

**APPLICATION FOR MINOR VARIANCE**

WHEREAS an application for minor variance has been made by **ST. LEONARDS HOUSE PEEL** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Part of Block E, Plan 895, Part 1, Plan 43R-3284 municipally known as **1105 QUEEN STREET EAST**, Brampton;

AND WHEREAS the applicants are requesting the following variance(s):

1. To permit a homeless shelter whereas the by-law does not permit the proposed use.

**OTHER PLANNING APPLICATIONS:**

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO  
Application for Consent: NO

File Number: \_\_\_\_\_  
File Number: \_\_\_\_\_

The Committee of Adjustment has appointed **TUESDAY, March 7, 2023 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

**IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT.** This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant, the Minister, a specified person or a public body.

**RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.**

**PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC**

DATED at Brampton Ontario, this this 23rd Day of February, 2023.

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer  
Committee of Adjustment, City Clerk's Office,  
Brampton City Hall, 2 Wellington Street West,  
Brampton, Ontario L6Y 4R2  
Phone: (905)874-2117  
Fax: (905)874-2119  
[jeanie.myers@brampton.ca](mailto:jeanie.myers@brampton.ca)

THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL SEALED AND SIGNED BY THE ARCHITECT. THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ALL ERRORS AND OMISSIONS TO THE ARCHITECT. DO NOT SCALE THE DRAWINGS.

**structural** **Jablonsky, Aast and Partners**  
1129 Lambton Street  
Don Mills, Ontario M3C 2K5  
tel: (416) 447-7405  
fax: (416) 447-2771  
email: [jablonsky@jastintl.on.ca](mailto:jablonsky@jastintl.on.ca)

**mechanical  
electrical**

**Able Engineering**  
23 Dandery Avenue  
Toronto, Ontario M8B 2B1  
tel: (416) 236-1170  
fax: (416) 236-1870  
email: [gabe@ableengineering.com](mailto:gabe@ableengineering.com)

**chil** **Urtech Engineering Inc.**  
1140 Burnhamthorpe Road West  
Unit 105  
Mississauga, Ontario L5C 4E9  
tel: (905) 895-4098  
fax: (905) 895-9433  
email: andrew@urtechengineering.ca

revision / issue:	
01 For Client Review	June 29, 2010
02 For Site Plan Approval	July 12, 2010
03 For Client Approval	July 14, 2010
04 For Minor Variance	August 03, 2010
05 For Bldg. Permit	August 10, 2010

## SITE SPECIFICS

Item	Description
LEGAL SITE ADDRESS	Part of Lot 6, DISTRICT PLAN #95 CITY OF VAUGHAN, REGIONAL MUNICIPALITY OF YORK
SITE LOCATION	1105 QUEEN STREET EAST BRIMPTON, ONTARIO TOWNSHIP OF CHINGWIGUAS, REGIONAL MUNICIPALITY OF PEEI
SITE AREA	8,556.20 SQ. METERS, 0.875 Ha
NO. OF STOREYS	4
BUILDING HEIGHT	APPROXIMATELY 14.0 METERS

