



APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **SHOKIN KULAR AND MANJIT KAUR KULAR** Under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Part of Lot 14, Concession 9 N.D. municipally known as **10796 THE GORE ROAD**, Brampton;

AND WHEREAS the applicants are requesting the following variances(s):

1. To permit an accessory structure (shed) on a lot within the Rural Estate Zone having a gross floor area of 128.58 sq. m (1384.02 sq. ft.) whereas the by-law permits an individual accessory structure to a maximum size of 23 sq. m (247.57 sq. ft.);
2. To permit an existing fence in the front yard having a maximum height of 1.8m (5.90 ft.) whereas the by-law permits a fence in the front yard to a maximum height of 1.0m (3.28 ft.);
3. To permit 58.71% of the front yard to be landscaped open space (as existing) whereas the by-law requires a minimum 70% of the front yard to be landscaped open space.

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO
Application for Consent: NO

File Number: _____
File Number: _____

The Committee of Adjustment has appointed **TUESDAY, November 10, 2020 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of a Local Planning Appeal Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Local Planning Appeal Tribunal by the applicant or another member of the public.

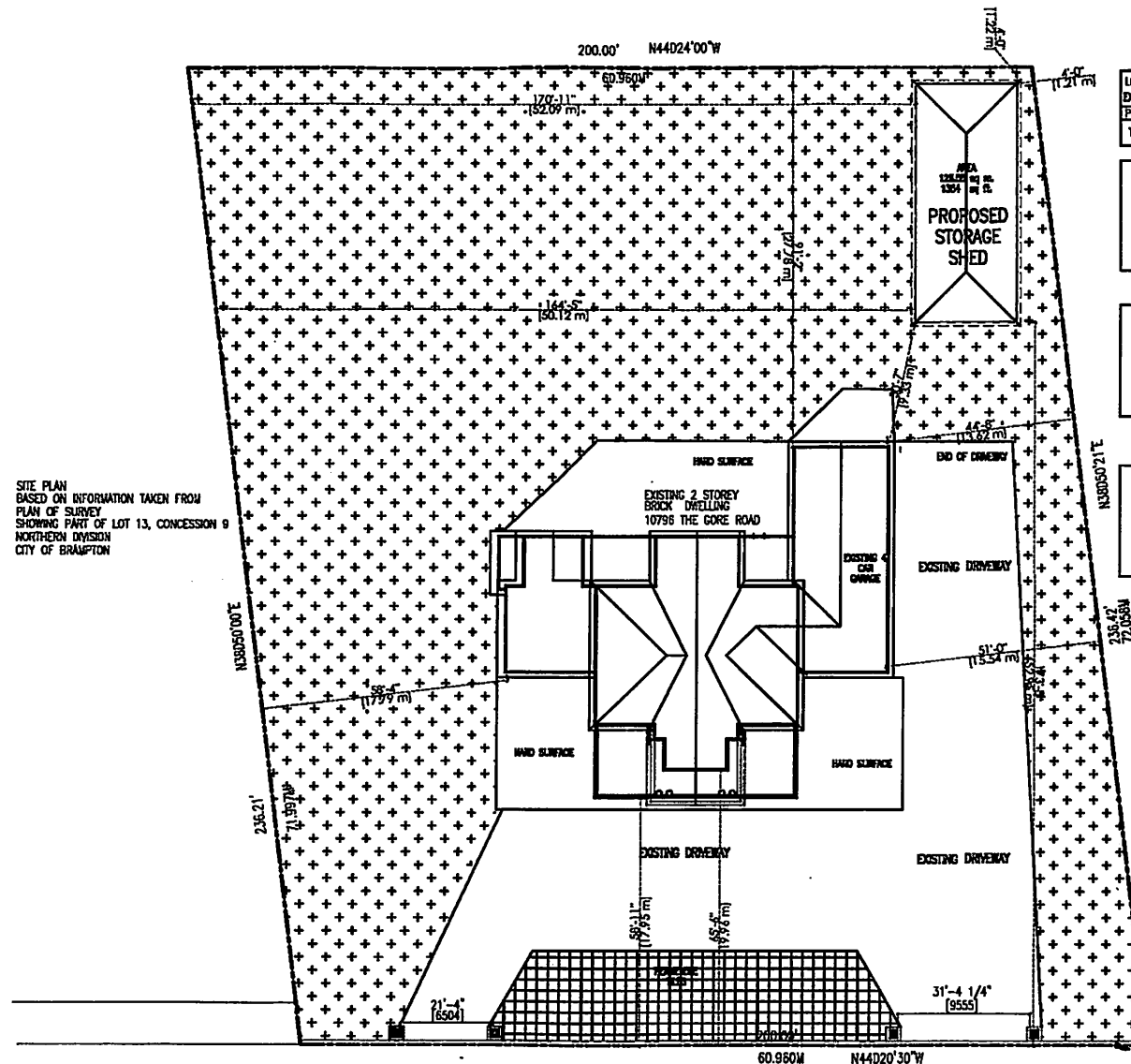
RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this 29th day of October, 2020.

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment
City Clerk's Office,
Brampton City Hall
2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca



SITE PLAN
BASED ON INFORMATION TAKEN FROM
PLAN OF SURVEY
SHOWING PART OF LOT 13, CONCESSION 9
NORTHERN DIVISION
CITY OF BRAMPTON

LOT AREA	4359.98 M ²	45930.44 SF	
EXISTING COVERAGE AREA	457.81 M ²	4922.95 SF	10.5%
PROPOSED STORAGE SHED ADDITION	128.50 M ²	1384 SF	2.9%
TOTAL COVERAGE AREA	586.31 M ²	6306.95 SF	13.4%

EXTG MAIN FLOOR AREA	280.39 M ²	3011.78 SF
EXTG SECOND FLOOR AREA	332.43 M ²	3578.24 SF
EXTG GROSS FLOOR AREA	612.73 M ²	6590.02 SF
WIDTH OF EXISTING HOUSE	27.58 M	
LENGTH OF EXISTING HOUSE	22.95 M	
NO. OF STOREYS	2	
HEIGHT	6.53 M	

PROPOSED STORAGE SHED AREA	128.50 M ²	1384 SF
WIDTH OF SHED	7.38 M	
LENGTH OF SHED	17.42 M	
NO. OF STOREYS	1	
HEIGHT	5.00 M	

LANDSCAPE STATISTICS		
TOTAL FRONT AREA	1198.9 SQ M	
FRONT LANDSCAPE AREA	702.2 SQ M	
PERCENTAGE OF TOTAL	58.71 %	
HEIGHT OF FENCE	1.8 M	

- PLEASE NOTE :
- 1) ACCESSORY STRUCTURES ON THE SITE ARE TEMPORARY AND SHALL BE DEMOLISHED. ONLY ACCESSORY STRUCTURE THAT WILL REMAIN IS THE PROPOSED SHED
 - 2) DRIVEWAY TERMINATES AT THE EXISTING 4 CAR GARAGE AND DOES NOT EXTEND TILL THE PROPOSED SHED.

General Notes

CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK IN IS AND REPORT DISCREPANCIES TO THE CONSULTANT BEFORE PROCEEDING.
ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF CONSULTANTS AND MUST BE RETURNED AT THE COMPLETION OF WORK.
THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNLESS SIGNED BY THE CONSULTANT.
DRAWINGS ARE NOT TO BE SCALED.

LEGENDS:-

REVISION

NO.	DATE	DESCRIPTION	BY

Firm Name and Address
MEM ENGINEERING INC
3355 LEHIGH CRES.
MISSISSAUGA, ON, L4T1W9
416-658-6755
Email: herry@memengineering.ca

LICENSED PROFESSIONAL ENGINEER
H.SINGH
100156144
27/08/20
PROVINCE OF ONTARIO

PROJECT TITLE:
10796 The Gore Rd,
Brampton, ON L6P 0B3

SHEET TITLE:
SITE PLAN

CLIENT EMAIL:

CLIENT CONTACT:

SCALE:
1/16" = 1'-0"

PLOT DATE:
2020-10-29

DRAWN BY:
AR

CHECKED BY:
HS

DRAWING NO.:
A100

SITE PLAN
SC: 1/32" - 1'-0"

Under the authority of the *Emergency Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically during the COVID-19 Emergency

**Electronic Hearing Procedures
How to get involved in the Virtual Hearing**

Brampton City Hall is temporarily closed to help stop the spread of COVID-19. In-person Committee of Adjustment Hearings have been cancelled since mid-March 2020. Brampton City Council and some of its Committee are now meeting electronically during the Emergency. The Committee of Adjustment will conduct its meeting electronically until further notice.

How to Participate in the Hearing:

- All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, November 5, 2020**.
- Advance registration for applicants, agents and other interested persons is required to participate in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm, Friday, November 6, 2020**.
 - Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by Friday, **November 6, 2020**. City staff will contact you and provide you with further details.
- All Hearings will be livestreamed on the City of Brampton YouTube account at: <https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or <http://video.isilive.ca/brampton/live.html>.

