



#### APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **ANDREZEJ BEBNOWSKI** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Lot 20, Plan BR-4 municipally known as **20 WEST STREET**, Brampton;

AND WHEREAS the applicant is requesting the following variances associated with a double duplex dwelling:

1. To permit a double duplex dwelling (4 units) on a lot having a width of 19.31m (63.35 ft.) whereas the by-law requires a minimum lot width of 20.0m (65.62 ft.) for a double duplex dwelling;
2. To permit eight (8) parking spaces in the rear yard whereas the by-law does not permit the rear yard to be paved for the purpose of parking, except on a driveway leading to a garage;
3. To permit a drive aisle width of 3.1m (10.17 ft.) for two-way traffic leading to the proposed parking area in the rear yard whereas the by-law requires a minimum drive aisle width of 6.0m (19.68 ft.) for two-way traffic.

#### OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO  
Application for Consent: NO

File Number: \_\_\_\_\_  
File Number: \_\_\_\_\_

The Committee of Adjustment has appointed **TUESDAY, November 10, 2020 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

**IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT.** This will also entitle you to be advised of a Local Planning Appeal Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Local Planning Appeal Tribunal by the applicant or another member of the public.

**RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.**

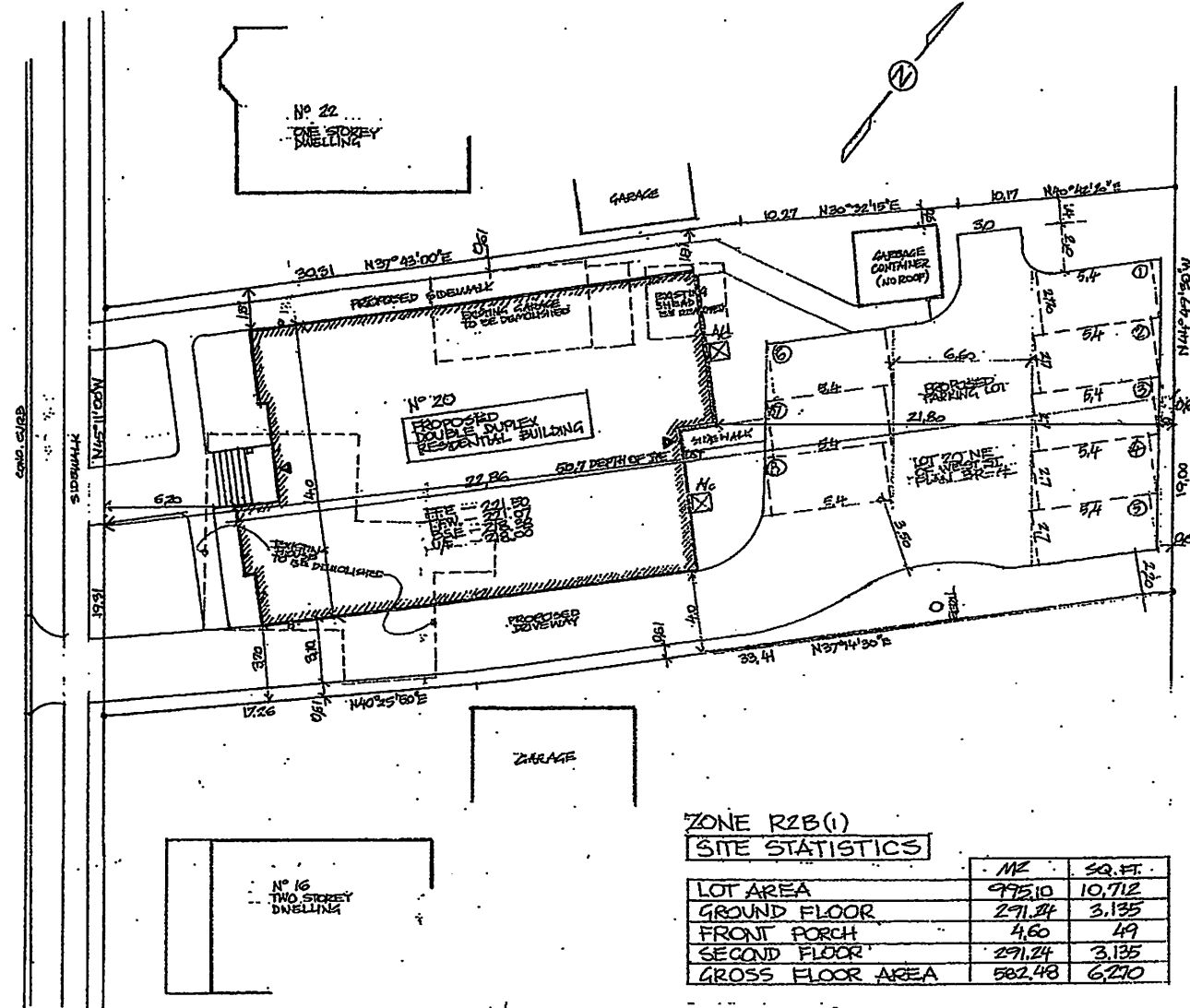
**PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC**

DATED at Brampton Ontario, this 29th day of October, 2020.

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer  
Committee of Adjustment  
City Clerk's Office,  
Brampton City Hall  
2 Wellington Street West,  
Brampton, Ontario L6Y 4R2  
Phone: (905)874-2117  
Fax: (905)874-2119  
[jeanie.myers@brampton.ca](mailto:jeanie.myers@brampton.ca)

WEST STREET



ZONE R2B(1)  
SITE STATISTICS

	M2	SQ. FT.
LOT AREA	995.10	10,712
GROUND FLOOR	271.24	3,135
FRONT PORCH	4.60	49
SECOND FLOOR	271.24	3,135
GROSS FLOOR AREA	582.48	6,270

SITE PLAN  
1/150  
METRIC

FOR MORE INFORMATION  
SEE THE SITE AND GRADING  
PLAN BY J. J. & ASSOCIATES  
DRAWING NO. 217-808

REVISION 2  
SP18-041.000

	FEB 18 2020	SEP 3 2020	
REVISIONS	APR 26 2018	MAY 21 2018	NOV 16 2018
DOUBLE DUPLEX			
SCALE: 1/150	SP18-041.000		DRAWN BY
DATE: MAR 2018			REVISED
20 WEST ST BRAMPTON			
SITE PLAN			DRAWING NUMBER A1

Under the authority of the *Emergency Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically during the COVID-19 Emergency

**Electronic Hearing Procedures**  
**How to get involved in the Virtual Hearing**

Brampton City Hall is temporarily closed to help stop the spread of COVID-19. In-person Committee of Adjustment Hearings have been cancelled since mid-March 2020. Brampton City Council and some of its Committee are now meeting electronically during the Emergency. The Committee of Adjustment will conduct its meeting electronically until further notice.

**How to Participate in the Hearing:**

- All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, November 5, 2020**.
- Advance registration for applicants, agents and other interested persons is required to participate in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at [cityclerksoffice@brampton.ca](mailto:cityclerksoffice@brampton.ca) or [jeanie.myers@brampton.ca](mailto:jeanie.myers@brampton.ca) by **4:30 pm, Friday, November 6, 2020**.
  - Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by Friday, **November 6, 2020**. City staff will contact you and provide you with further details.
- All Hearings will be livestreamed on the City of Brampton YouTube account at: <https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or <http://video.isilive.ca/brampton/live.html>.

If holding an electronic rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to [cityclerksoffice@brampton.ca](mailto:cityclerksoffice@brampton.ca) or [jeanie.myers@brampton.ca](mailto:jeanie.myers@brampton.ca). If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

**NOTE** Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, [www.brampton.ca](http://www.brampton.ca). By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.



## AMENDMENT LETTER

OCT. 5, 2020

RE: **A18-057**  
20 WEST ST BRAMPTON  
DOUBLE DUPLEX

REQUEST FOR APPROVAL OF THE FOLLOWING  
VARIANCES:

1/ LOT WIDTH 19.31 m - REQUIRES 20.00 m.

2/ EIGHT PARKING SPACES PROPOSED  
IN THE REAR YARD.

3/ DRIVEWAY WIDTH 3.1m REQUIRES 6.0m

SEE EXAMINER NOTES BELOW:

