

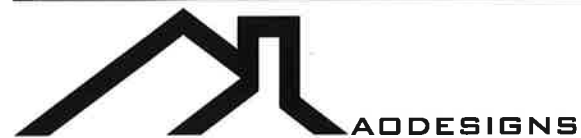
SITE STATISTICS

LOT AREA=	9,491.22SF (881.76SM)
EXISTING HOUSE=	2,652.81SF (246.45SM)
EXISTING SHED=	74.75SF (6.94SM)
ADDITION=	284.38SF (26.42SM)
LOT COVERAGE	
(HOUSE/SHED/ADDITION)=	31.73%
LOT COVERAGE (HOUSE)=	27.95%
LOT COVERAGE (SHED)=	0.79%
LOT COVERAGE (ADDITION)=	2.99%



The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents.

NAME: Alexandra Aodesh SIGNATURE: [Signature] BCIN: 101509



Pardeep & Raman Nijjar **SITE PLAN**
 8613 Creditview Road, Brampton ON L6Y 0X6 Sheet No.
 Scale: 3/32" = 1'-0" Date: 2022-11-28 Revision #: 001 Revision Date: **SP-1**

Under the authority of the Emergency Management and Civil Protection Act and the Municipal Act, 2001, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

**Electronic/Hybrid Hearing Procedures
How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **February 14, 2023** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

How to Participate in the Hearing:

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, February 9, 2023.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
 1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, February 9, 2023.**
 2. To participate in-person, please email the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, February 9, 2023.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, February 9, 2023.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.



The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** Pardeep Nijjar Paramjit Nijjar
Address 8613 Creditview Road, Brampton, ON L6Y 0X6

Phone # (416) 568-2623 **Fax #** _____
Email pardeep_nijjar@hotmail.com

2. **Name of Agent** Nour Elgendy
Address 240 Viceroy Rd, Unit 6 Concord ON L4K 3N9

Phone # 905 404 2789 Ext 504 **Fax #** _____
Email nour@fourseasons-sunrooms.com

3. **Nature and extent of relief applied for (variances requested):**
Requesting a rear yard of 2.93m whereas the minimum required is 7.5m.

4. **Why is it not possible to comply with the provisions of the by-law?**
Compromised usable living space.

5. **Legal Description of the subject land:**
Lot Number 3
Plan Number/Concession Number 43M - 1888
Municipal Address 8613 Creditview Road, Brampton, ON L6Y 0X6

6. **Dimension of subject land (in metric units)**
Frontage 21.3m
Depth 41.399m
Area 881.76m²

7. **Access to the subject land is by:**

Provincial Highway	<input type="checkbox"/>	Seasonal Road	<input type="checkbox"/>
Municipal Road Maintained All Year	<input checked="" type="checkbox"/>	Other Public Road	<input type="checkbox"/>
Private Right-of-Way	<input type="checkbox"/>	Water	<input type="checkbox"/>

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

Existing Dwelling: Area: 246.45 SM, Height 7m+-

Existing Shed: 6.94 SM; Height: 2.2m

PROPOSED BUILDINGS/STRUCTURES on the subject land:

Sunroom addition: Area: 26.42 SM; Height: 3.86m

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback 15.25m
Rear yard setback 7.98m
Side yard setback 1.54m
Side yard setback 2.46m

PROPOSED

Front yard setback 15.25m
Rear yard setback 2.93m
Side yard setback _____
Side yard setback _____

10. Date of Acquisition of subject land: September 26, 2013

11. Existing uses of subject property: Residential

12. Proposed uses of subject property: Residential

13. Existing uses of abutting properties: Residential

14. Date of construction of all buildings & structures on subject land: 2012-2013

15. Length of time the existing uses of the subject property have been continued: 9 years

16. (a) What water supply is existing/proposed?
Municipal Other (specify) _____
Well

(b) What sewage disposal is/will be provided?
Municipal Other (specify) _____
Septic

(c) What storm drainage system is existing/proposed?
Sewers Other (specify) _____
Ditches
Swales

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes No

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes No

19. Has the subject property ever been the subject of an application for minor variance?

Yes No Unknown

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

[Signature]
Signature of Applicant(s) or Authorized Agent

DATED AT THE City OF Brampton
THIS 21st DAY OF Dec, 2022.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Nour Elgendy, OF THE City OF Toronto
IN THE Province OF Ontario SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton

IN THE Region OF

Peel THIS 21st DAY OF

hloc , 2022.

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024.

[Signature]
Signature of Applicant or Authorized Agent

[Signature]
A Commissioner etc.

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

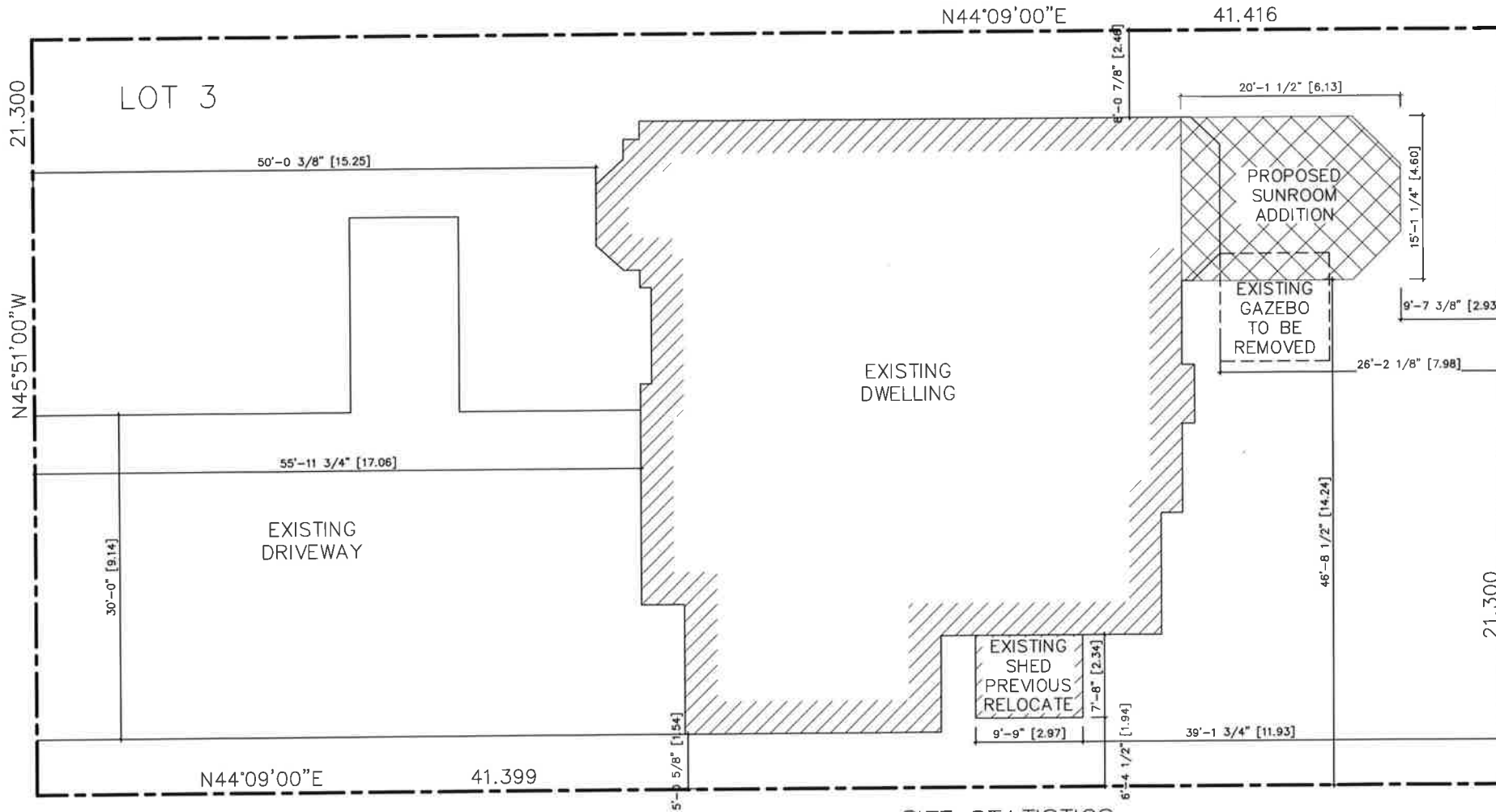
Present Zoning By-law Classification: R1E-18.3-2096

