

APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **CATHERINE MCCALLUM** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Part of Lots 7 and 8, Plan BR-27 municipally known as **132 ELIZABETH STREET SOUTH**, Brampton;

AND WHEREAS the applicant is requesting the following variance(s):

1. To permit an accessory structure (proposed shed) having a gross floor area of 23.8 sq. m (256.20 sq. ft.) whereas the by-law permits a maximum gross floor area of 15 sq. m (161.46 sq. ft.) for an accessory structure;
2. To permit an accessory structure (proposed shed) having a maximum height of 3.2m (10.50 ft.) whereas the by-law permits a maximum height of 3.0m (9.84 ft.).

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO File Number: _____
Application for Consent: NO File Number: _____

The Committee of Adjustment has appointed **TUESDAY, February 14, 2023 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the by the applicant, the Minister, a specified person or a public body.

RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this this 3rd Day of February, 2023.

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

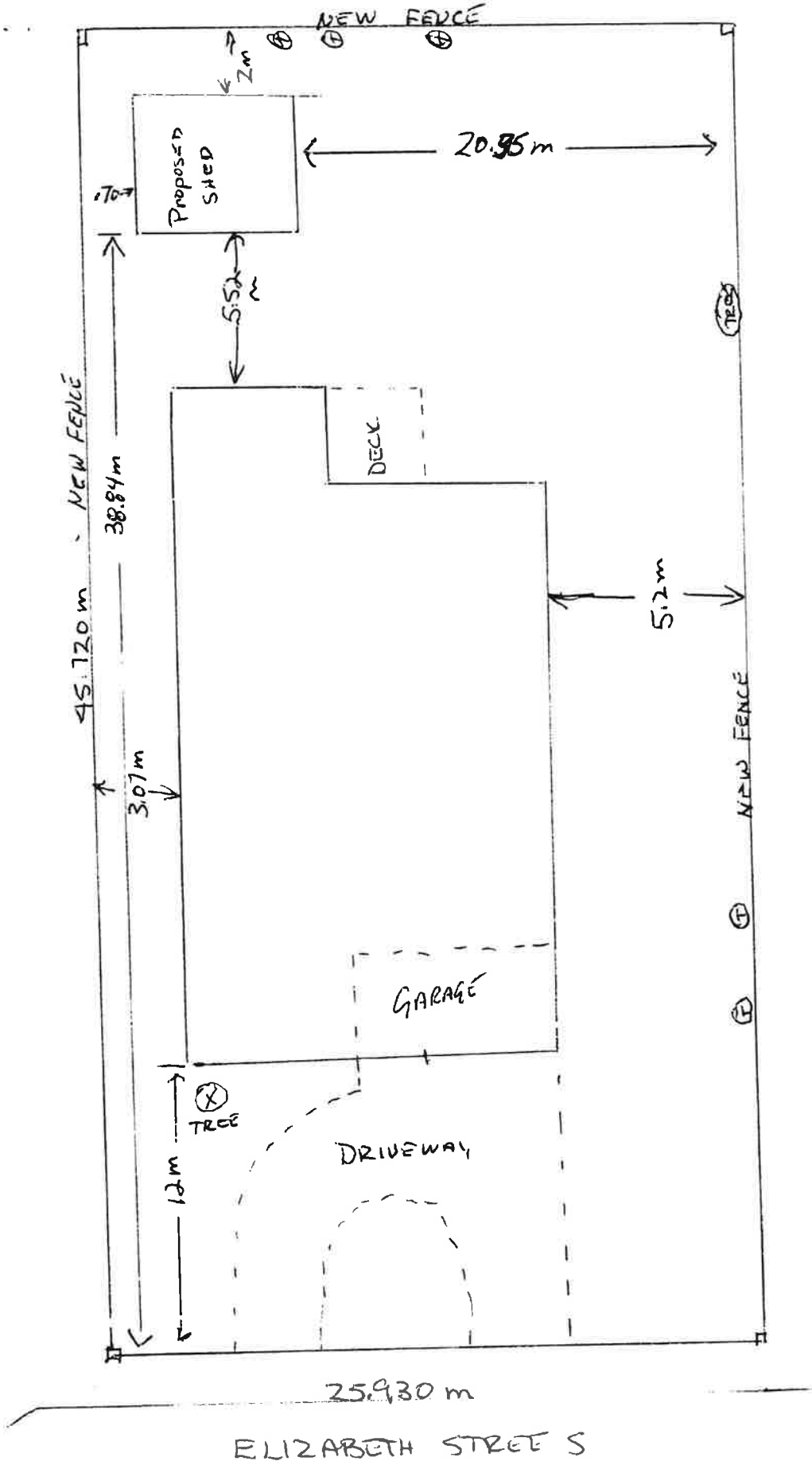
Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca

MINOR VARIANCES

1. PROPOSED AREA OF SHED (23.8 SQ. M)
2. PROPOSED HEIGHT OF SHED (3.2M)

SITE PLAN - NEW SHED
 132 ELIZABETH STREETS
 BRAMPTON, ONTARIO

PART LOT 7+8
 BR-27



Under the authority of the Emergency Management and Civil Protection Act and the Municipal Act, 2001, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

**Electronic/Hybrid Hearing Procedures
How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **February 14, 2023** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

How to Participate in the Hearing:

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, February 9, 2023.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
 1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, February 9, 2023.**
 2. To participate in-person, please email the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, February 9, 2023.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, February 9, 2023.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

AMENDMENT LETTER

February 1, 2023

To: Committee of Adjustment

**RE: CATHERINE MCCALLUM
PART OF LOTS 7 AND 8, PLAN BR-27
A-2023-0013 – 132 ELIZABETH STREET SOUTH**

Please **amend** application **A-2023-0013** to reflect the following:

1. To permit an accessory structure (proposed shed) having a gross floor area of 23.8 sq. m (256.20 sq. ft.) whereas the by-law permits a maximum gross floor area of 15 sq. m (161.46 sq. ft.) for an accessory structure;
2. To permit an accessory structure (proposed shed) having a height of 3.2m (10.50 ft.) whereas the by-law permits a maximum height of 3.0m (9.84 ft.).