If holding an electronic rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

AMENDMENT LETTER

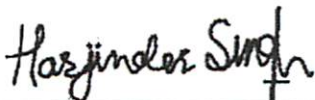
October 29, 2020

To: Committee of Adjustment

**RE: APPLICATION FOR MINOR VARIANCE
SHOKIN SINGH AND MANJIT KAUR KULAR
PART OF LOT 14, CONCESSION 9 EHS
A-2020-0114 – 10796 THE GORE ROAD
WARD 10**

Please **amend** application **A-2020-0114** to reflect the following:

1. To permit an accessory structure (shed) on a lot within the Rural Estate Zone having a gross floor area of 128.58 sq. m (1384.02 sq. ft.) whereas the by-law permits an individual accessory structure to a maximum size of 23 sq. m (247.57 sq. ft.);
2. To permit an existing fence in the front yard having a maximum height of 1.8m (5.90 ft.) whereas the by-law permits a fence in the front yard to a maximum height of 1.0m (3.28 ft.);
3. To permit 58.71% of the front yard to be landscaped open space (as existing) whereas the by-law requires a minimum 70% of the front yard to be landscaped open space.



Applicant/Authorized Agent

PROJECT

10796 THE GORE ROAD, BRAMPTON, ON L6P 0B3

INDEX

- A100 SITE PLAN
- A101 SHED - FOUNDATION AND FLOOR PLAN
- A102 SHED - SECTION AND ELEVATIONS
- A103 SHED - ELEVATION

NOTES:

STUCCO WALL SYSTEMS SHALL BE DUREX STUCCO WALL SYSTEM BY DURABOND PRODUCTS LTD. AND SHALL BE MIN. 1 HR. FIRE RATED CONSISTING OF DUREX ARCHITECTURAL COATINGS BRUSH COAT 2 COATS DUREX UNIPLAST / STUCCO BINDER GALVANIZED METAL LATH MECHANICALLY FASTENED MASONRY, CONCRETE BLOCK, BRICK OR CONCRETE SUBSTRATES OR DUREX ARCHITECTURAL COATINGS 2 COATS DUREX UNIPLAST / STUCCO BINDER FIBERGLASS MESH 040 RIGID POLYSTYRENE INSULATION (R-8 MIN. W/ 2" X 4" , 2" X 6" WOOD OR 3 5/8" METAL STUD FRAMING) FASTENERS MOISTURE BARRIER EXTERIOR GRADE 1/2" DENS. - GLASS GOLD (PLYWOOD SHEATHING WHEN 2" X 4" MIN. WOOD STUDS USED) 3 1/2" 20 GAUGE MIN. STEEL STUDS (2" X 4" , 2" X 6" WD STUDS) @ 16" O.C. (6" R-24 SOUND ATTENUATION BLANKET/ INSULATION WITH 2" X 6" WD. STUD FRAMING) 2 mm. POLYETHYLENE VAPOR BARRIER 1 LAYER 1/2" (MIN) FIRECODE DRYWALL AND ALL MECHANICAL FASTENERS SHALL BE CORROSION RESISTANT

General Notes

CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CANADIAN NATIONAL BUILDING CODE AND ALL APPLICABLE BYLAWS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE ENVIRONMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE PUBLIC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE ADJACENT PROPERTIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE ADJACENT ROADS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE ADJACENT UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE ADJACENT STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE ADJACENT ENVIRONMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE ADJACENT PUBLIC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE ADJACENT UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE ADJACENT STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE ADJACENT ENVIRONMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE ADJACENT PUBLIC.

LEGENDS:-

REVISION		
NO	DATE	DESCRIPTION

Firm Name and Address
MEM ENGINEERING INC
3355 LEIGH CRES.
MISSISSAUGA, ON, L4T1W9
416-658-6755
Email: herry@memengineering.ca



PROJECT TITLE:

10796 The Gore Rd.
Brampton, ON L6P 0B3

SHEET TITLE:

COVER SHEET

CLIENT EMAIL:

CLIENT CONTACT:

SCALE: DRAWING NO.:

PLotted DATE:

2020-10-28

DRAWN BY:

AN

CHECKED BY:

MS

A00

REVISED

CONTRACTOR SHALL CHECK ALL DIMENSIONS TO THE CONSULTANT BEFORE PROCEEDING WITH CONSTRUCTION. THE CONSULTANT'S RESPONSIBILITY IS TO VERIFY THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT AND TO ISSUE A FINAL CERTIFICATE OF CONSTRUCTION AT THE COMPLETION OF WORK. THE CONSULTANT IS NOT RESPONSIBLE FOR CONSTRUCTION UNITS ISSUED BY THE CONSULTANT. DIMENSIONS ARE NOT TO BE EXCEED.

LEGENDS:-

REVISION	NO	DATE	DESCRIPTION	BY

Firm Name and Address
MEM ENGINEERING INC
3265 LEHIGH CRES
MISSISSAUGA, ON, L4T1W9
416-558-6755
Email: herry@memengineering.ca



PROJECT TITLE:
10795 The Gore Rd.
Brampton, ON L6P 0B3

SHEET TITLE:

SITE PLAN

CLIENT EMAIL:

CLIENT CONTACT:

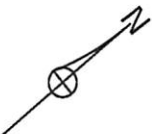
SCALE: 1/16" = 1'-0" DRAWING NO.:

PLOT DATE: 2020-10-28

DRAWN BY: AR

CHECKED BY: NS

A100



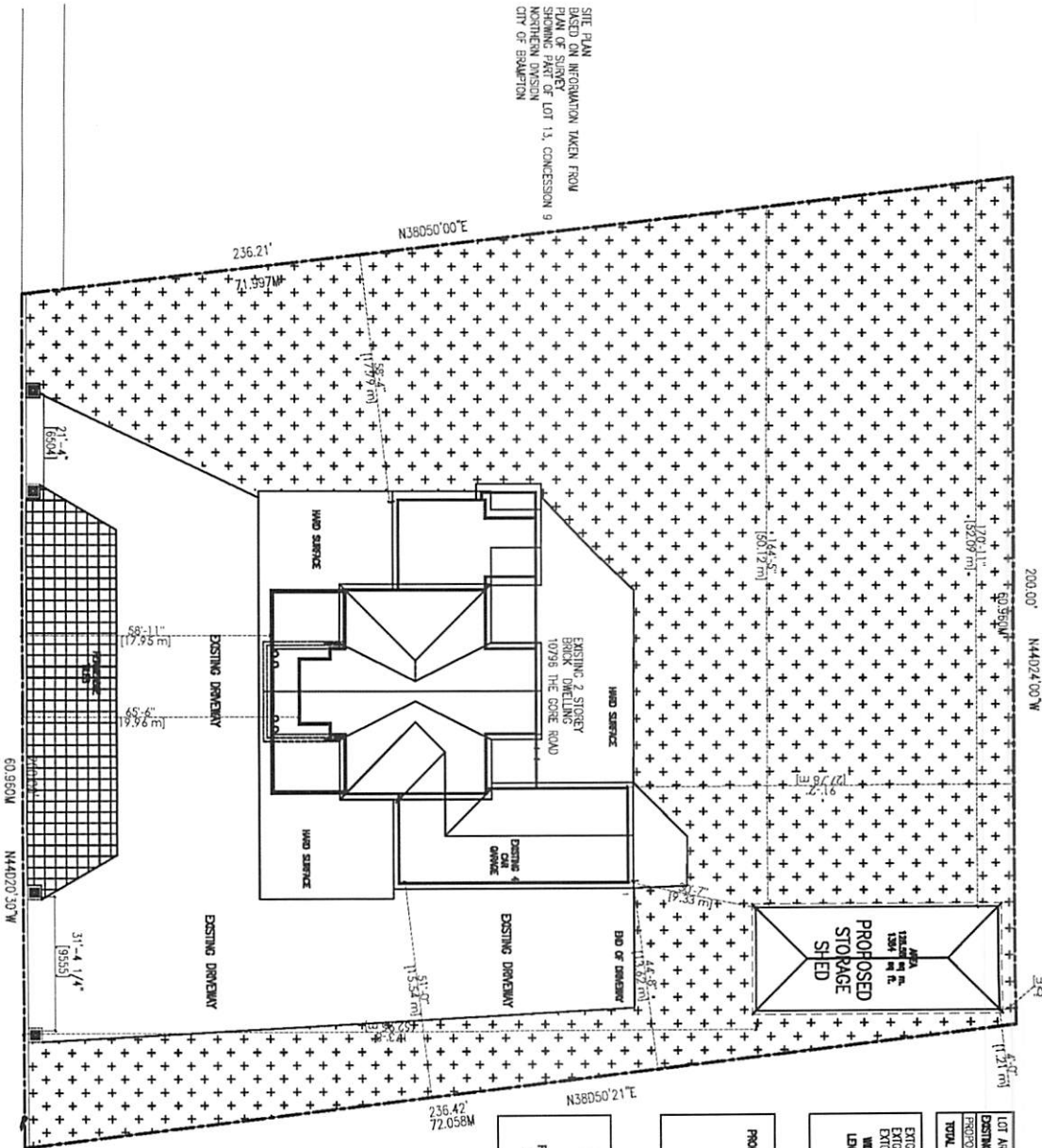
- PLEASE NOTE :
- 1) ACCESSORY STRUCTURES ON THE SITE ARE TEMPORARY AND SHALL BE DEMOLISHED. ONLY ACCESSORY STRUCTURE THAT WILL REMAIN IS THE PROPOSED SHED
 - 2) DRIVEWAY TERMINATES AT THE EXISTING 4 CAR GARAGE AND DOES NOT EXTEND TILL THE PROPOSED SHED.