### Zoning Review

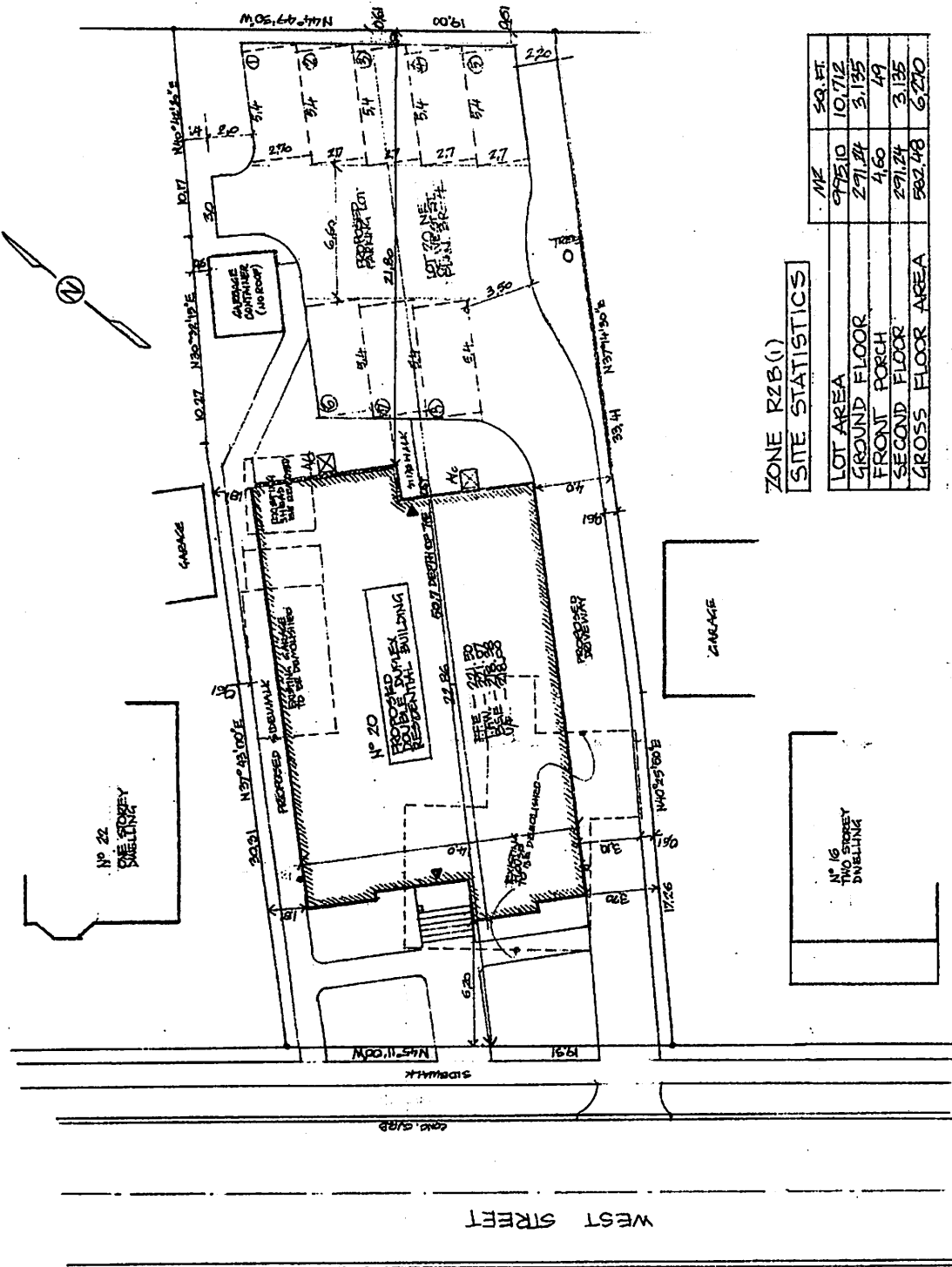
Todd Payne - todd.payne@brampton.ca

Not Cleared

### Final Comments

- Lot width is insufficient to support a double duplex dwelling. Minimum required lot width is 20m whereas less than 20m has been provided. A minor variance application is required for consideration by the Committee of Adjustment.
- Eight parking spaces with associated parking and drive aisles are proposed in the rear yard whereas the by-law prohibits parking in the rear yard. A minor variance application is required for consideration by the Committee of Adjustment.
- Please provide dimensions for the proposed parking spaces. Note: minimum parking spaces dimensions of 2.7m x 5.4m required.
- Please dimension the width of the parking aisle adjacent to the parking spaces. Note: minimum parking aisle width of 6.6m is required. It appears that space #8 has an insufficient aisle width.
- Insufficient driveway width of 3.1m is proposed whereas 6m is required for two-way traffic. A minor variance application is required for consideration by the Committee of Adjustment.

