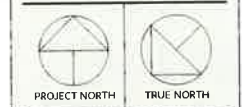
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WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE DESIGNER SHALL BE CONSULTED FOR CLARIFICATION OF THE SITE CONDITIONS ENCOUNTERED ARE DIFFERENT THAN SHOWN IN THE DRAWINGS IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES. CONTRACTOR SHALL VERIFY AND SHALL BE RESPONSIBLE FOR ALL DIMENSIONS INCLUDING ROOM OPENINGS, ETC. CONSTRUCTION SHALL ONLY COMMENCE AFTER PERMIT APPROVAL HAS BEEN OBTAINED FROM ALL RESPECTIVE AUTHORITIES.

REV	DATE	DESCRIPTION



THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATION AND MEET THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN ON THE ATTACHED DOCUMENT.

QUALIFICATION INFORMATION

Haroon Mulla 10742 BC

REGISTRATION INFORMATION

111091 BC



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MAKE IDEAS HAPPEN
205 Advance Blvd Brampton ON L6T 4V5
(647) 770-3230 info@weDesignBuild.ca
www.weDesignBuild.ca

PROJECT TITLE
BASEMENT APARTMENT AS SECOND UNIT

PROJECT ADDRESS
125 SUNNY MEADOW BOULEVARD BRAMPTON

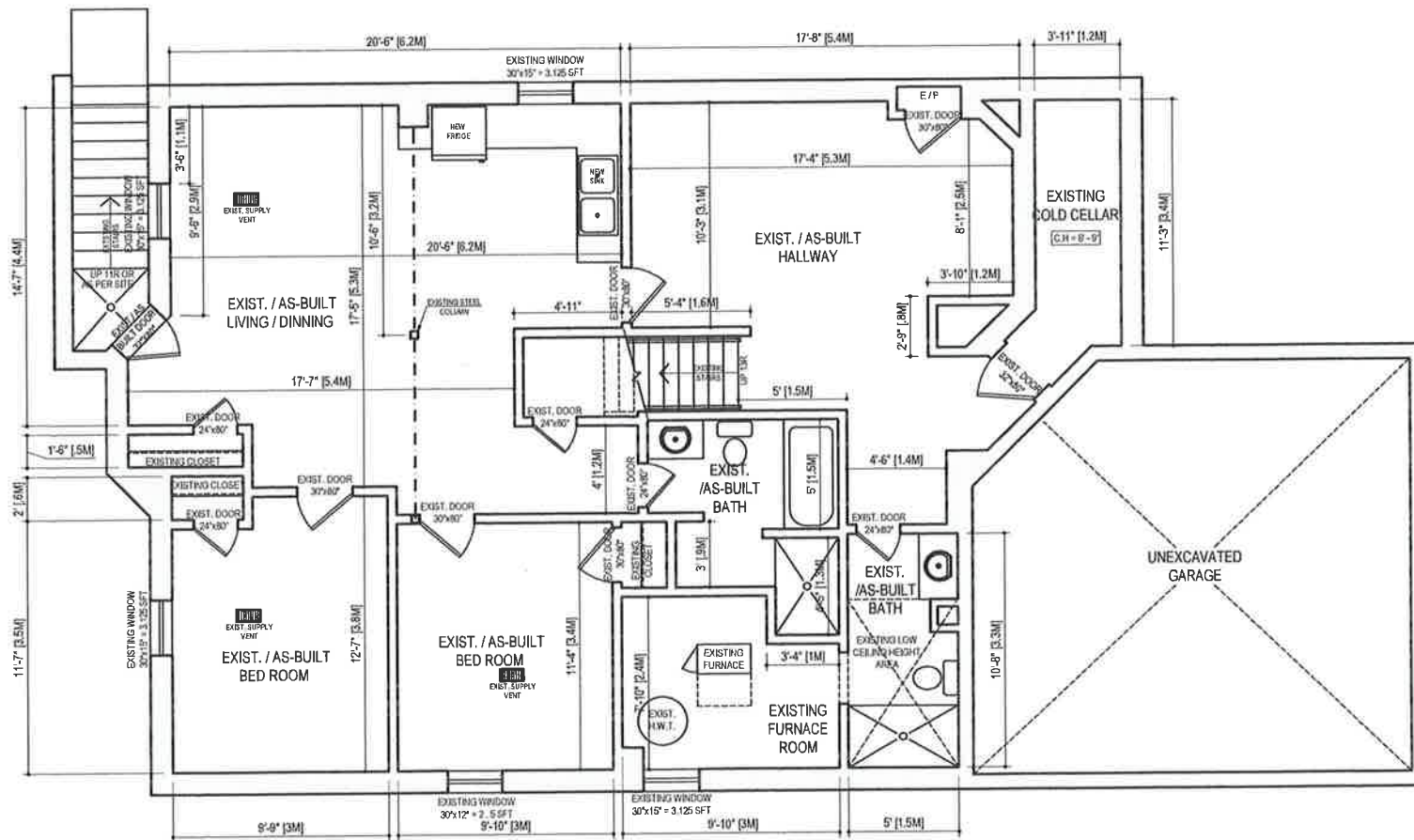
DRAWING TITLE
SITE PLAN

PROJECT NO.
20220912

DRAWN M.N.	CHECKED H.M.
----------------------	------------------------

DRAWING NO.
A102

DATE MODIFIED
JAN. 10, 2023



EXISTING / AS-BUILT BASEMENT FLOOR PLAN

SCALE: 1/8" = 1'-0"

EXISTING WALLS

GENERAL NOTES:

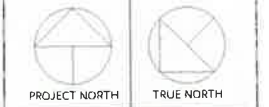
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REV DATE DESCRIPTION

REV	DATE	DESCRIPTION



THE USER ASSUMES ALL REVIEWED AND STATES RESPONSIBILITY FOR THE DESIGN AND HAS THE QUALIFICATION AND MEET THE REQUIREMENTS SET OUT BY THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN ON THE ATTACHED DOCUMENTS.