Item	Description	O.B.C. Reference
PRODUCT DESCRIPTION	PESIDENTIAL HALF HRY HOUSE	PART 3
MAJOR OCCUPANCY	RESIDENTIAL	32.2.45
BUILDING COVERAGE	GROUP "C" UP TO 4 STOREYS SPRINKLERED Site Area = 4,354.20 SqM Landscape Area = 3,876.74 SqM %=66.38 Building Coverage = 2,119.51 SqM %=23.35	
GROSS FLOOR AREA	GROUNO = 606.98 SqM 2ND = 470.52 SqM 3RD = 484.92 SqM 4TH = 471.82 SqM Total GFA = 2033.24 SqM	
NUMBER OF STOREYS	Above Grade = 4 Storeys Below Grade = 0 Storeys	
HEIGHT OF BUILDING	14.0 METERS APPROX	
NUMBER OF STREETS / ACCESS ROUTES	1 Street	
BUILDING CLASSIFICATION	GROUP "C" UP TO 4 STOREYS SPRINKLERED	32.2.45
SPRINKLER SYSTEM PROPOSED	YES	
STANDPIPE REQUIRED	YES	32.9.1
HOSE STANDS REQUIRED	YES	32.9.4
FIRE ALARMS REQUIRED	YES	32.4.1
SEPARATION OF SUITES REQUIRED	YES 1 HR	32.1.1 (1)
CONSTRUCTION TYPE	COMBUSTIBLE - NON-COMBUSTIBLE	32.2.45 (2)
MEZZANINE	NO	
TOTAL OCCUPANT LOAD	RESIDENTS = 42	
	STAFF = 3	
WORKER FREE DESIGN	YES	
HAZARDOUS SUBSTANCES	NO	
FIRE RESISTANCE RATINGS (FRRH)	ROOF NOT REQUIRED	32.2.45. (2)
	FLOORS 1 HR	32.2.45
	BETWEEN SUITES, 1 HR	32.1.2 (1)
	CORRIDOR 1 HR	32.1.3 (3)
	SUPPORTING STRUCTURE 1 HR	32.2.45
	BEAMS IN FIRE RATED ASSEMBLIES ARE ASSUMED TO HAVE A FIRE RATING EQUAL TO THAT ASSIGNED TO THE REST OF THE ASSEMBLY	SUP. STANDARD 5B-2: 2.3 (3)
SIC RATING REQUIRED BETWEEN SUITES	BETWEEN ELEVATOR & DWELLING UNIT = 50	5B-2
	FROM DWELLING UNIT TO DWELLING UNIT = 50	5B.1.2
PART 11 COMPLIANCE ALTERNATIVE	WHERE FIREWORKING SYSTEMS ARE BEING ADAPTED TO MATCH THE DESIGN FRAMING, LESSON 10	5B.1.2
	HEIGHTS AND EXTENT OF APPLICATION AND VARIOUS BANDER WILL BE PERMITTED	TABLE 115.1.0 PART 11

FLOOR	OCCUPANT LOAD	WC's Required	WC's Provided
GROUND FLOOR	12	2 per each sex = 4 men's	10 INC. 2 W.C.
SECOND FLOOR	14	2 per each sex = 4 men's	10
THIRD FLOOR	13	2 per each sex = 4 men's	5 INC. 1 W.C.
FOURTH FLOOR	8	1 per each sex = 2 men's	5 INC. 1 W.C.
TOTAL		REQUIRED = 14	PROVIDED = 30

1105 Queen St. East, Brampton,  
Ontario Canada

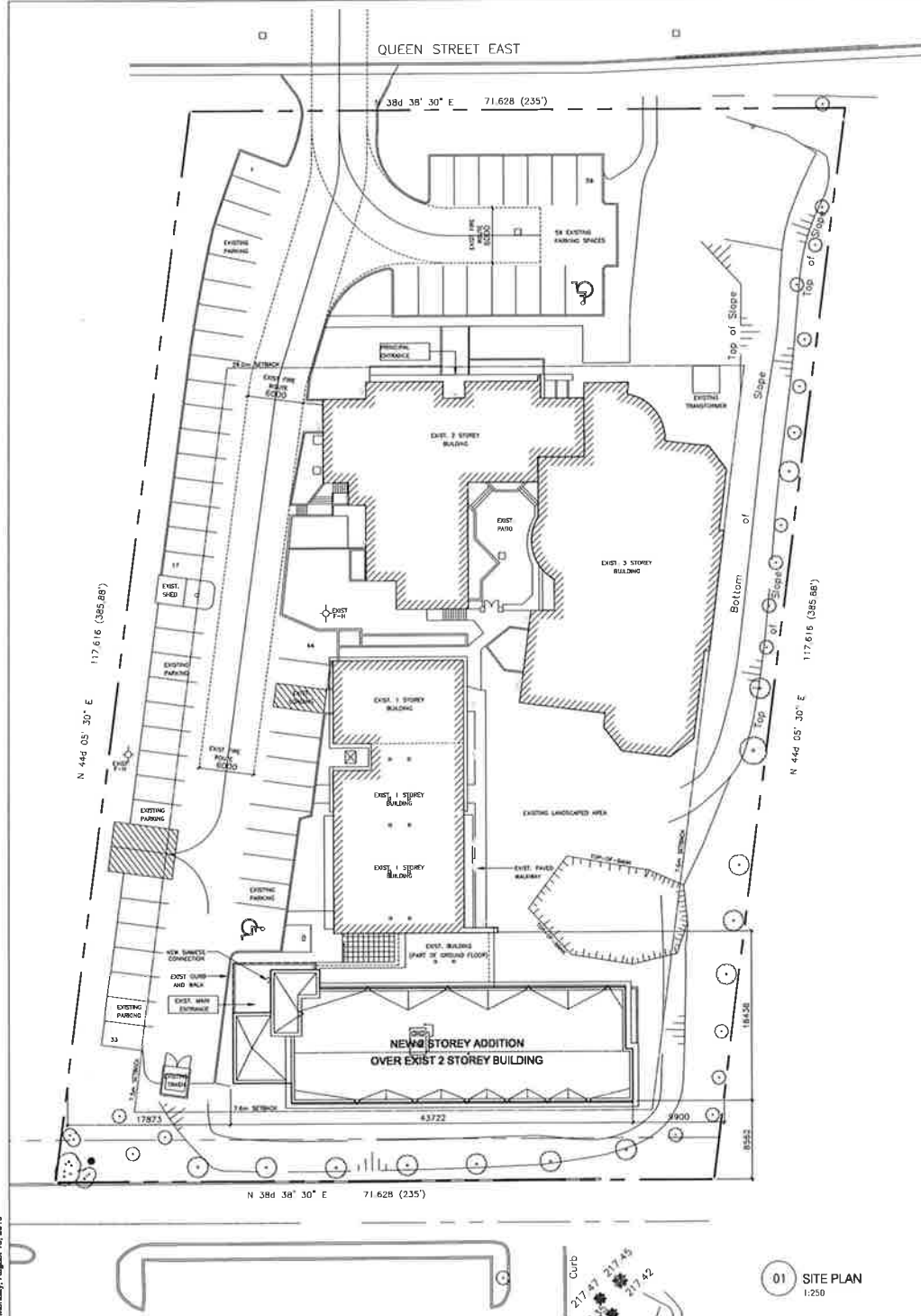
### Addition and Renovations to Exist 2 Storey Building