APPLICANT: WALTER BORZECKI  
(416) 418-6081  
DOMEXCONSTRUCTION@GMAIL.COM



ZONE R2B(1)  
SITE STATISTICS

ME	SQ. FT.
LOT AREA	97510
GROUND FLOOR	27124
FRONT PORCH	460
SECOND FLOOR	27124
GROSS FLOOR AREA	58248

SITE PLAN  
1:150  
METRIC

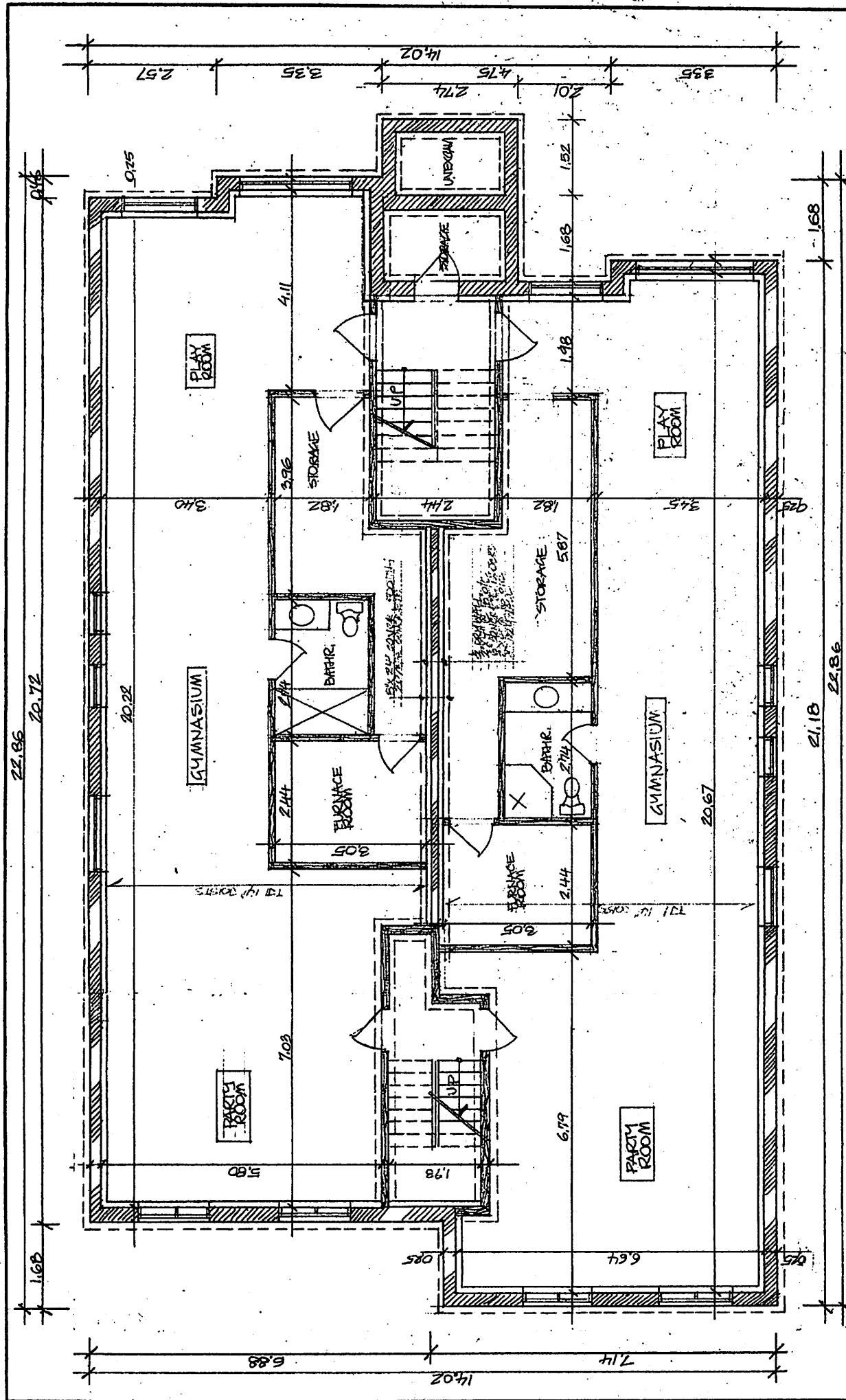
FOR MORE INFORMATION  
SEE THE SITE PLAN  
DRAWING NO. 214-808

REVISION 2  
SP18-041.000

REVISIONS	DATE	BY	NO.
FEB 18 2020	SEP 3 2020	NOV 16 2018	

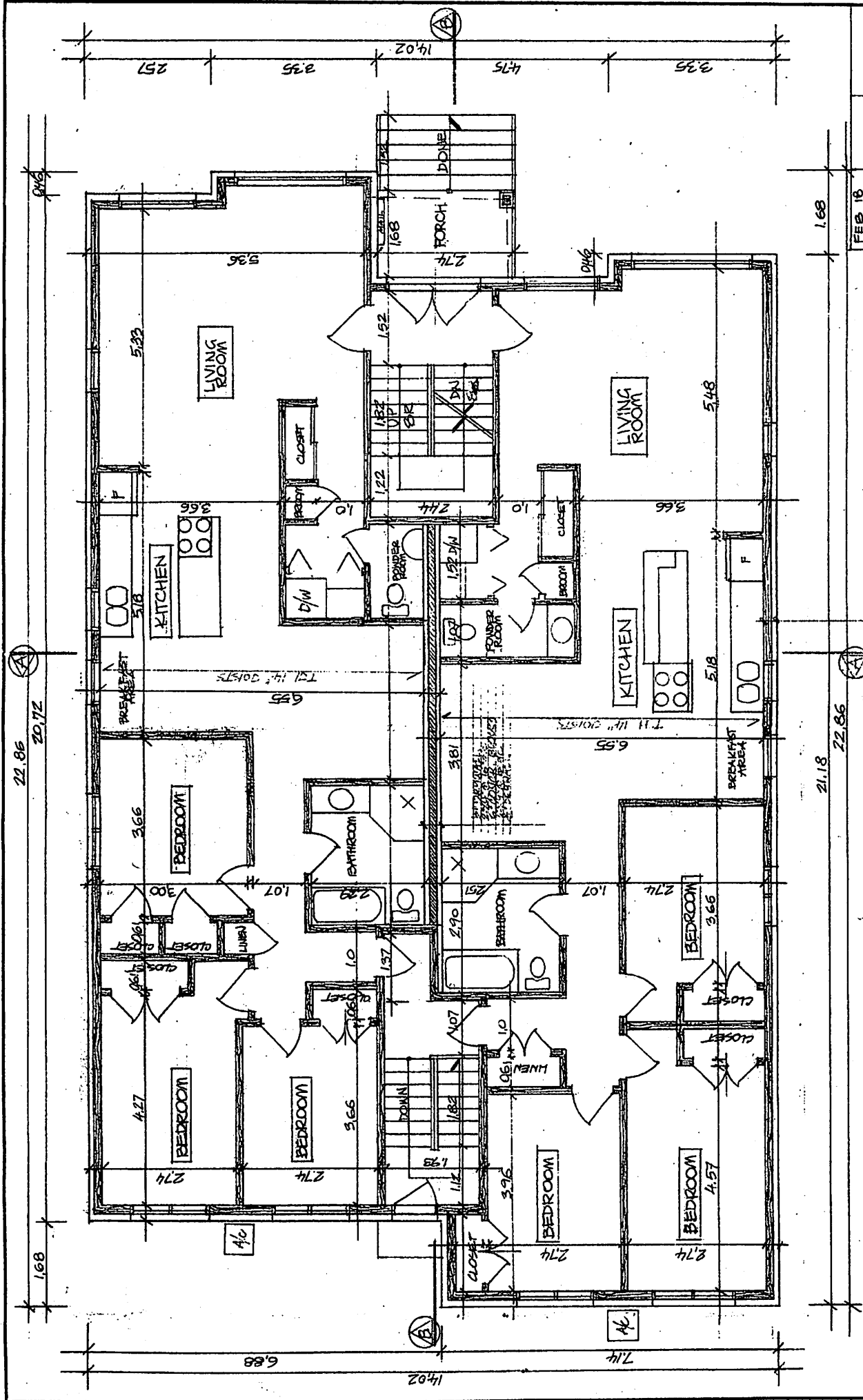
DOUBLE DUPLEX

SCALE: 1:150	DATE: MAR 2018	DRAWN BY: SP18-041.000
20 WEST ST BRAMPTON		
SITE PLAN		
DRAWING NUMBER: A1		



BASEMENT AND FOUNDATION PLAN 1/50

REVISIONS	FEB 18 2020	MAY 21 2018	NOV 16 2018
DOUBLE DUPLEX			
SCALE: 1/50	DATE: MAR 2018	SPIB-OH. 000	DRAWN BY: [REDACTED]
20 WEST ST. BRAMPTON			
BASEMENT & FOUNDATION			
AZ			



EXTERIOR WALL - BRICK  
 INTERIOR WALL - GYP.  
 FLOOR - WOOD  
 CEILING - GYP.  
 ROOF - ASPH/FLT  
 FOUNDATION - CONCR.

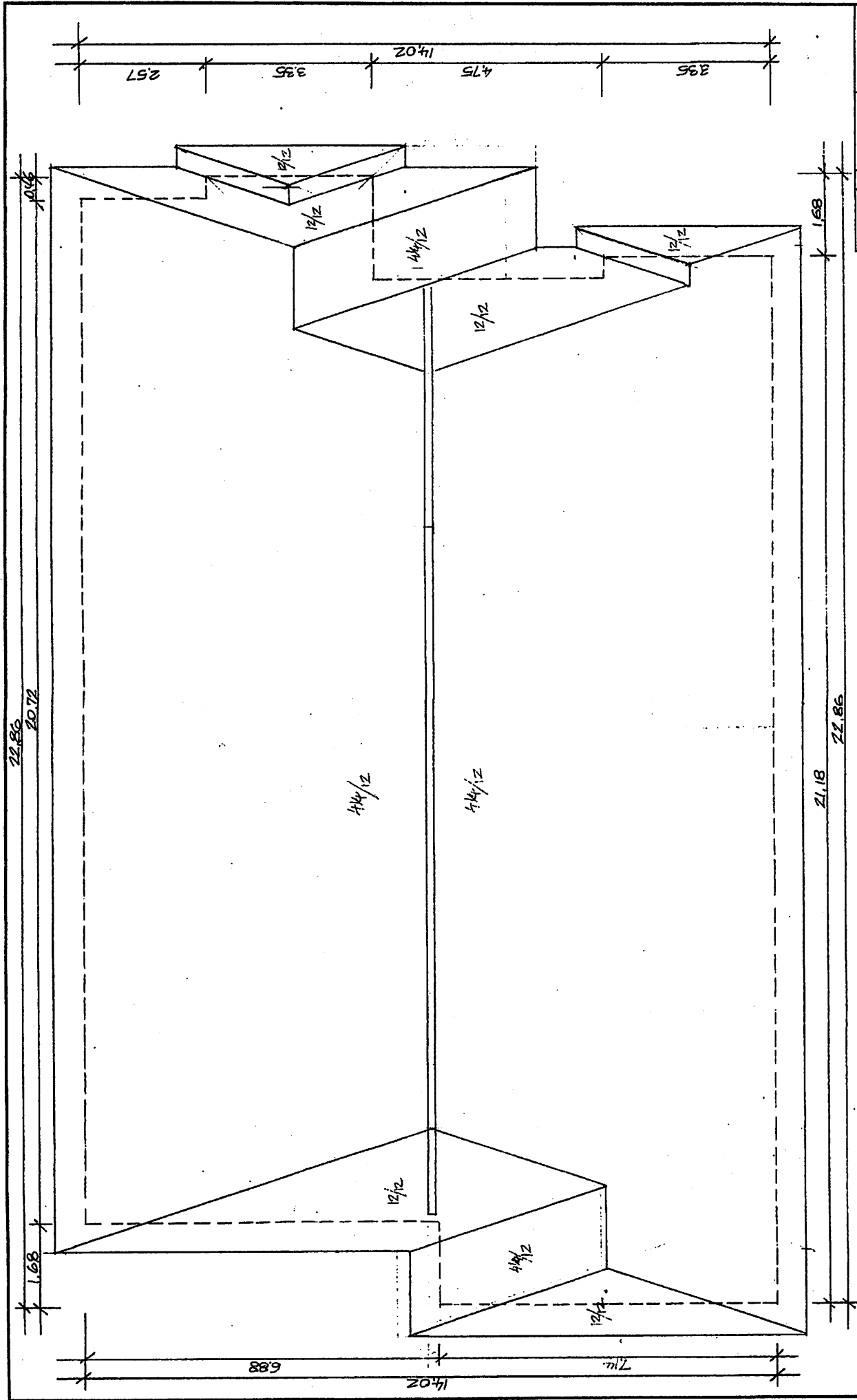
GROUND FLOOR PLAN 1:50

REVISIONS	DATE	BY	REASON
1	FEB 18 2020		
2	APR 26 2018		
3	MAY 21 2018		
4	NOV 16 2018		

DOUBLE DUPLEX  
 SCALE: 1/8" = 1'-0"  
 DATE: MAR 2018  
 SP18-04.000  
 20 WEST ST BRAMPTON  
 GROUND FLOOR PLAN  
 DRAWING NUMBER: A3

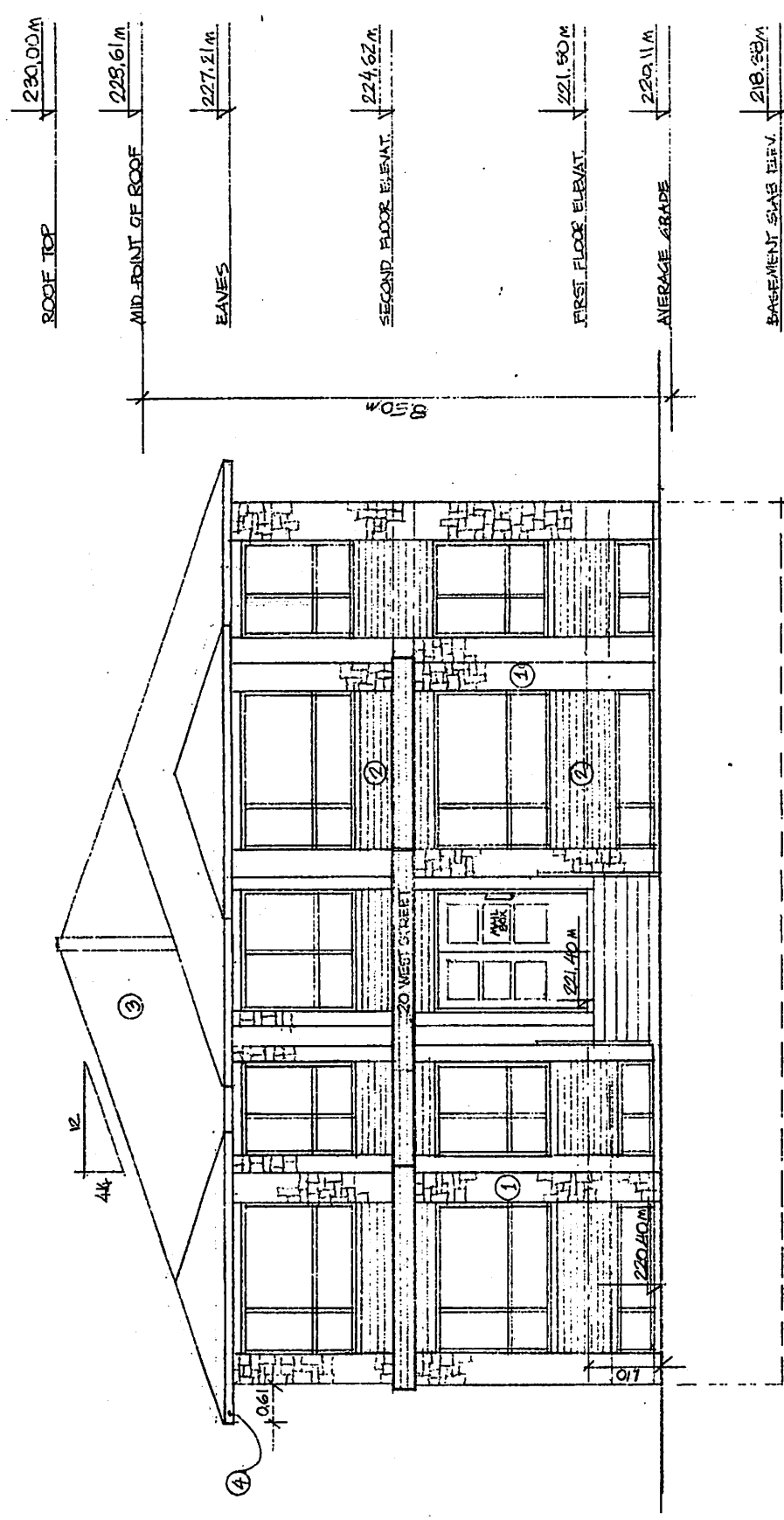






ROOF PLAN 1"=50'

