





**Under the authority of the Emergency Management and Civil Protection Act and the Municipal Act, 2001, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).**

**Electronic/Hybrid Hearing Procedures  
How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **March 7, 2023** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

**How to Participate in the Hearing:**

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, March 2, 2023.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
  1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at [cityclerksoffice@brampton.ca](mailto:cityclerksoffice@brampton.ca) or [jeanie.myers@brampton.ca](mailto:jeanie.myers@brampton.ca) by **4:30 pm Thursday, March 2, 2023.**
  2. To participate in-person, please email the Secretary-Treasurer at [cityclerksoffice@brampton.ca](mailto:cityclerksoffice@brampton.ca) or [jeanie.myers@brampton.ca](mailto:jeanie.myers@brampton.ca) by **4:30 pm Thursday, March 2, 2023.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, March 2, 2023.** . City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:  
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or  
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to [cityclerksoffice@brampton.ca](mailto:cityclerksoffice@brampton.ca) or [jeanie.myers@brampton.ca](mailto:jeanie.myers@brampton.ca). If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

**NOTE** Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, [www.brampton.ca](http://www.brampton.ca). By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

**AMENDMENT LETTER**

February 21, 2023

To: Committee of Adjustment

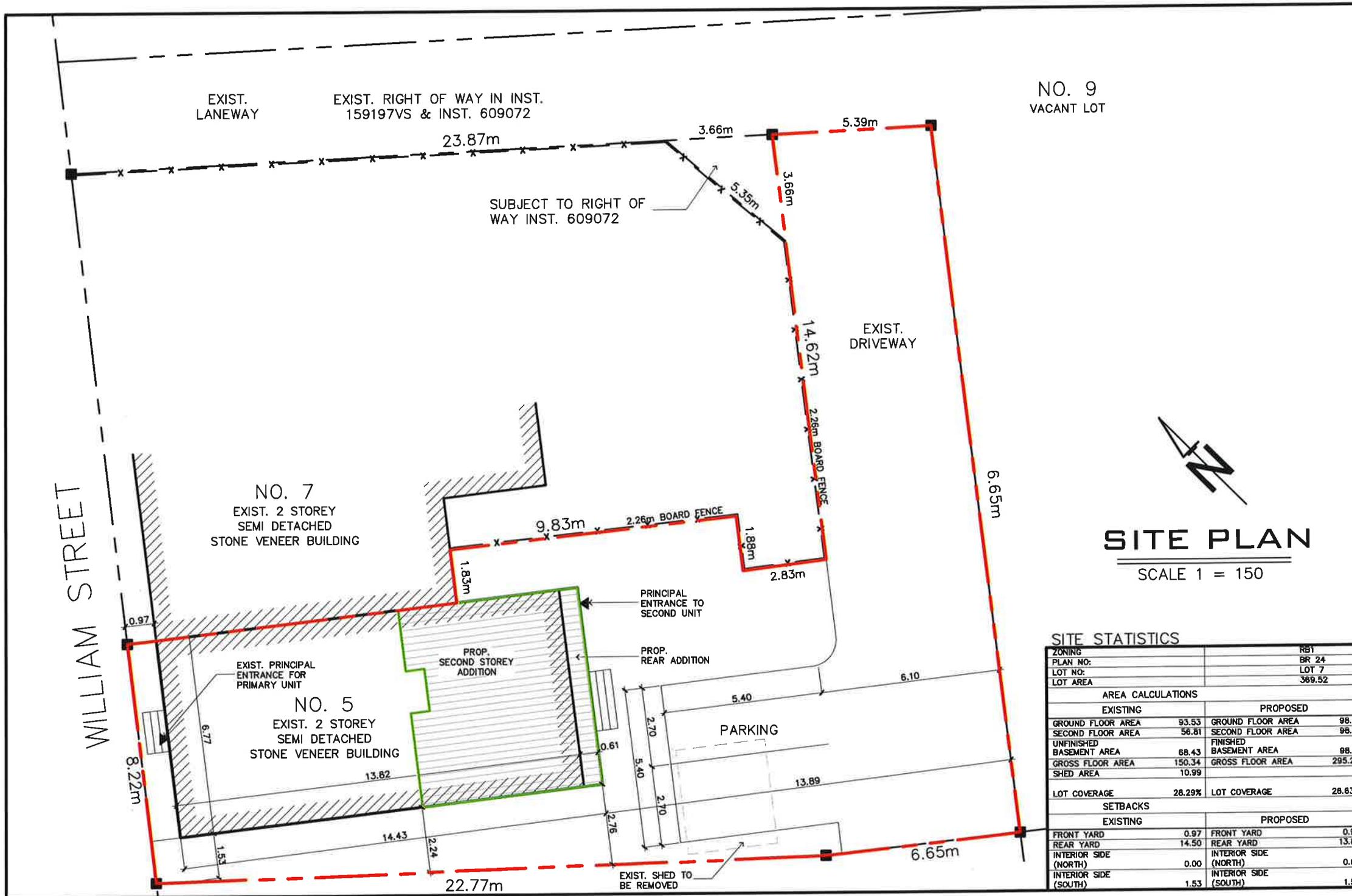
RE: **ANDREW ENOFE**  
**PART OF LOT 7, PLAN BR-24**  
**A-2023-0041 – 5 WILLIAM STREET**

---

Please **amend** application **A-2023-0041** to reflect the following:

1. To permit the expansion of the existing legal non-conforming semi-detached dwelling whereas the by-law does not permit the use;  
  
To permit a fence in the rear yard with a height of 2.26m (7.41 ft.) whereas the by-law permits a maximum fence height of 2.0m (6.56 ft.);
3. To permit a side yard setback of 0.0m to the second storey whereas the by-law requires a minimum side yard setback of 1.8m (5.90 ft.) to the second storey.