**SITE PLAN  
EXISTING SITE  
AND PLAN OF ADDITION**

City File # SP10-036 C3E3      project no: 10008  
scale: 1:300      drawn by: M.A.

A101 rev 05

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02 SITE CONTEXT PLAN  
NTS

LEGAL DESCRIPTION

PLAN OF SURVEY OF  
PART OF BLOCK E  
REGISTERED PLAN No. 893  
TOWNSHIP OF CHANCOSSEY  
COUNTY OF PEEI  
NOW IN THE  
CITY OF BRAMPTON  
REGIONAL MUNICIPALITY OF PEEI

1105 QUEEN STREET EAST  
BRAMPTON, ONTARIO

ZONING  
BY-LAW No. 205-93  
TO AMMEND BY-LAW No. 151-88

SITE AREA  
+/- 8,356.20 Sq m +/- 0.835 Ha

EXISTING BUILDING AREA. 2098.80 Sq.m @ 25.12%  
NEW BUILDING AREA. 2119.51 Sq.m @ 25.36%

EXIST GROUND FLOOR GFA	586.27 Sq.m
EXIST SECOND FLOOR GFA	425.82 Sq.m
TOTAL EXISTING GFA	1,011.92 Sq.m

NEW GROUND FLOOR GFA	608.98 Sq m
NEW SECOND FLOOR GFA	470.52 Sq m
NEW THIRD FLOOR GFA	484.92 Sq m
NEW FOURTH FLOOR GFA	474.82 Sq m
TOTAL NEW GFA	2,039.24 Sq m

EXIST. SUPPORTIVE HOUSING BED COUNT	14
NEW SUPPORTIVE HOUSING BED COUNT	29
EXIST. APARTMENT UNIT COUNT	6
NEW APARTMENT UNIT COUNT	4

EXISTING PARKING:	
STAFF PARKING	7
FOR SUPPORTIVE HOUSING BEDS	
28 @ 25 SPACES PER BED	7
FOR APARTMENTS UNITS	
32 @ 1.4 SPACES PER UNIT.	45