NOV 15 2015			
MAY 21 2018		5/23/18	
APR 26 2018		5/23/18	
REVISIONS		5/23/18	
DOUBLE DUPLEX			
SCALE: 1"=20'		SP18 - 041.000	
DATE: MAR 2018			
20 WEST ST BRAMPTON			
ROOF PLAN		DRAWING NUMBER	
		A5	

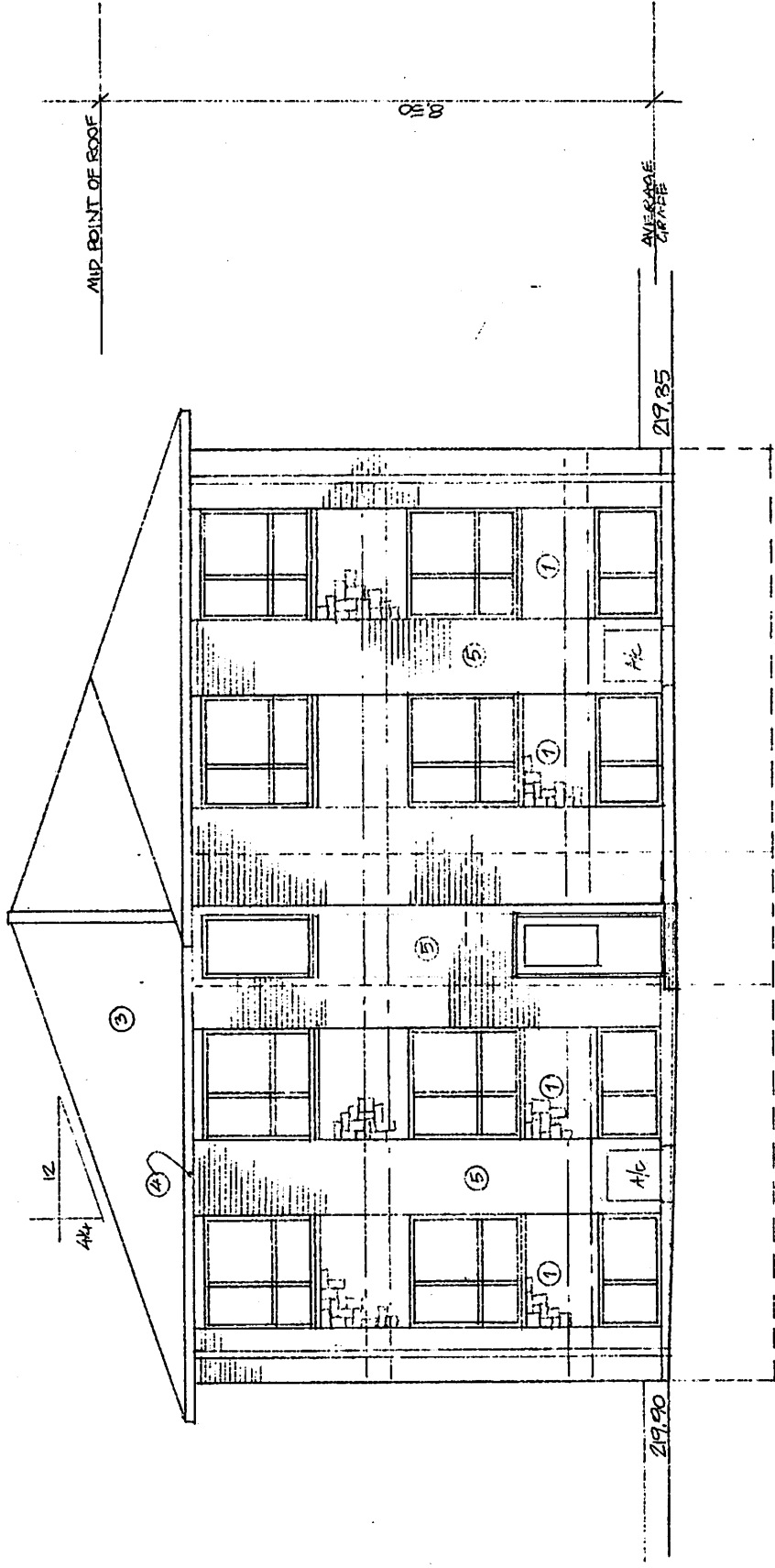


# FRONT ELEVATION 1'50

## [FINISHING MATERIALS AND COLOURS]

- ① STONE - LIGHT GREY
- ② ENGINEERING WOOD SIDING -- GOLDEN CURRY
- ③ BLACK ROOFING
- ④ BLACK FASCIA, SOFFIT, GUTTERS

REVISIONS	FEB. 18 2020	MAY 21 2018	MAY 16 2013
DOUBLE DUPLEX			
SCALE	SP18-041.000		
DATE/YEAR	2018		
20 WEST ST. BRAMPTON			
FRONT ELEVATION			7

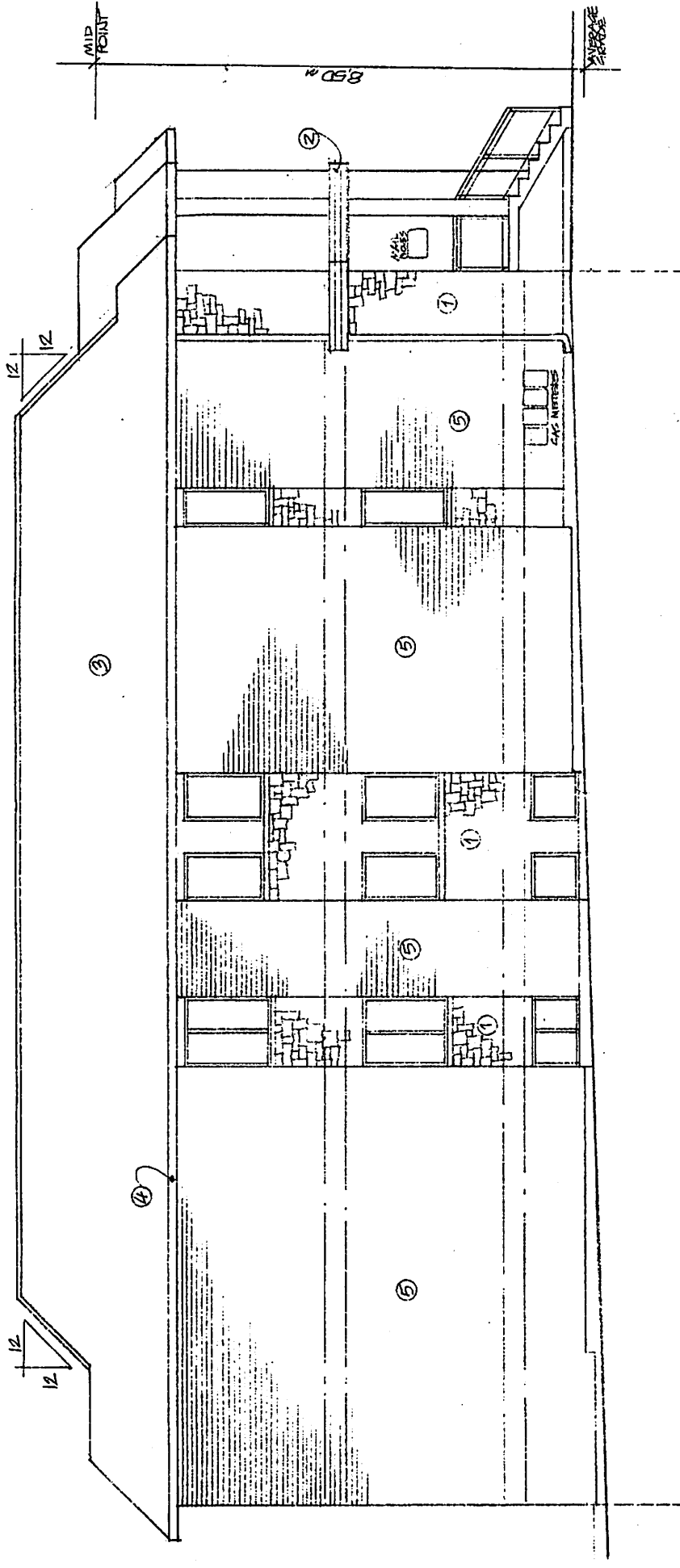


REAR ELEVATION 1/50

FINISHING MATERIALS AND COLOURS

- 1 STONE - LIGHT GREY
- 2 BLACK ROOFING
- 3 BLACK FLASH, SOFFIT, GUTTERS
- 4 BRICK - DARK GREY
- 5

FEB 18 2020		MAY 21 2018		NOV 16 2018	
DOUBL DUPLEX					
SCALE:		SP18-041.000			
DATE: MAR 2018					
REVISIONS		20 WEST ST. BRAMPTON			
REAR ELEVATION		DRAWING NUMBER A8			