Applicant/Authorized Agent



The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION
Minor Variance or Special Permission
(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** Catherine McMallum
Address 132 Elizabeth Street South
Brampton, ON L6Y1R5

Phone # 416-997 6389 **Fax #** _____
Email ccmcallum@bell.net

2. **Name of Agent** Bruce Pengilley
Address 132 Elizabeth Street S

Phone # 416-884-7016 **Fax #** _____
Email bl.pengilley@gmail.com

3. **Nature and extent of relief applied for (variances requested):**
To permit an accessory structure (proposed shed) have a gross florr area of 23.78 sq meters

4. **Why is it not possible to comply with the provisions of the by-law?**
We are requesting a larger shed than by-law permitts, new proposed shed would be 23.7832 sq meters

5. **Legal Description of the subject land:**
Lot Number Part of Lots 7 and 8
Plan Number/Concession Number BR-27
Municipal Address 132 ELizabeth St. S Brampton, ON L6Y1R5

6. **Dimension of subject land (in metric units)**
Frontage 25.930
Depth 45.720
Area _____

7. **Access to the subject land is by:**

Provincial Highway	<input type="checkbox"/>	Seasonal Road	<input type="checkbox"/>
Municipal Road Maintained All Year	<input checked="" type="checkbox"/>	Other Public Road	<input type="checkbox"/>
Private Right-of-Way	<input type="checkbox"/>	Water	<input type="checkbox"/>

- 8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

Residential home bungalow 14.63x20.72m

PROPOSED BUILDINGS/STRUCTURES on the subject land:

4.8768m x 4.8768m Shed or 16x16

- 9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback 12.0
 Rear yard setback 12.07 from back fence
 Side yard setback 3.07
 Side yard setback 5.23

PROPOSED

Front yard setback 38.84 from front pin to new shed
 Rear yard setback 2.0 from rear fence
 Side yard setback .70 from north fence line
 Side yard setback 20.45 from south fence line

- 10. Date of Acquisition of subject land: Approx. 1992
- 11. Existing uses of subject property: Residential
- 12. Proposed uses of subject property: Residential
- 13. Existing uses of abutting properties: Residential
- 14. Date of construction of all buildings & structures on subject land: 1993
- 15. Length of time the existing uses of the subject property have been continued: 30 years

- 16. (a) What water supply is existing/proposed?
 Municipal Other (specify) _____
 Well
- (b) What sewage disposal is/will be provided?
 Municipal Other (specify) _____
 Septic
- (c) What storm drainage system is existing/proposed?
 Sewers Other (specify) _____
 Ditches
 Swales

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes No

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes No

19. Has the subject property ever been the subject of an application for minor variance?

Yes No Unknown

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Bruce Pengilley
Signature of Applicant(s) or Authorized Agent

DATED AT THE City of Brampton OF in Region of Peel

THIS 9 DAY OF January, 2023.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

BRAMPTON

I, Bruce Pengilley, OF THE City of Br OF in Region Of Peel

IN THE Region OF Peel SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton

IN THE Region OF _____
Peel THIS 11th DAY OF

Jan, 2023

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024.

Bruce Pengilley
Signature of Applicant or Authorized Agent

Submit by Email

Jeanie Myers
A Commissioner etc.

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Zoning Officer

Date

DATE RECEIVED January 11, 2023

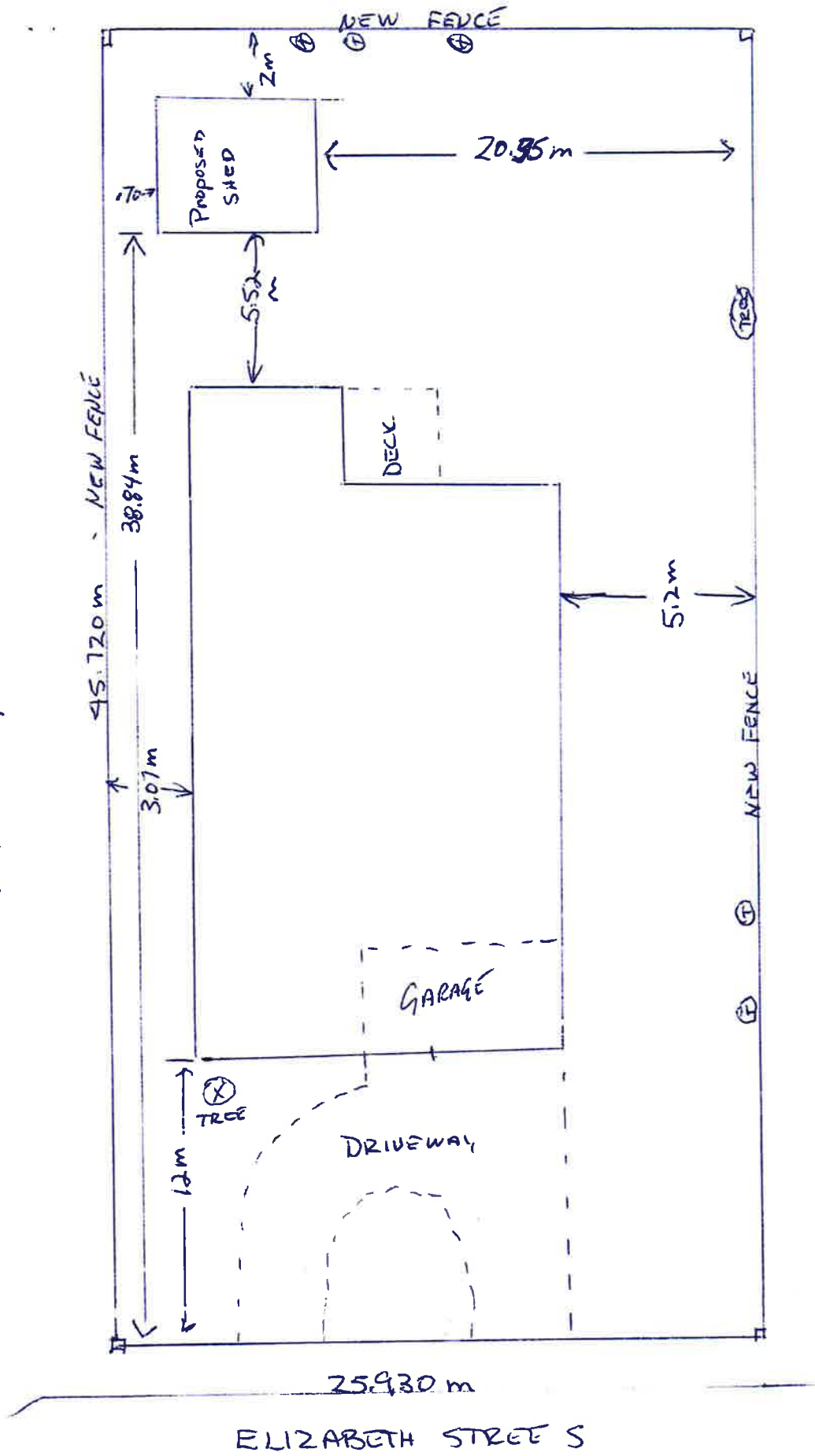
Date Application Deemed Complete by the Municipality _____