  
Applicant/Authorized Agent



NO. 9  
VACANT LOT

  
**SITE PLAN**  
 SCALE 1 = 150

**SITE STATISTICS**

ZONING	R51	
PLAN NO:	BR 24	
LOT NO:	LOT 7	
LOT AREA	369.52	
AREA CALCULATIONS		
EXISTING		PROPOSED
GROUND FLOOR AREA	93.53	98.41
SECOND FLOOR AREA	56.81	98.41
UNFINISHED BASEMENT AREA	68.43	FINISHED BASEMENT AREA 98.41
GROSS FLOOR AREA	150.34	GROSS FLOOR AREA 295.23
SHED AREA	10.99	
LOT COVERAGE	28.29%	LOT COVERAGE 28.63%
SETBACKS		
EXISTING		PROPOSED
FRONT YARD	0.97	FRONT YARD 0.97
REAR YARD	14.50	REAR YARD 13.89
INTERIOR SIDE (NORTH)	0.00	INTERIOR SIDE (NORTH) 0.00
INTERIOR SIDE (SOUTH)	1.53	INTERIOR SIDE (SOUTH) 1.53

NORTH	DATE	DRG. #
	01/20/23	<b>A-1</b>
DRAWN	SCALE	COMM. #
	1=150	---
REVISION		
DATE		

**DRAWING TITLE:**  
**SITE PLAN**

**PROJECT:**  
PROP. SECOND FLOOR  
ADDITION

5 WILLIAM STREET  
BRAMPTON, ON.

THE UNDERSIGNED HAS REVIEWED & TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER

QUALIFICATION INFORMATION REQUIRED UNDER O.V.C. - 32.1.1 OF THE BUILDING CODE

ISRAEL LIFOMASH 41452  
DESIGNER

QUALIFICATION INFORMATION REQUIRED UNDER O.V.C. - 32.4.1 OF THE BUILDING CODE

DEFINITE DETAIL 44448  
FIRM NAME

**definite detail**

Design | Construction | Project Management  
129 Darren Ave, Whitby ON L3R 0E7  
Phone: (647) 218-4779 Fax: (905) 662-2366



*The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.*

**APPLICATION**  
**Minor Variance or Special Permission**  
 (Please read Instructions)

**NOTE:** It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** Andrew Enofe  
**Address** 5 William St. Brampton, ON L6V 1L3  


---

**Phone #** 416-833-8909 **Fax #** \_\_\_\_\_  
**Email** andrew@andrewenofe.com

2. **Name of Agent** Israel Ufomadu  
**Address** 129 Darren Ave. Whitby ON L1R 0E7  


---

**Phone #** 647-218-4779 **Fax #** \_\_\_\_\_  
**Email** israel.ufomadu@yahoo.ca

3. **Nature and extent of relief applied for (variances requested):**

To allow the expansion of a legal non-conforming 2 unit, semi-detached dwelling for a second storey extension and a rear yard addition whereas the by-law does not permit the proposed use;

To allow a shared interior side yard setback of 0.0m to a second storey extension & addition whereas the by-law requires a minimum interior side yard setback of 1.8m (5.90 ft).

4. **Why is it not possible to comply with the provisions of the by-law?**

Semi-detached dwelling is considered legal non-conforming.

5. **Legal Description of the subject land:**  
**Lot Number** PT LOT 8  
**Plan Number/Concession Number** BR-24  
**Municipal Address** 5 William St, Brampton, ON L6V 1L3

6. **Dimension of subject land (in metric units)**  
**Frontage** 8.22  
**Depth** 29.29  
**Area** 369.52

7. **Access to the subject land is by:**

Provincial Highway	<input type="checkbox"/>	Seasonal Road	<input type="checkbox"/>
Municipal Road Maintained All Year	<input checked="" type="checkbox"/>	Other Public Road	<input type="checkbox"/>
Private Right-of-Way	<input type="checkbox"/>	Water	<input type="checkbox"/>

- 8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

**EXISTING BUILDINGS/STRUCTURES on the subject land:** List all structures (dwelling, shed, gazebo, etc.)

MAIN BUILDING  
 Ground floor area – 93.52 sm, Gross floor area – 150.33 sm, Number of storeys – 2  
 Width – 6.77, Length – 13.82, Height – 7.09

**PROPOSED BUILDINGS/STRUCTURES on the subject land:**

MAIN BUILDING  
 Ground floor area – 98.41sm, Gross floor area – 295.23 sm, Number of storeys – 2  
 Width – 6.77, Length – 14.43, Height – 7.09

- 9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

**EXISTING**

Front yard setback 0.97  
 Rear yard setback 14.50  
 Side yard setback 0.0  
 Side yard setback 1.53

**PROPOSED**

Front yard setback 0.97  
 Rear yard setback 13.89  
 Side yard setback 0.0  
 Side yard setback 1.53

- 10. Date of Acquisition of subject land: 2018
- 11. Existing uses of subject property: 2 Unit Residential
- 12. Proposed uses of subject property: 2 Unit Residential
- 13. Existing uses of abutting properties: Residential
- 14. Date of construction of all buildings & structures on subject land: Before 1965
- 15. Length of time the existing uses of the subject property have been continued: Over 10 years

- 16. (a) What water supply is existing/proposed?  
 Municipal  Other (specify) \_\_\_\_\_  
 Well
- (b) What sewage disposal is/will be provided?  
 Municipal  Other (specify) \_\_\_\_\_  
 Septic
- (c) What storm drainage system is existing/proposed?  
 Sewers  Other (specify) \_\_\_\_\_  
 Ditches   
 Swales

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes  No

If answer is yes, provide details: File # \_\_\_\_\_ Status \_\_\_\_\_

18. Has a pre-consultation application been filed?

Yes  No

19. Has the subject property ever been the subject of an application for minor variance?

Yes  No  Unknown

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Signature of Applicant(s) or Authorized Agent