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

[Signature]
Zoning Officer

December 21.22
Date

DATE RECEIVED Dec. 21, 2022



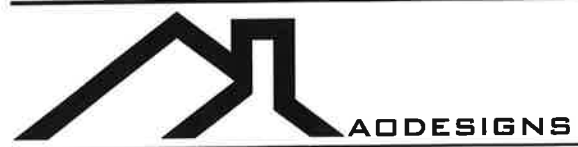
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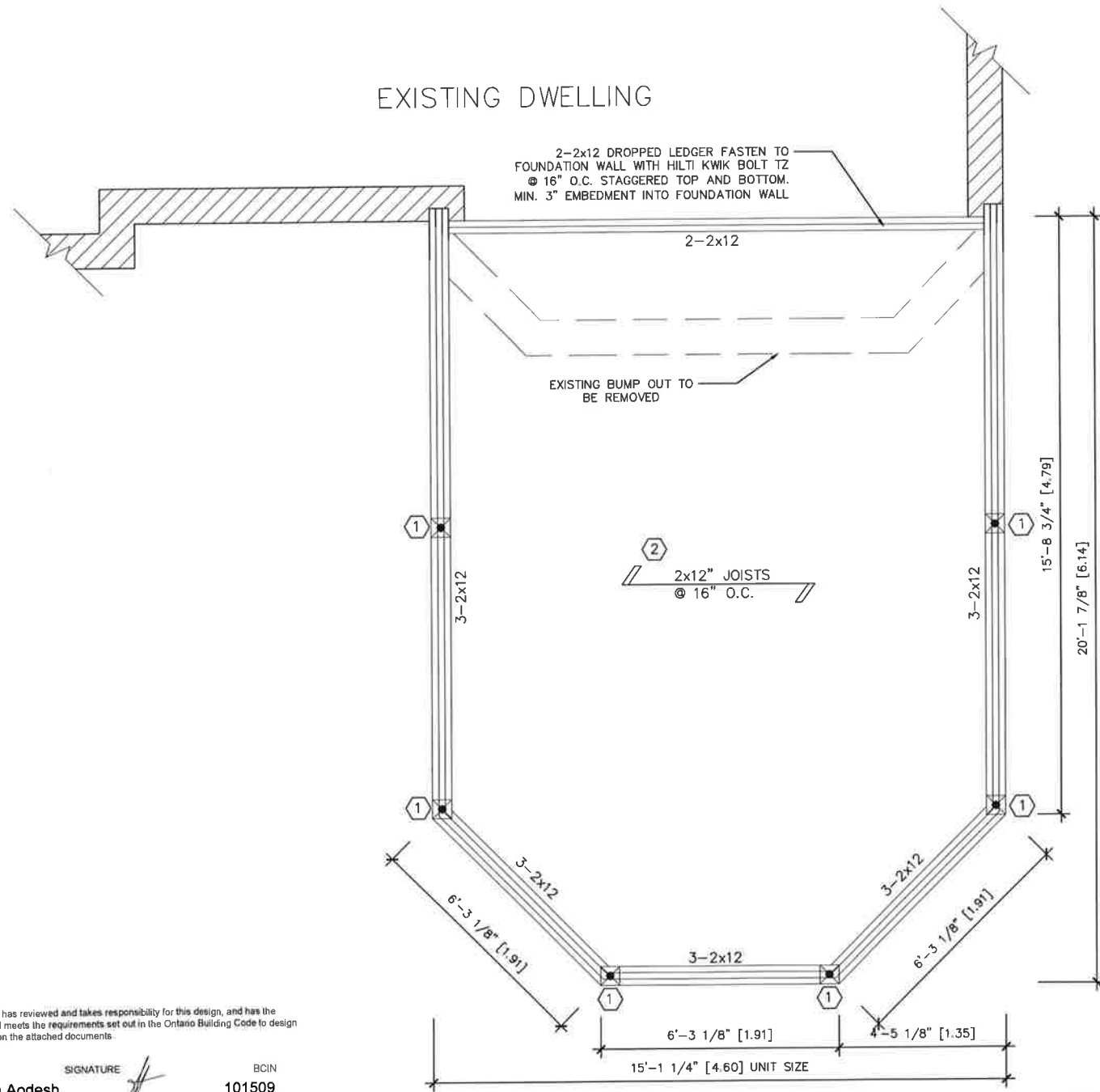


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NAME: Alexandra Aodesh
 SIGNATURE: [Signature]
 BCIN: 101509



EXISTING DWELLING

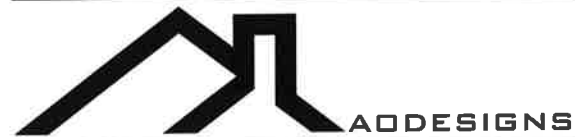


NOTES

- ① **TECHNO POST FOUNDATION**
 TECHNO METAL POST (AS PER ENGINEERED DRAWINGS INCLUDED)
 HELICAL PILE FOUNDATION SYSTEM -CCMC APPROVED
 MODEL #P2 - 2 3/4" DIA. POST
 MINIMUM 4'-0" BELOW GRADE ON UNDISTURBED GROUND
 MINIMUM 6" ABOVE GRADE - TYPICAL
 HELIX TO BE DETERMINED AT TIME OF INSTALLATION
- INSTALLATION**
 INSTALLATION TO BE UNDERTAKEN IN SUCH A MANNER SO AS TO PREVENT DAMAGE TO EXISTING STRUCTURES, ADJACENT PROPERTY AND UTILITIES.
- ② **FLOOR FRAMING**
 2x12" FLOOR JOISTS @ 16" O.C.
 3-2x12 PERIMETER BEAMS
 2-2x12 DROPPED LEDGER BOLTED TO HOUSE WITH 1/2" PLYWOOD UNDERNEATH
 R39 BATT INSULATION
 5/8" T&G PLYWOOD SUBFLOOR SCREWED DOWN
- GROUND PREPARATION TO CONSIST OF MINOR GRADE LEVELING
 6 MIL POLY SHEET ON GRADE
 2" OF GRAVEL ON TOP