PART LOT 7+8

SITE PLAN - NEWSHED

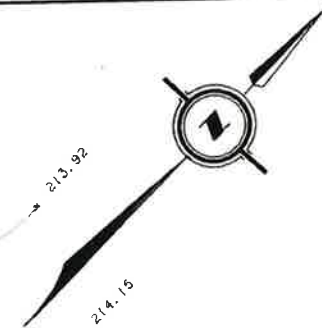
BR-27

132 ELIZABETH STREETS
BRAMPTON, ONTARIO

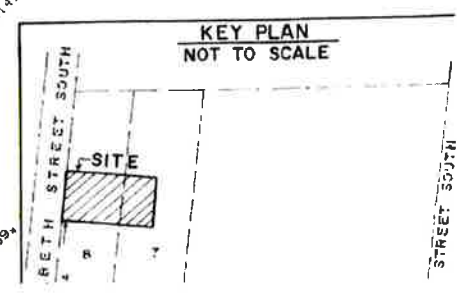
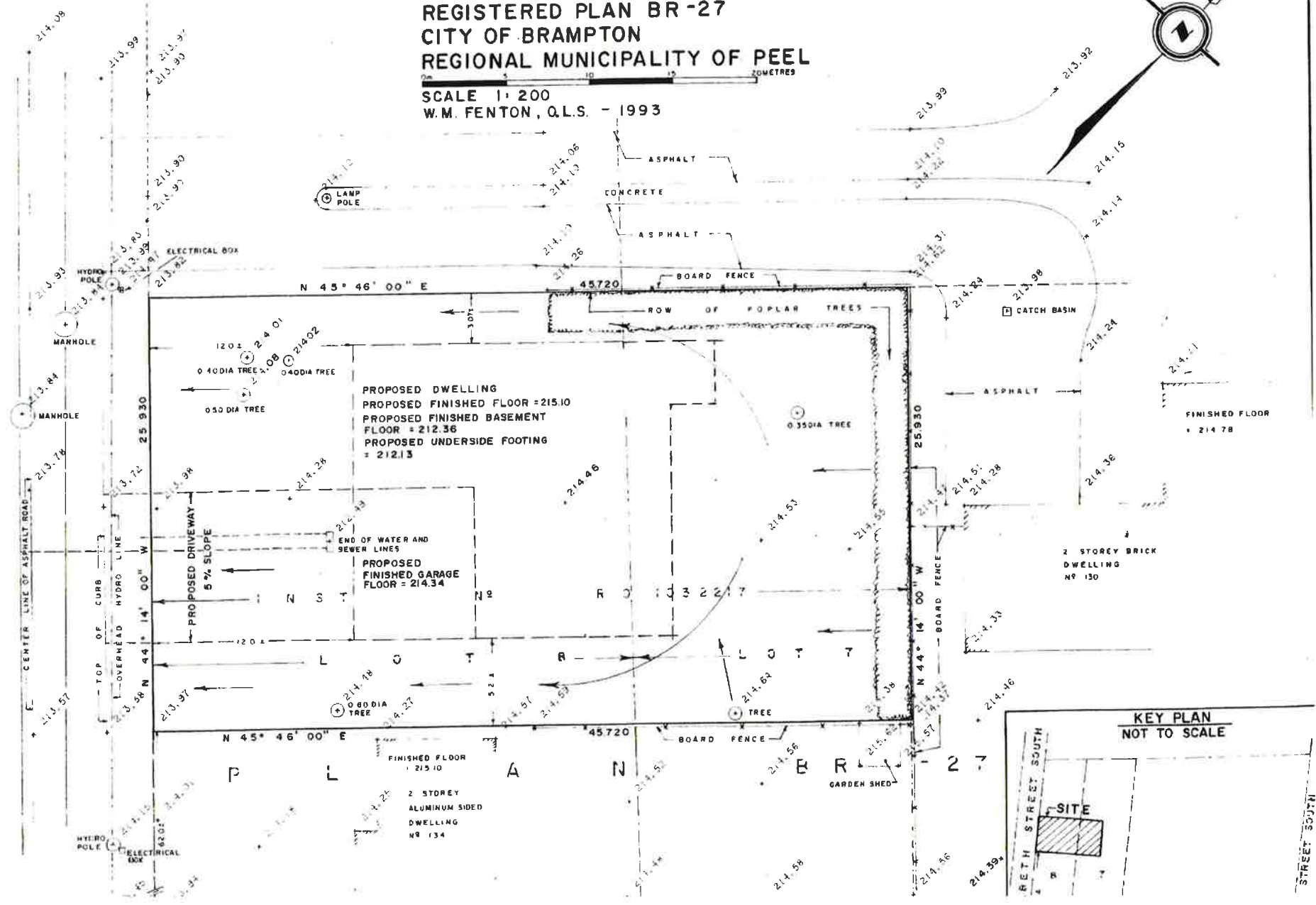