DATED AT THE Town OF Whitby

THIS 23<sup>rd</sup> DAY OF January, 2023

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, ISRAEL UFO MADU, OF THE TOWN OF WHITBY  
IN THE REGION OF DURHAM SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

Town OF Whitby

IN THE Region OF

Durham THIS 23 DAY OF January, 2023

Andria Louca, a Commissioner, etc.,  
Province of Ontario  
For the Corporation of the Town of Whitby.  
Expires March 22, 2024

Signature of Applicant or Authorized Agent

Submit by Email

Andria Louca  
A Commissioner etc.  
Andria Louca, a Commissioner, etc.,  
Province of Ontario  
For the Corporation of the Town of Whitby.  
Expires March 22, 2024

FOR OFFICE USE ONLY

Present Official Plan Designation: \_\_\_\_\_  
Present Zoning By-law Classification: R1B, Mature Neighbourhood

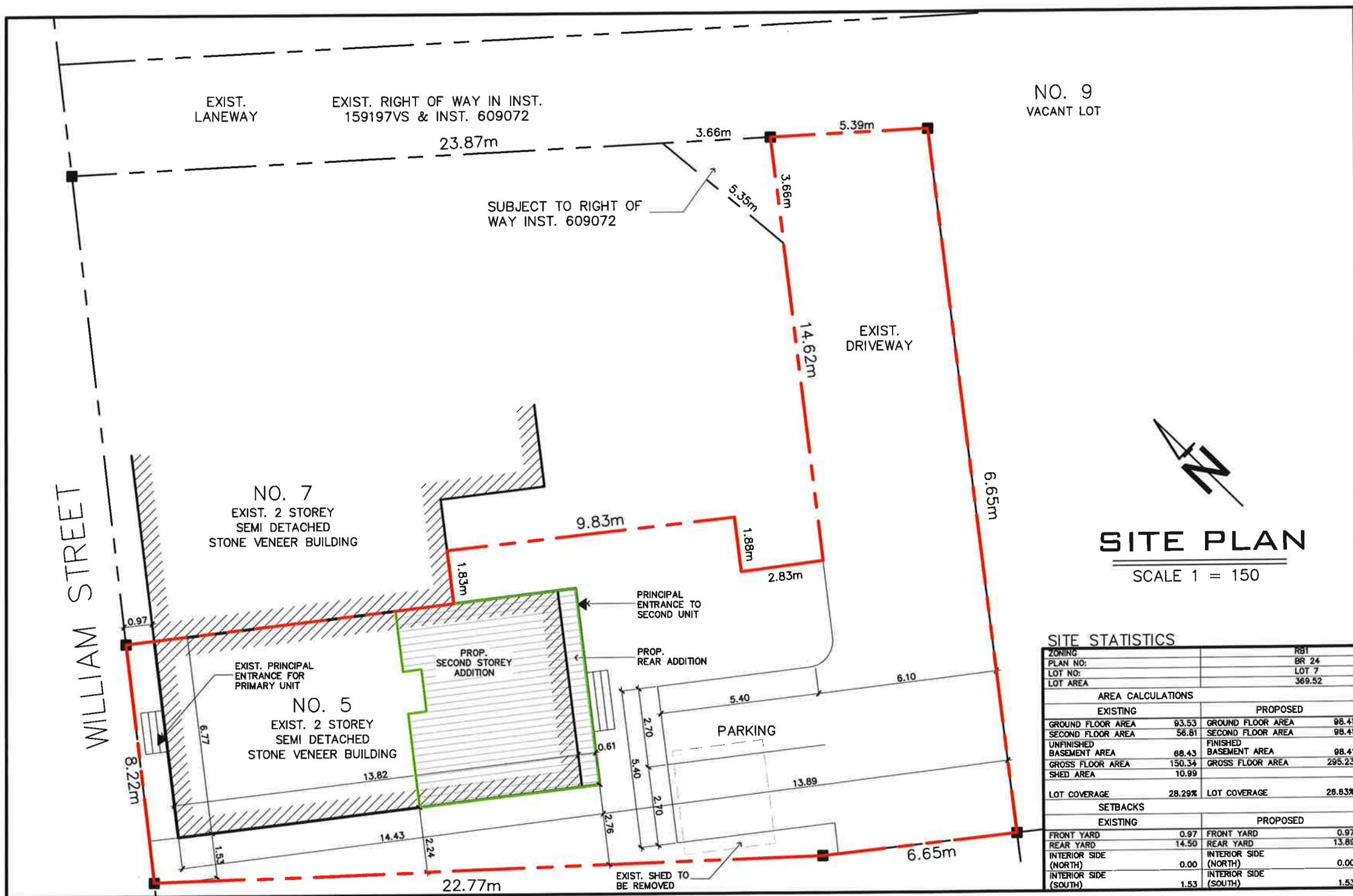
This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checkiist.

L Barbuto  
Zoning Officer

February 7, 2023  
Date

DATE RECEIVED

February 7, 2023.



# SITE PLAN

SCALE 1 = 150

## SITE STATISTICS

ZONING	RB1		
PLAN NO:	BR 24		
LOT NO:	LOT 7		
LOT AREA	369.52		
AREA CALCULATIONS			
EXISTING	PROPOSED		
GROUND FLOOR AREA	93.53	GROUND FLOOR AREA	98.41
SECOND FLOOR AREA	56.81	SECOND FLOOR AREA	98.41
UNFINISHED BASEMENT AREA	88.43	FINISHED BASEMENT AREA	98.41
GROSS FLOOR AREA	150.34	GROSS FLOOR AREA	295.23
SHED AREA	10.99		
LOT COVERAGE	28.29%	LOT COVERAGE	28.83%
SETBACKS			
EXISTING	PROPOSED		
FRONT YARD	0.97	FRONT YARD	0.97
REAR YARD	14.50	REAR YARD	13.89
INTERIOR SIDE (NORTH)	0.00	INTERIOR SIDE (NORTH)	0.00
INTERIOR SIDE (SOUTH)	1.53	INTERIOR SIDE (SOUTH)	1.53

