



APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made **ANNA CICIONE** by under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Part of Lots 39 and 40, Plan BR-7 municipally known as **6 MILL STREET SOUTH**, Brampton;

AND WHEREAS the applicant is proposing a one storey rear addition and is requesting the following variances(s):

1. To permit a rear yard setback of 4.71m (15.45 ft.) whereas the by-law requires a minimum rear yard setback of 7.5m (24.60 ft.);
2. To permit a lot coverage of 35.08% whereas the by-law permits a maximum lot coverage of 30%;
3. To permit an existing accessory structure (shed) having a setback of 0.0 metres to the rear and side lot lines whereas the by-law requires an accessory structure to be located no closer than 0.6m (1.97 ft.) to the nearest lot line.

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: _____	NO	File Number: _____
Application for Consent: _____	NO	File Number: _____

The Committee of Adjustment has appointed **TUESDAY, November 10, 2020 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of a Local Planning Appeal Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Local Planning Appeal Tribunal by the applicant or another member of the public.

RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this 29th day of October, 2020.

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment
City Clerk's Office,
Brampton City Hall
2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca

Site stats:

Lot area 2,302 ft²

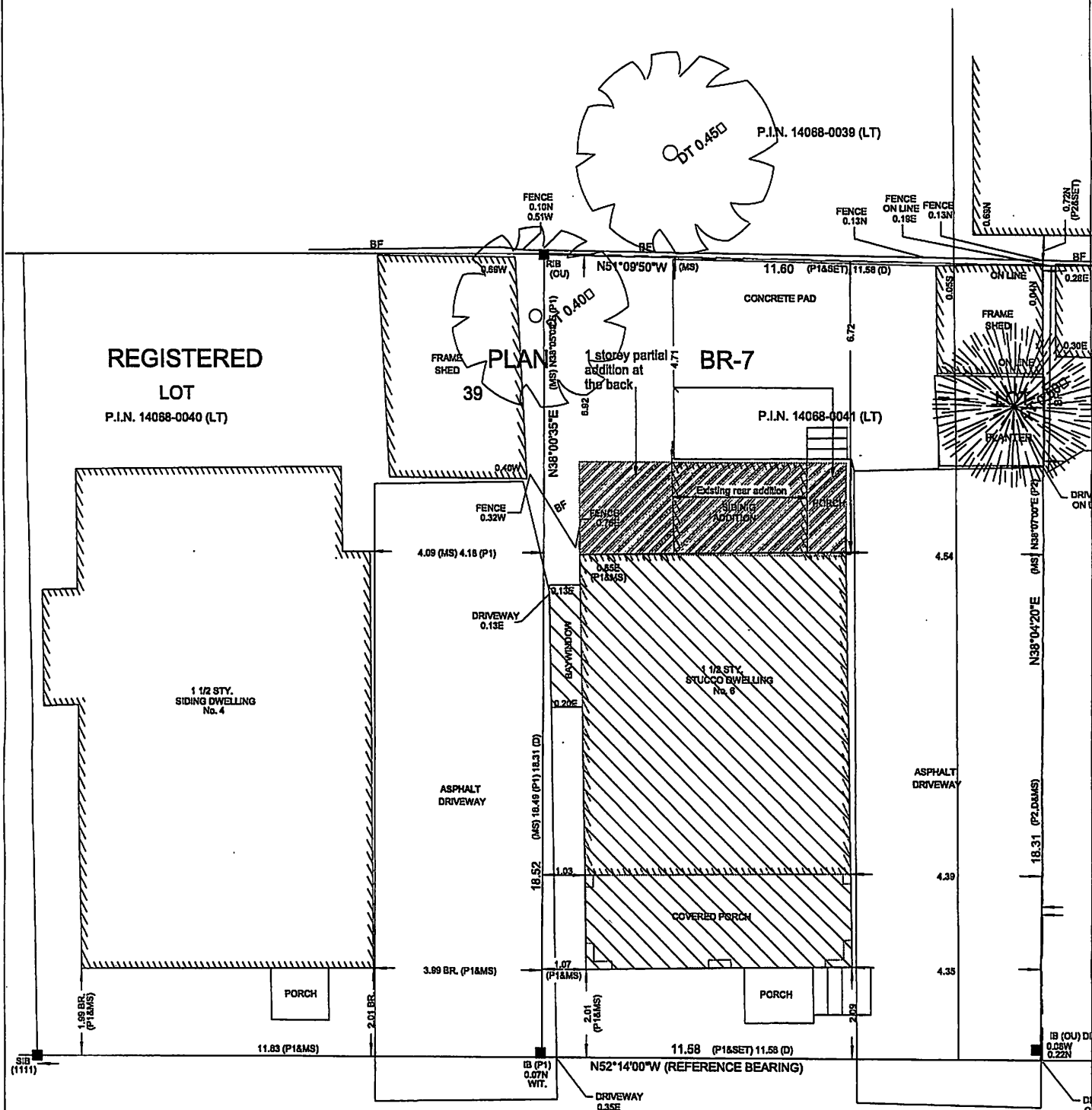
Existing lot coverage (661.49 ft²) = 24.35%

Proposed lot coverage (661.49 + 146.13=807.62ft²) = 35.08%

Total rear addition 75 ft² (6.97 m²)



N



MILL STREET SOUTH

(BY REGISTERED PLAN BR-7 AND BR-6)

P.I.N. 14068-0106 (LT)

① Site/Grade
1 : 100

Drawn By		Date	Revised	Contractor to check and verify all dimensions and conditions on the job and report discrepancies to the designer before proceeding with the works. This drawing is the property of "Eden Engineering & Design" and any use of it should have the designer consent. Drawings are not to be scaled		<p>Eden Engineering & Design Inc. Consulting Engineers</p> <p>34 Pheasant Valley Ct. Markham, ON L3T2H1 Tel : 416-876-0957 Fax : 905-248-3593 E-mail : info@edenengineering.ca</p>	6 Mill St. South Brampton, ON.
Checked By	AY						
Project Issue Date	23.7.2020						

Under the authority of the *Emergency Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically during the COVID-19 Emergency

Electronic Hearing Procedures
How to get involved in the Virtual Hearing

Brampton City Hall is temporarily closed to help stop the spread of COVID-19. In-person Committee of Adjustment Hearings have been cancelled since mid-March 2020. Brampton City Council and some of its Committee are now meeting electronically during the Emergency. The Committee of Adjustment will conduct its meeting electronically until further notice.

How to Participate in the Hearing:

- All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, November 5, 2020**.
- Advance registration for applicants, agents and other interested persons is required to participate in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm, Friday, November 6, 2020**.
 - Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by Friday, **November 6, 2020**. City staff will contact you and provide you with further details.
- All Hearings will be livestreamed on the City of Brampton YouTube account at: <https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or <http://video.isilive.ca/brampton/live.html>.

If holding an electronic rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

AMENDMENT LETTER

October 28, 2020

To: Committee of Adjustment

RE: APPLICATION FOR MINOR VARIANCE
ANNA CICIONE
PART OF LOTS 39 AND 40, PLAN BR-7
A-2020-0108 – 6 MILL STREET SOUTH
WARD 3

Please **amend** application **A-2020-0108** to reflect the following:

1. To permit a rear yard setback of 4.71m (15.45 ft.) whereas the by-law requires a minimum rear yard setback of 7.5m (24.60 ft.);
2. To permit a lot coverage of 35.08% whereas the by-law permits a maximum lot coverage of 30%;
3. To permit an existing accessory structure (shed) having a setback of 0.0 metres to the rear and side lot lines whereas the by-law requires an accessory structure to be located no closer than 0.6m (1.97 ft.) to the nearest lot line.