LANDSCAPE STATISTICS	
TOTAL FRONT AREA	1185.9 SQ M
FRONT LANDSCAPE AREA	702.2 SQ M
PERCENTAGE OF TOTAL	59.21 %
HEIGHT OF FENCE	1.8 M

PROPOSED STORAGE SHED AREA	
WIDTH OF SHED	128.59 M
LENGTH OF SHED	1304 SF
NO. OF STOREYS	1
HEIGHT	5.09 M

EXIST. MAIN FLOOR AREA	
EXIST. SECOND FLOOR AREA	3981.30 M ²
EXIST. GROSS FLOOR AREA	6122.73 M ²
WIDTH OF EXISTING HOUSE	27.28 M
LENGTH OF EXISTING HOUSE	224.55 M
NO. OF STOREYS	2
HEIGHT	6.53 M

LOT AREA	
EXISTING COVERED AREA	4359.98 M ²
PROPOSED STORAGE SHED ADDITION	178.59 M ²
TOTAL COVERED AREA	4538.57 M ²
EXISTING LOT AREA	4620.95 SF
PROPOSED STORAGE SHED ADDITION	1934 SF
TOTAL LOT AREA	6554.95 SF



SITE PLAN
BASED ON INFORMATION TAKEN FROM
PLAN OF SURVEY
SHOWING PART OF LOT 13, CONVESSION 9
NORTHERN DIVISION
CITY OF BRAMPTON

THE GORE ROAD

SITE PLAN

SC: 1/32" = 1'-0"

SUCCO DUEX ELA SYSTEM
BY DURABOND
2 X 6 WOOD STUDS
DOUBLE TOP PLATE
BOTTOM PLATE ANCHORED TO
SOLID FULD TOP COURSE
CONCRETE BLOCK W/1/2 DIA
X 8" LONG ANCHORS AT 48"
OC

[illegible]

Firm Name and Address
MEM ENGINEERING INC
3355 LEHIGH CRES.
MISSISSAUGA, ON, L4T1W9
416-658-8755
Email: harry@memengineering.ca



PROJECT TITLE:
10786 The Gore Rd.
Brampton, ON L6P 0B3

SHEET TITLE:
SHED FLOOR PLAN

CLIENT EMAIL:

CLIENT CONTACT:

SCALE: DRAWING NO.:

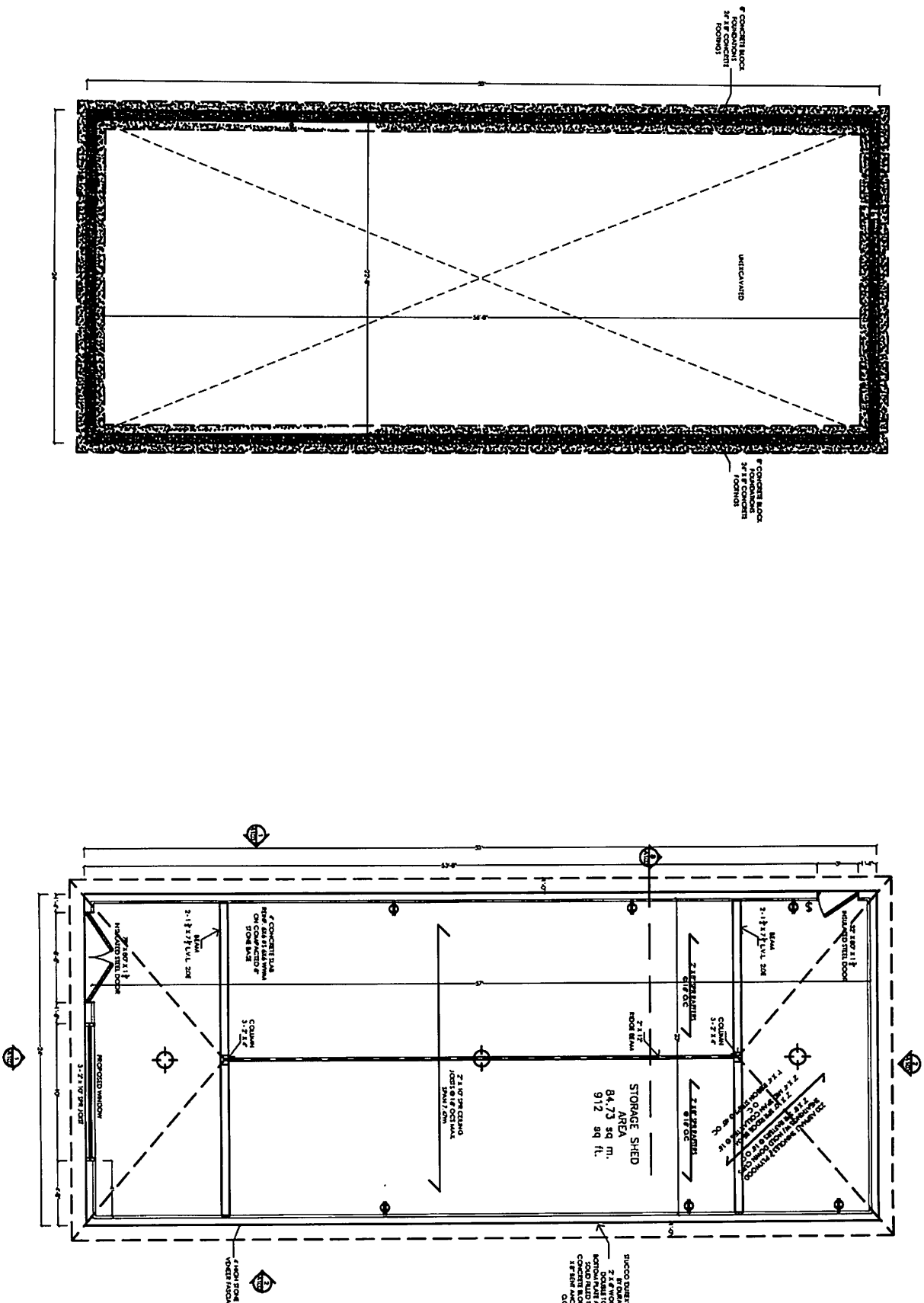
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PL01 DATE: 2020-10-28

DRAWN BY:

APR 19 1964

A101

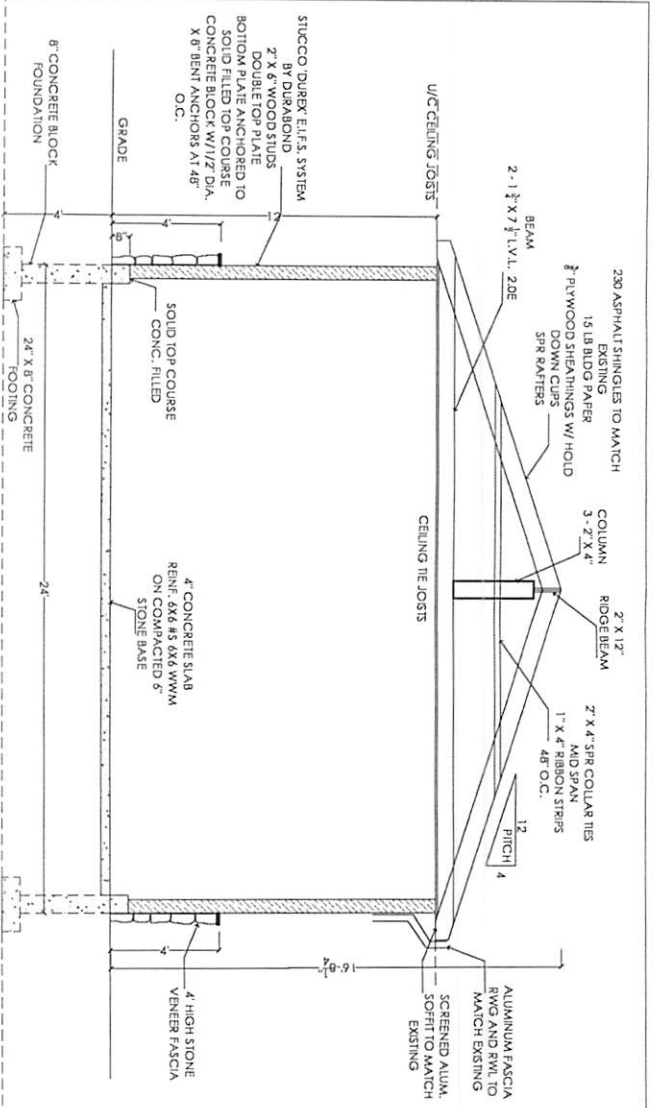


FOUNDATION PLAN - SHED

SC: 1/8" - 1'-0"