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NAME SIGNATURE BCIN
 Alexandra Aodesh 101509

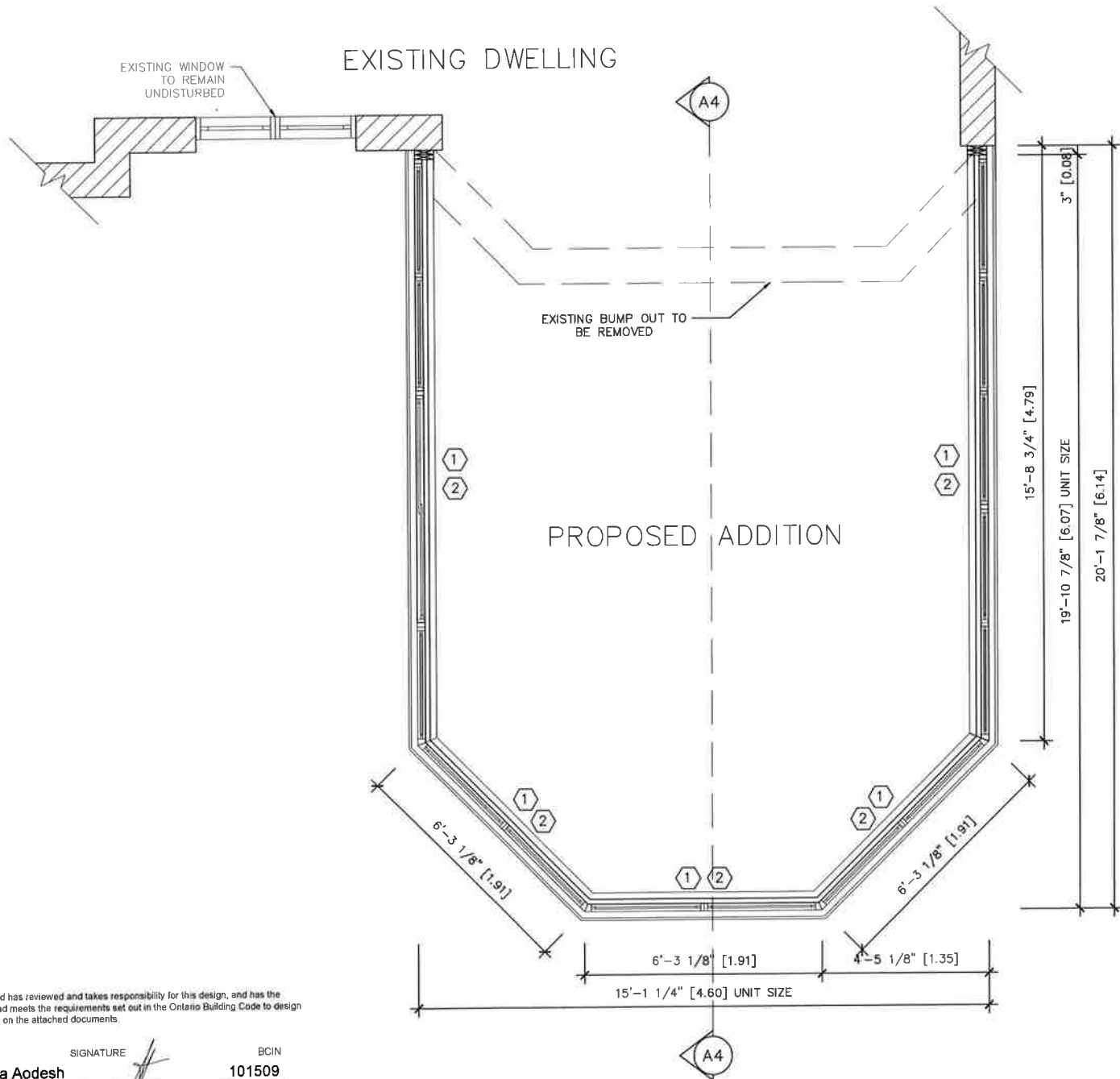


FOUNDATION PLAN

8613 Creditview Road, Brampton ON L6Y 0X6 Sheet No.

Scale 1/3" = 1'-0" Date 2022-11-28 Revision # 001 Revision Date

A1



NOTES

- 1 **SOLID WALLS**
 WALL STUDS TO BE 2x6 ON 16" CENTERS
 R22 BATT INSULATION + R10ci
 1/2" DRYWALL TAPED, SANDED, PRIMED WHITE READY FOR PAINT
 1/2" PLYWOOD EXTERIOR SHEATHING WITH TYVEK BUILDING PAPER
 EXTERIOR FINISH TO BE VERTICAL OR HORIZONTAL SIDING
- BACKWALL FINISH**
 SUPPLY & INSTALL 1/2" DRYWALL TAPED, SANDED, PRIMED WHITE READY FOR FINAL PAINT
 2x2 STRAPPING ON 16" CENTERS INCLUDES SHIMS FOR UNEVEN WALL
- 2 **VERTICAL GLAZING**
 CONSERVAGLASS SELECT (MC-7E)
 EXCLUSIVE HIGH PERFORMANCE GLAZING
 MULTI-COAT GLAZING TECHNOLOGY (CODE 7E)
 EASY-CLEAN II EXTERIOR COATING + STAY CLEAN-CLEAN TECHNOLOGY
 ARGON GAS FILLED FOR BETTER INSULATION
 75% REDUCTION IN TOTAL SOLAR TRANSMITTANCE
 HIGH VISIBLE TRANSMITTANCE
 R4.0/ U0.25 CENTER OF GLASS INSULATION VALUE
 STAINLESS STEEL CONTINUOUS BENT SPACERS
 DUAL POLY-ISOBUTYLENE AND SILICONE SEALS
 PROTECTIVE GLASS MASKING

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NAME SIGNATURE BCIN
 Alexandra Aodesh  101509



GROUND FLOOR PLAN

8613 Creditview Road, Brampton ON L6Y 0X6

Sheet No.