QUALIFICATION INFORMATION

Haroon Malik
 Name: 102143
 REGISTRATION INFORMATION
 10/06/2016 12:00:00 AM 10/06/2016 12:00:00 AM
 WeDesignBuild Inc. 133071
 Proj Name: 102143

weDesignBuild Inc.
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 205 Avance Blvd Brampton ON L6T 4V9
 (647) 770 3230 info@weDesignBuild.ca
 www.weDesignBuild.ca

PROJECT TITLE
BASEMENT APARTMENT AS SECOND UNIT

PROJECT ADDRESS
125 SUNNY MEADOW BOULEVARD BRAMPTON

DRAWING TITLE
EXIST. BASEMENT FLOOR PLAN

PROJECT NO.
20220912

DRAWN
M.N.

CHECKED
H.M.

DRAWING NO.
A103

DATE MODIFIED
DEC 14, 2022

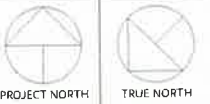
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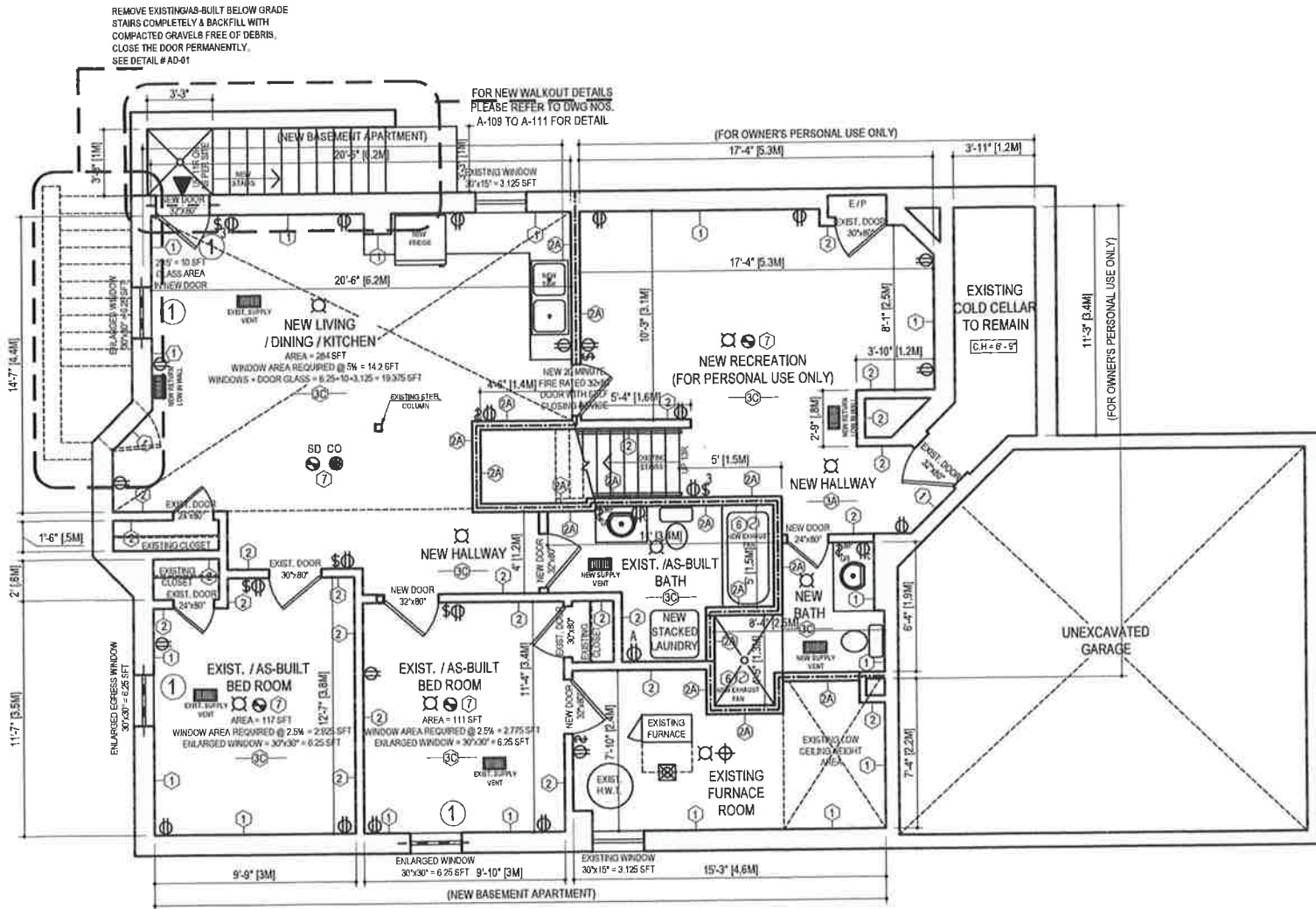
ANY DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE DESIGNER SHALL BE CONSULTED FOR CLARIFICATION IF THE SITE CONDITIONS ENCOUNTERED ARE DIFFERENT THAN SHOWN IN THE DRAWINGS. IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES OR IF A QUESTION ARISES OVER THE INTERPRETATION OF THE PLANS OR NOTES, CONTRACTOR SHALL VERIFY AND SHALL BE RESPONSIBLE FOR ALL CONSEQUENCES INCLUDING SOUPRISE DRAWINGS ETC. CONSTRUCTION SHALL ONLY COMMENCE AFTER PERMITS APPROVAL HAS BEEN OBTAINED FROM ALL RESPECTIVE AUTHORITIES.