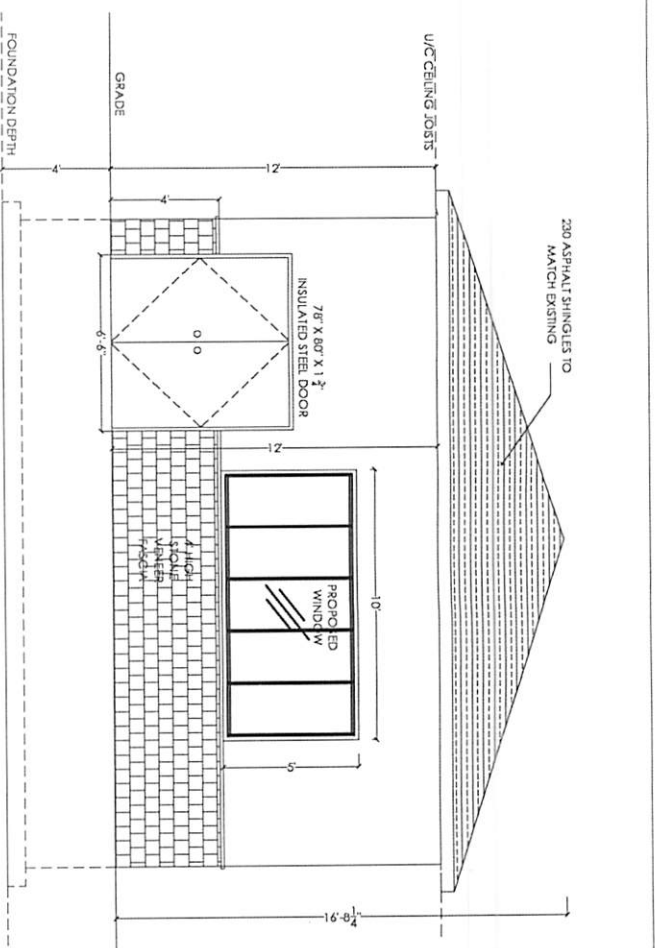
FLOOR PLAN - SHED

SC: 1/8" - 1'-0"



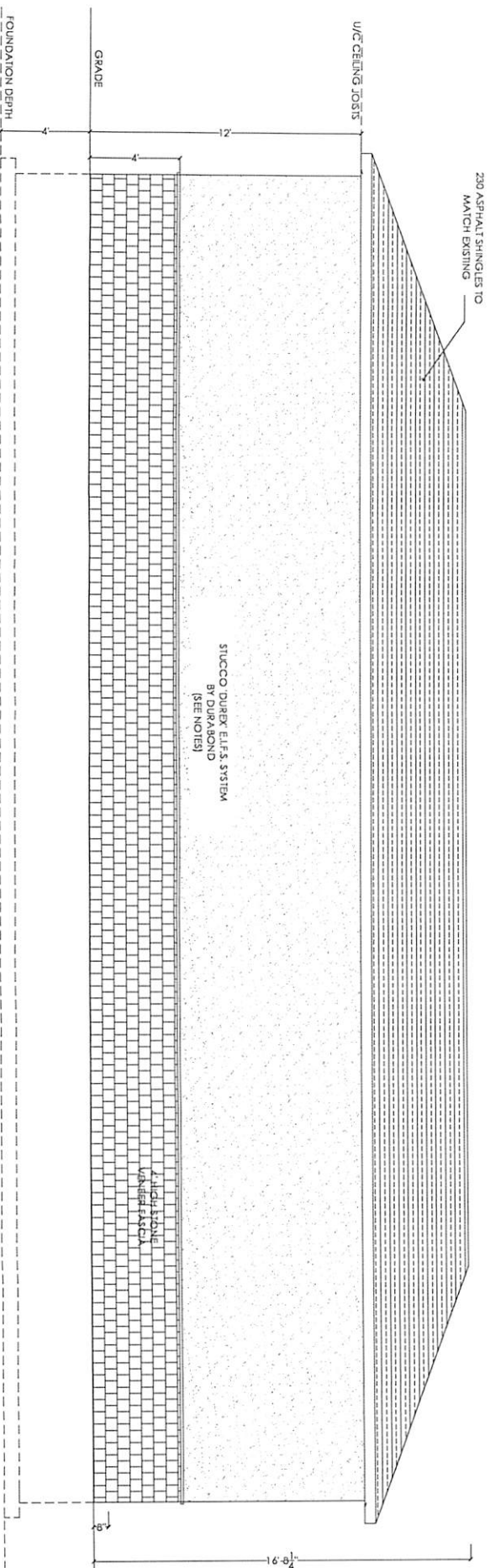
S SECTION - SHED

A102 SC: 3/16" - 1'-0"



1 ELEVATION

A102 SC: 3/16" - 1'-0"



2 ELEVATION

A102 SC: 3/16" - 1'-0"

GENERAL NOTES

CONTRACTOR SHALL CHECK ALL DIMENSIONS TO THE COMPLETION OF WORK. ALL DIMENSIONS AND SPECIFICATIONS ARE THE BASIS FOR THE COMPLETION OF WORK. DIMENSIONS ARE NOT TO BE BOUND.

LEGENDS:-

REVISION	NO.	DATE	DESCRIPTION	BY

MEM ENGINEERING INC
3365 LEIGH CRES.
MISSISSAUGA, ON, L4T1W9
416-558-6755
Email: harry@memengineering.ca



PROJECT TITLE:
10793 The Glen Rd,
Brampton, ON L6Y 0B3

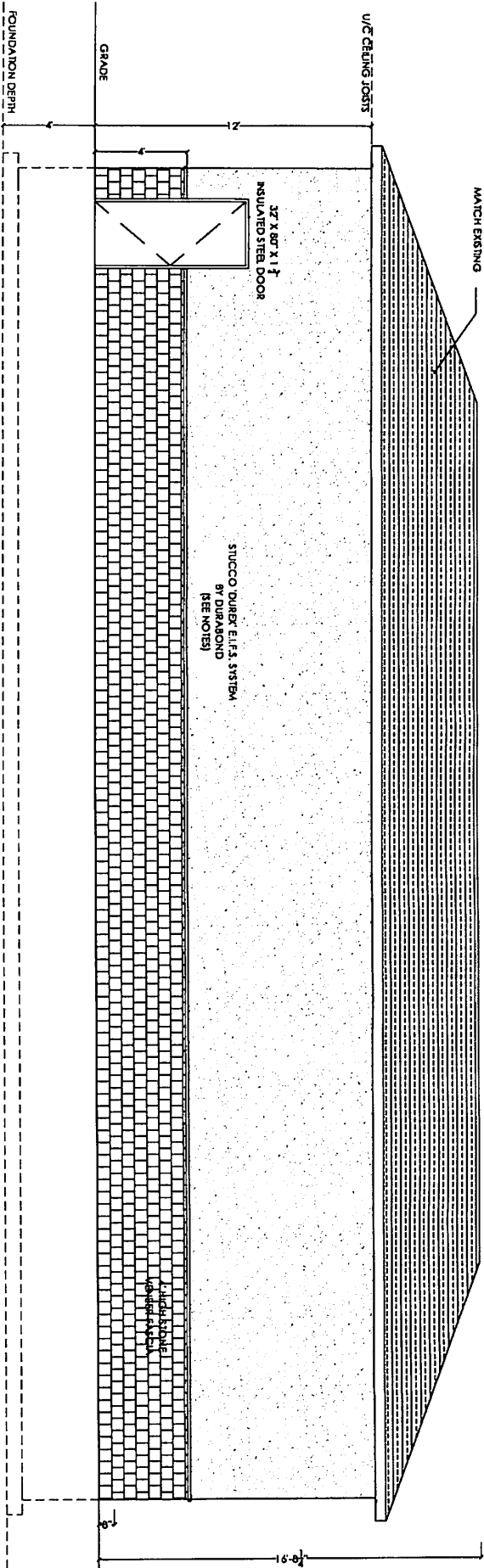
SHEET TITLE:
SECTION & ELEVATIONS

CLIENT EMAIL:
CLIENT CONTACT:

SCALE:
3/16" = 1'-0"
DRAWING NO.:
A102
DRAWN BY:
AR
CHECKED BY:
HS

- CONSTRUCTION SHALL CHECK ALL DIMENSIONS TO BE CONFORMANT WITH PROJECT REQUIREMENTS.
- ALL DIMENSIONS AND SPECIFICATIONS ARE THE PROPERTY OF THE ENGINEER AND SHALL BE USED AT THE DISCRETION OF THE ENGINEER.
- THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION PURPOSES AND NOT TO BE SCALED.