Scale
 1/3" = 1'-0"

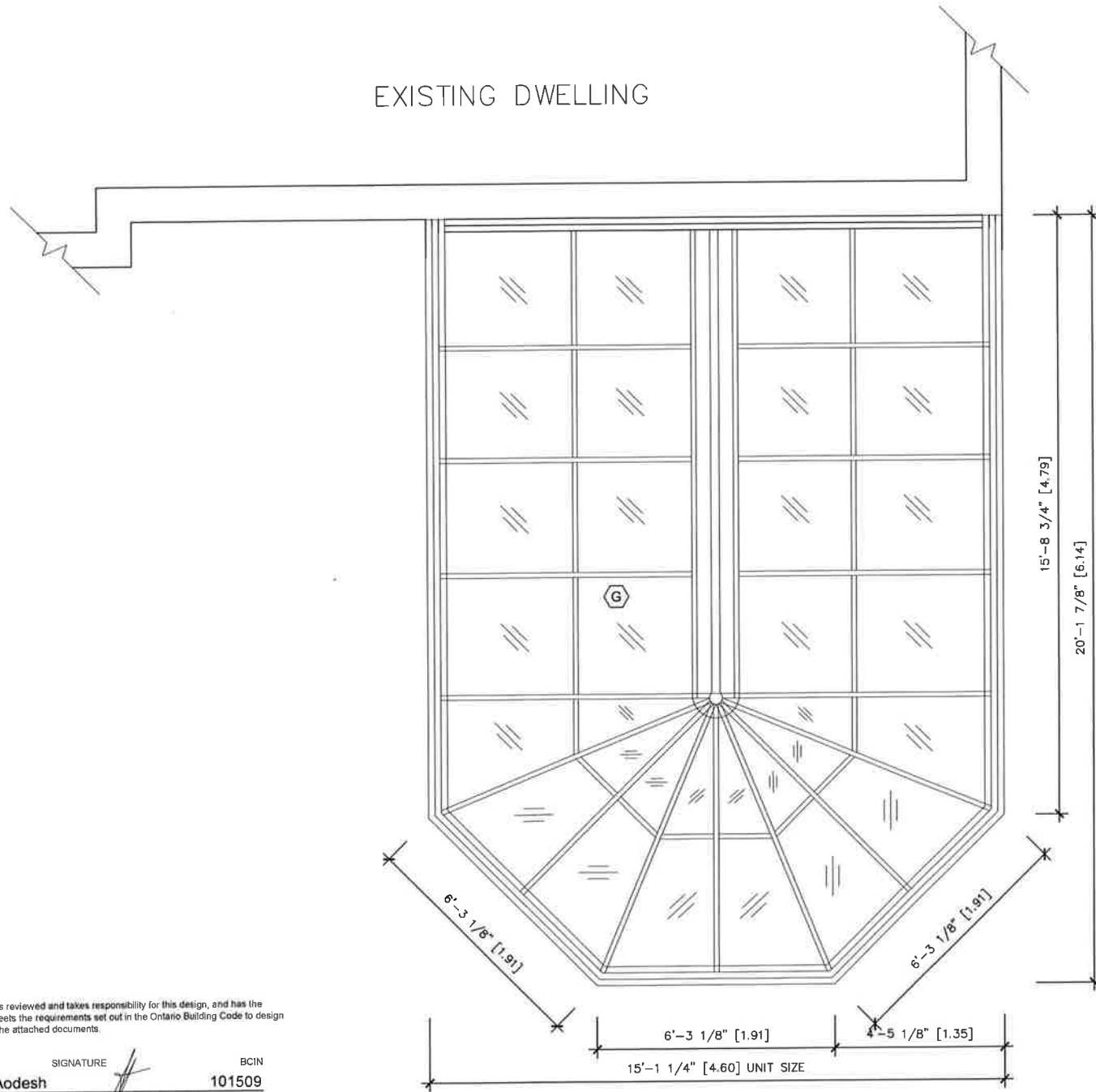
Date
 2022-11-28

Revision #
 001

Revision Date

A2

EXISTING DWELLING



NOTES

F FLASHING
 ALUM. FLASHINGS @ SILICONE SEALANT AT RIDGE MIN.
 0.48mm THICK ALUM. COATED FLASHING SEAL AT
 SUNROOM RIDGE
 USE MASONRY APPROVED SEALANT FOR BRICK

G ROOF GLAZING
 CODE 15 HIGH PERFORMANCE GLAZING
 TO BE CONSERVAGLASS (MC-16)
 EASY-CLEAN II EXTERIOR COATING + STAY-CLEAN
 TECHNOLOGY
 ARGON GAS FILLED FOR BETTER INSULATION
 90% REDUCTION IN TOTAL SOLAR TRANSMITTANCE
 HIGH VISIBLE TRANSMITTANCE
 R 4.0 / U 0.25 CENTER OF GLASS INSULATION VALUE
 STAINLESS STEEL CONTINUOUS BENT SPACERS
 DUAL POLY-ISOBUTYLENE AND SILICONE SEALS
 FULLY TEMPERED INSULATED SAFETY GLASS
 PROTECTIVE GLASS MASKING

DESIGN LOADS
 SNOW LOADS:
 WIND LOADS:

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NAME SIGNATURE BCIN
 Alexandra Aodesh  101509



ROOF PLAN

8613 Creditview Road, Brampton ON L6Y 0X6 Sheet No.

Scale 1/3" = 1'-0" Date 2022-11-28 Revision # 001 Revision Date

A3

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 TECHNO METAL POST (AS PER ENGINEERED DRAWINGS INCLUDED)
 HELICAL PILE FOUNDATION SYSTEM - CCMC APPROVED MODEL #P2 - 2 3/4" DIA. POST
 MINIMUM 4'-0" BELOW GRADE ON UNDISTURBED GROUND
 MINIMUM 6" ABOVE GRADE - TYPICAL
 HELIX TO BE DETERMINED AT TIME OF INSTALLATION

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 INSTALLATION TO BE UNDERTAKEN IN SUCH A MANNER SO AS TO PREVENT DAMAGE TO EXISTING STRUCTURES, ADJACENT PROPERTY AND UTILITIES.

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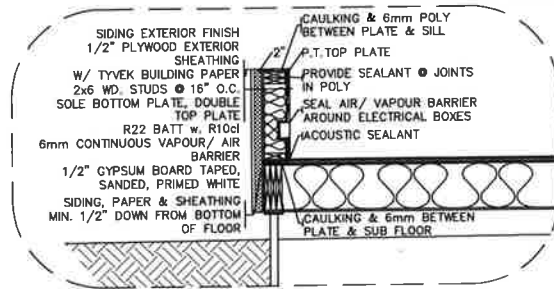
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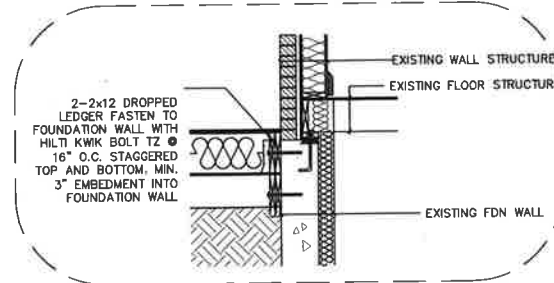
G **ROOF GLAZING**
 CODE 15 HIGH PERFORMANCE GLAZING
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 FULLY TEMPERED INSULATED SAFETY GLASS
 PROTECTIVE GLASS MASKING