REV	DATE	DESCRIPTION



THE ENGINEER HAS REVIEWED AND TAKES RESPONSIBILITY FOR THE DESIGN AND HAS THE QUALIFICATION AND MEET THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN ON THE ATTACHED DOCUMENTS QUALIFICATION INFORMATION

Harper Mack REGISTRATION INFORMATION
 REG. NO. 111001
 111001
 111001



REMOVE EXISTING AS-BUILT BELOW GRADE STAIRS COMPLETELY & BACKFILL WITH COMPACTED GRAVELS FREE OF DEBRIS. CLOSE THE DOOR PERMANENTLY. SEE DETAIL #AD-01

FOR NEW WALKOUT DETAILS PLEASE REFER TO DWG NOS. A-108 TO A-111 FOR DETAIL

PLEASE SEE DRAWING NO. A101 FOR GENERAL NOTES AND SCHEDULES

7 INTERCONNECTED AND WIRED SMOKE + STROBE (VISUAL SIGNALING DEVICE) ALARMS AT EACH FLOOR INCLUDING FINISHED BASEMENT - AS PER OBC 9.10.19

1 PROVIDE 125x90x8 (mm) STEEL LINTEL FOR 90MM BRICK VENEER AND 2-36x238 (mm) WOOD LINTEL SPF NO. 1 OR 2. TACBOC DWS, G02b FOR REFERENCE

MINIMUM BEARING OF STEEL LINTEL = 150MM, 6 INCH

NEW AS-BUILT BASEMENT APARTMENT PLAN

SCALE : 1/8" = 1'-0"

BASEMENT APARTMENT AREA : 776 SFT. / 72.09 M²
 LANDLORD USE BASEMENT FINISH AREA : 438 SFT. / 40.69 M²
 CEILING HEIGHT = 7'-6"

- EXISTING WALLS
- PROVIDE 1/2" TYPE X DRYWALL ON NEW OR EXISTING WALL
- NEW WALLS

weDesignBuild Inc.
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205 Advance Blvd Brampton ON L7Y 4V9
 (647) 770 3230 info@weDesignBuild.ca
 www.weDesignBuild.ca

PROJECT TITLE
BASEMENT APARTMENT AS SECOND UNIT

PROJECT ADDRESS
125 SUNNY MEADOW BOULEVARD BRAMPTON

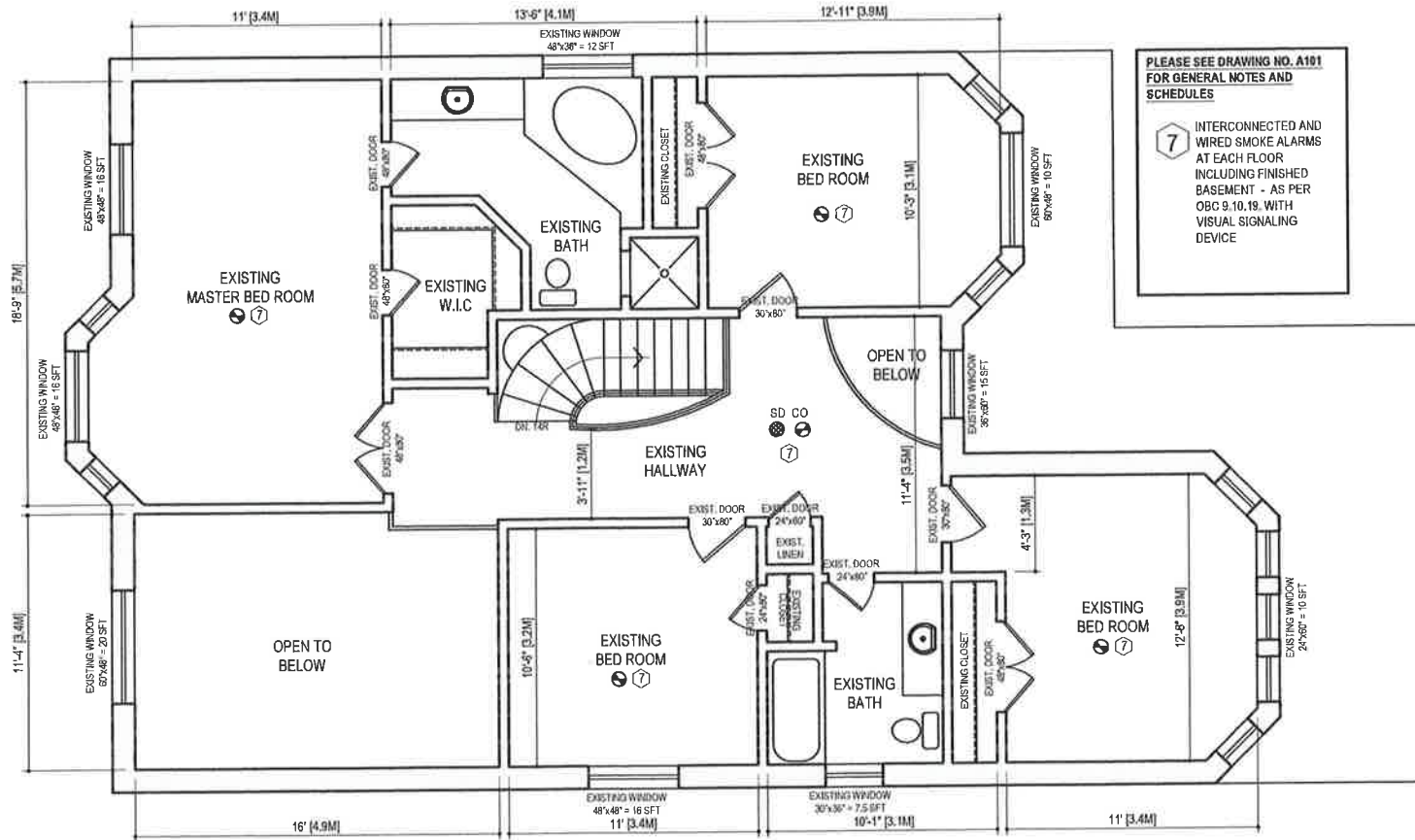
DRAWING TITLE
NEW BASEMENT FLOOR PLAN

PROJECT NO.
20220912

DRAWN M.N.	CHECKED H.M.
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DRAWING NO.
A104