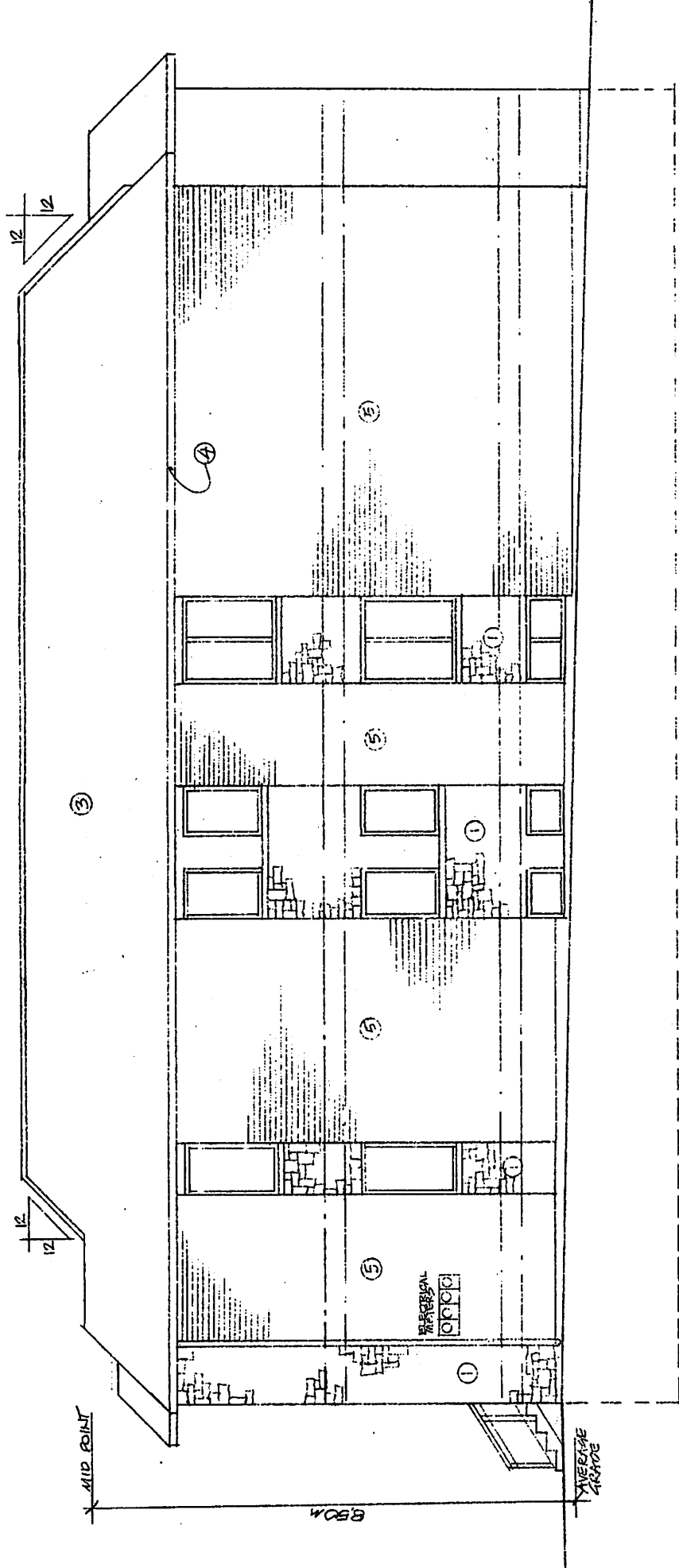
WEST SIDE ELEVATION 1/50

FINISHING MATERIALS AND COLOURS

- 1 STONE - LIGHT GREY
- 2 ENGINEERING WOOD SIDING - GOLDEN CURLY
- 3 BLACK ROOFING
- 4 BLACK FASCIA, SOFFIT, GUTTERS
- 5 BRICK - DARK GREY

REVISIONS	FEB 18 2020	MAY 21 2018	NOV 16 2018
DATE: APR. 26 2018	DATE: MAR 2018	DATE: MAR 2018	DATE: MAR 2018
DOUBLE DUPLEX			
SCALE: 1/8" = 1'-0"			
DRAWN BY: SP18-OH.000			
CHECKED BY:			
20 WEST ST. BRAMPTON			
WEST SIDE ELEVATION			
DRAWING NUMBER: A9			





EAST SIDE ELEVATION 1/50

FINISHING MATERIALS AND COLOURS

- ① STONE - LIGHT GREY
- ② BLACK ROOFING
- ③ BLACK FASCIA, SOFFIT, GUTTERS
- ④ BRICK - DARK GREY

FEB 18 2020		MAY 21 2018		NOV. 16 2018
REVISIONS				
APR 26 2018				
DOUBLE DUPLEX				
SCALE:		SP18-041.000		
DATE: MAR 2018				
20 WEST ST, BRAMPTON				
EAST SIDE ELEVATION				
DRAWING NUMBER A10				

Flower City



brampton.ca

FILE NUMBER: A18-057

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request. Questions about the collection of personal information should be directed to the Freedom of Information and Privacy Coordinator, City of Brampton.

**APPLICATION**

**Minor Variance or Special Permission**

(Please read Instructions)

**NOTE:** It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law 270-2004.

1. Name of Owner(s) ANDRZEJ BEBNOWSKI  
Address 52 CHIFFSIDE DR. BRAMPTON ON L6Y 0H1

Phone # (416) 456-8345  
Email INFO@HERBST.CA

Fax # \_\_\_\_\_

2. Name of Agent WALTER BORZECKI  
Address 10 ALLAN HURST DR. ON M9B 4J6  
TORONTO ON M9A 4J6

Phone # (416) 418-6081  
Email DOMEXCONSTRUCTION@GMAIL.COM

Fax # \_\_\_\_\_

3. Nature and extent of relief applied for (variances requested):

1/ WIDTH OF EXISTING LOT  
2/ WIDTH OF DRIVEWAY WITH PARKING SPOTS  
width  
TO PERMIT A LOT OF 19.31m  
TO PERMIT A DRIVEWAY MAX. DRIVEWAY  
width OF 11.35 m.

4. Why is it not possible to comply with the provisions of the by-law?

width OF EXISTING LOT IS 0.69m TO SHORT  
TO BUILD DOUBLE DUPLEX HOUSE.

5. Legal Description of the subject land:

Lot Number 20, NE OF WEST STREET  
Plan Number/Concession Number BLOCK 5 BR-4  
Municipal Address 20 WEST ST. BRAMPTON

6. Dimension of subject land (in metric units)

Frontage 19.31m  
Depth 50.75m  
Area 995.1m<sup>2</sup>

7. Access to the subject land is by:

Provincial Highway ☐  
Municipal Road Maintained All Year ☒  
Private Right-of-Way ☐

Seasonal Road ☐  
Other Public Road ☐  
Water ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

**EXISTING BUILDINGS/STRUCTURES** on the subject land:

EXISTING 1 STOREY HOUSE 91.8 m<sup>2</sup> HEIGHT 5.10 m (TO BE DEMOLISHED)  
 EXISTING FRAME GARAGE 28.0 m<sup>2</sup> (TO BE DEMOLISHED)  
 EXISTING SHED 15.0 m<sup>2</sup> (TO BE DEMOLISHED)

**PROPOSED BUILDINGS/STRUCTURES** on the subject land:

PROPOSED TWO STOREY DOUBLE DUPLEX  
 LOT COVERAGE 297.6 m<sup>2</sup> → 27.9%  
 GROSS FLOOR AREA 584.0 m<sup>2</sup>  
 HEIGHT - 8.5 m

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

**EXISTING**

Front yard setback 4.57 m  
 Rear yard setback 31.90 m  
 Side yard setback 0.42 m  
 Side yard setback 6.40 m

**PROPOSED**

Front yard setback 17.54 m  
 Rear yard setback 12.85 m  
 Side yard setback 1.90 m  
 Side yard setback 1.85 m

10. Date of Acquisition of subject land: NOV. 2017
11. Existing uses of subject property: RESIDENTIAL
12. Proposed uses of subject property: RESIDENTIAL
13. Existing uses of abutting properties: RESIDENTIAL
14. Date of construction of all buildings & structures on subject land: 1950
15. Length of time the existing uses of the subject property have been continued: 68 YEAR
16. (a) What water supply is existing/proposed?  
 Municipal ☒ Other (specify) \_\_\_\_\_  
 Well ☐
- (b) What sewage disposal is/will be provided?  
 Municipal ☒ Other (specify) \_\_\_\_\_  
 Septic ☐
- (c) What storm drainage system is existing/proposed?  
 Sewers ☒ Other (specify) \_\_\_\_\_  
 Ditches ☐  
 Swales ☐

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐

No ☒

If answer is yes, provide details: File # \_\_\_\_\_ Status \_\_\_\_\_

18. Has a pre-consultation application been filed?

Yes ☐

No ☐

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐

No ☐

Unknown ☒

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Signature of Applicant(s) or Authorized Agent

DATED AT THE CITY OF BRAMPTON  
THIS 20 DAY OF MARCH, 2018.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, WALTER PERZECKI, OF THE CITY OF TORONTO  
IN THE PROV. OF ONTARIO SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton

IN THE Region OF

Peel  THIS 20<sup>th</sup> DAY OF

March, 2018  
Joanne Cecilia Myers  
A Commissioner etc.