LEGENDS:-

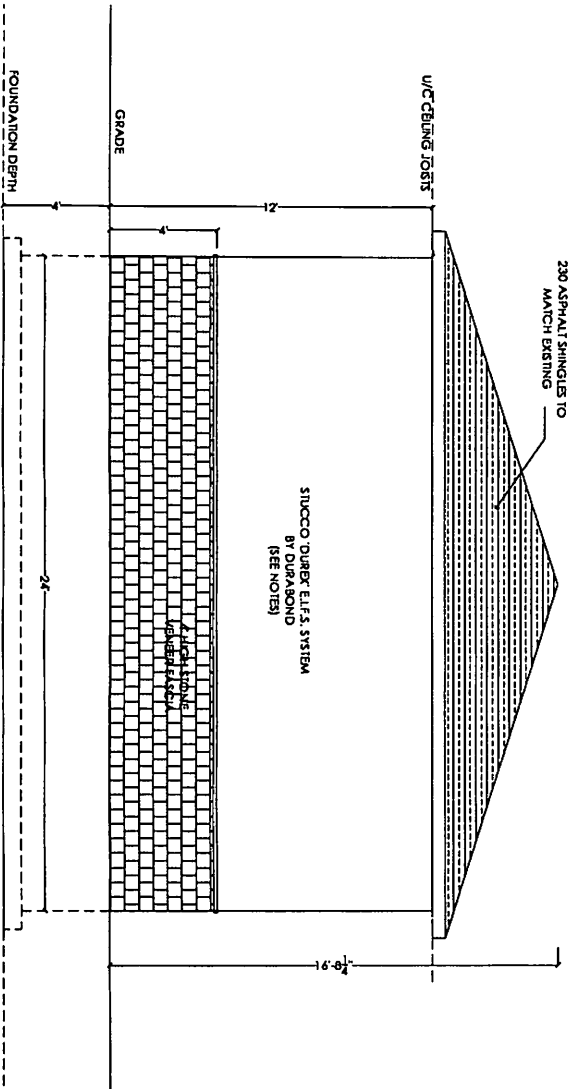


ELEVATION

1

A103

SC: 3/16" - 1'-0"



ELEVATION

2

A103

SC: 3/16" - 1'-0"

REVISION		
NO.	DATE	DESCRIPTION

Firm Name and Address
MEM ENGINEERING INC
3355 LEHIGH CRES.
MISSISSAUGA, ON, L4T1W9
416-658-6755
Email: herry@memengineering.ca



PROJECT TITLE:
10786 The Gore Rd.
Brampton, ON L6P 0E3

SHEET TITLE:
ELEVATIONS

CLIENT EMAIL:

CLIENT CONTACT:

SCALE: 3/16" = 1'-0"

DATE: 2023-10-28

DRAWN BY: AR

CHECKED BY: HB

A103



The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION**Minor Variance or Special Permission**

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law 270-2004.

- 1. Name of Owner(s)** SHOKIN SINGH AND MANJIT KAUR KULAR
Address 10796 THE GORE RD BRAMPTON, ON L6P 0B3
Phone # 647-293-9153 **Fax #** _____
Email aa1kular@gmail.com
- 2. Name of Agent** HARTINDER SINGH
Address 2355 DERRY RD E, UNIT 28, MISSISSAUGA, ON L5S 1V6
Phone # 416-558-6755 **Fax #** _____
Email HARRYC.MEMENGINEERING@CA
- 3. Nature and extent of relief applied for (variances requested):**
By Law Storage SHED Allowed = 10m²
Proposed Storage Shed = 128.56m²
Client wants Bigger Storage to store small tractor and other equipment
- 4. Why is it not possible to comply with the provisions of the by-law?**
By Law Storage Shed allowed = 10m²
Proposed Storage Shed = 128.56m²
- 5. Legal Description of the subject land:**
Lot Number CON 9 EHS PT LOT 14
Plan Number/Concession Number 9
Municipal Address 10796 THE GORE ROAD
- 6. Dimension of subject land (in metric units)**
Frontage 60.96M
Depth 72.05 M
Area 4359.98
- 7. Access to the subject land is by:**

Provincial Highway	<input type="checkbox"/>	Seasonal Road	<input type="checkbox"/>
Municipal Road Maintained All Year	<input checked="" type="checkbox"/>	Other Public Road	<input type="checkbox"/>
Private Right-of-Way	<input type="checkbox"/>	Water	<input type="checkbox"/>

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

Existing 2 Storey brick House.
Ground floor Area = 280.3 m^2
Gross floor Area = 612.73 m^2
Width of House = 27.58 m
Length of House = 25.95 m
Height of House = 8.53 m Existing Coverage = 10.5%

PROPOSED BUILDINGS/STRUCTURES on the subject land:

Proposed Storage Shed Area = 128.58 m^2
No. of Storey = 1
Length of Shed = 17.42 m
Width of Shed = 7.38 m
Height of Shed = 5.09 m
Shed coverage = 2.9%

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback	<u>17.95 m</u>
Rear yard setback	<u>27.78 m</u>
Side yard setback	<u>13.62 m</u>
Side yard setback	<u>17.79 m</u>

PROPOSED

Front yard setback	<u>52.95 m</u>
Rear yard setback	<u>1.22 m</u>
Side yard setback	<u>1.21 m</u>
Side yard setback	<u>50.12 m</u>

10. Date of Acquisition of subject land: 2012

11. Existing uses of subject property: Single family Dwelling

12. Proposed uses of subject property: Single family Dwelling

13. Existing uses of abutting properties: Residential

14. Date of construction of all buildings & structures on subject land: 1985

15. Length of time the existing uses of the subject property have been continued: 25 yrs

16. (a) What water supply is existing/proposed?

Municipal ☒ Other (specify) _____
Well ☐

- (b) What sewage disposal is/will be provided?

Municipal ☒ Other (specify) _____
Septic ☐

- (c) What storm drainage system is existing/proposed?

Sewers ☐ Other (specify) on Gravel (Backyard)
Ditches ☐
Swales ☐

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Harjinder Singh
Signature of Applicant(s) or Authorized Agent

DATED AT THE Brampton OF Ontario
THIS 05 DAY OF Oct, 2020.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, HARJINDER SINGH, OF THE CITY BRAMPTON OF BRAMPTON
IN THE REGION OF PEEL SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton
IN THE Region OF
Peel THIS 13th DAY OF
October, 2020.
April Dela Cerna
A Commissioner etc.

Harjinder Singh
Harjinder Singh
Signature of Applicant or Authorized Agent

April Dela Cerna, ad.
a Commissioner, etc.,
Province of Ontario,
for the Corporation of the
City of Brampton.
Expires May 8, 2021.

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

A-1520, Mature

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Hothi S
Zoning Officer

Oct. 13, 2020
Date

DATE RECEIVED OCTOBER 13, 2020

General Notes

THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE CONSULTANT. CHANGES ARE NOT TO BE MADE.

LEGENDS:-

NOTES:

- STUCCO WALL SYSTEMS SHALL BE DUREX STUCCO WALL SYSTEM BY DURABOND PRODUCTS LTD. AND SHALL BE MIN. 1 HR. FIRE RATED CONSISTING OF DUREX ARCHITECTURAL COATINGS BRUSH COAT 2 COATS DUREX UNIPLAST / STUCCO BINDER
2 COATS DUREX UNIPLAST / STUCCO BINDER
GALVANIZED METAL LATH MECHANICALLY FASTENED
MASONRY, CONCRETE BLOCK, BRICK OR CONCRETE SUBSTRATES
OR
DUREX ARCHITECTURAL COATINGS
2 COATS DUREX UNIPLAST / STUCCO BINDER
FIBERGLASS MESH O40
RIGID POLYSTYRENE INSULATION (R-8 MIN. W/ 2" X 4" , 2" X 6" WOOD OR 3 5/8" METAL STUD FRAMING) FASTENERS
5/8" METAL STUD
MOISTURE BARRIER
EXTERIOR GRADE 3/4" CEMENT BOARD / 3/4" DENS. GLASS GOLD PL WOOD SHEATHING WHEN 2" X 4" MIN. WOOD STUDS USED)
3 3/8" 20 GAUGE MIN. STEEL STUDS (2" X 4" , 2" X 6" WD STUDS) @ 16" O.C.
(6" R-24 SOUND ATTENUATION BLANKET/ INSULATION WITH 2" X 6" WD. STUD FRAMING)
2 mm. POLYETHYLENE VAPOR BARRIER
1 LAYER 3/4" (MIN) FIRECODE DRYWALL AND ALL MECHANICAL FASTENERS SHALL BE CORROSION RESISTANT