TOPOGRAPHICAL SURVEY OF
PART OF LOTS 7 AND 8
REGISTERED PLAN BR-27
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEL

SCALE 1:200
W.M. FENTON, Q.L.S. - 1993

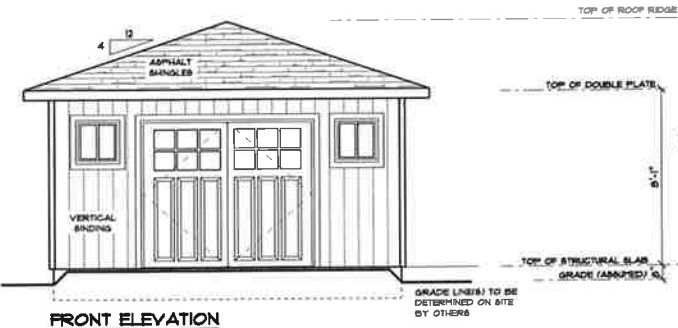


ELIZABETH STREET SOUTH

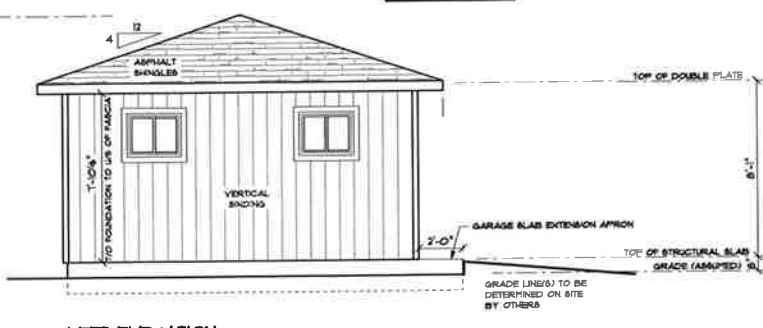


HIP ROOF GARAGE 16' X 16'

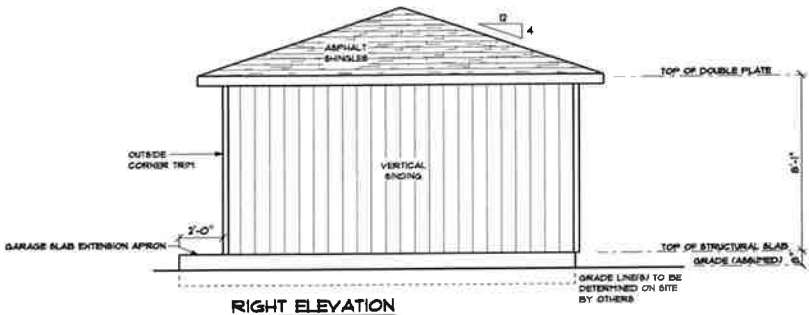
256 SQ.FT.



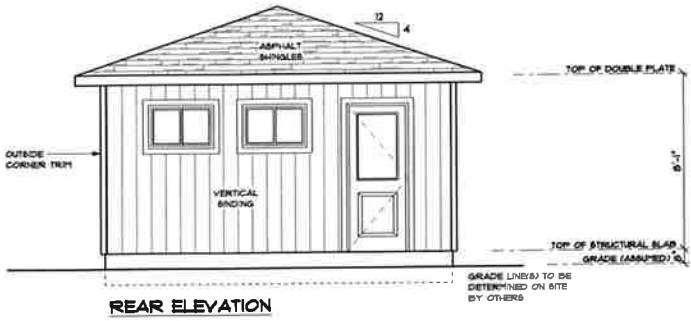
FRONT ELEVATION



LEFT ELEVATION



RIGHT ELEVATION



REAR ELEVATION

SIDING NOTE:
CHECK WITH LOCAL AUTHORITIES ON REQUIREMENTS FOR EXTERIOR CLADDING SUCH AS SIDING, SIDING AND AIR BARRIER IS NOT INCLUDED IN THE BASE PACKAGE PRICE

IMPORTANT NOTE
HOME HARDWARE STORES LIMITED DOES NOT ASSUME LIABILITY FOR ANY ERRORS OR OMISSIONS ON THIS PLAN UNLESS SUBMITTED IN WRITING IN CONNECTION WITH THE "SUFFICIENT PREDELIVERY INSPECTION" FROM DESCRIBING SUCH ERRORS OR OMISSIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
HOME HARDWARE STORES LIMITED SHALL NOT BE RESPONSIBLE FOR ANY DEPARTURE FROM THESE DRAWINGS ADVISED BY ANY BUILDING CONTRACTOR OR PROFESSIONAL CONSULTANT AT ANY TIME PRIOR TO OR DURING CONSTRUCTION. FURTHER, ANY SUCH DEVIATION OR CHANGES TO THESE PLANS NULLIFIES ANY RESPONSIBILITY THAT HOME HARDWARE STORES LIMITED MAY HAVE WITH RESPECT TO THIS PLAN OR CONSEQUENT CONSTRUCTION. RESALE OF THESE DRAWINGS ARE STRICTLY PROHIBITED.
BUILDING CONTRACTOR TO VERIFY ALL DIMENSIONS BEFORE PROCEEDING. DIMENSIONS ALWAYS TAKE PRECEDENCE OVER SCALED DIMENSIONS. ALL CONSTRUCTION SHALL COMPLY WITH PART 9 OF THE NATIONAL BUILDING CODE OF CANADA.