Signature of Applicant(s) or Authorized Agent

Joanne Cecilia Myers,  
a Commissioner, etc.,  
Province of Ontario, for the  
Corporation of the City of Brampton  
Expires April 8, 2018.

FOR OFFICE USE ONLY

Present Official Plan Designation:

Present Zoning By-law Classification:

R2A(1)-100

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

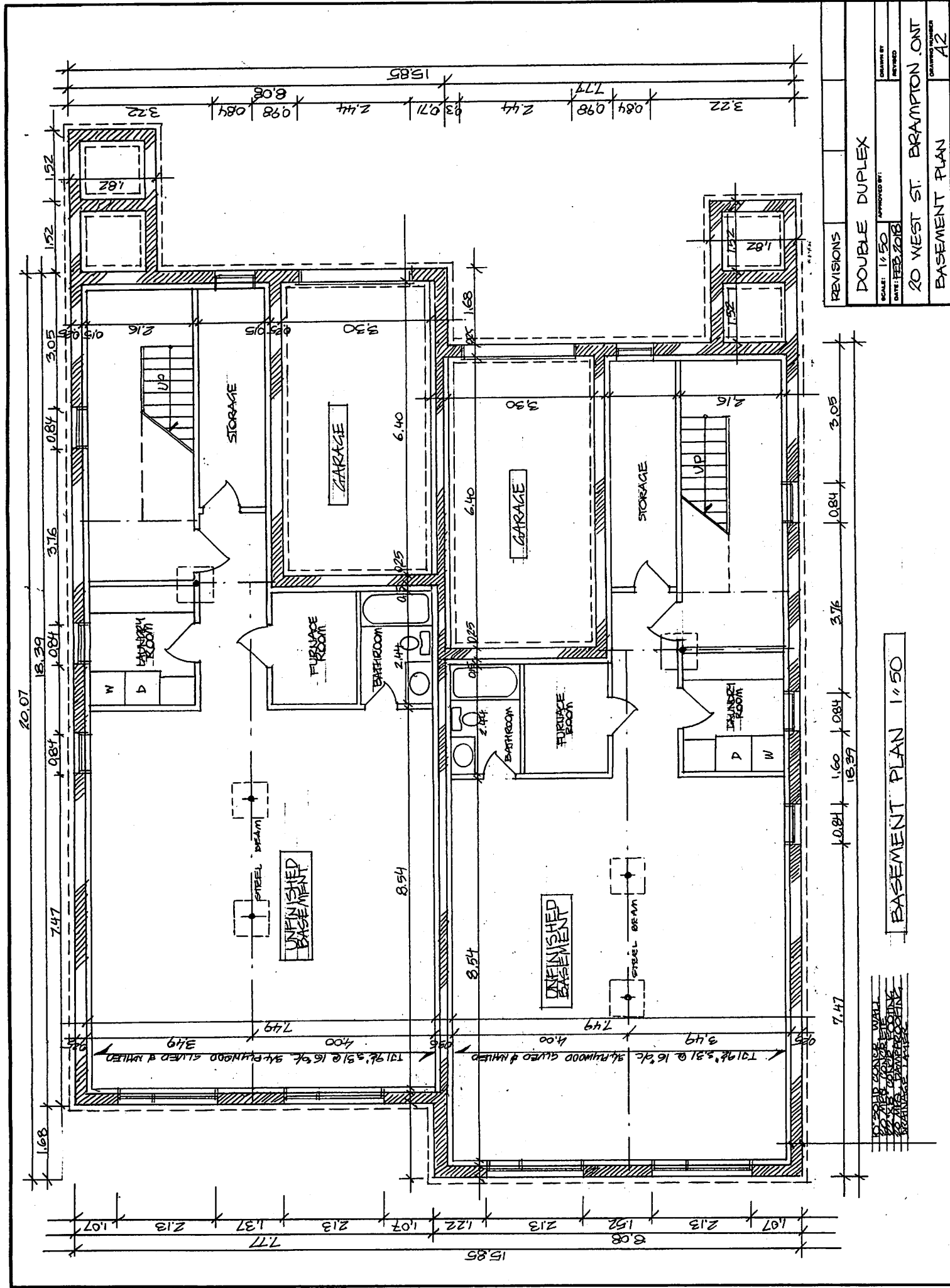
White  
Zoning Officer

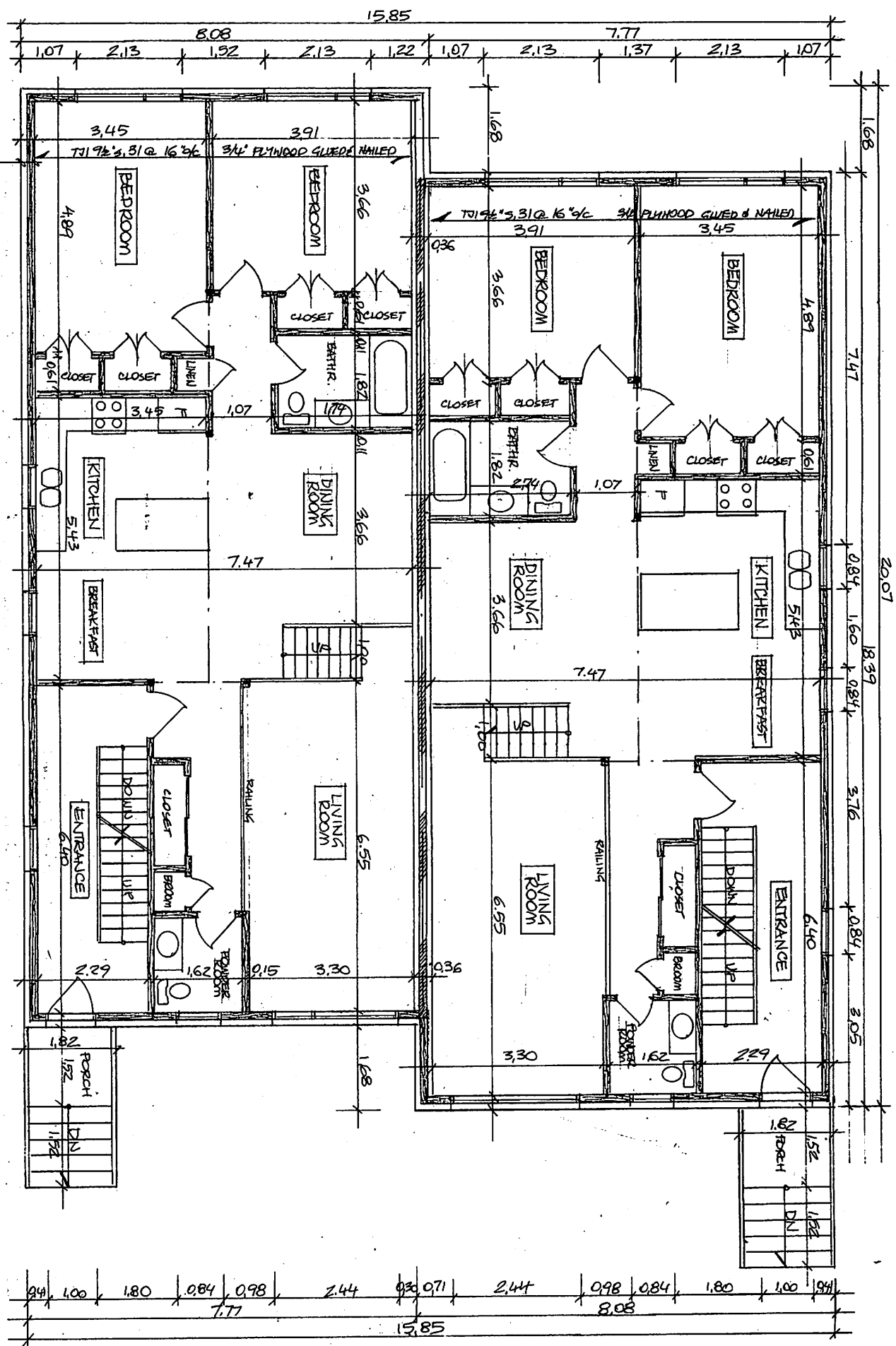
Mar 20/18  
Date

DATE RECEIVED March 20, 2018.