EXIST PARKING COUNT INCL 2 H/C \_\_\_\_\_ 59

**NEW PARKING REQUIRED**

STAFF PARKING \_\_\_\_\_ 7

FOR SUPPORTIVE HOUSING BEDS  
EXIST BED COUNT = 28  
NEW BED COUNT = 42 @ 25 SPACES / BED = 11

FOR DWELLING UNITS  
EXIST UNIT COUNT = 32  
NEW UNIT COUNT = 30 @ 1.4 SPACES/UNIT = 42

NEW PARKING REQUIRED INCL 2 H/C 60

PARKING PROVIDED  
EXISTING ON SITE PARKING PROVIDED  
INCLUDING 2 H/C

EXIST BUILDING: OBC 322.47 (1997)  
RESIDENTIAL BLDG.  
TWO STOREYS FACING ONE STREET

RENOVATED BUILDING: OBC 322.45 (2006)  
RESIDENTIAL BLDG.  
GROUP C, UP TO 4 STOREYS SPARKLERED  
FOUR STOREYS FACING ONE STREET

### 03 SITE STATISTICS

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**Under the authority of the Emergency Management and Civil Protection Act and the Municipal Act, 2001, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).**

**Electronic/Hybrid Hearing Procedures  
How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **March 7, 2023** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

**How to Participate in the Hearing:**

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, March 2, 2023.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
  1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary–Treasurer at [cityclerksoffice@brampton.ca](mailto:cityclerksoffice@brampton.ca) or [jeanie.myers@brampton.ca](mailto:jeanie.myers@brampton.ca) by **4:30 pm Thursday, March 2, 2023.**
  2. To participate in-person, please email the Secretary–Treasurer at [cityclerksoffice@brampton.ca](mailto:cityclerksoffice@brampton.ca) or [jeanie.myers@brampton.ca](mailto:jeanie.myers@brampton.ca) by **4:30 pm Thursday, March 2, 2023.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, March 2, 2023.** . City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:  
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or  
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to [cityclerksoffice@brampton.ca](mailto:cityclerksoffice@brampton.ca) or [jeanie.myers@brampton.ca](mailto:jeanie.myers@brampton.ca). If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

**NOTE** Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, [www.brampton.ca](http://www.brampton.ca). By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.



Flower City



brampton.ca

For Office Use Only  
(to be inserted by the Secretary-Treasurer  
after application is deemed complete)

FILE NUMBER: A-2023-0031

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION  
Minor Variance or Special Permission  
(Please read Instructions)

**NOTE:** It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. Name of Owner(s) St. Leonards House Peel  
Address 1105 Queen Street East, Brampton, Ontario, L6T 4E2  
  
Phone # 905 457 3611 ext 235 Fax # 905 457 4084  
Email leslieb@slpp.ca

2. Name of Agent N/A  
Address \_\_\_\_\_  
  
Phone # \_\_\_\_\_ Fax # \_\_\_\_\_  
Email \_\_\_\_\_

3. Nature and extent of relief applied for (variances requested):  
St. Leonard's lalce Peel, as we refer to it requires a minor variance to use our gymnasium for an Out Of The Cold program which runs from November to March 2023. This program offers 16 homeless men sleeping accomodations, access a hot meal, shower, laundry and resources to other services. The program operates from 6pm-8am and the men can access services during this time. We are looking for a minor variance so the property can be used as such on an annual basis.

4. Why is it not possible to comply with the provisions of the by-law?  
To permit a homeless shelter, whereas the by-law does not permit the use.

5. Legal Description of the subject land:  
Lot Number Part of Block E, Plan 895  
Plan Number/Concession Number 43R-3284  
Municipal Address 1105 Queen Str east, Brampton, ON L6T4E2

6. Dimension of subject land (in metric units)  
Frontage 71.63  
Depth 117.62  
Area 8425.12

7. Access to the subject land is by:  
Provincial Highway ☐ Seasonal Road ☐  
Municipal Road Maintained All Year ☒ Other Public Road ☐  
Private Right-of-Way ☐ Water ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

**EXISTING BUILDINGS/STRUCTURES on the subject land:** List all structures (dwelling, shed, gazebo, etc.)

Gymnasium is one floor which is approx. 169.22 M2.  
Storage is one floor which is approx. 20.79 M2

**PROPOSED BUILDINGS/STRUCTURES on the subject land:**

New washroom, shower and laundry facilities for clients.