NORTH	DATE	DRG. #
	01/20/23	A-1
DRAWN	SCALE	COMM. #
	1=150	
REVISION		
DATE		

**DRAWING TITLE:**  
**SITE PLAN**

**PROJECT:**  
 PROP. SECOND FLOOR ADDITION

5 WILLIAM STREET  
 BRAMPTON, ON.

THE UNDERSIGNED HAS REVIEWED & TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER

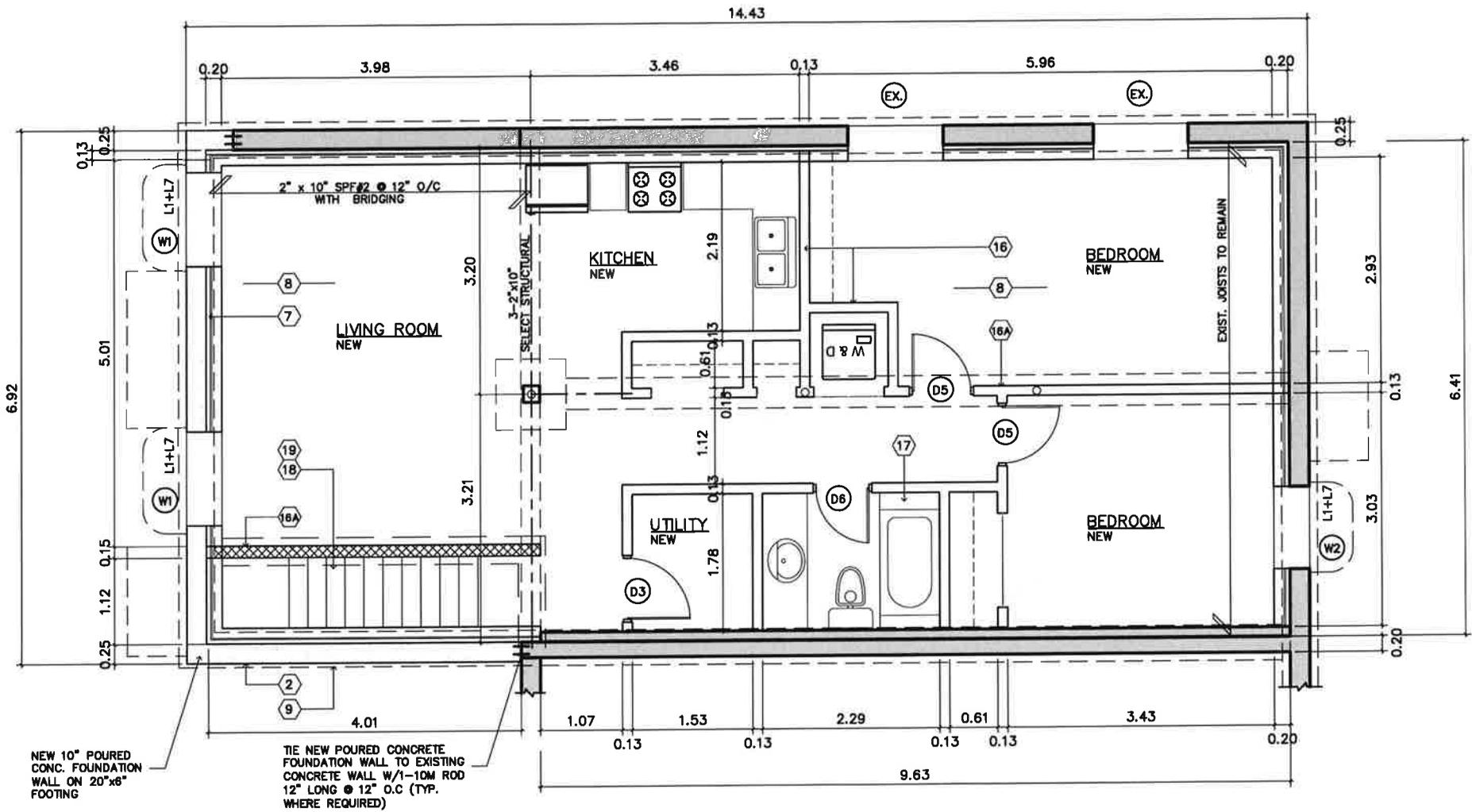
REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIV. C - 3.2.5.1 OF THE BUILDING CODE

DESIGNER: ISRAEL LIFOMADDA 41452  
REGISTERED PROFESSIONAL ENGINEER

REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIV. C - 3.2.5.1 OF THE BUILDING CODE

DATE: 4448  
FOR THIS DRAWING

Design | Construction | Project Management  
 129 Darnley Ave. Whitby ON L3R 0E7  
 Phone: (647) 218-4779 Fax: (905) 665-2346



NEW 10" POURED CONC. FOUNDATION WALL ON 20"x6" FOOTING

TIE NEW POURED CONCRETE FOUNDATION WALL TO EXISTING CONCRETE WALL W/1-10M ROD 12" LONG @ 12" O.C (TYP. WHERE REQUIRED)

### PROPOSED BASEMENT PLAN

SCALE: 1=75

THE ARCHITECT HAS REVIEWED & TAKES RESPONSIBILITY FOR THE DESIGN AND HAS THE QUALIFICATIONS AND NECESSARY REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER

QUALIFICATION INFORMATION  
 REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIV. C - 3.3.1.1 OF THE BUILDING CODE

ISRAEL UPTON/AD  
 41452  
 SIGNATURE

PROFESSIONAL REGISTRATION NUMBER  
 REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIV. C - 3.3.1.1.1 OF THE BUILDING CODE