CONFIRM ALL EXTERIOR WINDOW AND DOOR ROUGH SIZED OPENING SIZES PRIOR TO CONSTRUCTION

DRIP CAP FLASHING ABOVE ALL EXTERIOR WINDOWS AND DOORS IN SIDING APPLICATIONS

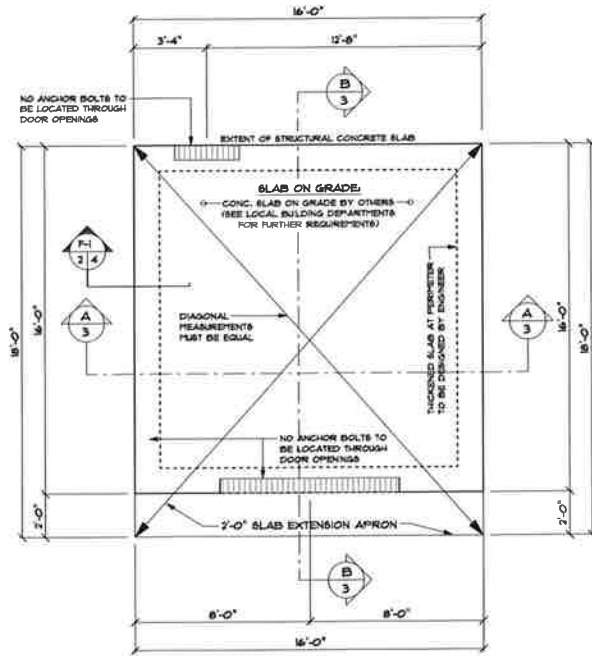
BY OWNER
• ALL CONCRETE & IRON REINFORCE
• FINISHING
• BRICK FACE & ACCESSORIES
• MECHANICAL SYSTEMS
• ELECTRICAL SYSTEMS
• FOUNDATION DRAINAGE LAYER (IF REQUIRED)

DESIGN LOADS
ROOF LOADS : BRAMPTON, ONTARIO.
ROOF LIVE LOAD • 40 PSF
DEAD LOAD • 8 PSF
TOTAL ROOF LOAD • 48 PSF
SOIL BEARING CAPACITY:
MINIMUM ALLOWABLE SOIL BEARING CAPACITY TO BE 20KPA (4.0 X 10³ KSI)

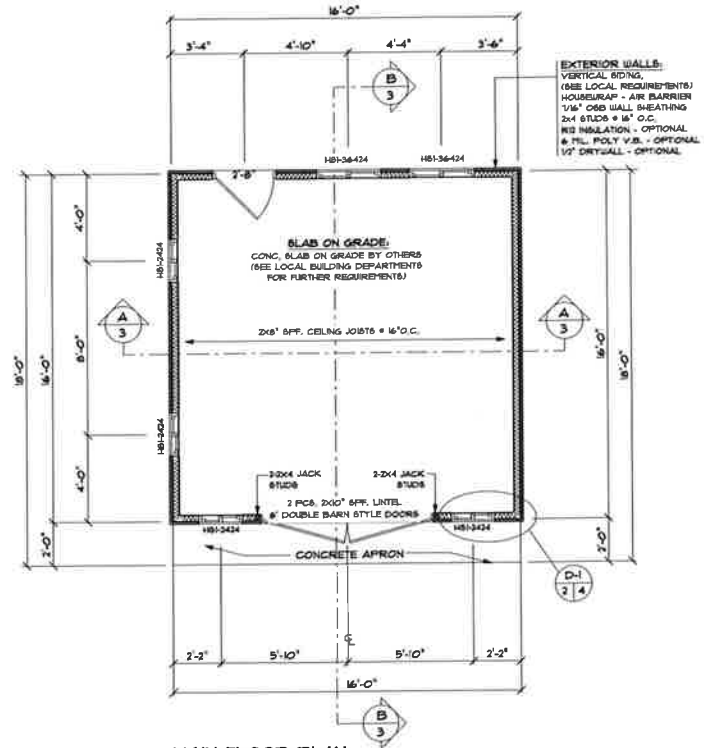
THIS UNDERGROUND HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND SKILLS TO REQUIREMENTS SET OUT BY THE ONTARIO BUILDING CODE TO BE A DESIGNER.
REGISTRATION INFORMATION
Required unless design is exempt under Division C, subsection 3.2.4 of the O.B.C.
Paul Kitchin
NAME SIGNATURE
Home Hardware Stores Limited
FIRM NAME
30045
MCK

Wednesday, December 7, 2022 08:54 AM

REVISIONS:	DATE:	DETAIL REFERENCE: A DETAIL NUMBER B SHEET NUMBER - WHERE DETAIL REQUIRED C SHEET NUMBER - WHERE DETAILED	CROSS SECTION REFERENCE: A DETAIL NUMBER B SHEET NUMBER - WHERE DETAIL REQUIRED	MODEL: 16' X 16' CUSTOM HIP ROOF GARAGE	DRAWING: ELEVATIONS	PROJECT NUMBER: G22-081-1172-6
CUSTOMER: BRUCE PENGILLEY	LOCATION: 132 ELIZABETH ST. SOUTH, BRAMPTON, ONTARIO	SCALE: 1/4"=1'-0"	DRAWN BY: PK	STORE: UNITED LUMBER HOME HARDWARE, GEORGETOWN.	CHECKED BY: ARCHITECTURAL SOLUTIONS	SHEET NUMBER: 1 4
CONSULTANT: CALVIN CRAWFORD	DATE: DECEMBER 6, 2022					



SLAB ON GRADE PLAN



MAIN FLOOR PLAN
16'-0" X 16'-0" HIP ROOF GARAGE
266 SQ.FT.

EXTERIOR WALLS:
VERTICAL SIDING,
(SEE LOCAL REQUIREMENTS)
HOUSEWRAP - AIR BARRIER
1/4" OSB WALL SHEATHING
2x4 STUDS @ 16" O.C.
R13 INSULATION - OPTIONAL
& PLY POLY V.B. - OPTIONAL
1/2" DRYWALL - OPTIONAL

GENERAL NOTE:

POURED CONCRETE:
CONCRETE SHALL BE DESIGNED, MIXED, PLACED, CURED, AND TESTED IN ACCORDANCE WITH CAN/CSA-A438-00, "CONCRETE CONSTRUCTION FOR HOUSING AND SMALL BUILDINGS". THE COMPRESSIVE STRENGTH OF UNREINFORCED CONCRETE AFTER 28 DAYS SHALL NOT BE LESS THAN:

- 1) 4490 psi (31 MPa) FOR GARAGE FLOORS, CARPORT FLOORS, AND ALL EXTERIOR PLATWORK.
- 2) 3400 psi (23 MPa) FOR INTERIOR FLOORS (OTHER THAN GARAGES AND CARPORTS) WHERE DAMPROOFING IS NOT PROVIDED.
- 3) 2900 psi (20 MPa) FOR FOUNDATION WALLS, COLUMNS, FOOTINGS, GRADE BEAMS, AND PIERS.