DATE MODIFIED
 DEC 14, 2022



PLEASE SEE DRAWING NO. A101 FOR GENERAL NOTES AND SCHEDULES

7 INTERCONNECTED AND WIRED SMOKE ALARMS AT EACH FLOOR INCLUDING FINISHED BASEMENT - AS PER OBC 9.10.19 WITH VISUAL SIGNALING DEVICE

EXISTING SECOND FLOOR PLAN

SCALE: $\frac{1}{8}" = 1'-0"$
 SECOND FLOOR AREA = 1451 SFT. / 134.80 M²
 CEILING HEIGHT = 8'-0"

EXISTING WALLS

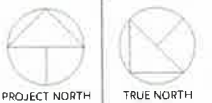
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REV DATE DESCRIPTION



THE UNDERSIGNED HAS REVIEWED THESE RESPONSIBILITIES FOR THE DESIGN AND HAS THE QUALIFICATION AND MET THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN FOR WORK SHOWN ON THE ATTACHED DOCUMENTS.

REGISTRATION INFORMATION
 Name: Haroon Mulla
 REGISTRATION NUMBER: 103723
 DESIGNER'S SIGNATURE: [Signature]



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205 Aoyanac Blvd Brampton ON L6T 4V5
 (647) 770 3230 info@weDesignBuild.ca
 www.weDesignBuild.ca

PROJECT TITLE
BASEMENT APARTMENT AS SECOND UNIT

PROJECT ADDRESS
125 SUNNY MEADOW BOULEVARD BRAMPTON

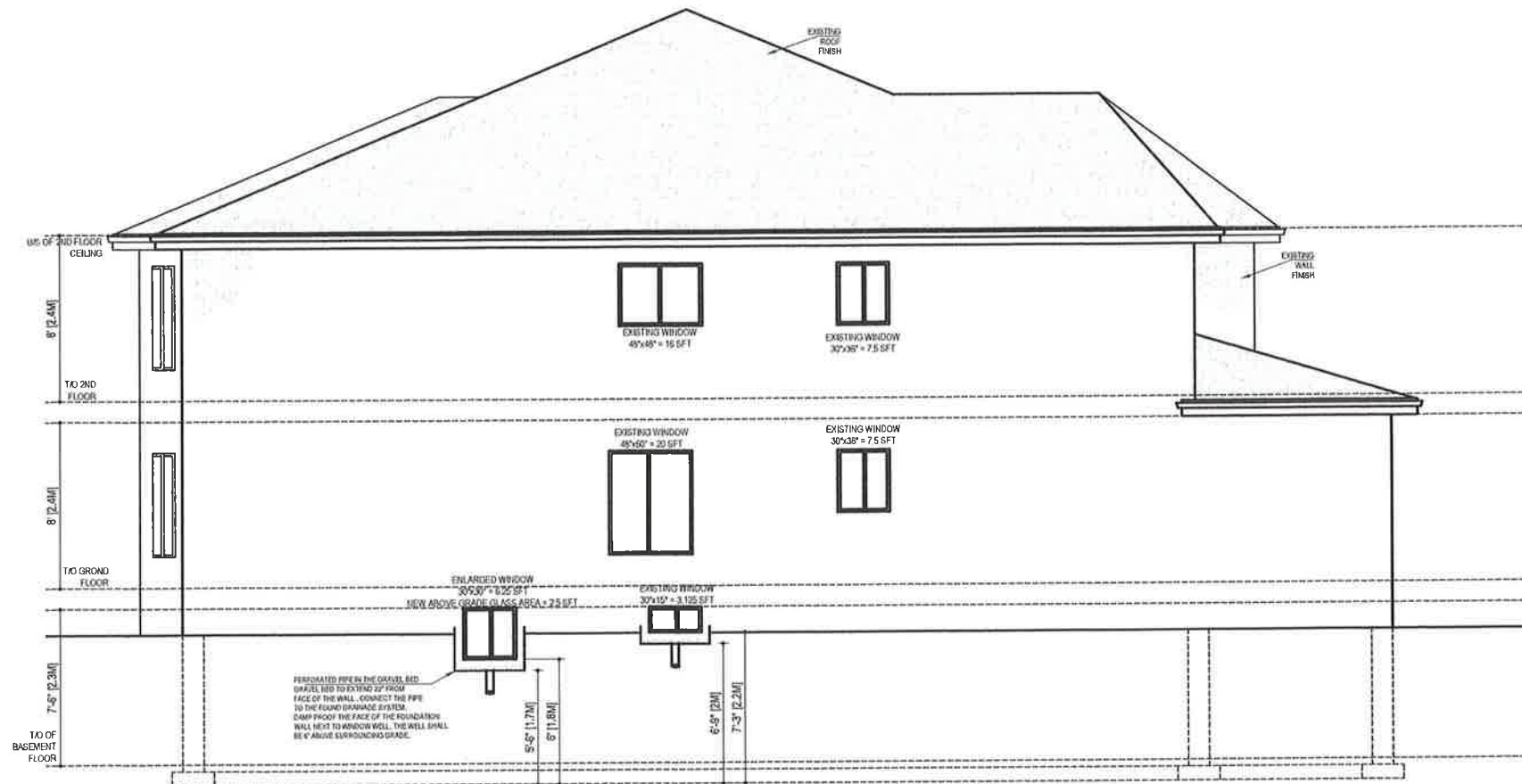
DRAWING TITLE
EXIST. SECOND FLOOR PLAN

PROJECT NO.
20220912

DRAWN: M.N. CHECKED: H.M.