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

**EXISTING**

Front yard setback	7.5m
Rear yard setback	7.6m
Side yard setback	7.5m
Side yard setback	7.5m

**PROPOSED**

Front yard setback	same
Rear yard setback	same
Side yard setback	same
Side yard setback	same

10. Date of Acquisition of subject land: May 2008
11. Existing uses of subject property: Institutional
12. Proposed uses of subject property: To facilitate an Out Of The Cold program
13. Existing uses of abutting properties: Temporary accomodations for an Out Of The Cold program.
14. Date of construction of all buildings & structures on subject land: May 2008
15. Length of time the existing uses of the subject property have been continued: ensure 15 yrs

16. (a) What water supply is existing/proposed?
- |           |                                     |                 |  |
|-----------|-------------------------------------|-----------------|--|
| Municipal | <input checked="" type="checkbox"/> | Other (specify) |  |
| Well      | <input type="checkbox"/>            |                 |  |
- (b) What sewage disposal is/will be provided?
- |           |                                     |                 |  |
|-----------|-------------------------------------|-----------------|--|
| Municipal | <input checked="" type="checkbox"/> | Other (specify) |  |
| Septic    | <input type="checkbox"/>            |                 |  |
- (c) What storm drainage system is existing/proposed?
- |         |                                     |                 |  |
|---------|-------------------------------------|-----------------|--|
| Sewers  | <input checked="" type="checkbox"/> | Other (specify) |  |
| Ditches | <input checked="" type="checkbox"/> |                 |  |
| Swales  | <input type="checkbox"/>            |                 |  |

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # \_\_\_\_\_ Status \_\_\_\_\_

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☐ Unknown ☒

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Signature of Applicant(s) or Authorized Agent

DATED AT THE City OF Brampton  
THIS 1 DAY OF February 20 23

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Tom Trischer OF THE City OF Pickering  
IN THE Prov OF Ontario SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton  
IN THE Region OF Peel  
THIS 1st DAY OF Feb. 20 23

Signature of Applicant or Authorized Agent

Expires April 8, 2024.  
City of Brampton  
for the Corporation of the  
Province of Ontario  
a Commissioner, etc.,  
Jeanie Cecilia Myers

Submit by Email

A Commissioner etc.

Jeanie Cecilia Myers  
a Commissioner, etc.,  
Province of Ontario  
for the Corporation of the  
City of Brampton  
Expires April 8, 2024.