Applicant/Authorized Agent



The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

- | | |
|--|--|
| 1. Name of Owner(s) <u>Anna Cicione</u> | |
| Address <u>6 Mill St. South Brampton ON. L6Y 1S3</u> | |
| | |
| Phone # <u>416-456-3077</u> | Fax # <u> </u> |
| Email <u>emailme3077@gmail.com</u> | |
| | |
| 2. Name of Agent <u>Albert Yerushalmi (Eden Engineering & Design Inc.)</u> | |
| Address <u>34 Pheasant Valley Ct. Markham, ON. L3T2H1</u> | |
| | |
| Phone # <u>416-876-0957</u> | Fax # <u> </u> |
| Email <u>info@edenengineering.ca</u> | |
| | |
| 3. Nature and extent of relief applied for (variances requested): | |
| <u>The proposed one storey addition of 146 ft2 (13.56 m2) increases the total lot coverage to 35.08% while</u> | |
| <u>the permitted lot coverage in the By-Law is 30%.</u> | |
| | |
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| | |
| 4. Why is it not possible to comply with the provisions of the by-law? | |
| <u>The rear addition is very small but immensely benefits the owner.</u> | |
| <u>The design of the rear addition creates the variance.</u> | |
| | |
| | |
| | |
| 5. Legal Description of the subject land: | |
| Lot Number <u>Parts of lots 39 & 40</u> | |
| Plan Number/Concession Number <u>Registered plan BR-7</u> | |
| Municipal Address <u>6 Mill St. South Brampton ON. L6Y 1S3</u> | |
| | |
| 6. Dimension of subject land (in metric units) | |
| Frontage <u>11.58</u> | |
| Depth <u>18.52</u> | |
| Area <u>213.86 m2</u> | |
| | |
| 7. Access to the subject land is by: | |
| Provincial Highway <input type="checkbox"/> | Seasonal Road <input type="checkbox"/> |
| Municipal Road Maintained All Year <input checked="" type="checkbox"/> | Other Public Road <input type="checkbox"/> |
| Private Right-of-Way <input type="checkbox"/> | Water <input type="checkbox"/> |

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

Existing building measures 9.4 m length x 6.25 m width
Existing GFA 117.5 m2. Total height of the building to the top of the roof is 7.93 m (and that does not change)

PROPOSED BUILDINGS/STRUCTURES on the subject land:

Rear one storey (ground)addition to the building width of 2.21 m length of 6.25 m.

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback	2.01m
Rear yard setback	6.72 m
Side yard setback	4.35 m
Side yard setback	1.03 m

PROPOSED

Front yard setback	2.01 m
Rear yard setback	4.71 m
Side yard setback	4.35 m
Side yard setback	1.03 m

10. Date of Acquisition of subject land: 1980
11. Existing uses of subject property: Residential
12. Proposed uses of subject property: Residential
13. Existing uses of abutting properties: Residential
14. Date of construction of all buildings & structures on subject land: 1960's
15. Length of time the existing uses of the subject property have been continued: From 1960's

16. (a) What water supply is existing/proposed?
Municipal ☒ Other (specify) _____
Well ☐
- (b) What sewage disposal is/will be provided?
Municipal ☒ Other (specify) _____
Septic ☐
- (c) What storm drainage system is existing/proposed?
Sewers ☒ Other (specify) _____
Ditches ☐
Swales ☐

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____



Signature of Applicant(s) or Authorized Agent

DATED AT THE City OF Brampton
THIS 9 DAY OF October, 2020

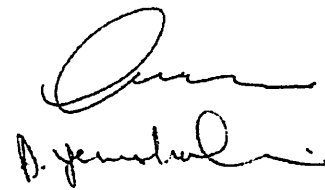
IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Anna Cicione, OF THE City OF Brampton
IN THE Region OF Peel SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton
IN THE Region OF
Peel THIS 9th DAY OF
October, 2020.
April Dela Cerna
A Commissioner etc.



Signature of Applicant or Authorized Agent

April Dela Cerna, ad.
a Commissioner, etc.,
Province of Ontario,
for the Corporation of the
City of Brampton.
Expires May 8, 2021.

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

R1B (Mature)

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.


Zoning Officer

Oct 9, 2020
Date

DATE RECEIVED OCTOBER 9, 2020

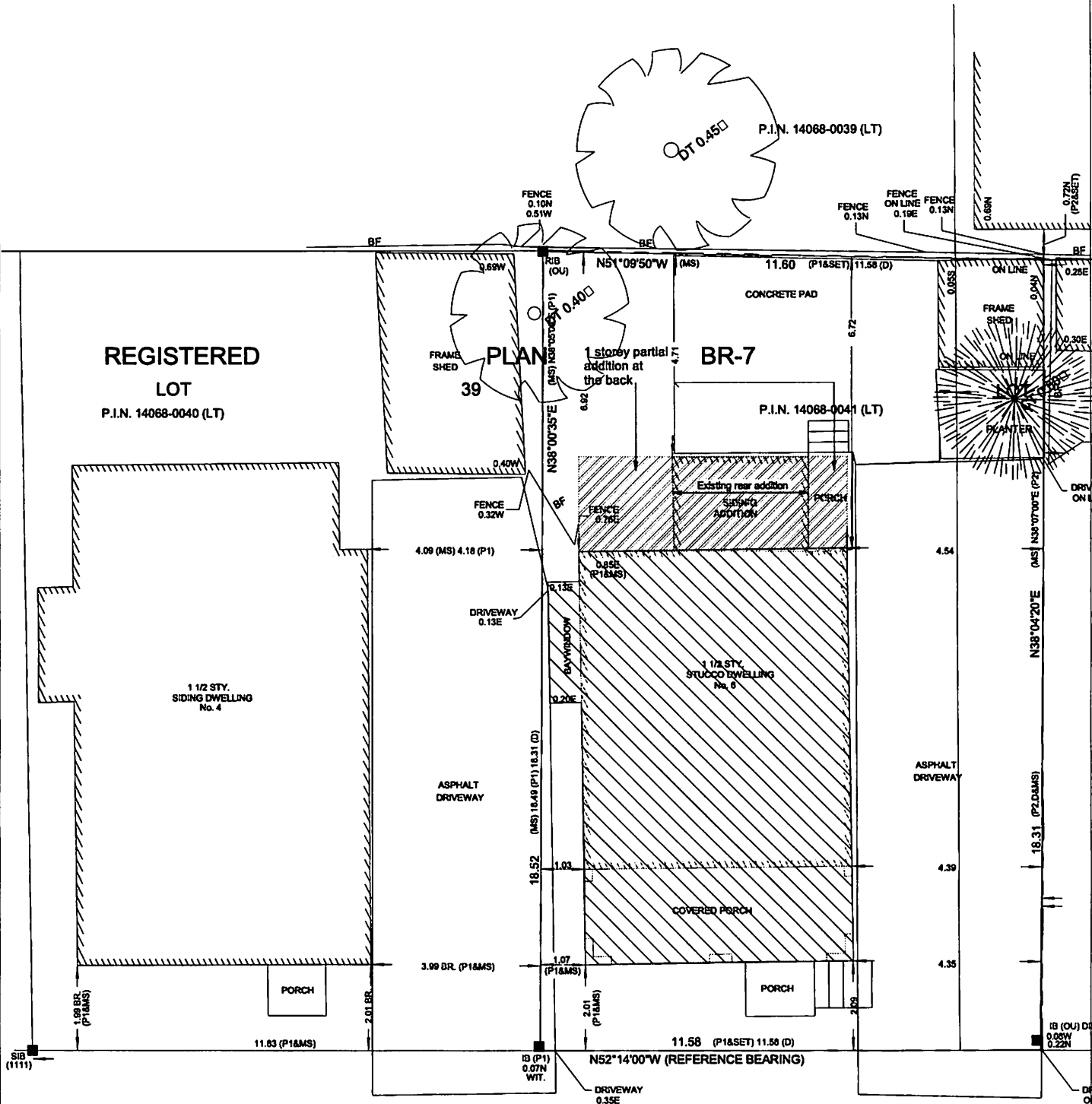
Site stats:

Lot area 2,302 ft2

Existing lot coverage (661.49 ft2) = 24.35%

Proposed lot coverage (661.49 + 146.13=807.62ft2) = 35.08%

Total rear addition 75 ft2 (6.97 m2)



MILL STREET SOUTH

(BY REGISTERED PLAN BR-7 AND BR-8)
P.I.N. 14068-0106 (LT)

1 Site/Grade
1 : 100

Drawn By		Date	Revised	Contractor to check and verify all dimensions and conditions on the job and report discrepancies to the designer before proceeding with the works. This drawing is the property of "Eden Engineering & Design" and any use of it should have the designer consent. Drawings are not to be scaled		<p>Eden Engineering & Design Inc. Consulting Engineers 34 Pheasant Valley Ct. Markham, ON L3T2H1 Tel : 416-876-0957 Fax : 905-248-3593 E-mail : info@edenengineering.ca</p>	6 Mill St. South Brampton, ON. 1
Checked By	AY						
Project Issue Date	23.7.2020						

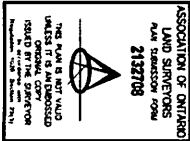
SURVEYOR'S REAL PROPERTY REPORT
PART 1
PART OF LOTS 39 AND 40
REGISTERED PLAN BR-7
IN THE
CITY OF BRAMPTON
(REGIONAL MUNICIPALITY OF PEEI)

SCALE & NOTES
1:100
ALTIMAP LAND SURVEYORS INC.
© COPYRIGHT 2020

METRIC
DISTANCES AND CO-ORDINATES SHOWN ON THIS PLAN ARE IN METRES
AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

BEARING NOTE
BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO NORTH-EASTERY (MUT)
OR MILL STREET SOUTH AS SHOWN ON PLAN BR-7 HAVING A BEARING
OF N52°14'00"W

- LEGEND
- DEMONOTES SURVEY MONUMENT FOUND
 - DEMONOTES SURVEY MONUMENT PLANTED
 - DEMONOTES IRON BAR
 - DEMONOTES SURVEYORS WALL SET IN WASHER
 - DEMONOTES ORIGIN UNKNOWN
 - DEMONOTES CUT CRESS
 - DEMONOTES MARKER
 - DEMONOTES END OF CURVE
 - DEMONOTES TANGENT OF CURVE
 - DEMONOTES POINT OF REVERSE CURVE
 - DEMONOTES OVERHEAD UTILITY CABLES
 - DEMONOTES CONCRETE RETAINING WALL
 - DEMONOTES LIGHT STANDARD
 - DEMONOTES HAZARD ELEVATION
 - DEMONOTES CONCRETE RETAINING WALL
 - DEMONOTES STONE RETAINING WALL
 - DEMONOTES WOOD RETAINING WALL
 - DEMONOTES TOP OF WALL ELEVATION
 - DEMONOTES BOTTOM OF CURB ELEVATION
 - DEMONOTES FOUNDATION
 - DEMONOTES BRICK
 - DEMONOTES SODDING
 - DEMONOTES CHAIN LINK FENCE
 - DEMONOTES BOARD FENCE
 - DEMONOTES FINISHED FLOOR ELEVATION
 - DEMONOTES GARAGE FLOOR ELEVATION
 - DEMONOTES REGISTERED PLAN BR-7
 - DEMONOTES PLAN BY GORDON S. GOOD O.L.S.
 - DEMONOTES PLAN BY GORDON S. GOOD O.L.S.
 - DEMONOTES DATED SEPTEMBER 17, 1990
 - DEMONOTES GORDON S. GOOD O.L.S.
 - DEMONOTES INSTRUMENT R044651



PART 2
REGISTERED EASEMENTS/RIGHTS-OF-WAY - NONE FOUND ON TITLE

ADDITIONAL REMARKS - MAKE NOTE OF THE LOCATION OF FENCES AND
PHYSICAL FEATURES AS DEPICTED ON THE FACE OF THIS PLAN.
THIS PLAN WAS PREPARED FOR ANNA GORDON AND SHE UNDERSIGNED
ASSUMES NO RESPONSIBILITY FOR USE BY OTHER PARTIES

SURVEYOR'S CERTIFICATE

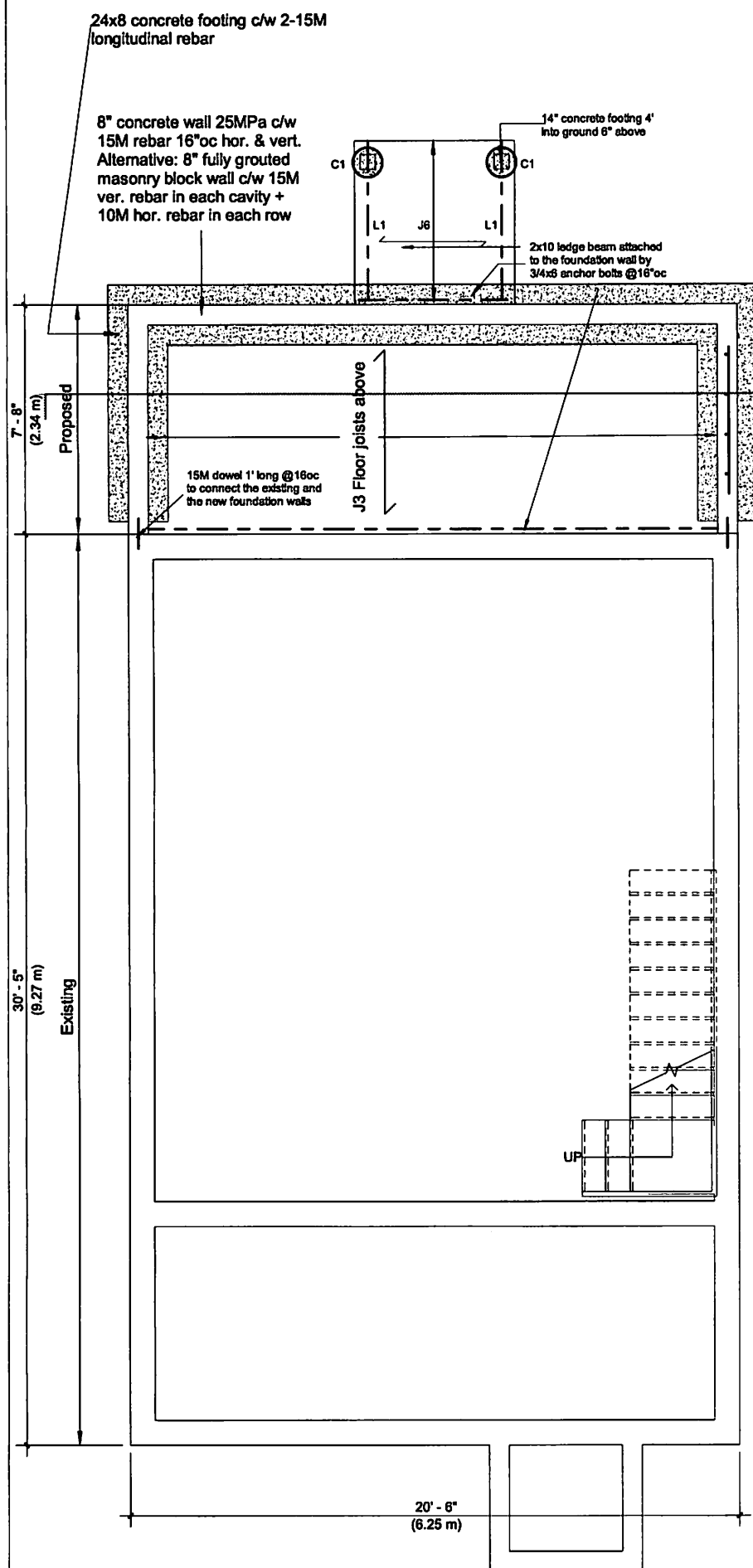
I CERTIFY THAT
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS
ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM;
2. THE SURVEY WAS COMPLETED ON JULY 03, 2020.