DRAWING NO.
A106

DATE MODIFIED
 DEC 14, 2022



NEW / EXISTING LEFT SIDE ELEVATION

SCALE : 1/8" = 1'-0"

GLAZED OPENINGS:

WALL AREA: 1030 SFT / 95.69 M²

LIMITING DISTANCE = 1.26 M

WINDOW AREA PROVIDED: 16+7.5+20+7.5+2.5+3.125

= 56.625 SFT / 5.26 M² (5.49%)

WINDOW AREA ALLOWED: 07%

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REV	DATE	DESCRIPTION



PROJECT NORTH



TRUE NORTH

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QUALIFICATION INFORMATION
 WEDESIGNBUILD INC. (INCORPORATED IN ONTARIO) REG. P. 1331 OF THE BUILDING CODE
 Name: **Haroon Malik** 102743
 ID No: **102743**
 REG. NO. OF THE DESIGNER: **102743**
 REG. NO. OF THE FIRM: **111001**
 REG. NO. OF THE PROJECT: **111001**



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 www.weDesignBuild.ca

PROJECT TITLE
BASEMENT APARTMENT AS SECOND UNIT

PROJECT ADDRESS
125 SUNNY MEADOW BOULEVARD BRAMPTON

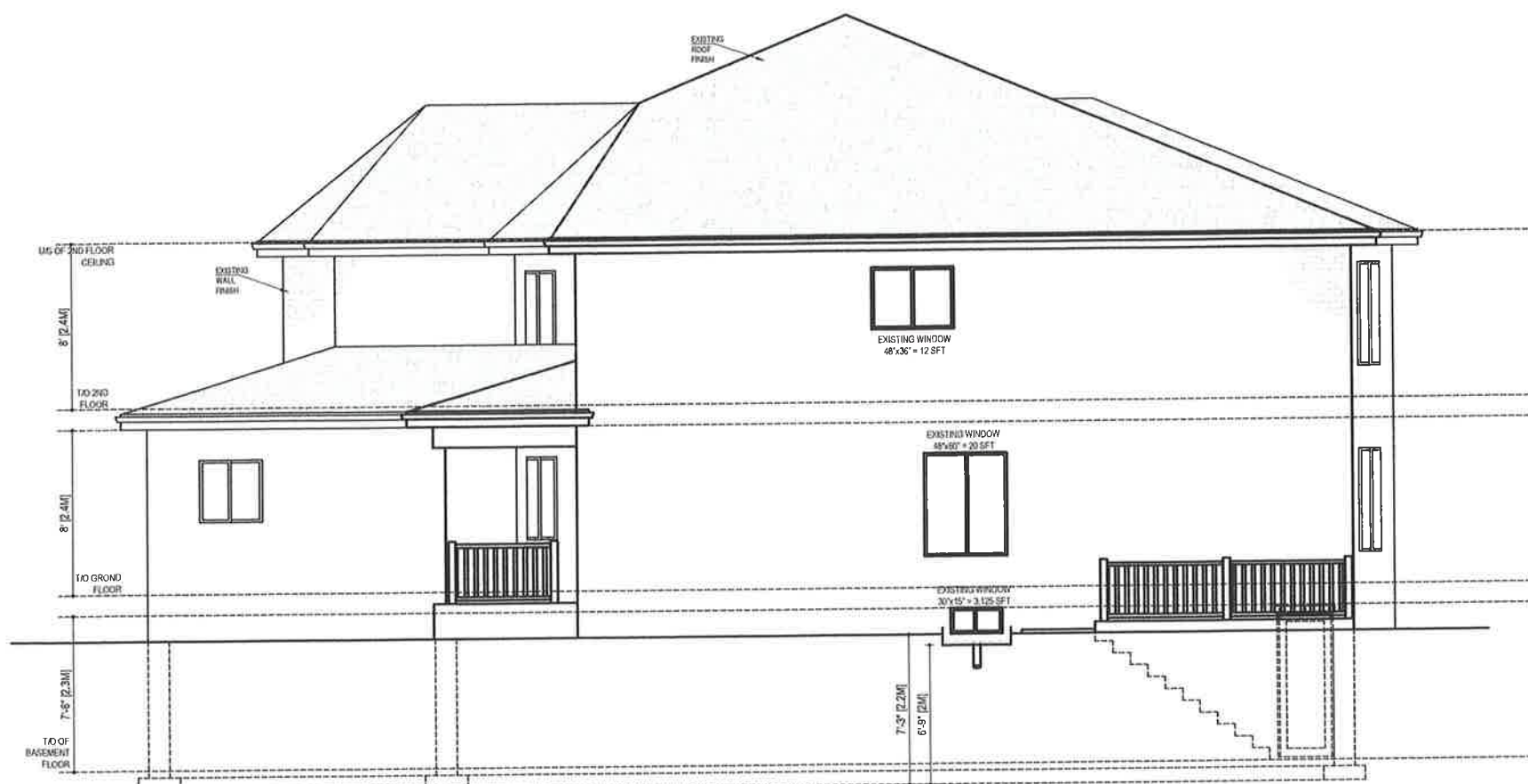
DRAWING TITLE
LEFT SIDE ELEVATION

PROJECT NO.
20220912

DRAWN M.N.	CHECKED H.M.
----------------------	------------------------

DRAWING NO.
A107

DATE MODIFIED
 DEC 14, 2022



NEW / EXISTING RIGHT SIDE ELEVATION
 SCALE : $\frac{1}{8}'' = 1'-0''$
 GLAZED OPENINGS:
 WALL AREA: 719 SFT / 66.79 M²
 LIMITING DISTANCE = 1.26 M
 WINDOW AREA PROVIDED: 12+20+3.125
 = 35.125 SFT / 3.26 M² (4.88%)
 WINDOW AREA ALLOWED: 07%