DEFINITE DETAIL  
 44448  
 FROM FILE

**definite detail**  
 Design/Construction/Project Management  
 129 Darren Ave. Whitby ON, L3R 0E7  
 Phone: (647) 318-4773 Fax: (905) 646-2364

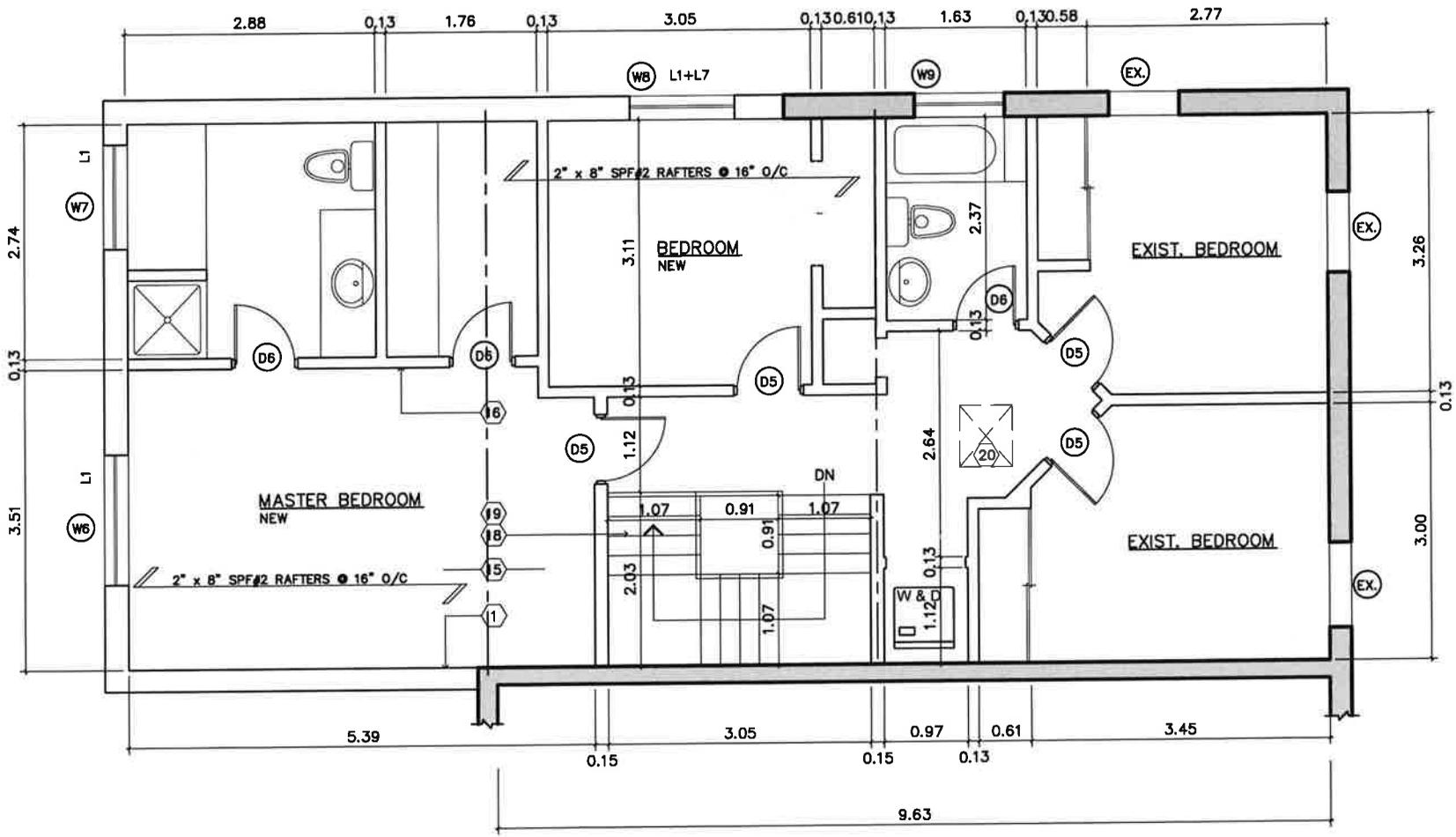
**DRAWING TITLE:**  
**BASEMENT PLAN**

**PROJECT:**  
 PROP. SECOND FLOOR ADDITION

**5 WILLIAM STREET BRAMPTON, ON.**

DATE	REVISION	DRAWN	NORTH
		SCALE 1=75	DATE 01/20/23
		COMM. #	DRG. # <b>A-2</b>





**PROPOSED SECOND FLOOR PLAN**  
 SCALE: 1=75

NORTH	DATE	DRG. #
	01/20/23	<b>A-4</b>
DRAWN	SCALE	COMM. #
	1=75	---
REVISION		
DATE		

**DRAWING TITLE:**  
**SECOND FLOOR PLAN**

**PROJECT:**  
 PROP. SECOND FLOOR  
 ADDITION

5 WILLIAM STREET  
 BRAMPTON, ON.

THE UNDERSIGNED HAS REVIEWED & TAKES RESPONSIBILITY FOR THIS DESIGN AND THE QUALIFICATIONS AND ABILITY OF ALL PERSONS SET OUT IN THE DRAWING BEING DUE TO BE A PERSONS.