JULY 03, 2020

ALTIMAP LAND SURVEYORS INC.

ALTIMAP LAND SURVEYORS INC.

DWN BY: AH
CHK BY: JYC
JOB No.: 20-1326



Structural members :

J1:TJI 560 OR LPI 42 plus 11 7/8 @ 12" OC
J2:TJI 360 or LPI 42 plus 11 7/8 @ 16" OC
J3: 2x8 dim. lum@12"
J4: 2x10 dim. lum@12"
J5: 2x12 dim. lum @12"
J6: 2x8 dim. lum @16"
J7: 2x10 dim. lum@16"
J8: 2x12 dim. lum@16"
B1:1-LVL 117/8-2.0E
B2:2-LVL 117/8-2.0E
B3:3-LVI 117/8-2.0E
B4:4LVL 117/8-2.0E
B5:5LVL 117/8-2.0E
C1:3-2x6 (or 6x6)
C2:4-2x6
C3:5-2x6

C4: 4x4x3/8 HSS c/w 8x8x1/2 PL T&B
C5: 6x6x3/8 HSS c/w 8x8x1/2PL T&B
L1:2-2x8
L2:3-2x8
L3:4-2x8
L4:2-2x10
L5:3-2x10
L6:4-2x10
L7:2-2x12
L8:3-2x12
L9:4-2x12

S1 : 3 1/2" x 3 1/2" x 1/4" (max 4' span)
S2 : 5" x 3 1/2" x 5/16" (7' max span)
S3 : 6" x 4" x 3/8" (9' max span)
S4 : 7" x 4" x 7/16" (12' max span)
S5 : 8" x 4" x 5/8" (14' max span)
S6 : 9" x 4" x 5/8" (16' max span)
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S6 : 9" x 4" x 5/8" (16' max span)
All members shall be so framed, anchored, fastened, tied and braced to provide the necessary strength and rigidity.

The design conforms to
The OBC 2012 incl. amendments.
DL 20 PSF
LL 40 PSF

Basement to be used in conjunction with single family dwelling above. any changes in use will require variances.

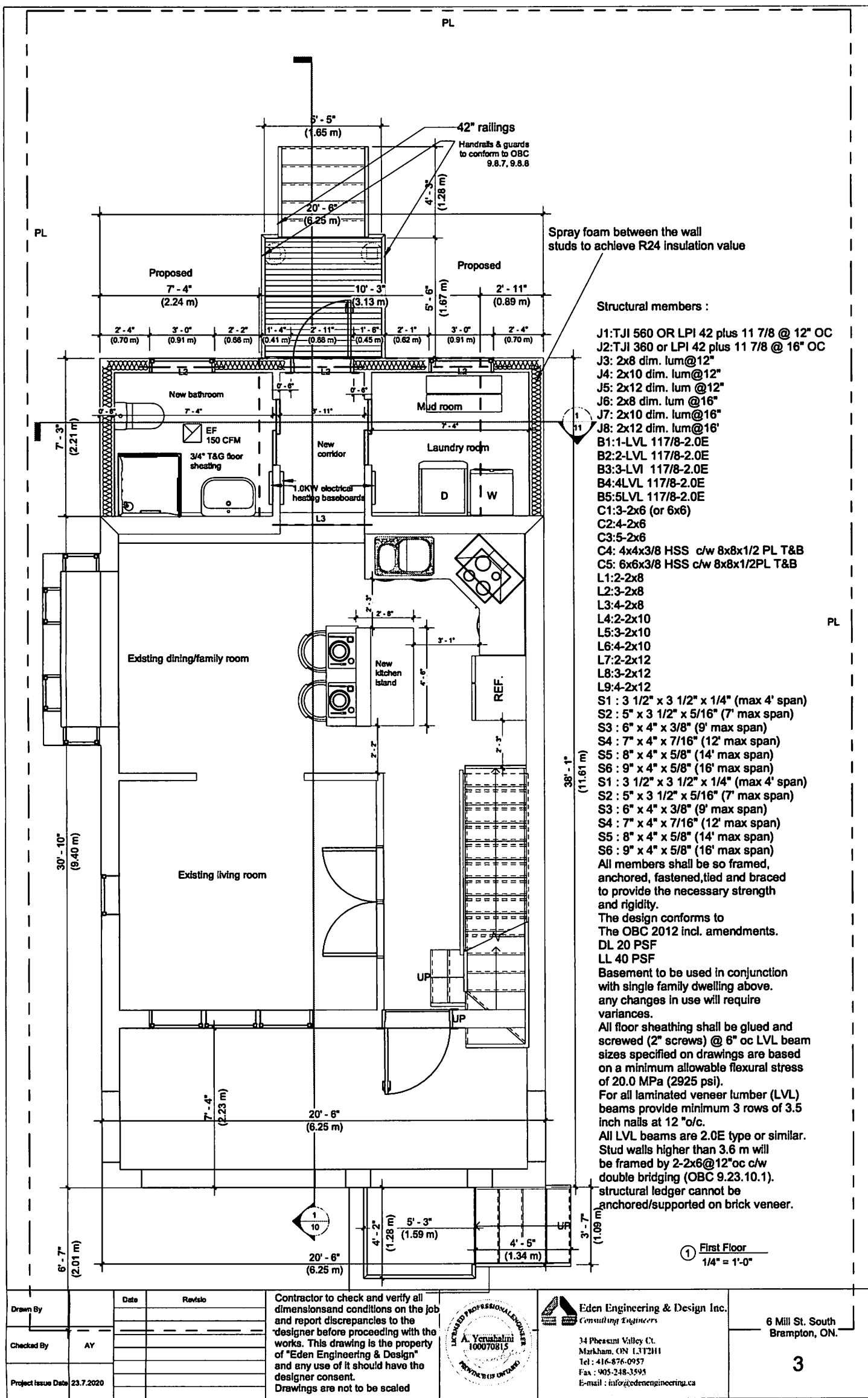
All floor sheathing shall be glued and screwed (2" screws) @ 6" oc LVL beam sizes specified on drawings are based on a minimum allowable flexural stress of 20.0 MPa (2925 psi).

For all laminated veneer lumber (LVL) beams provide minimum 3 rows of 3.5 inch nails at 12 "o/c.

All LVL beams are 2.0E type or similar. Stud walls higher than 3.6 m will be framed by 2-2x6@12"oc c/w double bridging (OBC 9.23.10.1). structural ledger cannot be anchored/supported on brick veneer.