[illegible]**Firm Name and Address**

MEM ENGINEERING INC

3355 LEHIGH CRES.

MISSISSAUGA, ON, L4T1W3

416-558-6755

Email: harry@momomongline.org.ca

**PROJECT TITLE:**

10798 The Gore Rd,
Brampton, ON L6P 0B3

SHEET TITLE:

COVER SHEET

CLIENT EMAIL:

CLIENT CONTACT:

SCALE: **DRAWING NO.:**

PLOT DATE:

DRAWN BY:

CHECKED BY:

MS

A00

- CONSTRUCTION SHALL COMPLY WITH THE REQUIREMENTS OF THE CANADIAN BUILDING CODE, AS AMENDED BY THE LOCAL LAMINAR BEARING REQUIREMENTS, AND THE CANADIAN NATIONAL BUILDING CODE, AS AMENDED BY THE LOCAL LAMINAR BEARING REQUIREMENTS.
- PROPERTY OF CONSULTANTS AND NOT BE RETURNED TO THE CLIENT.
- THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION.
- DRAWINGS ARE NOT TO BE COPIED.

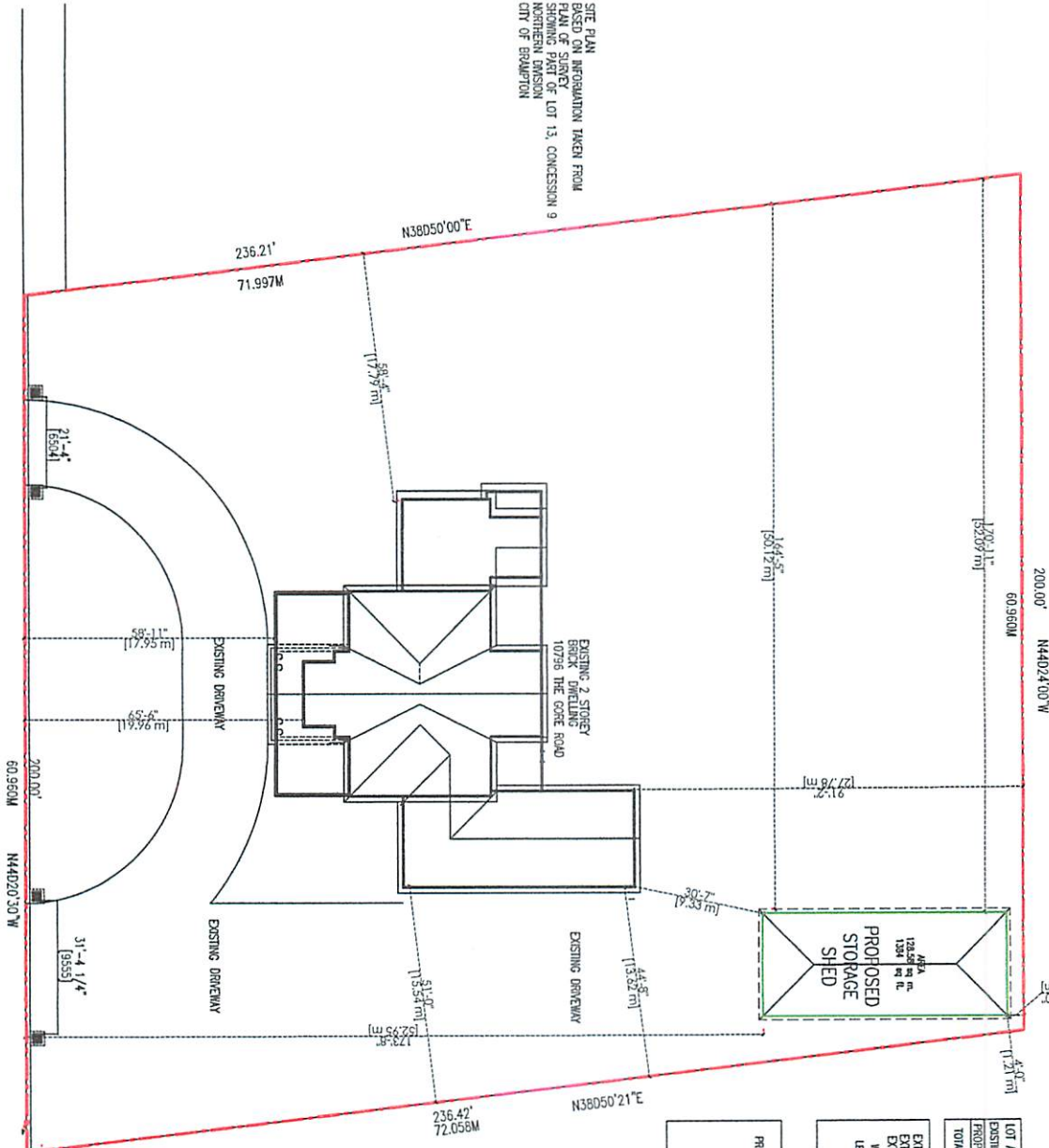
LEGENDS:-

LOT AREA	4399.99 M ²	46930.44 SF	10.5%
EXISTING COVERAGE AREA	457.91 M ²	4928.55 SF	2.9%
PROPOSED STORAGE SHED ADDITION	128.58 M ²	1384 SF	
TOTAL COVERAGE AREA	586.49 M ²	6313.55 SF	13.45%

EXIST. MAIN FLOOR AREA	280.30 M ²	3031.78 SF
EXIST. SECOND FLOOR AREA	333.43 M ²	3578.24 SF
EXIST. GROSS FLOOR AREA	612.73 M ²	6610.02 SF
WIDTH OF EXISTING HOUSE	22.58 M	
LENGTH OF EXISTING HOUSE	25.59 M	
NO. OF STOREYS	2	
HEIGHT	8.53 M	

PROPOSED STORAGE SHED AREA	128.58 M ²	1384 SF
WIDTH OF SHED	7.33 M	
LENGTH OF SHED	17.42 M	
NO. OF STOREYS	1	
HEIGHT	5.09 M	

SITE PLAN
BASED ON INFORMATION TAKEN FROM
PLAN OF SURVEY
SHOWING PART OF LOT 13, CONCESSION 9
NORTHWEST QUARTER
CITY OF BRAMPTON



THE GORE ROAD

SITE PLAN

SC: 1/32" = 1'-0"



REVISION	NO.	DATE	DESCRIPTION	BY
	1	27/08/20		

Firm Name and Address
MEM ENGINEERING INC
3355 LEHIGH CRES.
MISSISSAUGA, ON, L4T1W9
416-559-6755
Email: herry@memengineering.ca



PROJECT TITLE:
10798 The Gore Rd,
Brampton, ON L6P 0B3

SHEET TITLE:
SITE PLAN

CLIENT EMAIL:	
CLIENT CONTACT:	
SCALE:	1/32" = 1'-0"
PLOT DATE:	2020-10-05
DRAWN BY:	
CHECKED BY:	

A100

CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS PRIOR TO THE COMMENCEMENT OF WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.

LEGENDS:-

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	3			
	4			
	5			
	6			
	7			
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Firm Name and Address
MEM ENGINEERING INC
3355 LEHIGH CRES.
MISSISSAUGA, ON, L4T1W9
416-558-6755
Email: herry@memengineering.ca



PROJECT TITLE:
**10796 The Gore Rd,
Brampton, ON L6P 0B3**

SHEET TITLE:
SHED FLOOR PLAN

CLIENT EMAIL:

CLIENT CONTACT:

SCALE:

DRAWING NO.:

FOOT DATE:

2020-10-05

DRAWN BY:

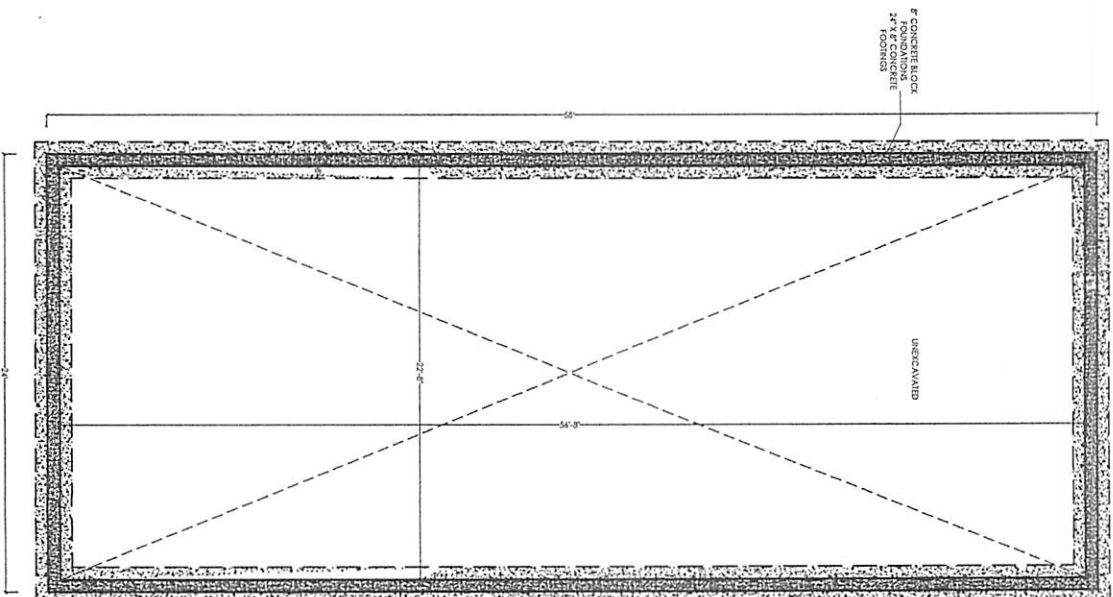
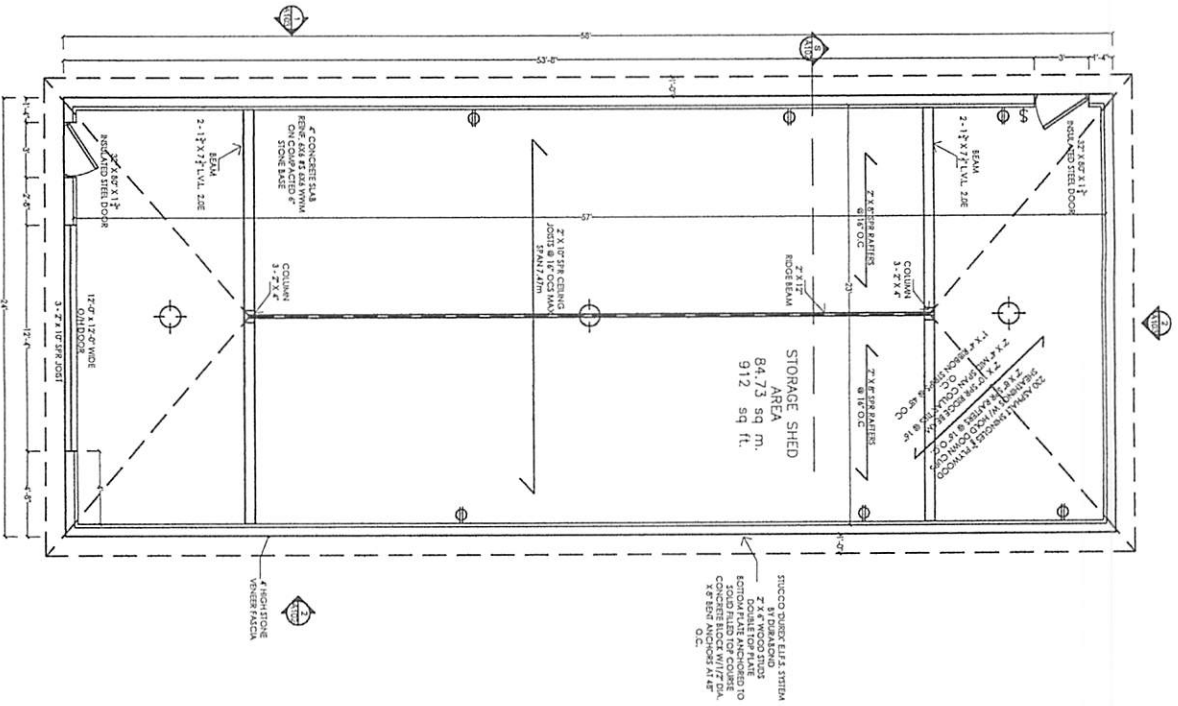
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CHECKED BY:

HB

FLOOR PLAN - SHED

SC: 1/8" - 1'-0"



FOUNDATION PLAN - SHED

SC: 1/8" - 1'-0"

- CONSULTING ENGINEER'S RESPONSIBILITY IS LIMITED TO THE DESIGN OF THE STRUCTURE AND TO THE CONSULTING ENGINEER'S RESPONSIBILITY OF CONSULTING ENGINEER AND NOT FOR THE DESIGN OF THE WORKMANSHIP OF THE CONSTRUCTION.
- THE CONSULTING ENGINEER'S WORK IS LIMITED TO THE DESIGN OF THE STRUCTURE AND NOT FOR THE DESIGN OF THE CONSTRUCTION.
- THE CONSULTING ENGINEER'S WORK IS LIMITED TO THE DESIGN OF THE STRUCTURE AND NOT FOR THE DESIGN OF THE CONSTRUCTION.

LEGENDS:-

REVISION	NO.	DATE	DESCRIPTION	BY

From Name and Address
MEH ENGINEERING INC
3555 LEHIGH CRES.
MISSISSAUGA, ON, L4T 1W9
416-556-6755
Email: herry@memengineering.ca

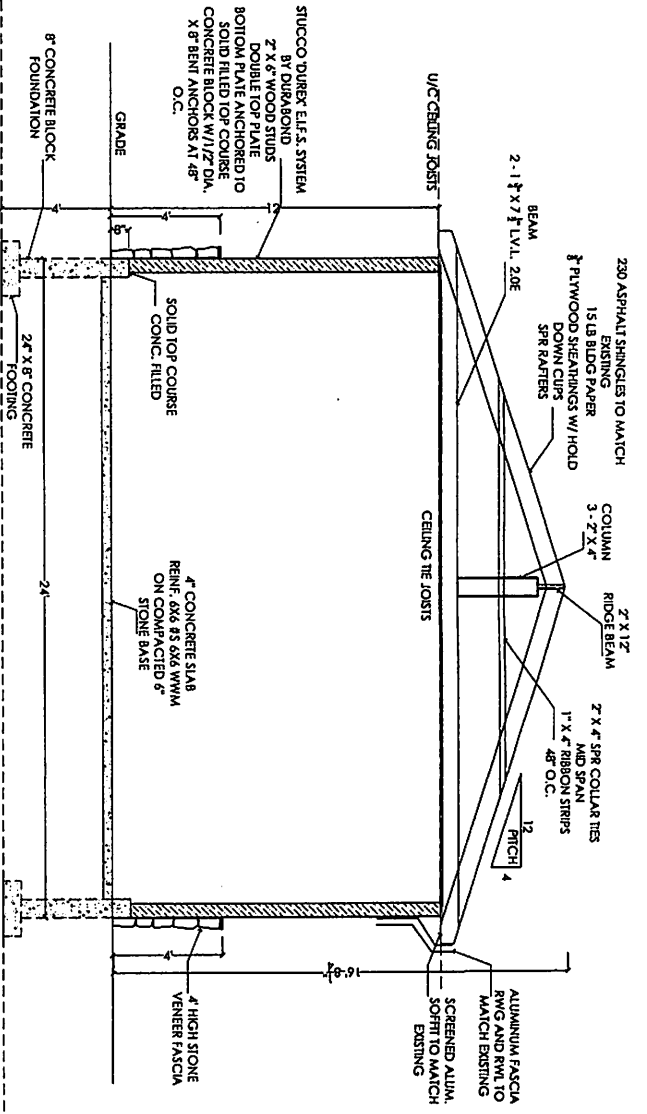


PROJECT TITLE:
10796 The Gore Rd,
Brampton, ON L6P 0B3

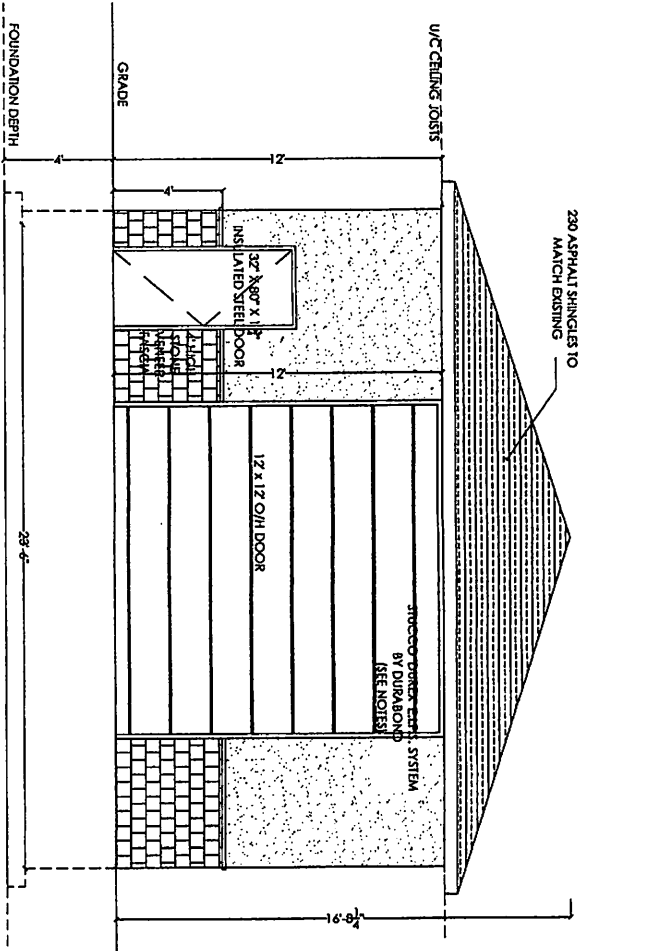
SHEET TITLE:
SECTION & ELEVATIONS

CLIENT EMAIL:	
CLIENT CONTACT:	
SCALE:	DRAWING NO.:
3/16" = 1'-0"	
PLOT DATE:	
2024-10-09	
DRAWN BY:	
AN	
CHECKED BY:	
IN	