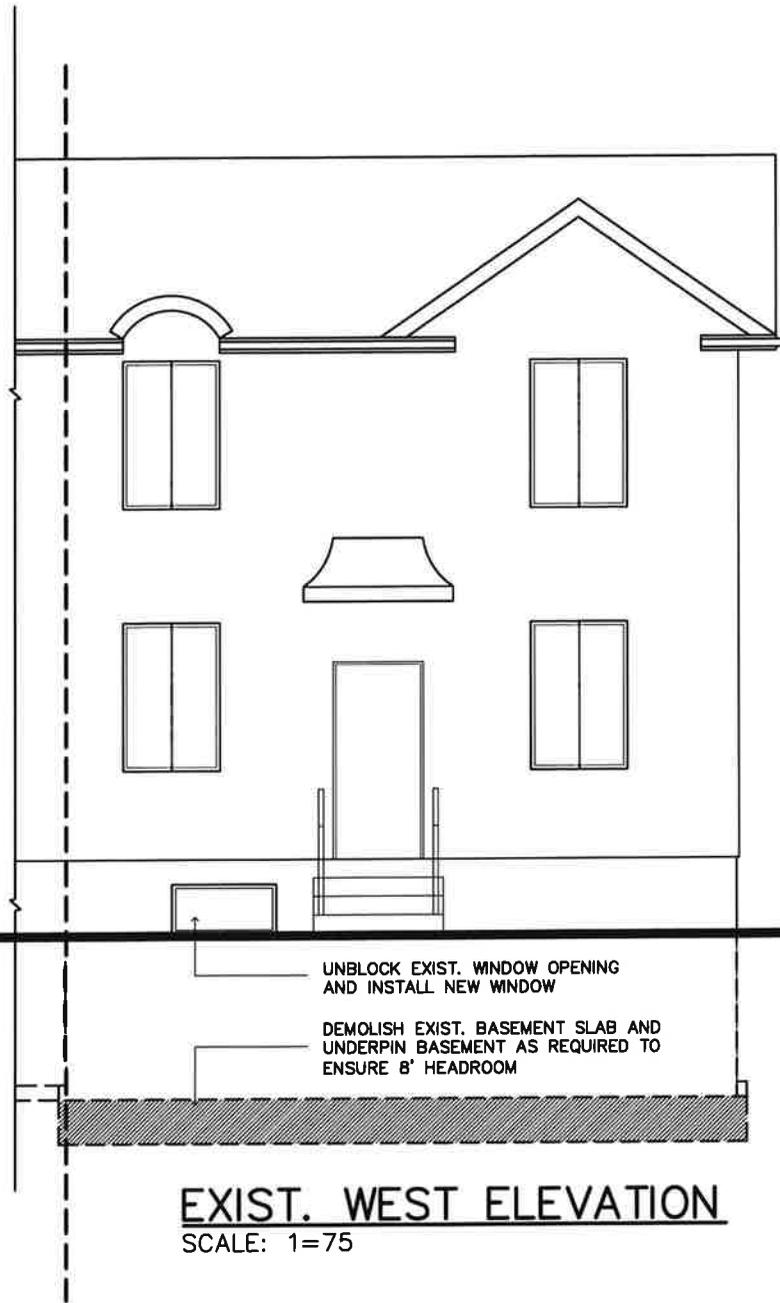
REQUIRED UNLESS DESIGN IS COMPLETED UNDER THE C.P. 1932.11 OF THE BUILDING CODE

ISRAEL UPMADH  
 41452  
 SIGNATURE: *[Signature]*  
 REQUIRED UNLESS DESIGN IS COMPLETED UNDER THE C.P. 1932.11 OF THE BUILDING CODE