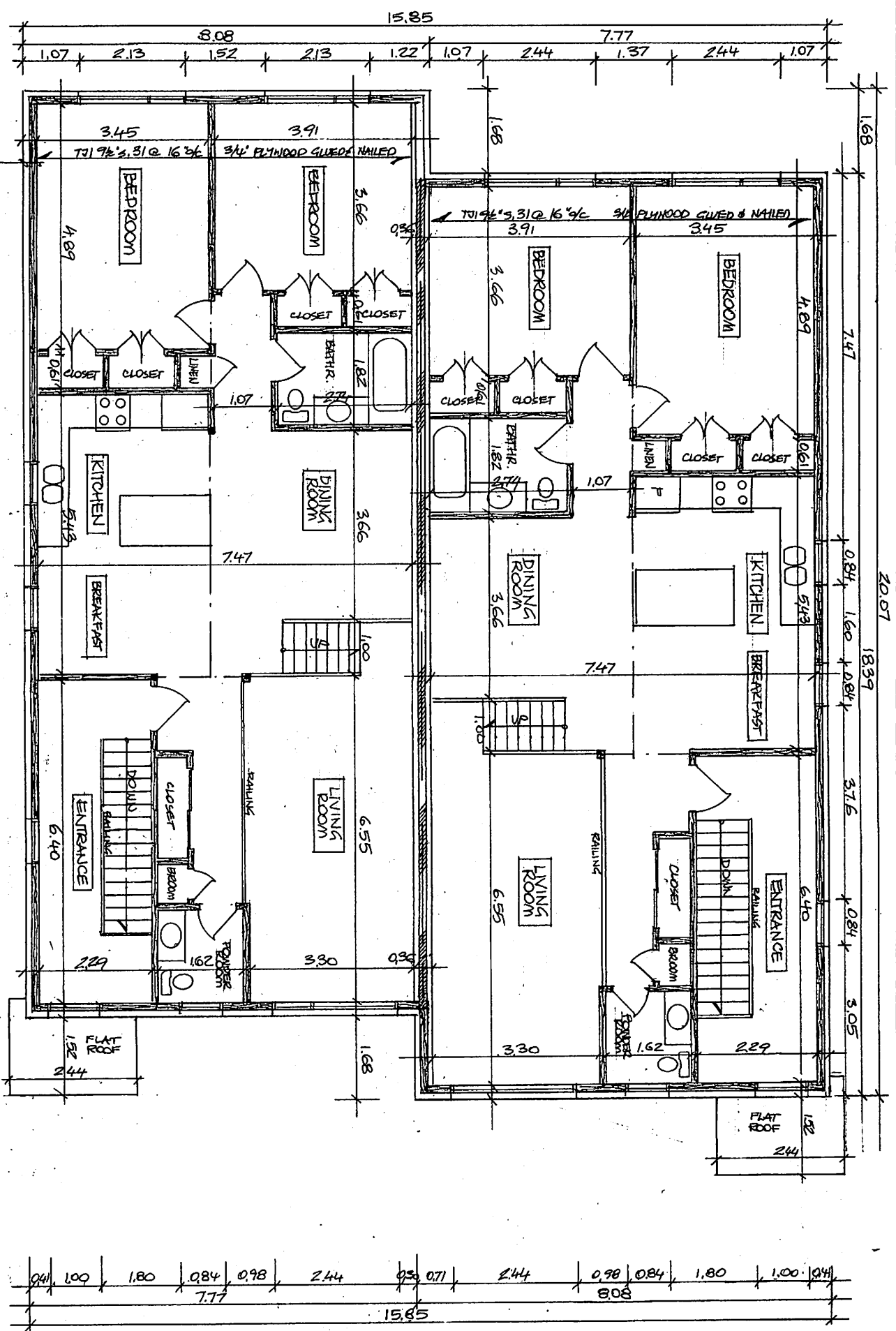




EXTERIOR WALL - TYPICAL  
 BRICK VENEER  
 1/2" AIR SPACE  
 1/2" INSULATION  
 5/8" INSULATION, GAIL BOLE  
 2" INSULATION

GROUND FLOOR PLAN 1"=50'

REVISIONS				
DOUBLE DUPLEX				
SCALE: 1/4"=50'	APPROVED BY:		DRAWN BY:	
DATE: FEB. 2018			REVISED:	
20 WEST ST. BRAMPTON				
GROUND FLOOR PLAN			DRAWN BY: MURRAY	
			A3	



SECOND FLOOR PLAN 1"=50'

DOUBLE DUPLEX

20 WEST ST. BRAMPTON

SECOND FLOOR PLAN

DATE: FEB 2018

APPROVED BY:

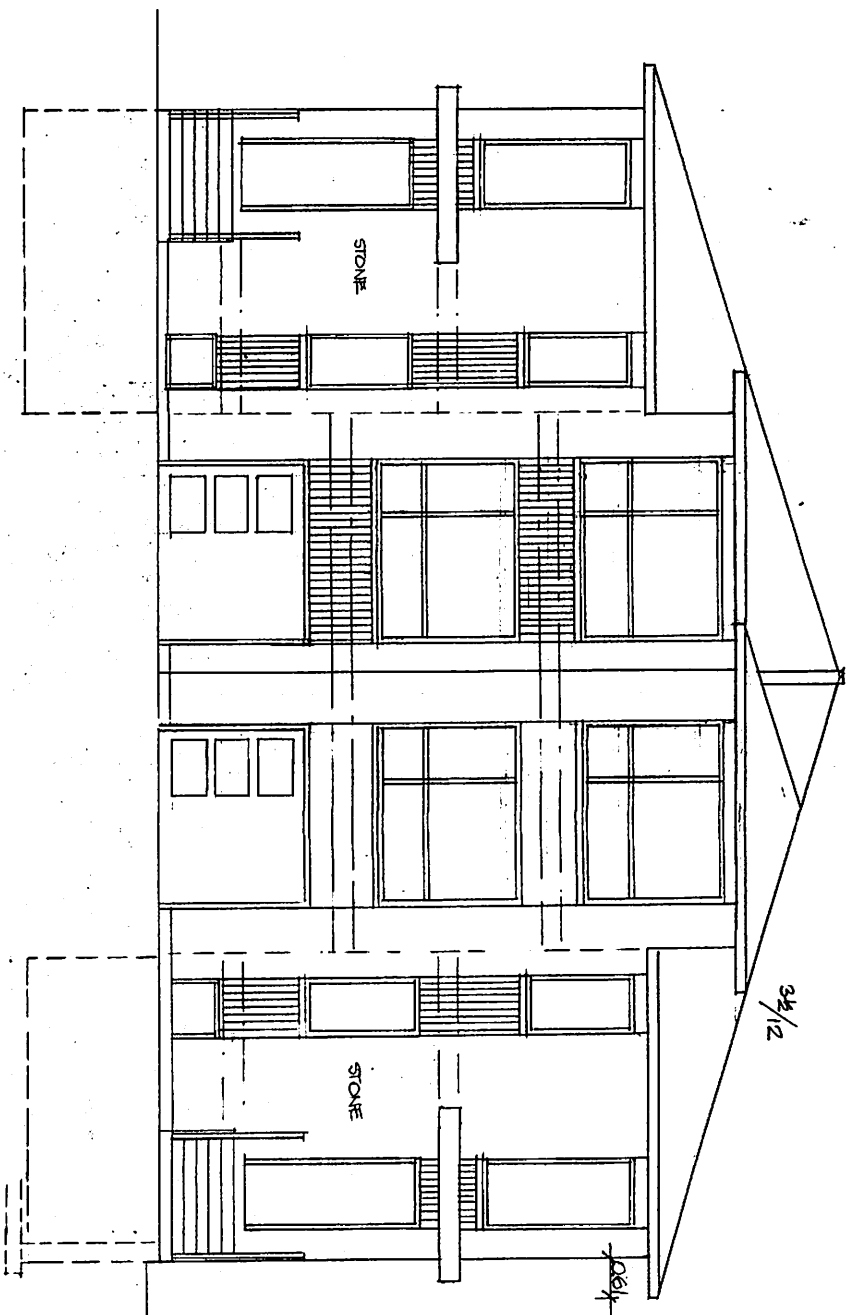
DESIGNED BY:

REVISIONS

44



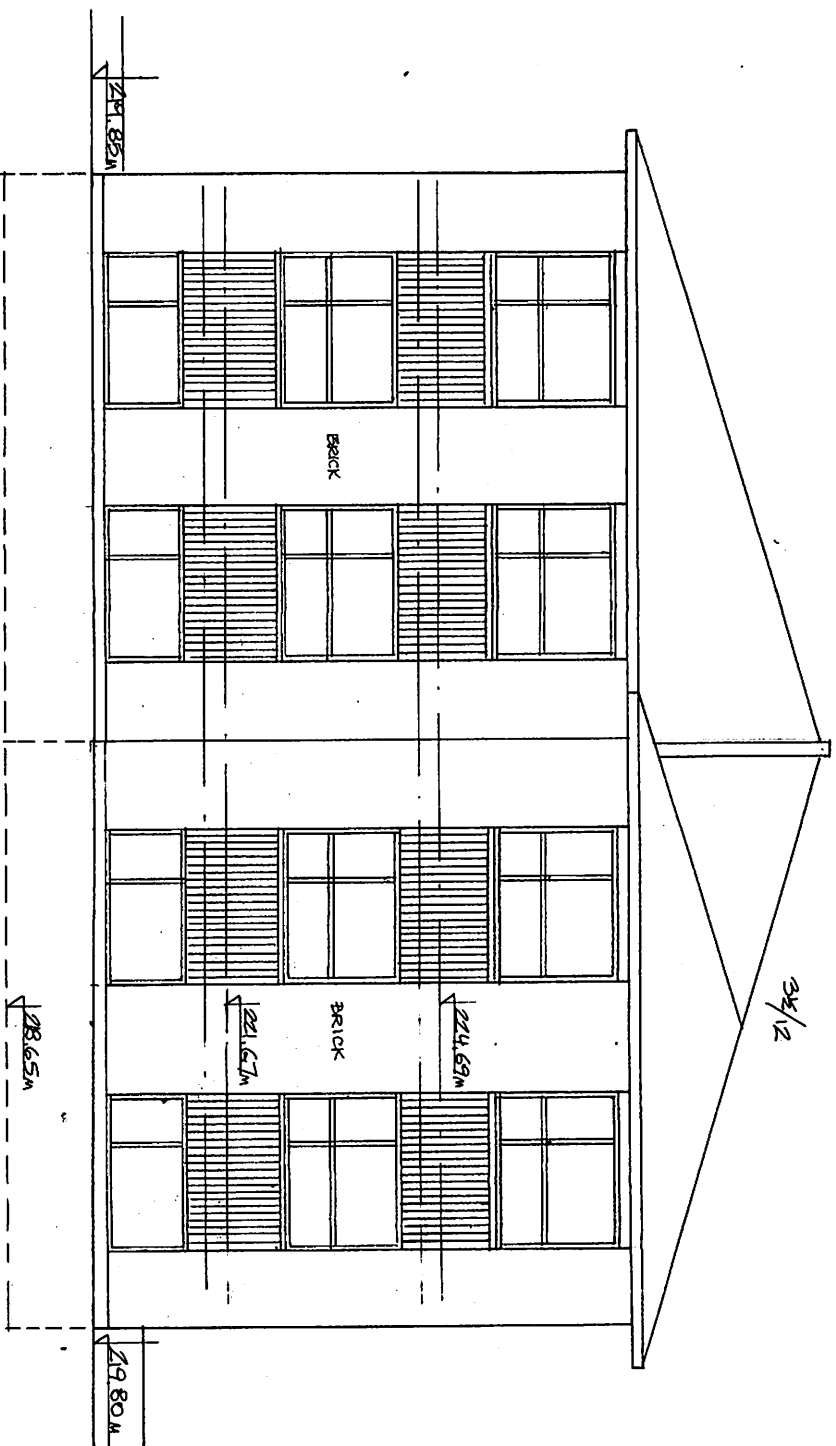




FRONT ELEVATION 1"=50

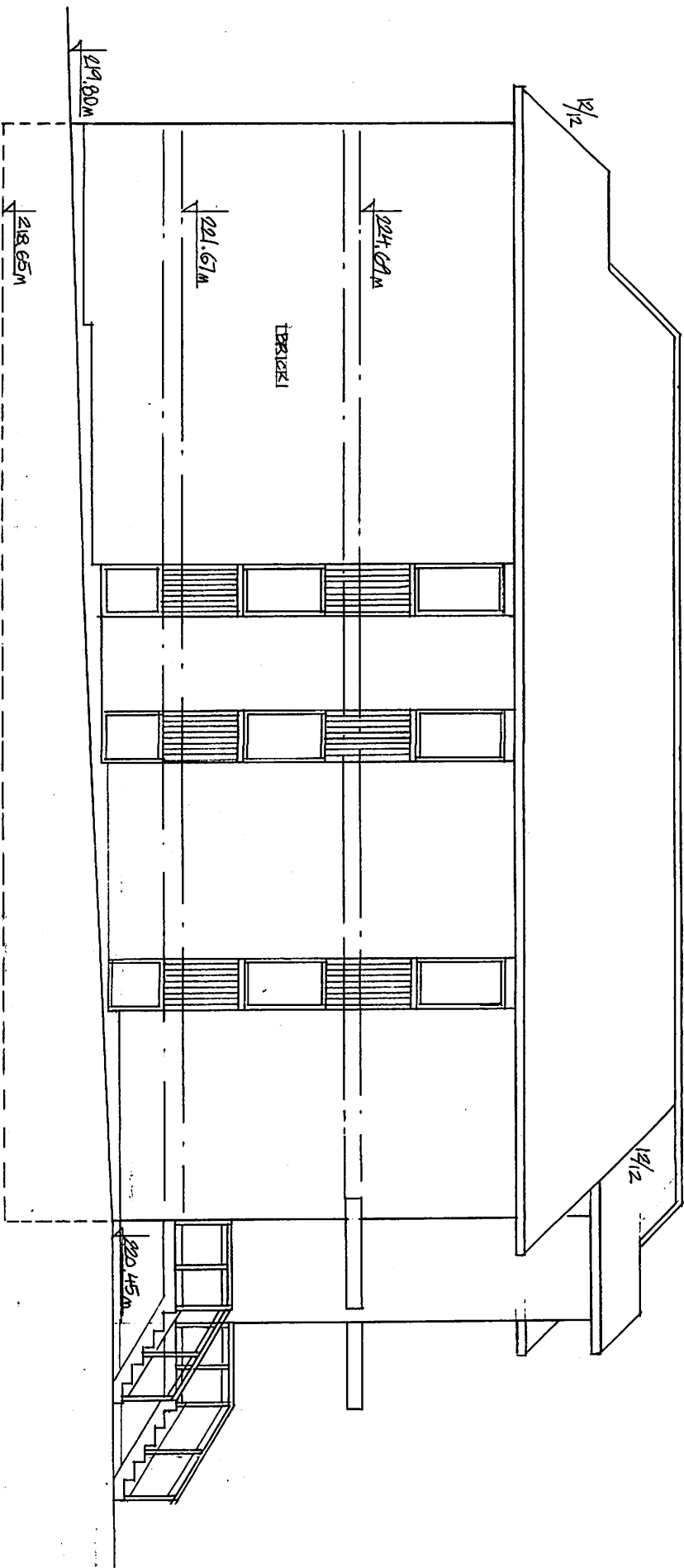
ROOF TOP	229.93m
MID POINT OF ROOF	228.61m
EAVES	227.78m
SECOND FLOOR ELEV	224.69m
FIRST FLOOR ELEVATION	221.67m
AVERAGE GRADE	220.11m
BASEMENT SLAB ELEV.	218.65m
1/2 FOOTING	216.97m

REVISIONS			
DOUBLE DUPLEX			
SCALE 1"=50	DESIGNED BY:	DRAWN BY:	
DATE: FEB. 2018		REVIEWED:	
20 WEST ST. BRAMPTON			
FRONT ELEVATION			
DRAWING NUMBER			48



REAR ELEVATION 1"=50

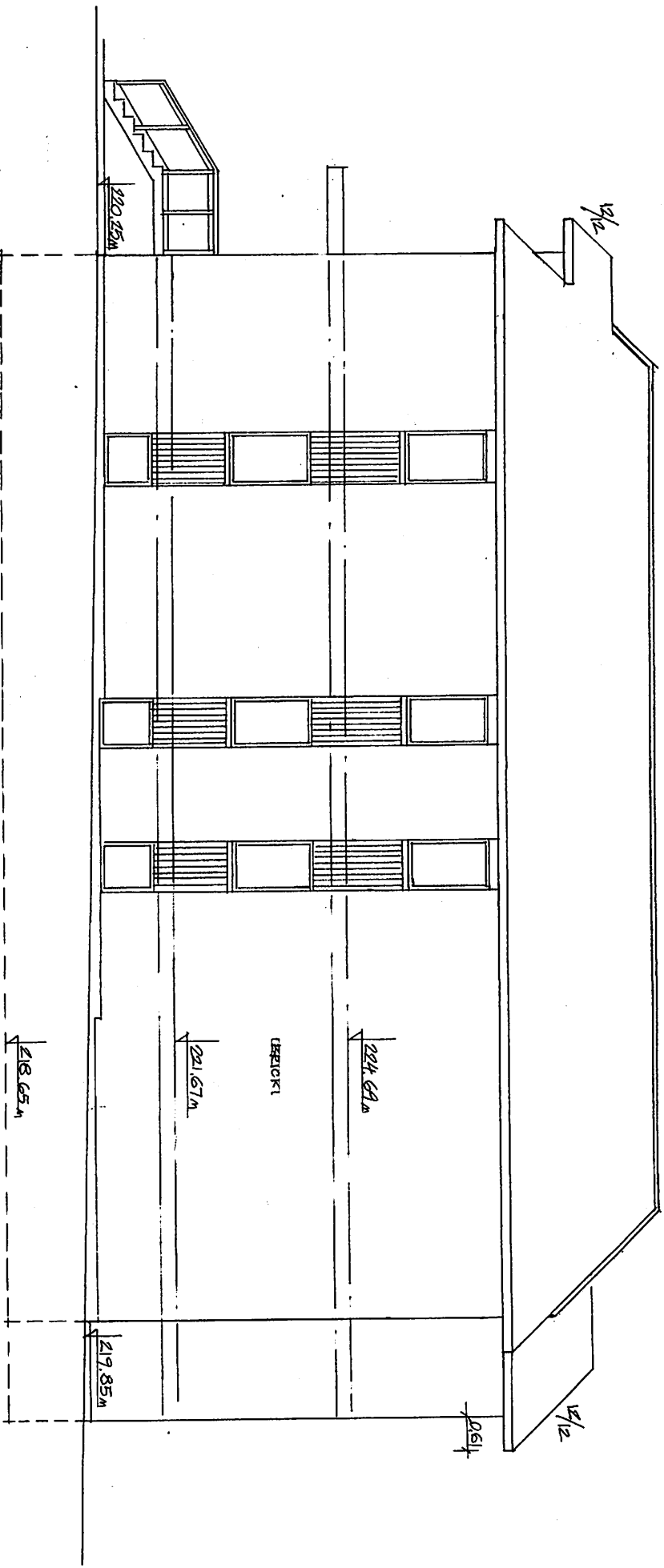
REVISIONS			
DOUBLE DUPLEX			
SCALE: 1/4"=50'	APPROVED BY:		DRAWN BY:
DATE: FEB. 2018			REVISED:
20 WEST ST. BRAMPTON			
REAR ELEVATION			COUNTING NUMBER A7



WEST SIDE ELEVATION 1/50

REVISIONS		
DOUBLE DUPLEX		
SCALE: 1/50	APPROVED BY:	DRAWN BY:
DATE: FEB 2018	REVIEWED:	
20 WEST ST BRAMPTON		
WEST SIDE ELEVATION		
A10		





EAST SIDE ELEVATION 1/250

REVISIONS				
DOUBLE DUPLEX				
SCALE: 1/250	APPROVED BY:		DRAWN BY:	
DATE: FEB. 2018	REVIEWED:		PROJECT:	
20 WEST ST. BRAMPTON				
EAST SIDE ELEVATION				
DRAWING NUMBER:				
A11				