① Basement
1/4" = 1'-0"

Drawn By		Date	Revised	Contractor to check and verify all dimensions and conditions on the job and report discrepancies to the designer before proceeding to the works. This drawing is the property of "Eden Engineering & Design" and any use of it should have the designer consent. Drawings are not to be scaled		<p>Eden Engineering & Design Inc. Consulting Engineers 34 Pleasant Valley Ct. Markham, ON L3T2H1 Tel: 416-876-0957 Fax: 905-248-3595 E-mail: info@edenengineering.ca</p>	6 Mill St. South Brampton, ON.
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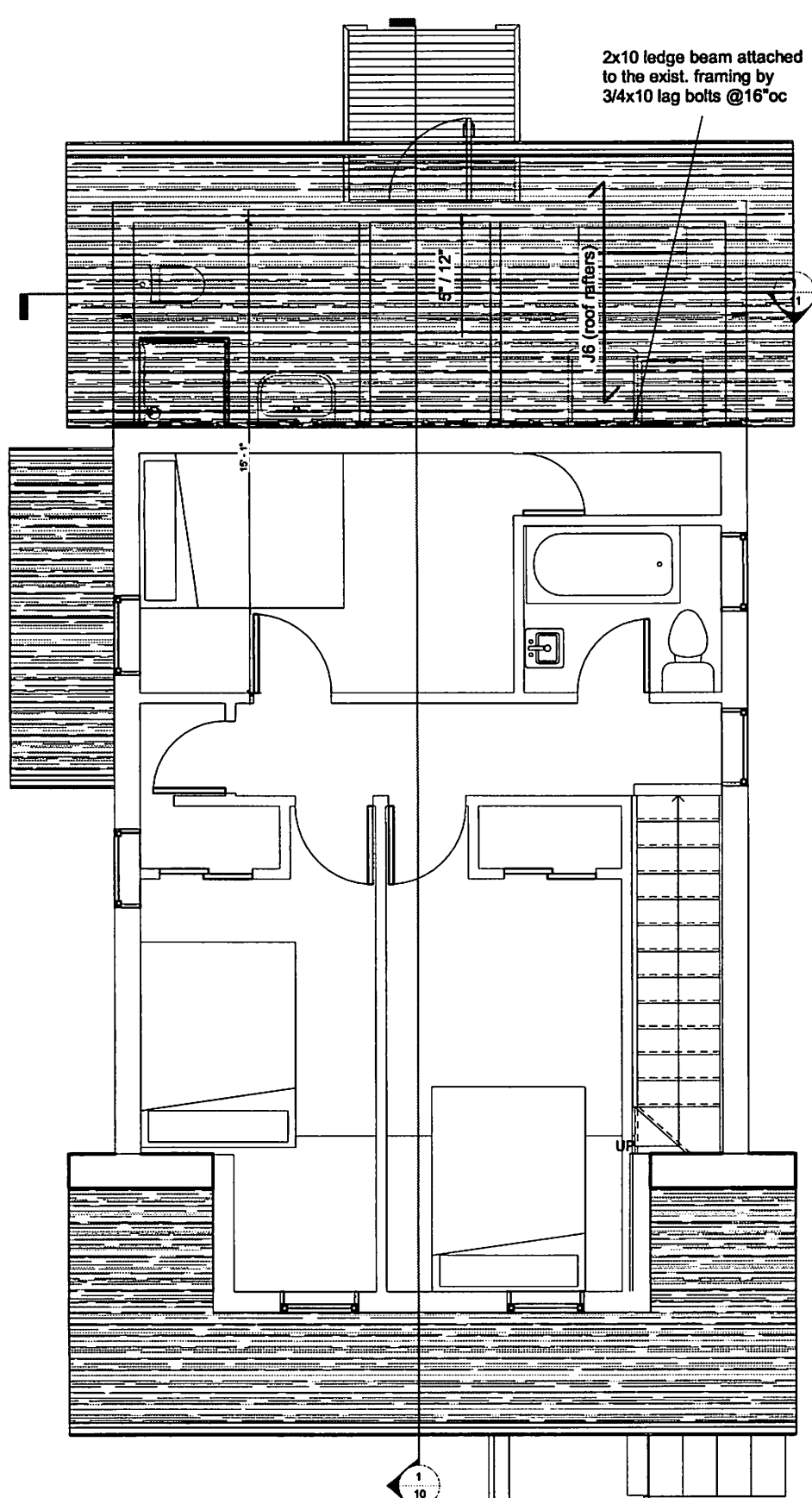
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Consulting Engineers
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Fax: 905-248-3593
E-mail: info@edenengineering.ca