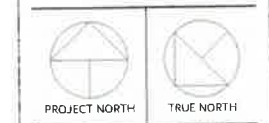
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REV	DATE	DESCRIPTION



THE ENGINEER HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND THE CONSULTANT HAS MET THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE FOR DESIGN FOR MOBILE HOMES AND ATTACHED UNITS.

QUALIFICATION INFORMATION
 Registered under the Engineering Act, R.S.O. 1990, c. 191
 Professional Member No. 202743
 Name: H.M.
REGISTRATION INFORMATION
 Registered under the Building Code Act, R.S.O. 1990, c. 191
 Name: M.N.
 No. 111001
 Exp. Date: N/A

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 205 Advance Blvd Brampton ON L6T 4V9
 (647) 770 3730 info@weDesignBuild.ca
 www.weDesignBuild.ca

PROJECT TITLE
 BASEMENT APARTMENT AS SECOND UNIT

PROJECT ADDRESS
 125 SUNNY MEADOW BOULEVARD BRAMPTON

DRAWING TITLE
 RIGHT SIDE ELEVATION

PROJECT NO.
 20220912

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----------------------	------------------------

DRAWING NO.
A108

DATE MODIFIED
 DEC 14, 2022

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REV	DATE	DESCRIPTION



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QUALIFICATION INFORMATION

Professional Name: **M. N. N.**
 Registration Number: **102293**
 Registration Information: **11/2018 - 11/2023**
 Professional Designation: **Professional Engineer**
 Professional Association: **Professional Engineers Ontario**

PROFESSIONAL ENGINEER
 M. N. N.
 11 - 5711
 1055 AVE
 TORONTO, ONT. M2H 3L9
 DEC 14, 2022
 PROVINCE OF ONTARIO



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 205 Advance Blvd Brampton ON L6T 4V9
 (647) 770 3230 info@weDesignBuild.ca
 www.weDesignBuild.ca