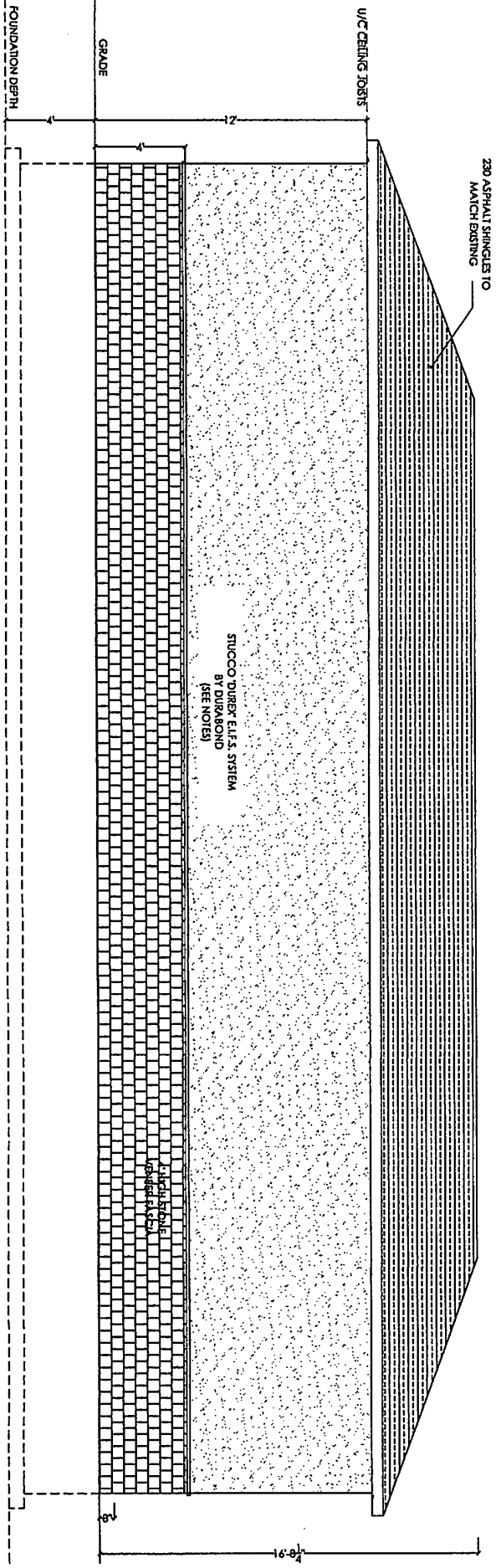
A102



S SECTION - SHED
A102 SC: 3/16" - 1'-0"



1 ELEVATION
A102 SC: 3/16" - 1'-0"



2 ELEVATION
A102 SC: 3/16" - 1'-0"

1. CONSULT WITH ARCHITECT FOR ALL DIMENSIONS ON THE WORK SITE AND REPORT DISCREPANCIES TO THE CONSULTANT BEFORE PROCEEDING.
2. THE CONSULTANT SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.
3. THE CONSULTANT SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.
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9. THE CONSULTANT SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.
10. THE CONSULTANT SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.

LEGENDS:-

REVISION	NO.	DATE	DESCRIPTION	BY

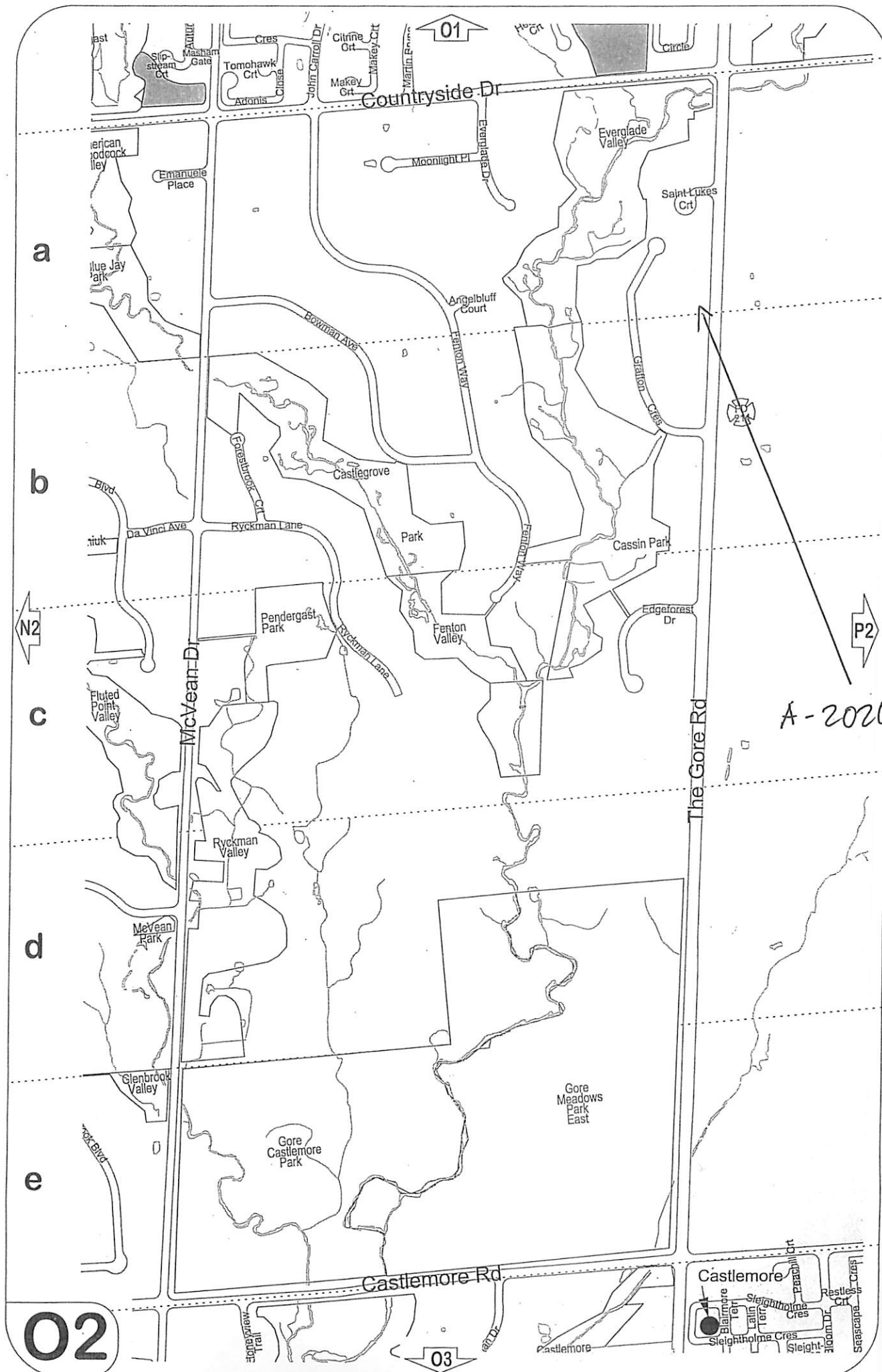
MEM ENGINEERING INC
3355 LEIGH CRES.
MISSISSAUGA, ON, L4T1W9
416-669-6755
Email: herry@memengineering.ca



PROJECT TITLE:
10786 The Gore Rd,
Brampton, ON L6P 0B3

SHEET TITLE:
ELEVATIONS

CLIENT EMAIL:	
CLIENT CONTACT:	
SCALE:	3/16" = 1'-0"
PROJECT NO.:	2023-10-05
DRAWN BY:	AN
CHECKED BY:	HS
DRAWING NO.:	A103



A-2020-0114