6 Mill St. South
Brampton, ON.
3

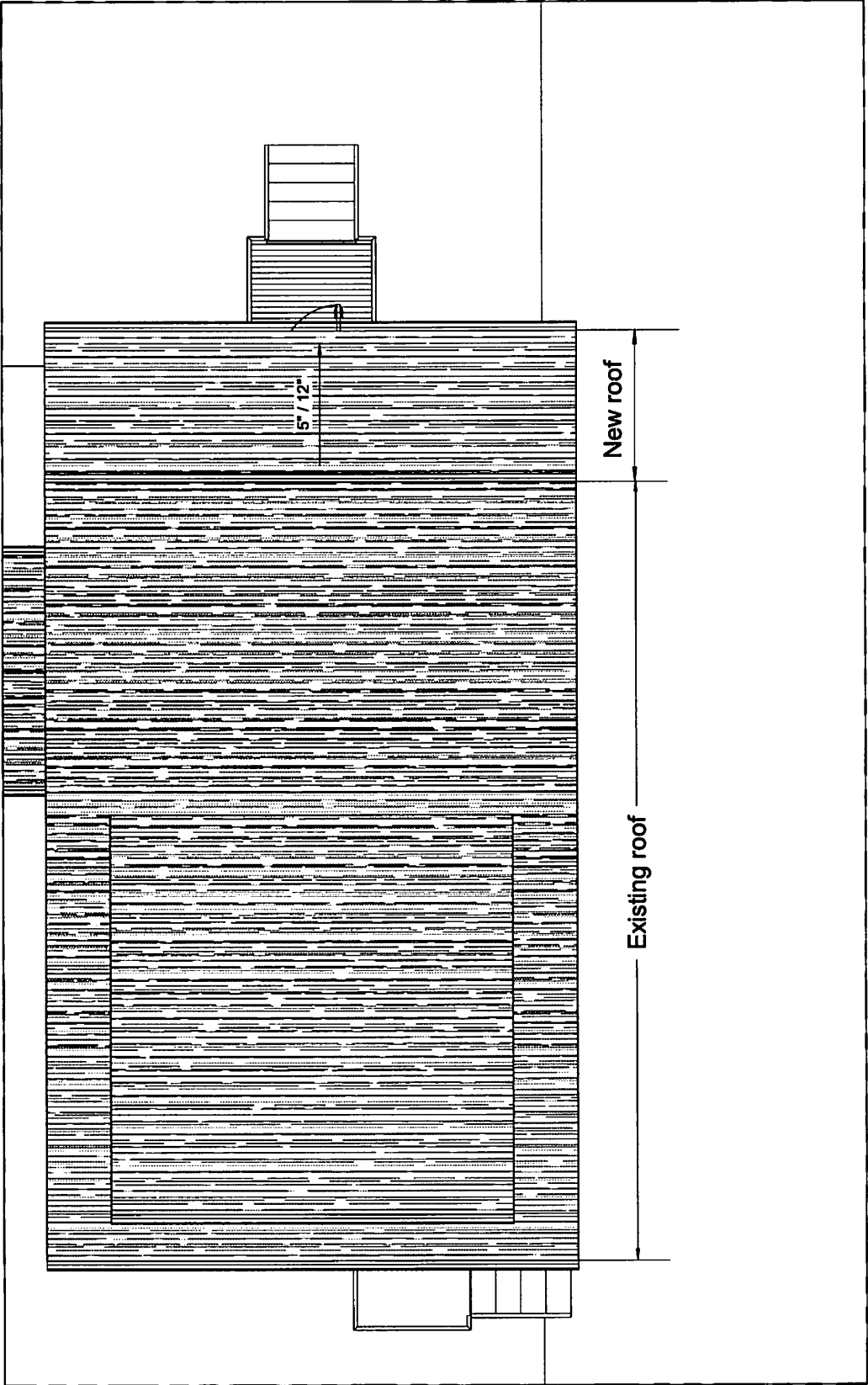



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 - B3:3-LVL 117/8-2.0E
 - B4:4LVL 117/8-2.0E
 - B5:5LVL 117/8-2.0E
 - C1:3-2x6 (or 6x6)
 - C2:4-2x6
 - C3:5-2x6
 - C4: 4x4x3/8 HSS c/w 8x8x1/2 PL T&B
 - C5: 6x6x3/8 HSS c/w 8x8x1/2PL T&B
 - L1:2-2x8
 - L2:3-2x8
 - L3:4-2x8
 - L4:2-2x10
 - L5:3-2x10
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 - L7:2-2x12
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 - L9:4-2x12
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- All floor sheathing shall be glued and screwed (2" screws) @ 6" oc LVL beam sizes specified on drawings are based on a minimum allowable flexural stress of 20.0 MPa (2925 psi).
- For all laminated veneer lumber (LVL) beams provide minimum 3 rows of 3.5 inch nails at 12 "o/c.
- All LVL beams are 2.0E type or similar. Stud walls higher than 3.6 m will be framed by 2-2x6@12"oc c/w double bridging (OBC 9.23.10.1). structural ledger cannot be anchored/supported on brick veneer.

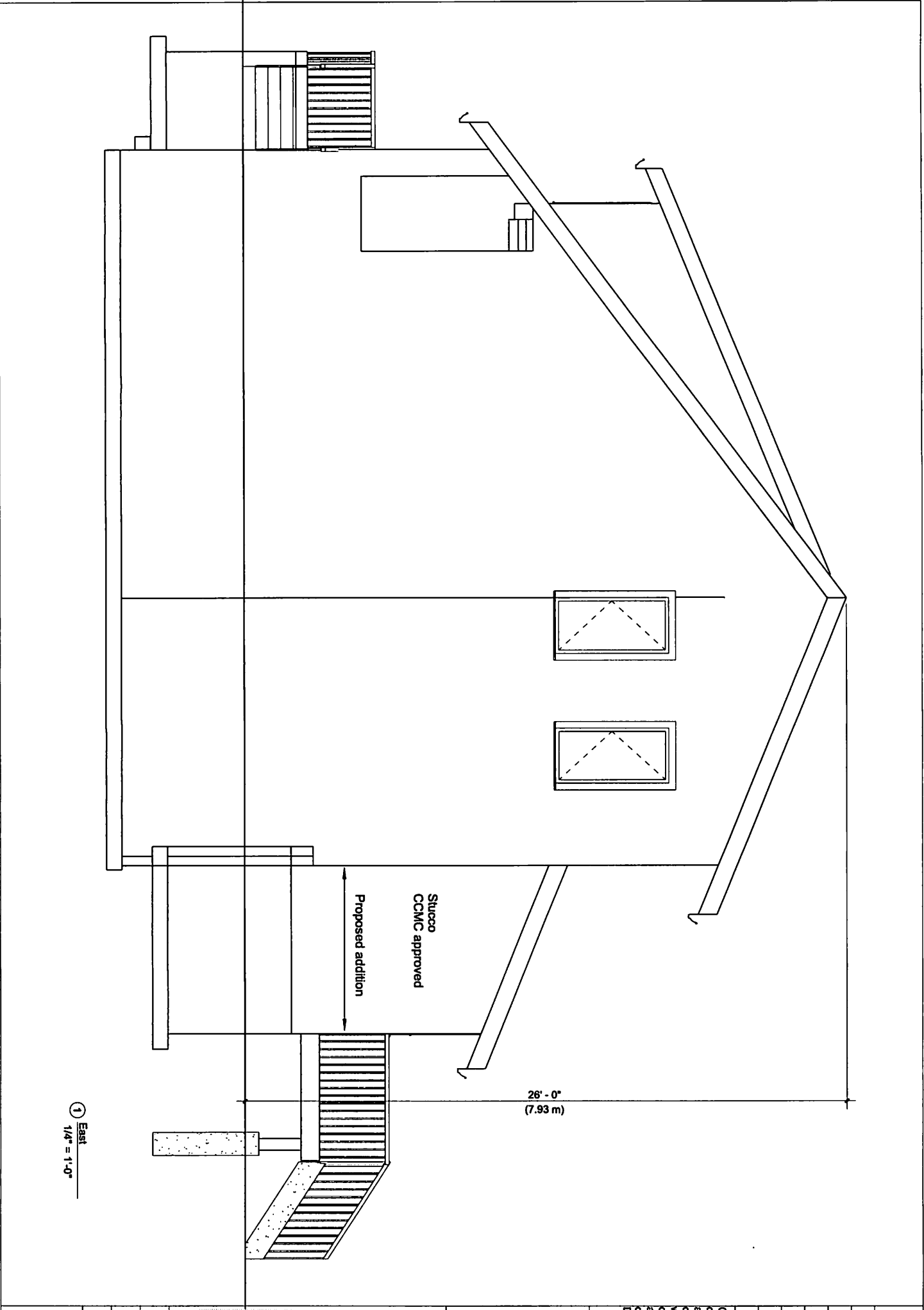
No changes at this level

① Second Floor
1/4" = 1'-0"