FOR OFFICE USE ONLY

Present Official Plan Designation: \_\_\_\_\_

Present Zoning By-law Classification: \_\_\_\_\_

12-394

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

L Barbuto  
Zoning Officer

June 26, 2023  
Date

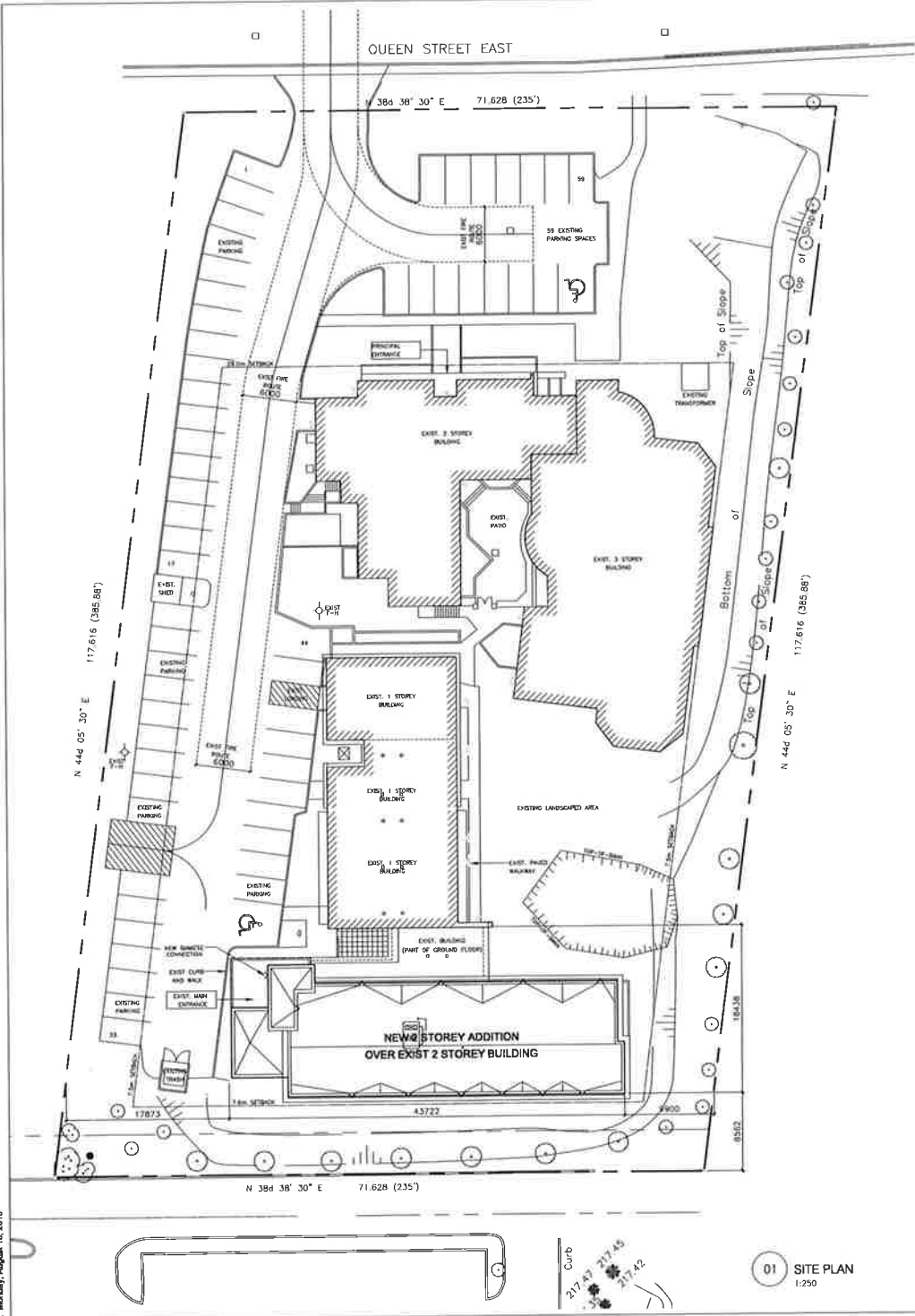
DATE RECEIVED

Feb. 1, 2023

Date Application Deemed  
Complete by the Municipality

Revised 2022/02/17

LOT DATE: Monday, August 16, 2010



02 SITE CONTEXT PLAN  
NTS

SITE DATA

LEGAL DESCRIPTION

PLAN OF SURVEY OF  
PART OF BLOCK E  
REGISTERED PLAN No. 895  
TOWNSHIP OF CHINGWASSE  
COUNTY OF PEEBLES  
NOW IN THE  
CITY OF BRAMPTON  
REGIONAL MUNICIPALITY OF PEEBLES

MUNICIPAL ADDRESS

1105 QUEEN STREET EAST  
BRAMPTON, ONTARIO

ZONING

BY-LAW No. 205-93  
TO AMEND BY-LAW No. 151-88

SITE AREA

+/- 8,356.20 Sq m +/- 0.835 Ha

COVERAGE

EXISTING BUILDING AREA = 2098.80 Sq m @ 25.12%  
NEW BUILDING AREA = 2119.51 Sq m @ 25.36%

FATHER JOHN BARTLETT HOME (SOUTH BLDG) STATS

EXIST GROUND FLOOR GFA	586.27 Sq m
EXIST SECOND FLOOR GFA	425.83 Sq m
TOTAL EXISTING GFA	1,012.10 Sq m
NEW GROUND FLOOR GFA	606.98 Sq m
NEW SECOND FLOOR GFA	470.52 Sq m
NEW THIRD FLOOR GFA	484.92 Sq m
NEW FOURTH FLOOR GFA	474.82 Sq m
TOTAL NEW GFA	2,037.24 Sq m

EXIST SUPPORTIVE HOUSING BED COUNT	14
NEW SUPPORTIVE HOUSING BED COUNT	29
EXIST APARTMENT UNIT COUNT	6
NEW APARTMENT UNIT COUNT	4

PARKING

EXISTING PARKING	7
STAFF PARKING	7
FOR SUPPORTIVE HOUSING BEDS	28 @ 25 SPACES PER BED
FOR APARTMENT UNITS	32 @ 1.4 SPACES PER UNIT
EXIST PARKING COUNT INCL. 2 H/C	59
NEW PARKING REQUIRED	7
STAFF PARKING	7
FOR SUPPORTIVE HOUSING BEDS	28 @ 25 SPACES PER BED
FOR APARTMENT UNITS	32 @ 1.4 SPACES PER UNIT
EXIST UNIT COUNT = 32	32 @ 1.4 SPACES/UNIT
NEW UNIT COUNT = 30	30 @ 1.4 SPACES/UNIT
NEW PARKING REQUIRED INCL. 2 H/C	60
PARKING PROVIDED	60
EXISTING ON SITE PARKING PROVIDED	60
INCLUDING 2 H/C	