ROOF CONNECTION DETAIL
 2-2x10 w. 1/2" DIA. THROUGH BOLTS/LAG SCREWS AT 16" O.C. (SPACING TO MATCH EXISTING STUD WALL FRAMING). ENSURE FASTENER IS ATTACHED TO STUD/ SOLID BLOCKING IN THE WALL (FOR LATERAL SUPPORT ONLY)

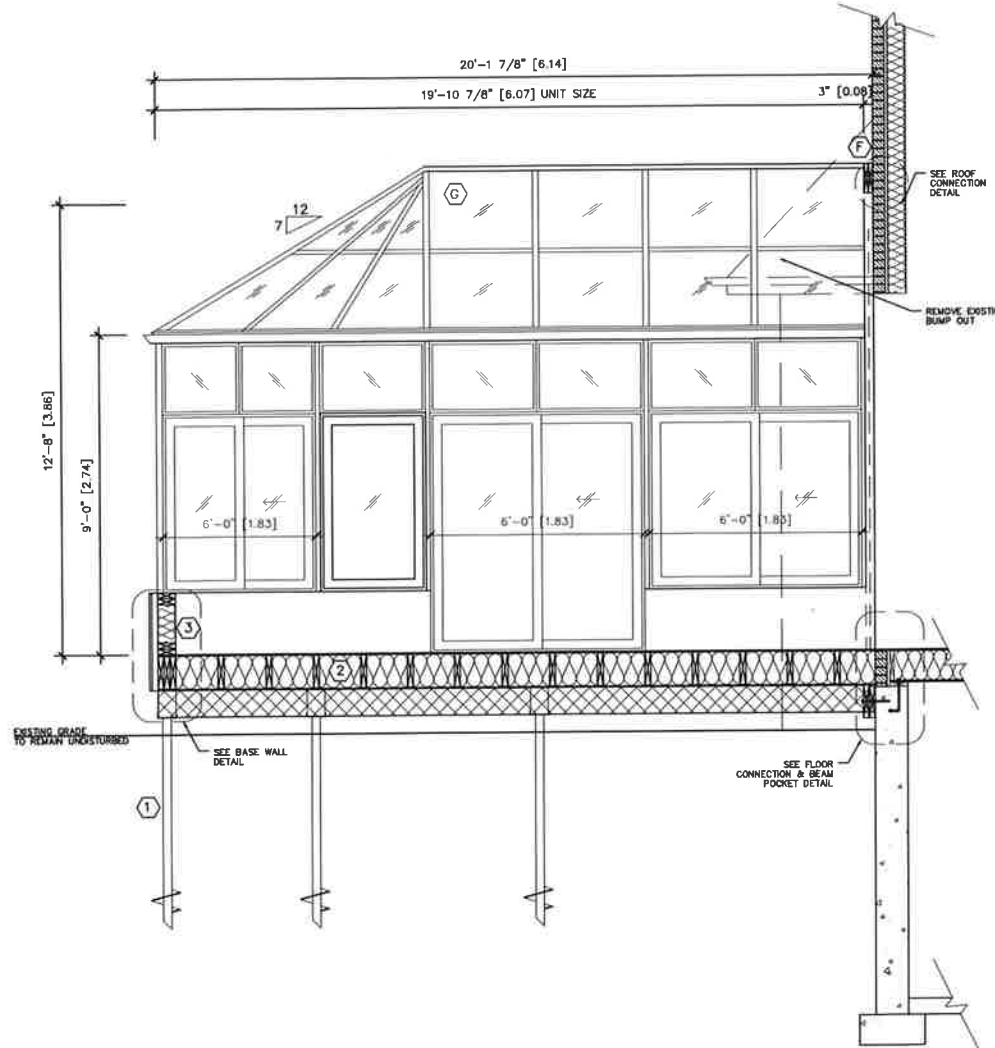
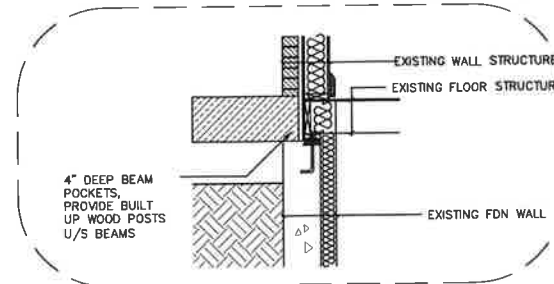
BASE WALL DETAIL



FLOOR CONNECTION DETAIL

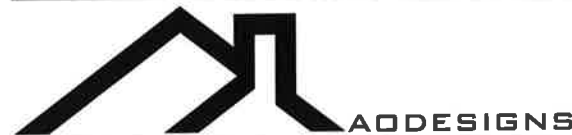


BEAM POCKET DETAIL



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NAME: Alexandra Aodesh
 SIGNATURE: [Signature]
 BCIN: 101509



SECTION

8613 Creditview Road, Brampton ON L6Y 0X6

Sheet No.

Scale
 1/4" = 1'-0"

Date
 2022-11-28

Revision #
 001

Revision Date

A4

GLAZED OPENING CALCULATIONS

PER O.B.C. TABLE 9.10.15.4

Rear Elevation

#	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)
1	Existing		78
1	New		62.1

Spatial Calculations

Exposing Building Face	1,080.99	S.F.
	100.42	S.M.