- CONFIRM ALL EXTERIOR WINDOW AND DOOR ROUGH STUD OPENING SIZES PRIOR TO CONSTRUCTION.
- ALL EXT. LINTELS TO BE 2 PLY 2X10 C/W PLYWOOD FILLER BETWEEN PILES, UNLESS NOTED OTHERWISE.
- ALL STRUCTURAL (LOAD BEARING) FRAMING LUMBER USED FOR STUDS, PLATES, JOISTS, RAFTERS, LINTELS, AND BUILT-UP BEAMS SHALL BE GRADE STAMPED (8-P-1) SPRUCE-PIKE-FIR #2 OR BETTER, 6-DRY OR LUMBER OF EQUAL OR BETTER QUALITIES.

WINDOW SCHEDULE

PRODUCT CODE	SIZE	R.O. SIZE	COUNT
H61-2414	7'-0" x 7'-0"		4
H61-3404	3'-0" x 2'-0"		2

CODE:
H6 = HORIZONTAL SLIDER

THE UNDERSIGNED HAS REVIEWED AND TAKEN RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION
Registered under Design in exception under Division C, subsection 1.2.1 of the O.B.C.

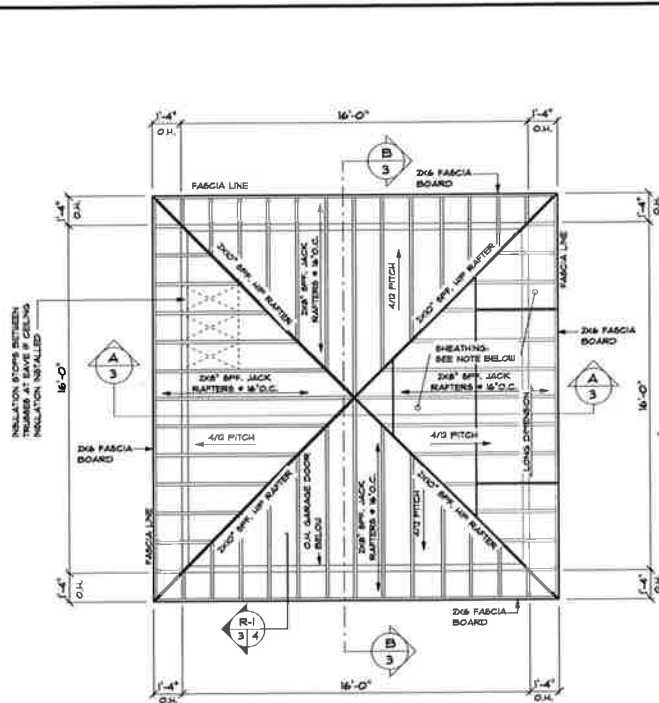
Paul Katchava
DATE: 2022/06/06

REGISTRATION INFORMATION
Registered under Design in exception under Division C, subsection 1.2.1 of the O.B.C.
Home Hardware Stores Limited
DATE: 2004/06/06

Wednesday, December 7, 2022 11:40 AM

REVISIONS: DATE: DETAIL REFERENCE: CROSS SECTION REFERENCE: 	MODEL: 16' X 16' CUSTOM HIP ROOF GARAGE	DRAWING: FOUNDATION & MAIN FLOOR PLANS	PROJECT NUMBER: G22-081-1172-6
	CUSTOMER: BRUCE PENGILLEY LOCATION: 132 ELIZABETH ST. SOUTH, BRAMPTON, ONTARIO STORE: UNITED LUMBER HOME HARDWARE, GEORGETOWN CONSULTANT: CALVIN CRAWFORD	SCALE: 1/4"=1'-0" DATE: DECEMBER 6, 2022	DRAWN BY: PK CHECKED BY: ARCHITECTURAL SOLUTIONS





ROOF PLAN

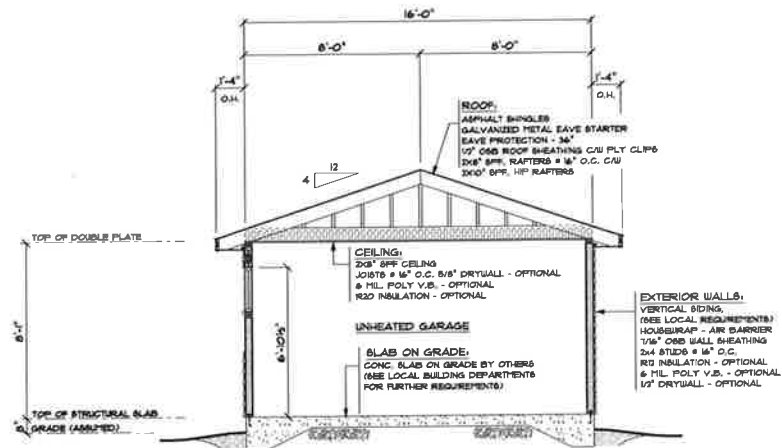
PANEL-TYPE SHEATHING:
 - APPLIED SO THAT JOINTS PERPENDICULAR TO ROOF RIDGE ARE STAGGERED, AND EDGES ARE SUPPORTED ON TRUSS - EDGES PARALLEL TO ROOF RIDGE SHALL BE SUPPORTED BY METAL "H" CLIPS IN EACH TRUSS SPACE.