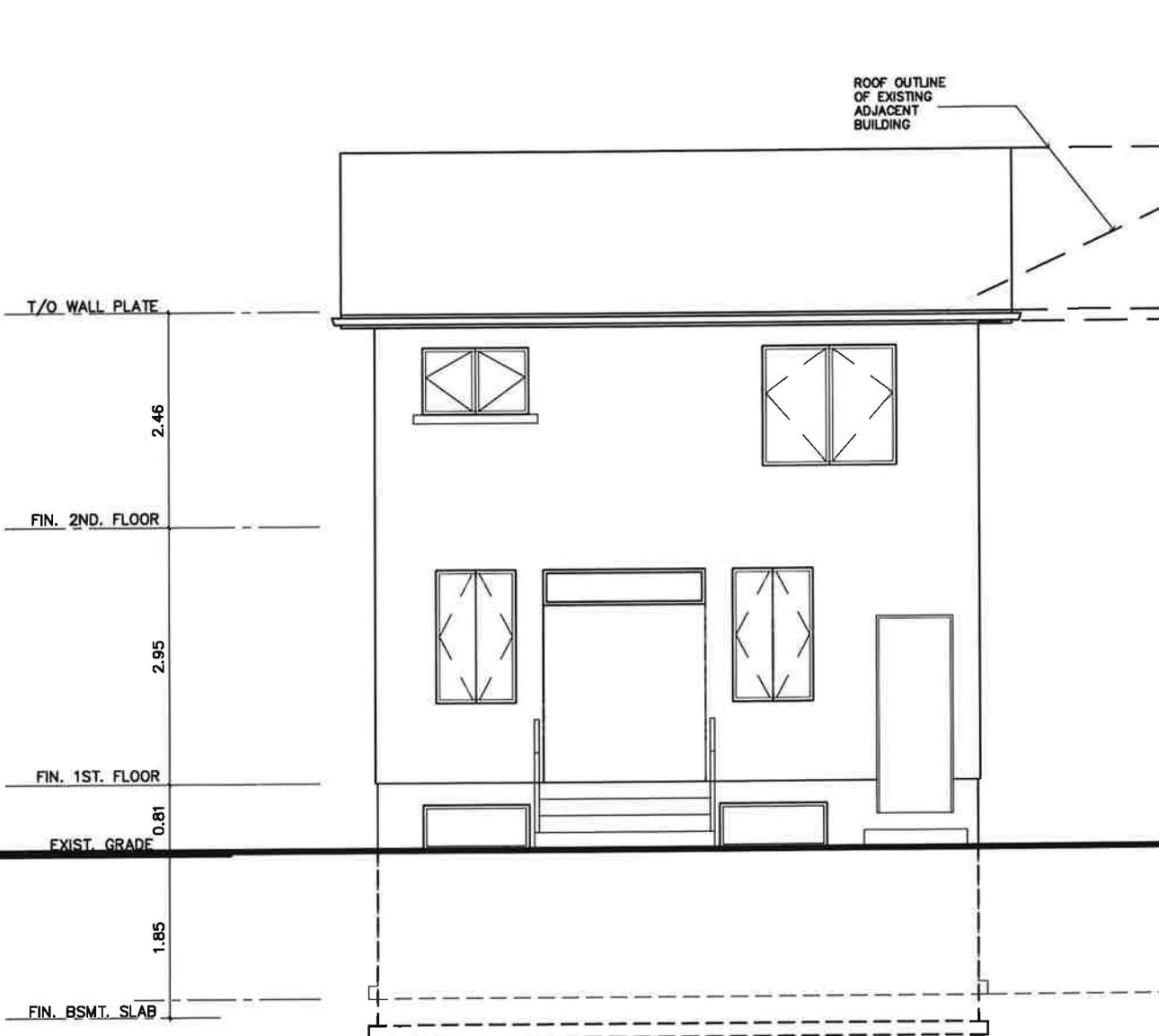
DEFINITE DETAIL  
 44448  
 FIRM NAME



Design Construction | Project Management  
 129 Darnley Ave. Whitby ON L3R 0E7  
 Phone: (905) 218-4772 | Fax: (905) 665-2566



**EXIST. WEST ELEVATION**  
SCALE: 1=75



**EAST ELEVATION**  
SCALE: 1=75

NORTH	○
DATE	01/20/23
DRG. #	<b>A-5</b>
REVISION	
SCALE	1=75
COMM. #	---
DATE	
DRAWN	

**DRAWING TITLE:**  
**ELEVATIONS**

**PROJECT:**  
PROP. SECOND FLOOR  
ADDITION

**5 WILLIAM STREET  
BRAMPTON, ON.**

THE UNDERSIGNED HAS REVIEWED & TAKES RESPONSIBILITY FOR THE DESIGN AND CONSTRUCTION OF THE WORK SHOWN ON THIS SET OF DRAWINGS AND HAS THE OATHING BUILDING CODE TO BE A REGISTERED PROFESSIONAL ENGINEER IN THE PROVINCE OF ONTARIO.