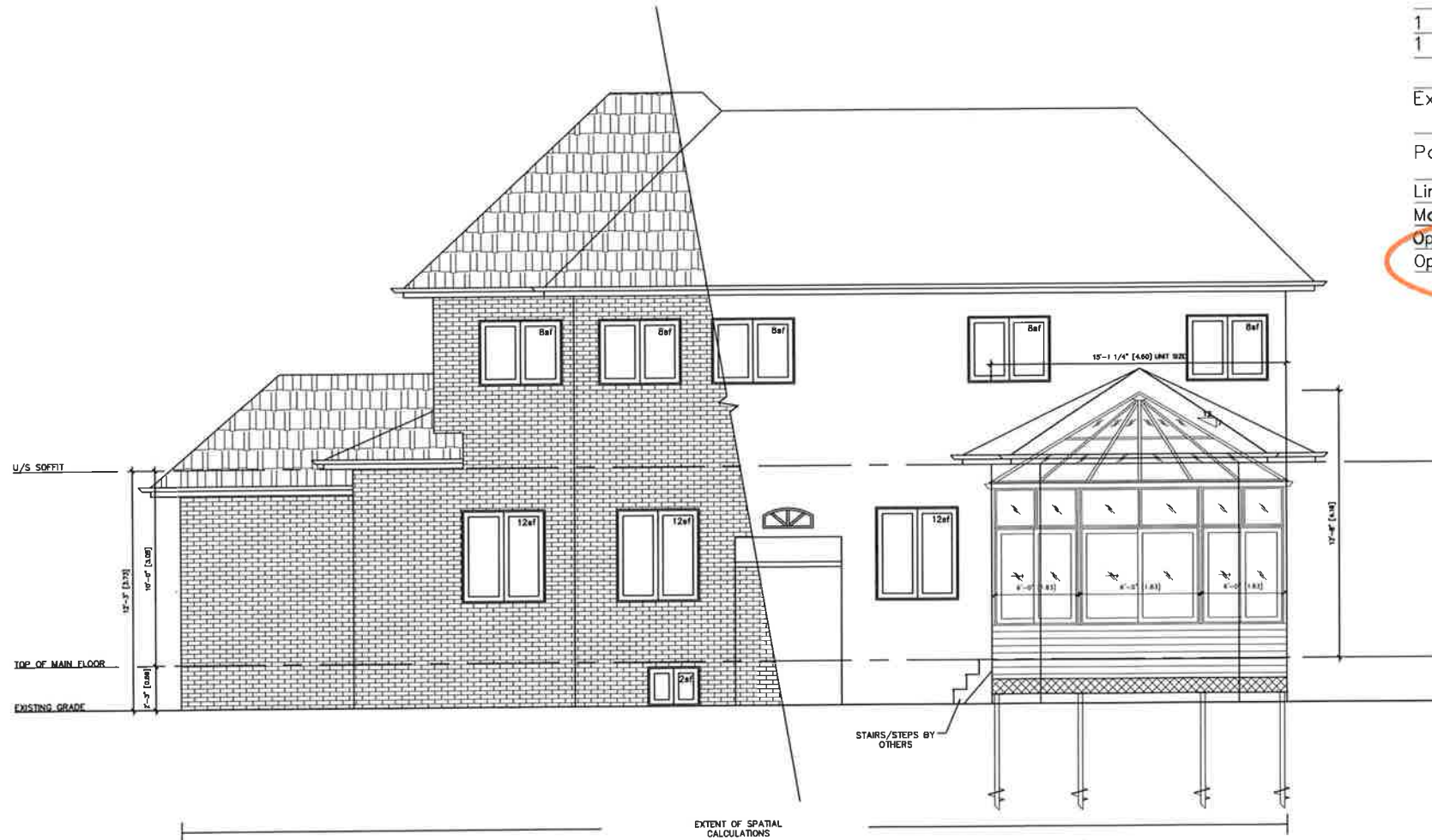
Portion Wall Area _____

Limiting Distance 2.93m

Max. % Openings 11%

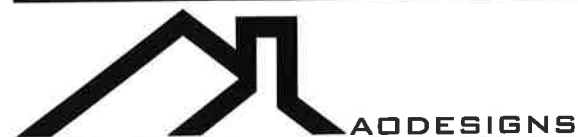
Openings Allowed 140.53 S.F.

Openings Provided 153 S.F.



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SIGNATURE: [Signature]
BCIN: 101509



REAR ELEVATION
8613 Creditview Road, Brampton ON L6Y 0X6 Sheet No.
Scale: 1/8" = 1'-0" Date: 2022-11-28 Revision #: 001 Revision Date: **A5**

GLAZED OPENING CALCULATIONS

PER O.B.C. TABLE 9.10.15.4

Right Elevation

#	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)
1	Existing		53
1	New		84.59

Spatial Calculations

Exposing Building Face	1,308.61	S.F.
	121.57	S.M.

Portion Wall Area

Limiting Distance	2.46m
Max. % Openings	9%
Openings Allowed	117.77 S.F.
Openings Provided	157.10 S.F.

TOP OF MAIN FLOOR

TOP OF MAIN FLOOR

EXISTING GRADE



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RIGHT ELEVATION

8613 Creditview Road, Brampton ON L6Y 0X6

Sheet No.

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1/8" = 1'-0"

Date
2022-11-28

Revision #
001

Revision Date

A6

GLAZED OPENING CALCULATIONS

PER O.B.C. TABLE 9.10.15.4

Left Elevation

#	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F)
1	Existing		11
1	New		92.14

Spatial Calculations

Exposing Building Face	1,184.77	S.F.
	110.07	S.M.

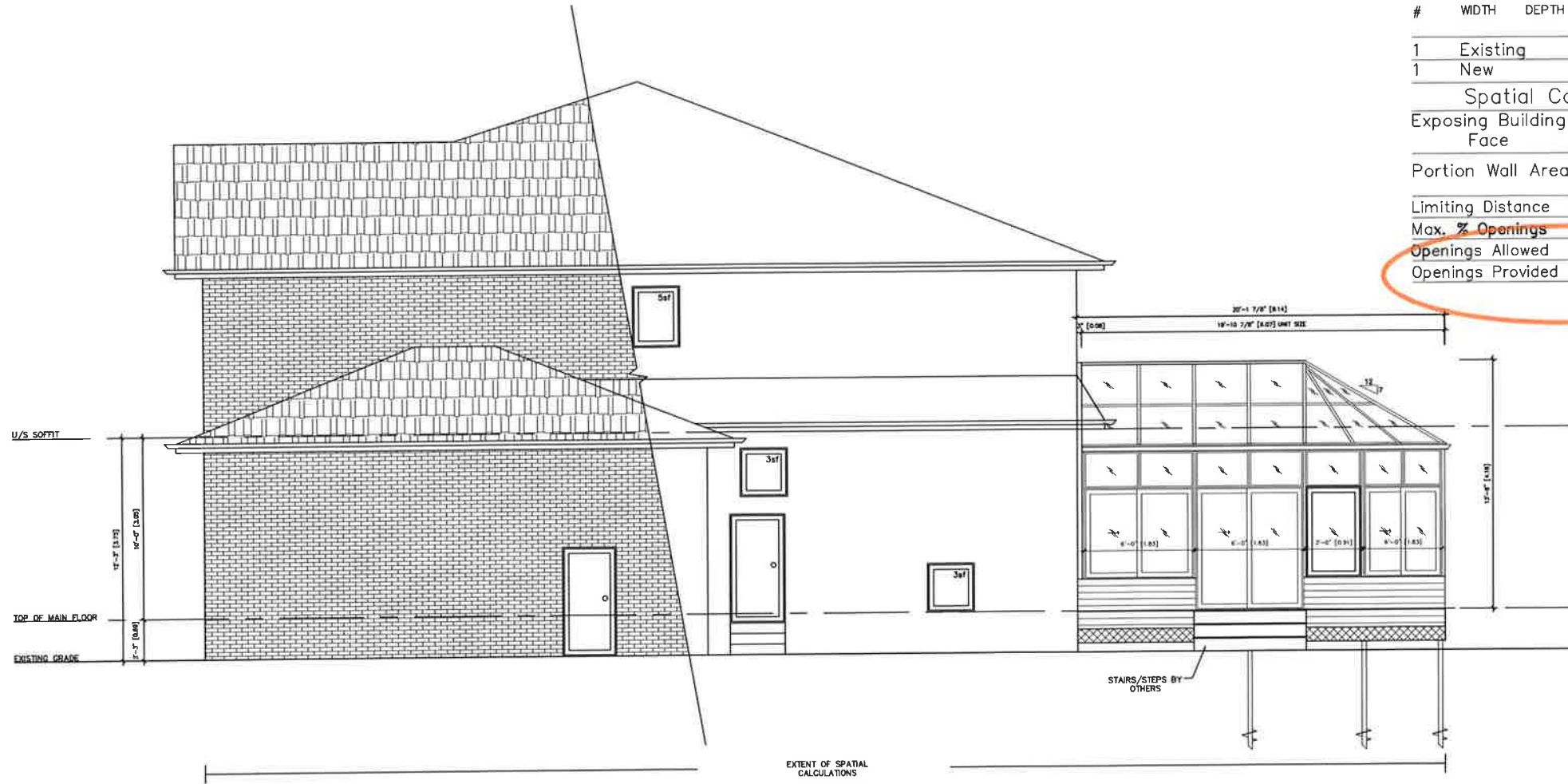
Portion Wall Area

Limiting Distance 1.54m

Max. % Openings 7%

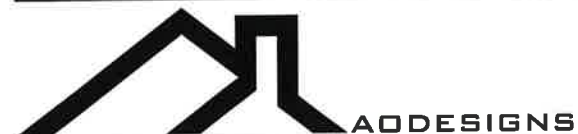
Openings Allowed 82.93 S.F.