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<p>9</p>		

No changes in this elevation



1 South
1/4" = 1'-0"

Date	Revision

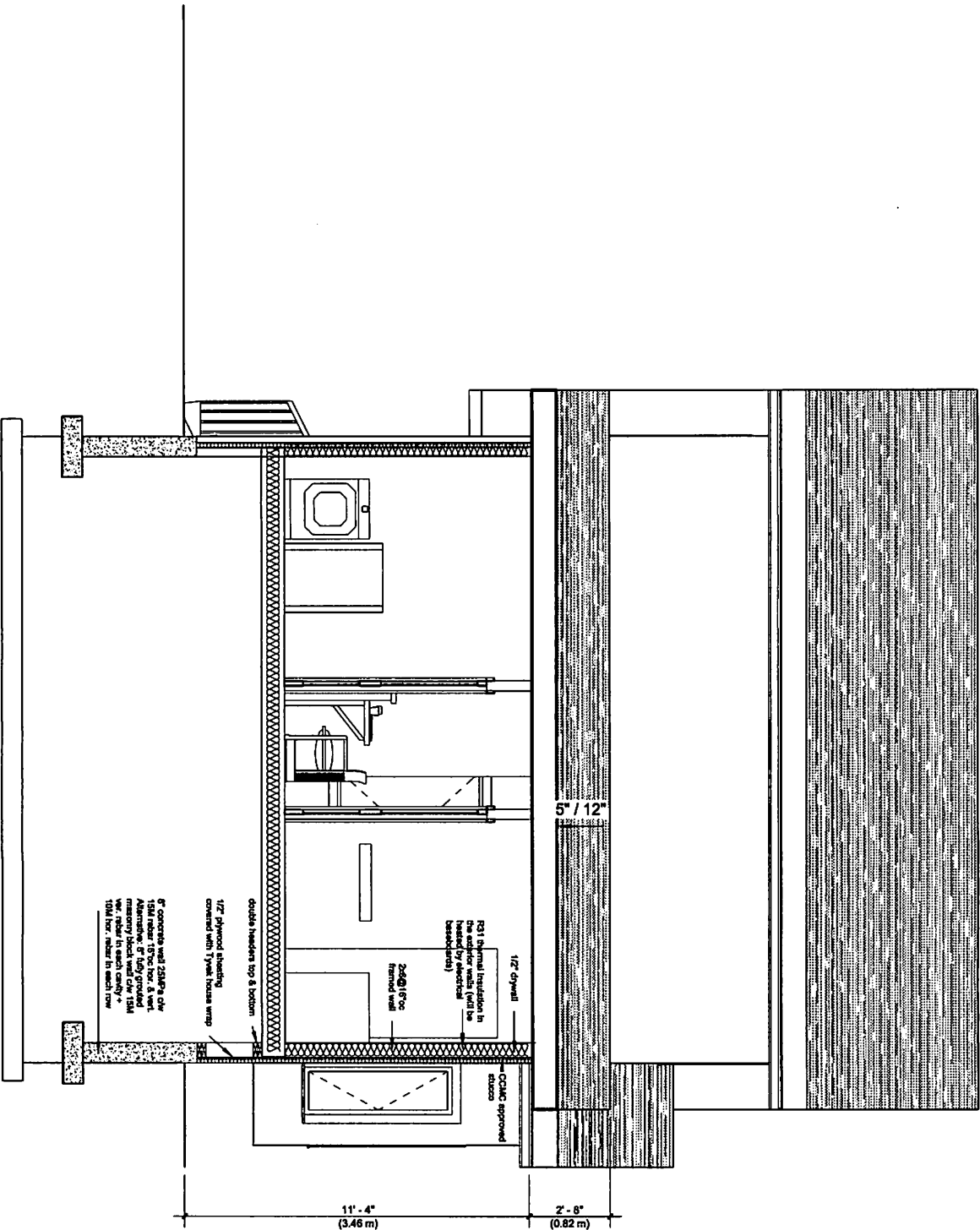
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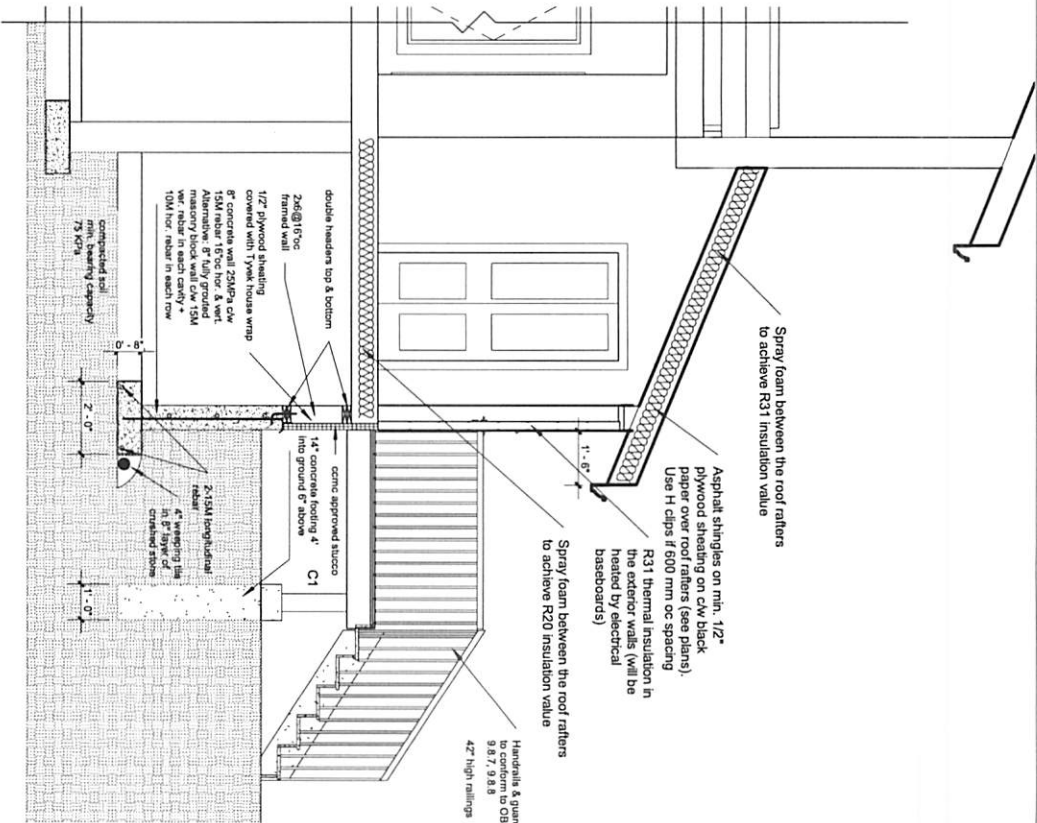
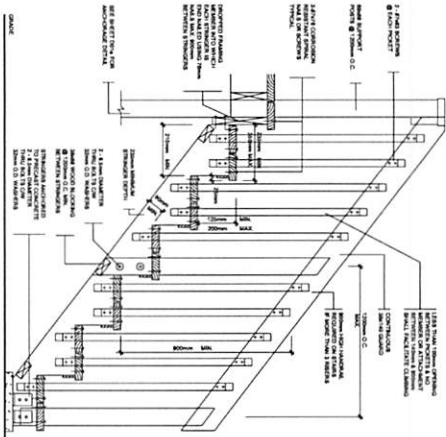
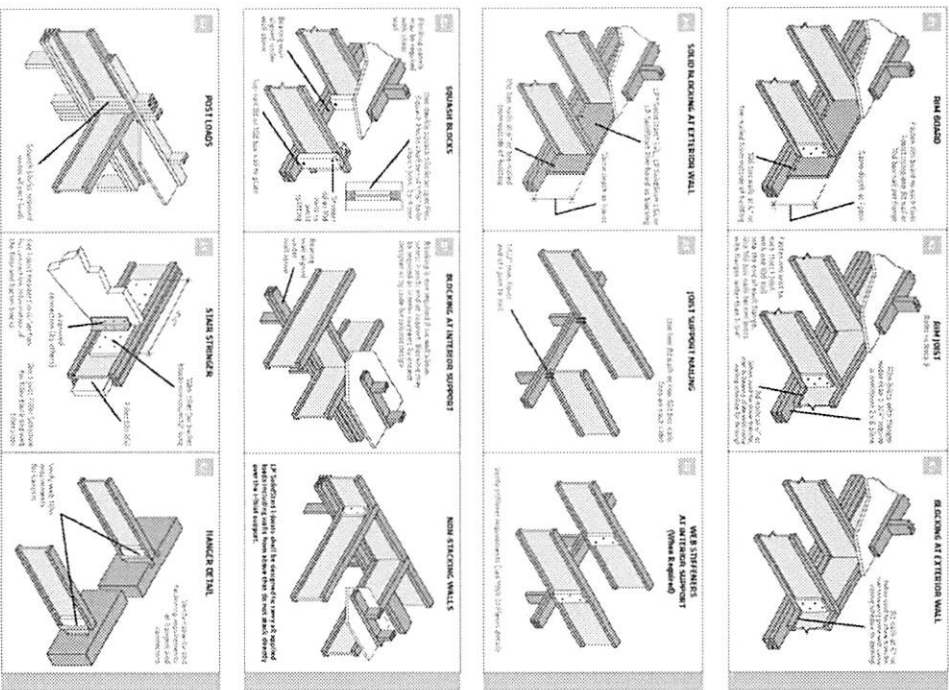