BUILDING CLASSIFICATION

EXIST BUILDING, OBC 3.2.2.47 (1997)  
RESIDENTIAL BLDG.  
TWO STOREYS FACING ONE STREET  
RENOVATED BUILDING, OBC 3.2.2.45 (2006)  
RESIDENTIAL BLDG.  
GROUP C, UP TO 4 STOREYS SPRINKLERED  
FOUR STOREYS FACING ONE STREET

01 SITE PLAN  
1:250

03 SITE STATISTICS  
NTS

ONTARIO BUILDING CODE MATRIX

SITE SPECIFICS

Item	Description
LEGAL SITE ADDRESS	Port of Lot E, REGISTERED PLAN 895
SITE LOCATION	CITY OF VAUGHAN, REGIONAL MUNICIPALITY OF YORK 1105 QUEEN STREET EAST BRAMPTON, ONTARIO
SITE AREA	8,356.20 SQ METERS 0.835 HA
NO. OF STOREYS	4
BUILDING HEIGHT	APPROXIMATELY 14.0 METERS

ONTARIO BUILDING CODE STUDY

Item	Description	OBC Reference
PROJECT DESCRIPTION	RESIDENTIAL HALF WAY HOUSE	PART 3
MAJOR OCCUPANCY	RESIDENTIAL	3.2.2.45
BUILDING COVERAGE	GROUP "C" UP TO 4 STOREYS SPRINKLERED	
GROSS FLOOR AREA	Site Area = 8,356.20 SQM Landscape Area = 3,876.74 SQM X=46.39 Building Coverage = 2,119.51 SQM X=25.36	
NUMBER OF STOREYS	Above Grade = 4 Storeys Below Grade = 0 Storeys	
HEIGHT OF BUILDING	14.0 METERS APPROX.	
NUMBER OF STOREYS / ACCESS ROUTES	GROUP "C" UP TO 4 STOREYS	3.2.2.45
BUILDING CLASSIFICATION	SPRINKLERED	
SPRINKLER SYSTEM PROPOSED	YES	3.2.2.41
STANDPIPE REQUIRED	YES	3.2.2.41
HOSE STATIONS REQUIRED	YES	3.2.2.41
FIRE ALARM REQUIRED	YES, 1 HR	3.3.1.1 (1)
SEPARATION OF STOREYS REQUIRED	COMBUSTIBLE - NON-COMBUSTIBLE	3.2.2.45 (2)
CONSTRUCTION TYPE	NO	
MEZZANINE	RESIDENTS = 42	
TOTAL OCCUPANT LOAD	STAFF = 3	
WARMER FIRE DESIGN	YES	
HAZARDOUS SUBSTANCES	NO	
FIRE RESISTANCE RATINGS (FRR)	ROOF NOT REQUIRED	3.2.2.45 (2) (a)
	FLOORS: 1 HR	3.2.2.45
	BETWEEN STOREYS: 1 HR	3.3.1.4 (1)
	CORRIDORS: 1 HR	3.2.2.45
	SUPPORTING STRUCTURE: 1 HR	
SIC RATING REQUIRED BETWEEN STOREYS	BEAMS IN FIRE RATED ASSEMBLIES ARE ASSIGNED TO HAVE A FIRE RATING RESISTANCE EQUAL TO THAT ASSIGNED TO THE REST OF THE ASSEMBLY	SUP. STANDARD 5B-2: 2.3.1.3
	BETWEEN TELEVISION & DWELLING UNIT = 50	5.8.1.2
	FROM DWELLING UNIT TO DWELLING UNIT = 50	5.8.1.2
PART 11 COMPLIANCE ALTERNATIVE	WHERE FRAMING SYSTEMS ARE BEING ALTERED TO MATCH THE EXISTING FRAMING, LESSER AMOUNTS AND EXTENT OF INSULATION AND VAPOR BARRIER WILL BE PERMITTED	TABLE 11.5.1.C. PART 11

WASHROOM REQUIREMENTS: TABLE 3.7.4.6. ( MEN'S ONLY RESIDENCE )