ROOF SPACE VENTILATION
 (IF DRYWALL AND INSULATION PROVIDED)
 INSULATED CEILING AREA TO HAVE A MINIMUM UNOBSTRUCTED VENTILATION AREA OF 1/300
 - CALCULATED INSULATED CEILING AREA = 296 SQ.FT.
 - MIN. REQUIRED UNOBSTRUCTED VENTILATION AREA = 0.89 SQ.FT.

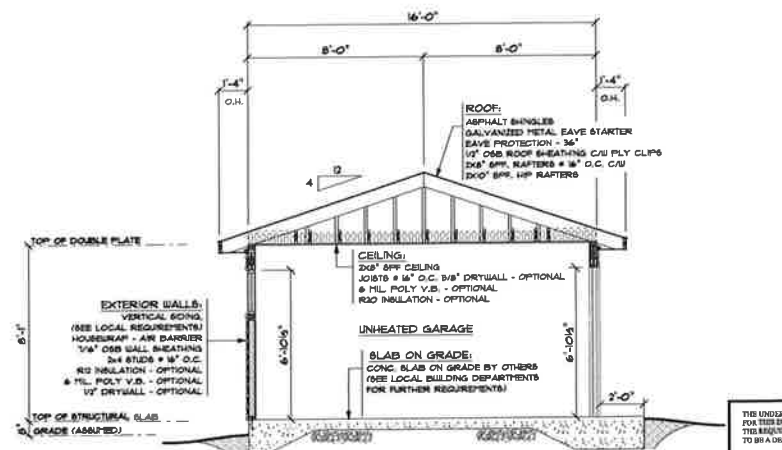
REQUIRED VENTS SHALL BE DISTRIBUTED UNIFORMLY ON OPPOSITE SIDES OF BUILDING WITH NOT LESS THAN 25% OF REQUIRED OPENINGS LOCATED AT THE TOP OF ROOF SPACE AND NOT LESS THAN 25% OF THE REQUIRED OPENINGS LOCATED AT THE BOTTOM OF THE ROOF SPACE.

* THIS DRAWING IS FOR REFERENCE ONLY. TRUSS MANUFACTURER TO SUPPLY DRAWINGS & LAYOUT WHICH WILL SUPERSEDE ALL ROOF FRAMING BOUND.

* FOLLOW TRUSS SPACING APPLICABLE TO YOUR HOME.
 * ATTIC ACCESS (MIN. 30" X 38") LOCATION BY OWNER OR TO MATCH MEASURE.
 * 2X4 BLOCKING IN TRUSSES AND RAFTERS OR PLY CLIPS ARE REQUIRED FOR ROOF SHEATHING SUPPORTS ON ALL 24" O.C. SPACINGS OF SAME.
 * FOR TRUSS SPACING AT CHIMNEY & ATTIC ACCESS SEE TRUSS LAYOUT.
 * NEVER CUT A TRUSS TO OBTAIN SPACE.
 * GROUND PLYS MAY VARY FROM THOSE SHOWN DEPENDING UPON GROUND BENCH LOAD.



CROSS SECTION A-A



CROSS SECTION B-B

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

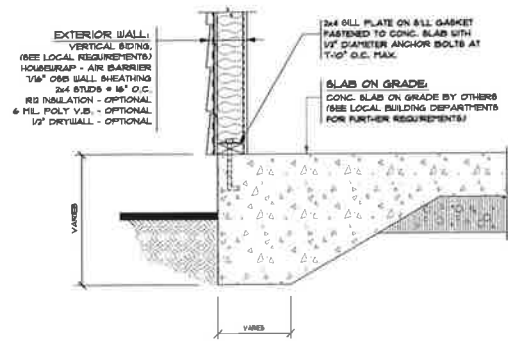
QUALIFICATION INFORMATION
 Registered under design in respect under Division C, subsection 3.2.5 of the O.B.C.

Signature: *Calvin Crawford*
 NAME: CALVIN CRAWFORD
 OCCUPATION: ARCHITECT

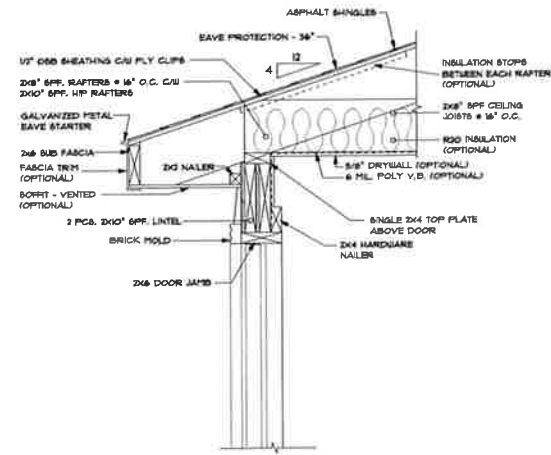
REGISTRATION INFORMATION
 Registered under design in respect under Division C, subsection 3.2.4 of the O.B.C.
 Home Hardware Stores Limited
 FIRM NAME: 30643
 REG. NO.: 2017

Wednesday, December 7, 2022 09:54 AM

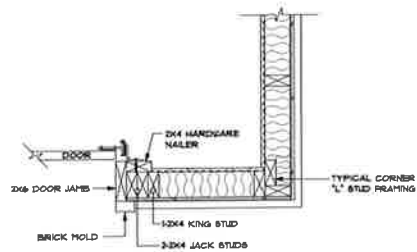
REVISIONS:	DATE:	DETAIL REFERENCE: A DETAIL NUMBER B SHEET NUMBER - WHERE DETAIL REQUIRED C SHEET NUMBER - WHERE DETAILED	MODEL: 16' X 16' CUSTOM HIP ROOF GARAGE	DRAWING: ROOF PLAN & CROSS SECTIONS	 Home hardware building centre	PROJECT NUMBER: G22-081-1172-6
CROSS SECTION REFERENCE: A DETAIL NUMBER B SHEET NUMBER - WHERE DETAIL REQUIRED	CUSTOMER: BRUCE PENGILLEY	LOCATION: 133 ELIZABETH ST. SOUTH, BRAMPTON, ONTARIO	SCALE: 1/4"=1'-0"	DRAWN BY: PK		SHEET NUMBER: 3 4
STORE: UNITED LUMBER HOME HARDWARE, GEORGETOWN	DATE: DECEMBER 6, 2022	CONSULTANT: CALVIN CRAWFORD	CHECKED BY: ARCHITECTURAL SOLUTIONS			



F-1
WALL AT SLAB DETAIL
 SCALE: 1/4" = 1'-0"



R-1
ROOF EAVE DETAIL
 SCALE: 1/4" = 1'-0"



D-1
GARAGE DOOR JAMB DETAIL
 SCALE: 1/4" = 1'-0"

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION
 Registered under design in respect under Division C, subsection 1.2.3 of the O.B.C.