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Floor Details



1 Section 1 - Callout 1
1/4" = 1'-0"

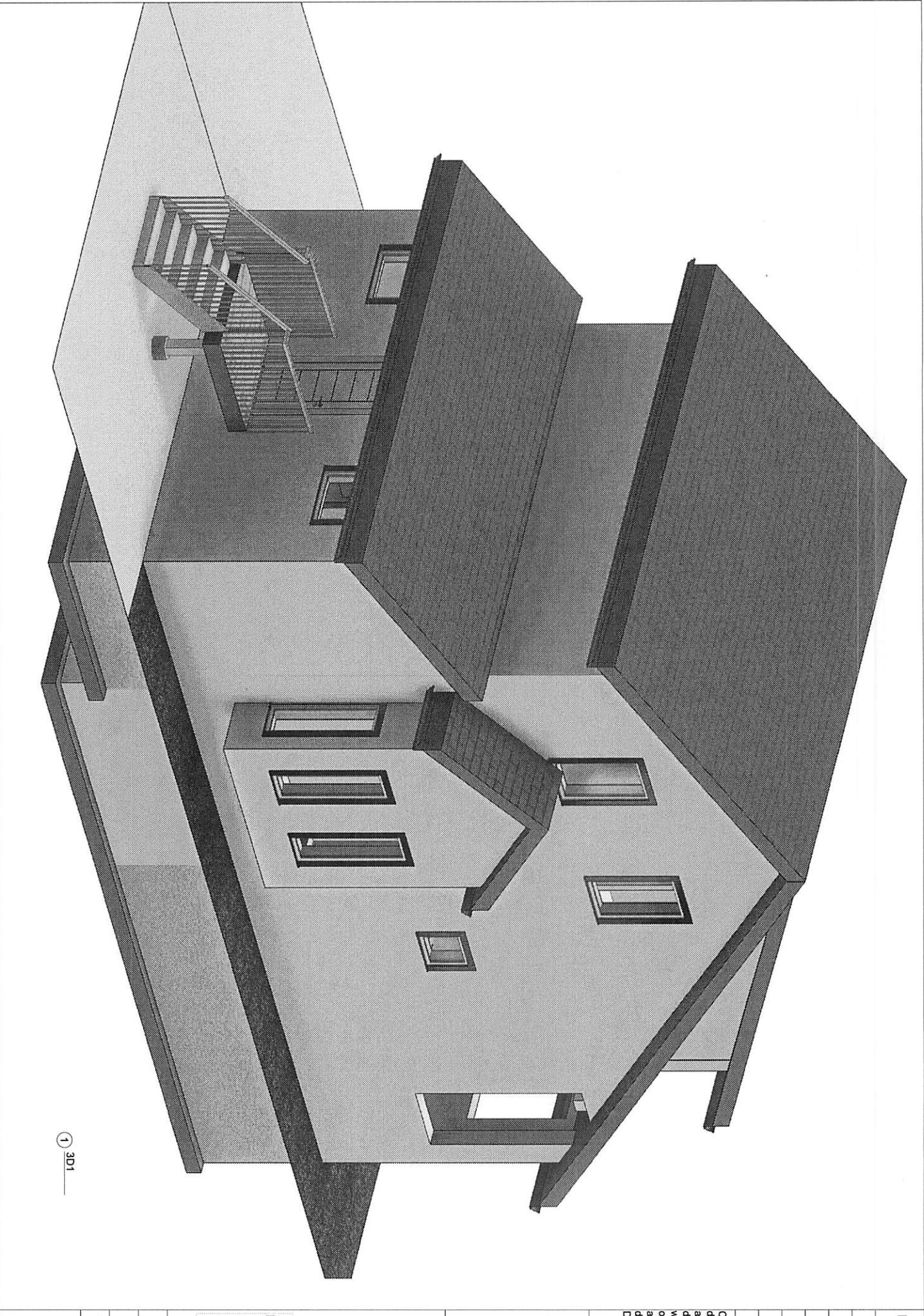
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100070815
ORDNANCE SURVEY
PAID BY THE CLIENT

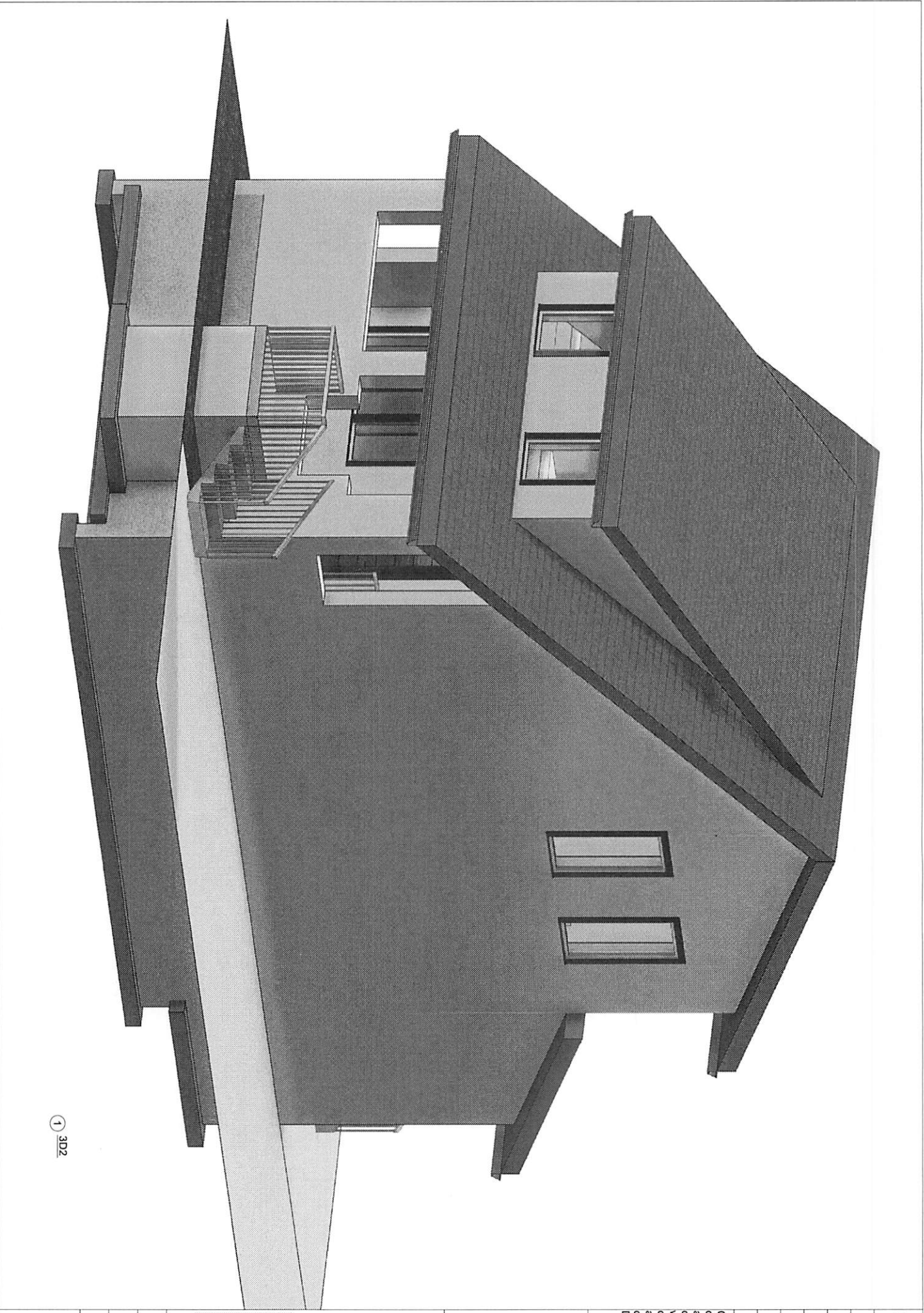
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① 3D2

A-2020-0108