PROJECT TITLE
 BASEMENT APARTMENT
 AS SECOND UNIT

PROJECT ADDRESS
 125 SUNNY MEADOW
 BOULEVARD BRAMPTON

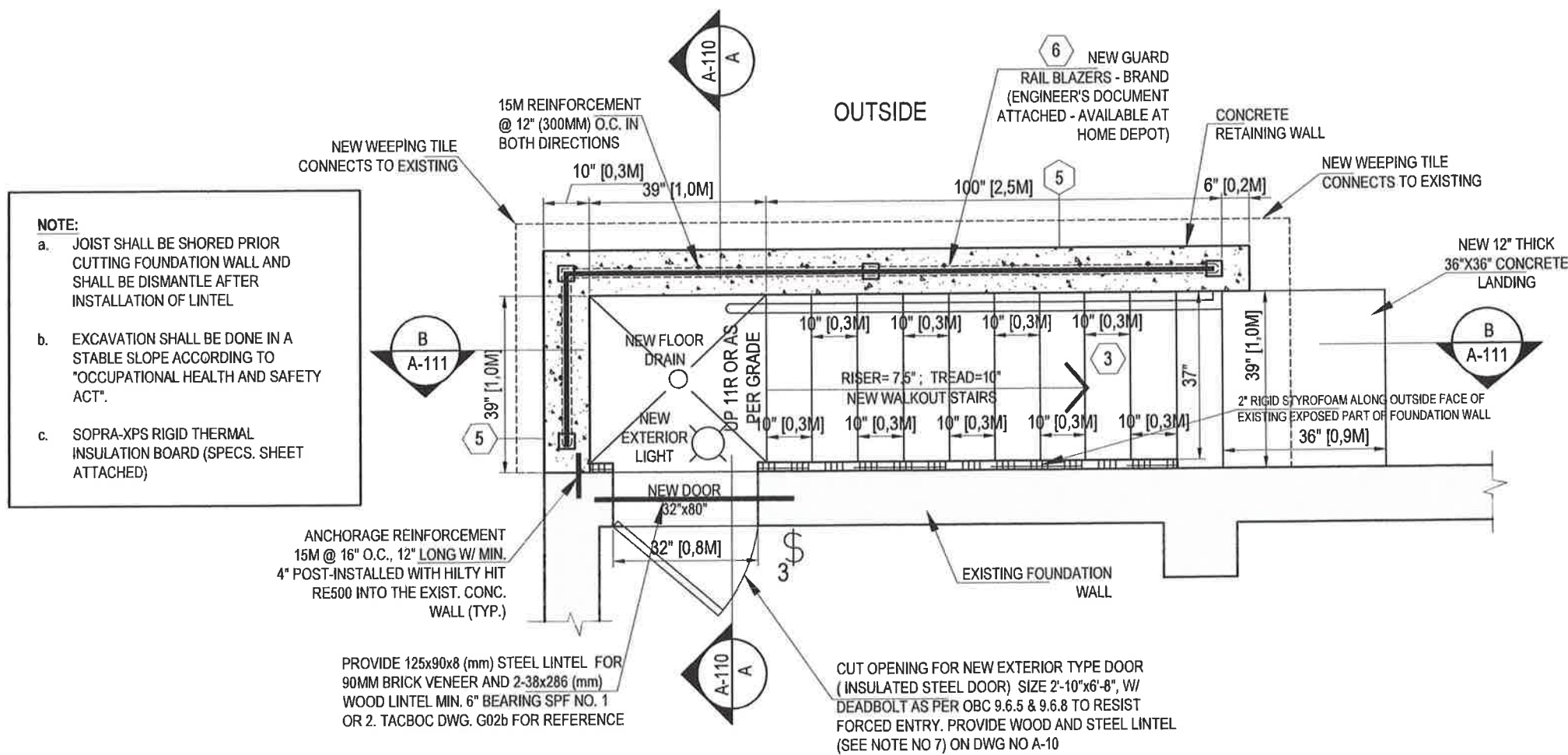
DRAWING TITLE
 WALKOUT STAIR
 DETAIL

PROJECT NO.
 20220912

DRAWN M.N.	CHECKED H.M.
----------------------	------------------------

DRAWING NO.
A109

DATE MODIFIED
 DEC 14, 2022



NOTE:

- JOIST SHALL BE SHORED PRIOR CUTTING FOUNDATION WALL AND SHALL BE DISMANTLE AFTER INSTALLATION OF LINTEL
- EXCAVATION SHALL BE DONE IN A STABLE SLOPE ACCORDING TO "OCCUPATIONAL HEALTH AND SAFETY ACT".
- SOPRA-XPS RIGID THERMAL INSULATION BOARD (SPECS. SHEET ATTACHED)

WALKOUT PLAN

SCALE 3/8"=1'

FOR DETAILS, PLEASE SEE DRAWINGS A-110 & A-111

NEW AS-BUILT BASEMENT INSIDE

GENERAL NOTES

- ALL WORK ACCORDING TO ONTARIO BUILDING CODE 2012 AND CITY OF BRAMPTON BY-LAWS
- ALL WORKING ACCORDING TO GOOD CONSTRUCTION PRACTICES
- ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OR COMPACTED GRANULAR FILL WITH A MINIMUM BEARING CAPACITY OF 75 KPA
- WHERE THE FOUNDATIONS OF A BUILDING ARE TO BE CONSTRUCTED BELOW THE LEVEL OF THE FOOTINGS OF AN ADJACENT BUILDING AND WITHIN THE ANGLE OF REPOSE OF THE SOIL, OR THE UNDERPINNING EXCEEDS 1200mm OF LATEROALLY UNSUPPORTED HEIGHT OR THE SOIL IS CLAY OR SILT, THE UNDERPINNING & RELATED CONSECUTION SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER.
- EXCAVATION SHALL BE UNDERTAKEN IN A MANNER SO AS TO PREVENT MOVEMENT WHICH WOULD CAUSE DAMAGE TO ADJACENT PROPERTIES, STRUCTURES, UTILITIES, ROADS & SIDEWALKS. CONTACT YOUR LOCAL UTILITIES PRIOR TO COMMENCING EXCAVATION.
- SHORE & BRACE WHERE NECESSARY TO ENSURE THE SAFETY & STABILITY OF THE EXISTING STRUCTURE DURING UNDERPINNING.

CONCRETE

1. MINIMUM COMPRESSIVE STRENGTH OF CONCRETE 32MPa @ 28 DAYS W/5% TO 8% AIR ENTRAINMENT.
2. MINIMUM YIELD STRENGTH OF STEEL 60 KSI.

3. EXTERIOR STAIRS

RISE 7 7/8" MAXIMUM 4 7/8" MINIMUM
 RUN 8 1/2" MINIMUM 14" MAXIMUM
 TREAD 10" MINIMUM 14" MAXIMUM
 ADJUST STEP SIZE TO SUIT SITE
 ALL SIZES SHALL CONFIRM TO O.B.C.
 TABLE 9.8.4.1

4. INSULATION

- 4a. MIN. RSI 2.11 (R12) INSULATION & VAPOR BARRIER ON THE INSIDE FACE OF THE EXPOSED FOUNDATION WALL.
- 4b. 4" RIGID STYROFOAM UNDER STAIR SLAB, LOWER LANDING AND OUTSIDE FACE OF RETAINING WALLS

5. RETAINING WALL

10" POURED CONCRETE WALL W/NO REINFORCING REQUIRED FOR WALL HEIGHTS TO A MAX. OF 1200mm, UNLESS MENTIONED OTHERWISE.