Openings Provided 122.65 S.F.



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LEFT ELEVATION

8613 Creditview Road, Brampton ON L6Y 0X6

Sheet No

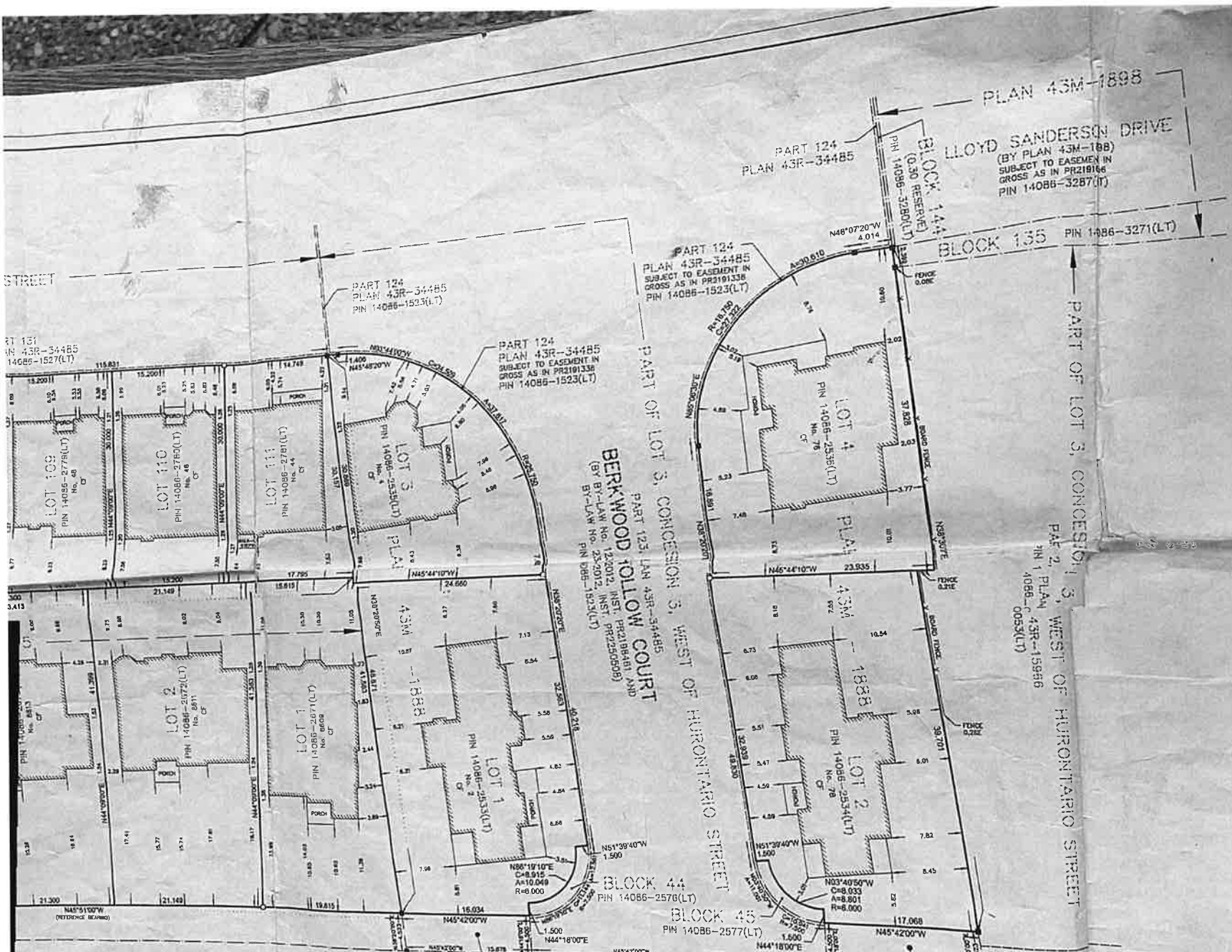
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A7



PLAN OF
 LOTS 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200
 SCALE 1:300
 KRCMAR SURVEYORS LTD. 2013

METRIC: DISTANCES SHOWN HEREON ARE IN METRES AND SHALL BE CONVERTED TO FEET BY DIVIDING BY 0.044644

BEARING
 BEARINGS SHOWN HEREON ARE GRID AND ARE REFERRED TO THE MERIDIAN OF THE LOCALITY. THE LIMIT OF BLOCK 151 (WIDENING), IS SHOWN ON PLAN 43M-1888 HAVING A BEARING OF N45°51'00"W.
 DISTANCES ARE IN ACCORDANCE WITH PLAN 43M-1888 UNLESS OTHERWISE NOTED.

LEGEND
 (S) SURVEY MONUMENT FOUND
 (S) SURVEY MONUMENT PLANTED
 (S) STANDARD IRON BAR
 (S) SHORT STANDARD IRON BAR
 (S) IRON BAR
 (S) (370) SURVEY MONUMENT FOUND
 (S) (DB) SURVEY MONUMENT PLANTED
 (S) (DB) STANDARD IRON BAR
 (S) (DB) SHORT STANDARD IRON BAR
 (S) (DB) IRON BAR
 (S) (DB) KRCMAR SURVEYORS LTD O.L.S.
 (S) (DB) J. D. BARNES LTD O.L.S.
 (S) (DB) CONCRETE FOUNDATION
 (S) (DB) NORTH/SOUTH/WEST/EAST
NOTE
 ALL PLANT MONUMENTS ARE IRON BARS (1370 UNLESS OTHERWISE NOTED)
 ALL FOUND MONUMENTS ARE SSID (DB) UNLESS OTHERWISE NOTED.