Calvin Crawford
 NAME SIGNATURE DATE

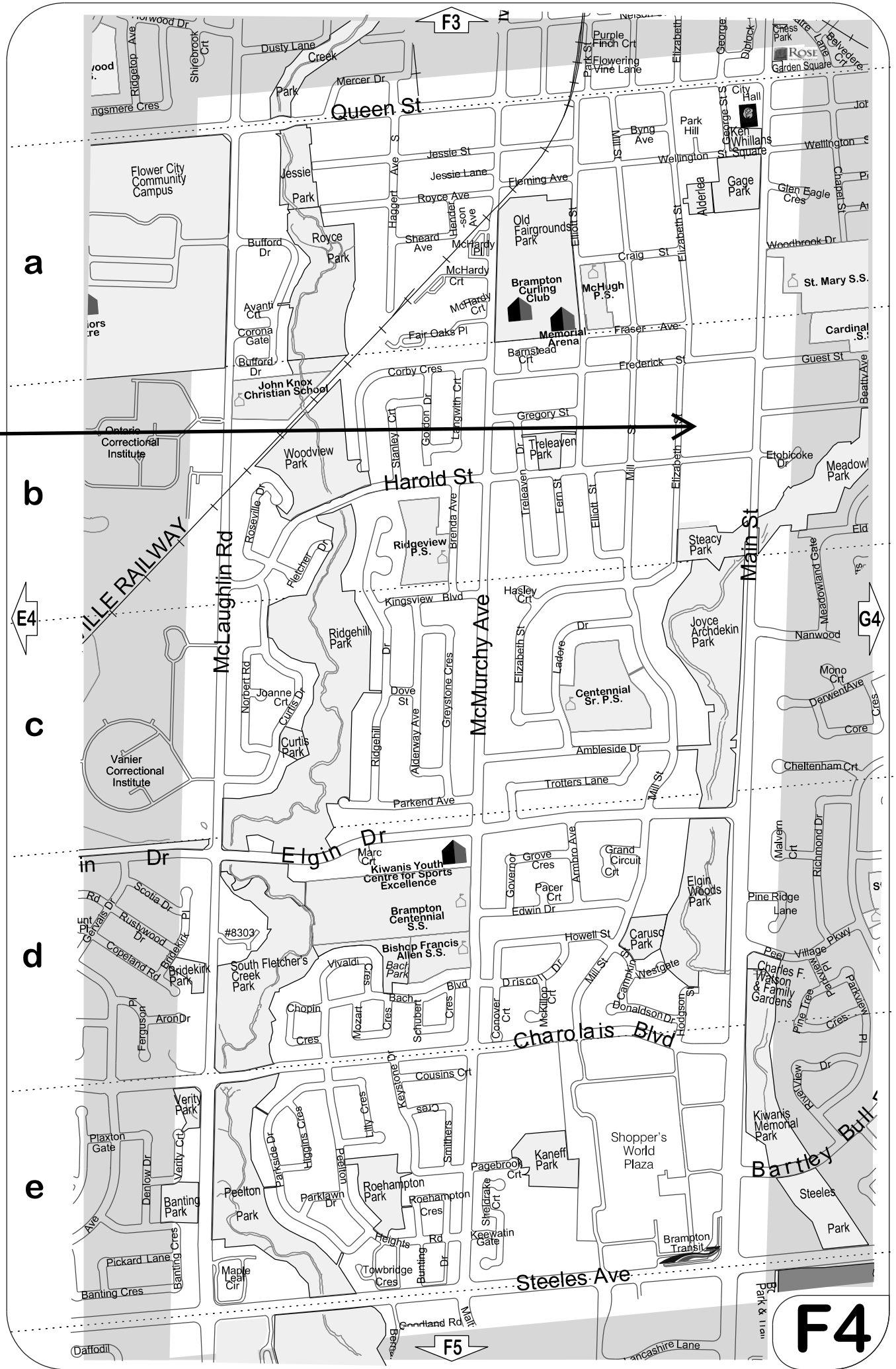
REGISTRATION INFORMATION
 Registered under design in respect under Division C, subsection 1.2.4 of the O.B.C.
 Home Hardware Stores Limited 2024
 FIRM NAME YEAR

Wednesday, December 7, 2022 09:54 AM

REVISIONS: DATE:	DETAIL REFERENCE: A DETAIL NUMBER B SHEET NUMBER - WHERE DETAIL REQUIRED C SHEET NUMBER - WHERE DETAILED CROSS SECTION REFERENCE: A DETAIL NUMBER B SHEET NUMBER - WHERE DETAIL REQUIRED	MODEL: 16' X 16' CUSTOM HIP ROOF GARAGE	DRAWING: DETAILS	PROJECT NUMBER: G22-081-1172-6
		CUSTOMER: BRUCE PENGILLEY	SCALE: AS SHOWN	
		LOCATION: 132 ELIZABETH ST. SOUTH, BRAMPTON, ONTARIO	DATE: DECEMBER 6, 2022	SHEET NUMBER: 4 4
		STORE: UNITED LUMBER HOME HARDWARE, GEORGETOWN.	CHECKED BY: ARCHITECTURAL SOLUTIONS	
		CONSULTANT: CALVIN CRAWFORD		



A-2023-0013



a

b

c

d

e



F4