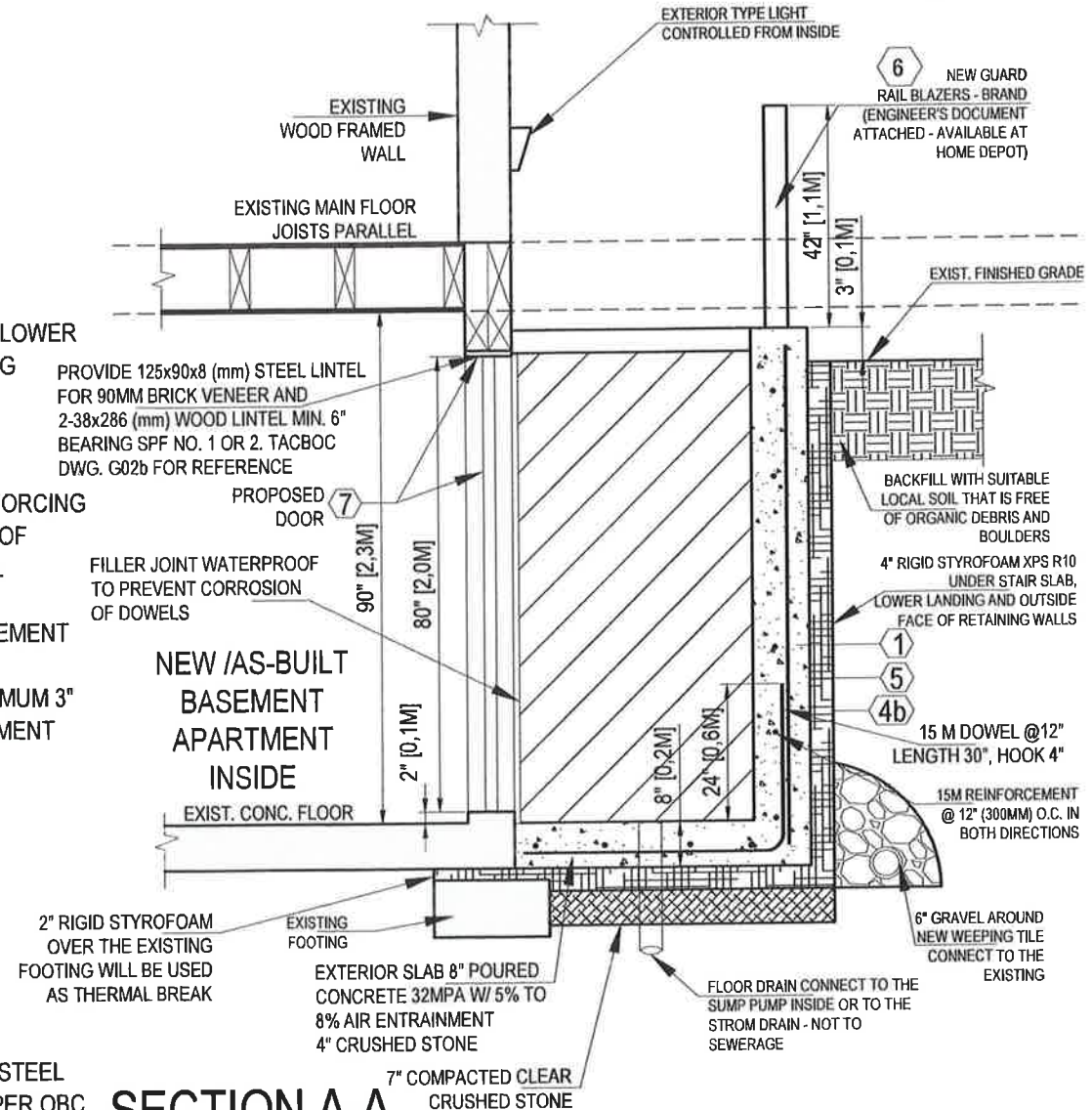
PROVIDE 15M VERTICAL STEEL REINFORCEMENT @ 12" O.C. AND 10M DISTRIBUTION REINFORCEMENT @ 12" O.C. PROVIDE MINIMUM 3" CONCRETE COVER FOR MAIN REINFORCEMENT PLACED TOWARD EARTH SIDE

6. GUARDS -

42" HIGH WHERE DISTANCE FROM GRADE TO BOTTOM OF WALKOUT EXCEEDS 5'-11"
 36" FOR LESSER HEIGHTS. MAXIMUM 4" BETWEEN VERTICAL PICKETS

7. EXTERIOR DOOR

EXTERIOR TYPE DOOR (42MM INSULATED STEEL DOOR) SIZE 2'-8"x6'-8", W/ DEADBOLT AS PER OBC 9.6.5 & 9.6.8 TO RESIST FORCED ENTRY.



SECTION A-A

SCALE 3/8" = 1'

GENERAL NOTES:

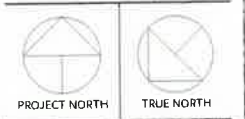
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THE BUILDER SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THE INFORMATION PROVIDED IN THESE DRAWINGS BEFORE START OF ANY JOB AT SITE. WORK NOT SPECIFICALLY DETAILED HEREIN SHALL BE EXECUTED TO THE SAME QUALITY & SAME STANDARDS THAT ARE MENTIONED FOR SIMILAR WORK. ALL WORKS SHALL BE DONE IN ACCORDANCE WITH CURRENT ONTARIO BUILDING CODE & RESPECTIVE CITY'S ZONING BY-LAWS AND TYPED CODES.

WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES THE DESIGNER SHALL BE CONSULTED FOR CLARIFICATION OF THE SITE CONDITIONS ENCOUNTERED ARE DIFFERENT THAN SHOWN IN THE DRAWINGS OR DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, CONTRACTOR SHALL VERIFY AND SHALL BE RESPONSIBLE FOR ALL DIMENSIONS INCLUDING ROUGH OPENINGS ETC. CONSTRUCTION SHALL ONLY COMMENCE AFTER PERMIT APPROVAL HAS BEEN OBTAINED FROM ALL RESPECTIVE AUTHORITIES.

REV DATE DESCRIPTION

REV	DATE	DESCRIPTION



THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THE DESIGN AND HOLD THE QUALIFIER RESPONSIBLE TO DESIGN THE WORK SHOWN ON THE ATTACHED DOCUMENTS. QUALIFICATION INFORMATION: Haroon Mulla, P. Eng. REGISTRATION INFORMATION: 107742, 10074899, 111003.



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PROJECT TITLE
BASEMENT APARTMENT AS SECOND UNIT

PROJECT ADDRESS
125 SUNNY MEADOW BOULEVARD BRAMPTON

DRAWING TITLE
WALKOUT STAIR DETAIL

PROJECT NO.
20220912

DRAWN BY
M.N. CHECKED BY
H.M.

DRAWING NO.
A110

DATE MODIFIED
DEC 14, 2022



a

b

c

d

e

K1

K3

K2

A-2022-0407