PART 2 - SURVEY REPORT

1. THE RE-ESTABLISHMENT OF THE SUBJECT PROPERTY BOUNDARIES IS BASED ON INFORMATION CONTAINED IN THE RELEVANT TITLE DOCUMENTS, REGISTERED PLANS AND ON THE EVIDENCE OF FIELD SURVEYS FOUND DURING COURSE OF PREPARING THE SUBJECT SURVEY PLAN.
2. THE TYPE AND LOCATION OF ALL EXISTING BUILDINGS AND OTHER IMPROVEMENTS, FENCES, ETC., ON OR AROUND THE SUBJECT PROPERTY ARE AS SHOWN ON THE SURVEY PLAN.
3. COMPLIANCE WITH MUNICIPAL ZONING REQUIREMENTS AS NOTIFIED BY THIS REPORT.
4. REMARKS: NOTE THAT LOTS 101, 102, 103, 104, 105, 106, 108, 109, 110, 111, PLAN 43M-1888 AND LOTS 1, 2, 3 AND 4, PLAN 43M-1888 HAVE NO LEGAL ACCESS TO THE STREET. THE STRIPS OF LAND DESIGNATED AS PARTS 124 AND 31, PLAN 43R-34485 IN FRONT OF THESE LOTS HAVE NOT BEEN DEDICATED AS PUBLIC HIGHWAY.

THIS REPORT WAS PREPARED FOR LENTELLA HEIGHTS ESTATE INC. AND THE UNDERSIGNED ACCEPTS NO RESPONSIBILITY FOR USE BY OTHER PARTIES

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON NOVEMBER 21, 2012.

DATE: MARCH 8, 2013

S.N. RAMSAMOOJ
 ONTARIO LAND SURVEYOR
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 FIELD: P.K.S. DRAWN: NL CHECKED: SNR JOB NO: 12-546
 DWG NAME: 12-546PROJ5 PLOT INFO: 09-33 08/Mar/2013 WORK ORDER NO: 14016
 1137 Centre Street Thornhill ON L4J 3M6 905.738.0053 F 905.738.9221 www.krcmar.ca

ASSOCIATION OF ONTARIO
 LAND SURVEYORS
 PLAN SUBMISSION FORM
 1864060

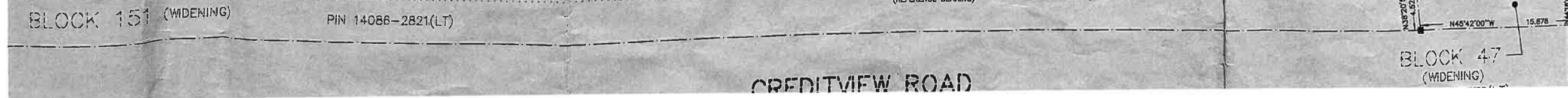
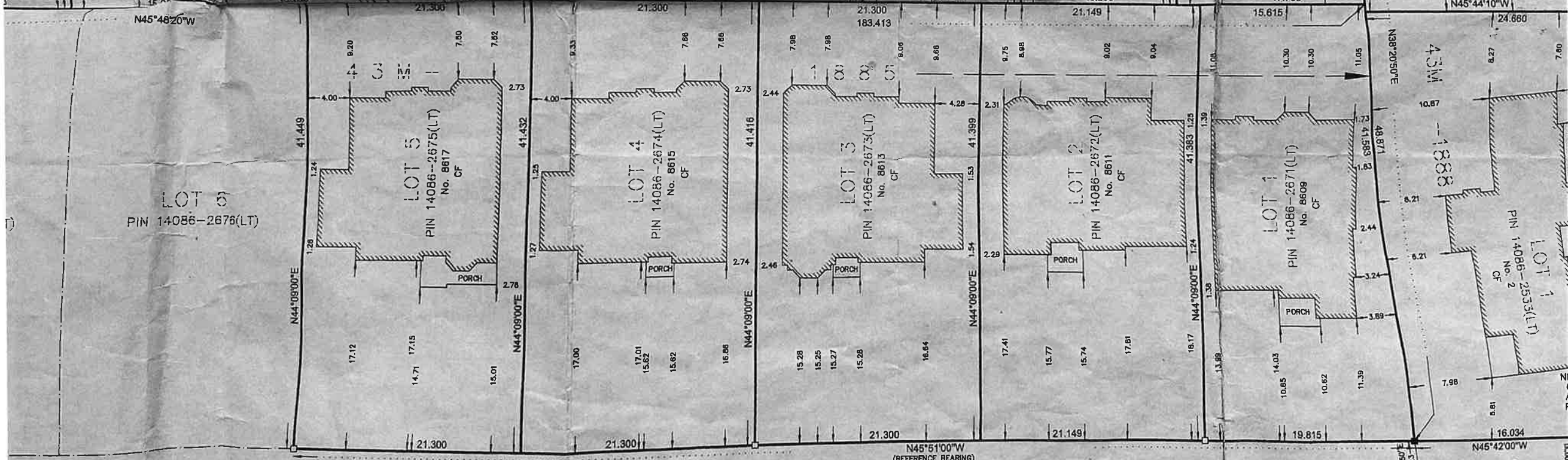
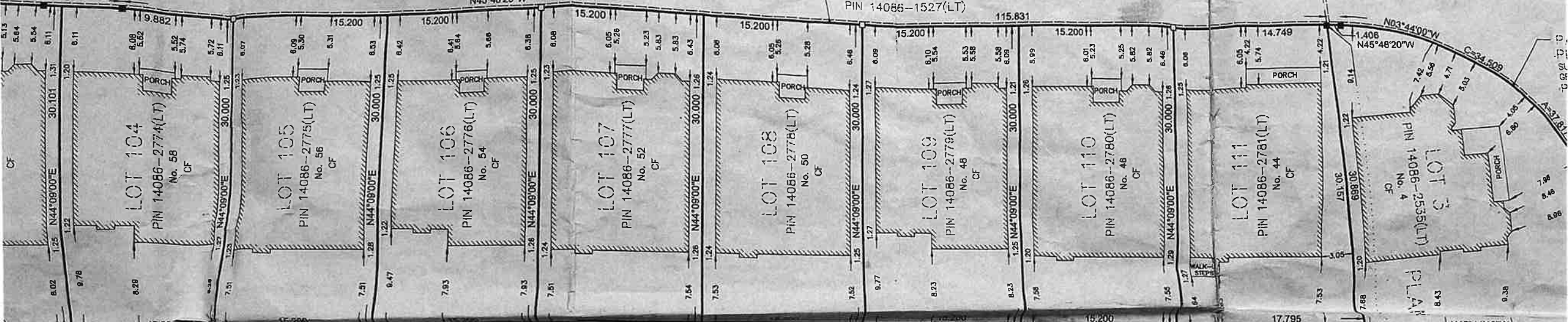
 THIS PLAN IS NOT VALID UNLESS IT IS AN EMBOSSED ORIGINAL COPY ISSUED BY THE SURVEYOR in accordance with Regulation 1828, Section 29(2).

N44°43'00"W
C=5,319
A=5,319
R=140,000

(BY BY-LAW No. 123-2012, INST. PR2198461 AND
BY-LAW No. 235-2012, INST. PR2250508)
PIN 14086-1527(LT)

PART 131
PLAN 43R-34485
PIN 14086-1527(LT)

PART 124
PLAN 43R-34485
PIN 14086-1523(LT)



CREDITVIEW ROAD

BLOCK 47
(WIDENING)

A-2022-0409



a

b

c

d

e

C4

E4

D4