REQUIRED UNDER DESIGN & SCRIPT UNDER DIV. C - 3.3.5.1. OF THE BUILDING CODE

**ISRAEL UPMANU** 41452  
DESIGNER

*Israel Upmanu*  
SIGNATURE

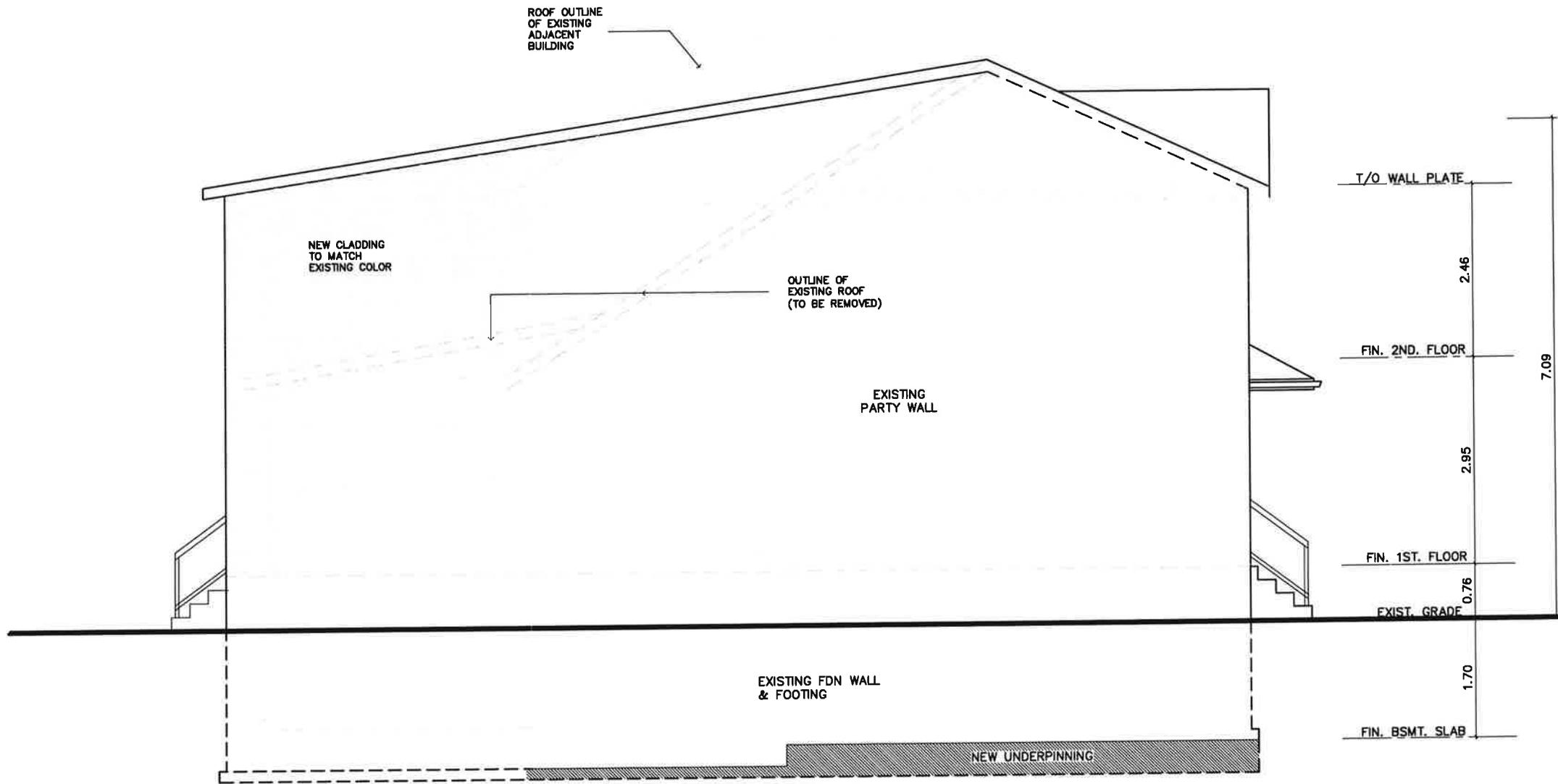
REQUIRED UNDER DESIGN & SCRIPT UNDER DIV. C - 3.3.5.1. OF THE BUILDING CODE

**DEFINITE DETAIL** 44448  
PRO TIME

**definite detail**

Design | Construction | Project Management  
129 Darren Ave. Whitby ON L3R 0E7  
Phone: (905) 765-4777 Fax: (905) 665-2366





**NORTH ELEVATION**  
SCALE: 1=75

DATE	REVISION	DRAWN	NORTH
		SCALE 1=75	
		COMM. #	DATE 01/20/23
			DRG. # <b>A-7</b>

**DRAWING TITLE:**  
**ELEVATION**

**PROJECT:**  
PROP. SECOND FLOOR  
ADDITION

5 WILLIAM STREET  
BRAMPTON, ON.

THE UNDERSIGNED HAS REVIEWED & TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIV. 6 - 3.2.1.1. OF THE BUILDING CODE

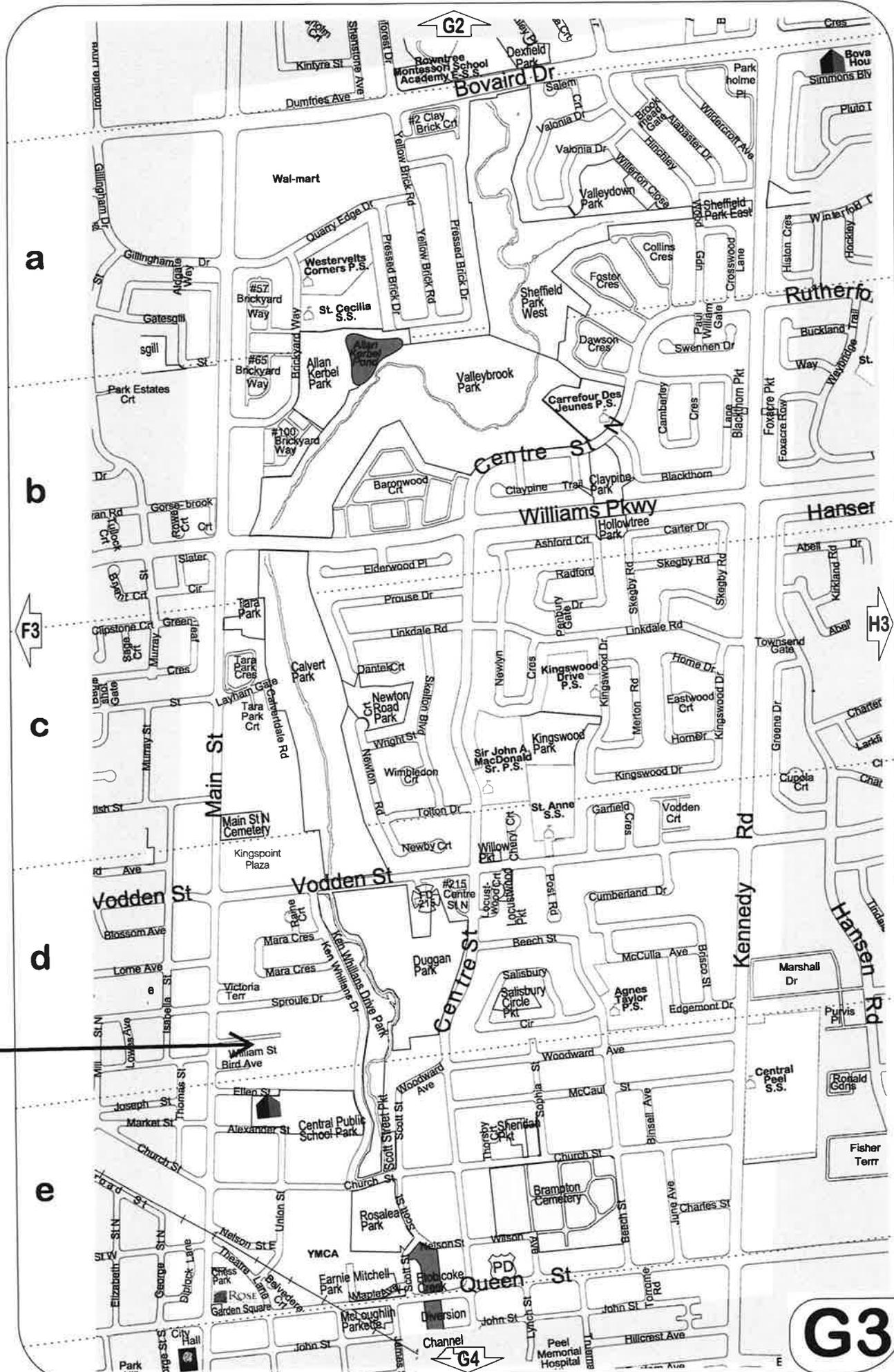
ISRAEL LIFOMANAKA  
SIGNATURE: *Israel Lifomanka*  
41452  
DOB

REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIV. 6 - 3.2.1.1. OF THE BUILDING CODE

DEFINITE DETAIL  
44448  
FIRM NAME

Design | Construction | Project Management  
129 Dacre Ave. Whitby ON L3R 0E7  
Phone: (905) 216-0772 Fax: (905) 665-1266

A-2023-0041



G3