FLOOR	OCCUPANT LOAD	WC's Required	WC's Provided
GROUND FLOOR	12	@ 2 per each sex = 4 men's	10 BIC 2 H/C
SECOND FLOOR	14	@ 2 per each sex = 4 men's	10
THIRD FLOOR	11	@ 2 per each sex = 4 men's	5 BIC 1 H/C
FOURTH FLOOR	8	@ 1 per each sex = 2 men's	5 BIC 1 H/C
TOTAL		REQUIRED = 14	PROVIDED = 30

**HCA ARCHITECTURE**  
incorporated architects

191 Eglinton Ave. East  
Suite 201  
Toronto, Ontario  
Canada M6P 1K1  
416.482.5216  
416.482.4942  
info@hca.ca  
www.hca.ca

ONTARIO ASSOCIATION  
OF ARCHITECTS  
REGISTERED  
ARCHITECTS  
LICENCE  
400

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- structural Jablonsky, Ast and Partners  
1120 Leslie Street  
Don Mills, Ontario M3C 2K5  
tel: (416) 447-7400  
fax: (416) 447-7771  
email: jast@jablonskyast.com
- mechanical Able Engineering  
20 Denison Avenue  
Toronto, Ontario M5M 3R1  
tel: (416) 225-1170  
fax: (416) 225-1870  
email: gavin@ableengineering.com
- civil Urbtech Engineering Inc.  
140 Burnhamthorpe Road West  
Unit 105  
Mississauga, Ontario L5C 4E9  
tel: (905) 885-4888  
fax: (905) 885-4133  
email: andy@urbtechengineering.com

- revision / issue:
- |                           |                 |
|---------------------------|-----------------|
| 01 For Client Review      | June 29, 2010   |
| 02 For Site Plan Approval | July 12, 2010   |
| 03 For Client Approval    | July 14, 2010   |
| 04 For Minor Variance     | August 03, 2010 |
| 05 For Bldg. Permit       | August 10, 2010 |

True North

Project North

st. leonard's place peol

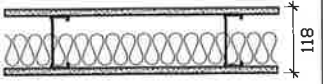
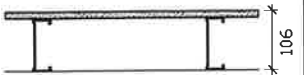
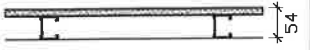
1105 Queen St. East, Brampton, Ontario Canada

Addition and Renovations  
to Exist 2 Storey Building

SITE PLAN  
EXISTING SITE  
AND PLAN OF ADDITION

City File # SP10-036 CSES project no: 10008  
scale: 1:300 drawn by: M.A.



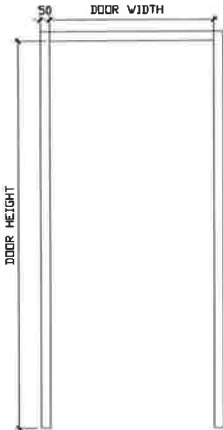
PARTITION SCHEDULE					
SYM	THICK	FIRE	SOUND	CONSTRUCTION	DESCRIPTION
P1	4.6" (118MM)	NON RATED	NOT REQUIRED		<p><u>NEW GENERAL PURPOSE NON RATED FULL HEIGHT PARTITION</u>  1/2" (13) GYPSUM BOARD, BOTH SIDES  3-5/8" (92MM) STEEL STUDS @ 16" O.C. (400MM)  2 1/2" (64) SOUND ATTENUATING BATT INSULATION ON ALL BATHROOM &amp; SHOWER WALLS</p> <p>NOTE: SHOWER ENCLOSURE IS TO BE CEMENT BOARD, FULL HEIGHT.</p>
P2	4 1/8" (106MM)	NON RATED	NOT REQUIRED		<p><u>NEW 4 1/8" FURRING PARTITION</u>  1/2" (13) GYPSUM BOARD (OR TILE BACKER BOARD WHERE TILE IS TO BE INSTALLED), ONE SIDE  3 5/8" (92) STEEL STUDS (OR AS PER SITE CONDITION) @ 16" O.C.</p>
P3	2 1/8" (54MM)	NON RATED	NOT REQUIRED		<p><u>NEW 2 1/8" FURRING PARTITION</u>  1/2" (13) GYPSUM BOARD, ONE SIDE  1-5/8" (41) STEEL STUDS SPACED 16" O.C. (OR REQUIRED WIDTH BASED ON SITE CONDITION)</p> <p>NOTE: SHOWER ENCLOSURE IS TO BE CEMENT BOARD, FULL HEIGHT.</p>

DOOR TYPE LEGEND



A

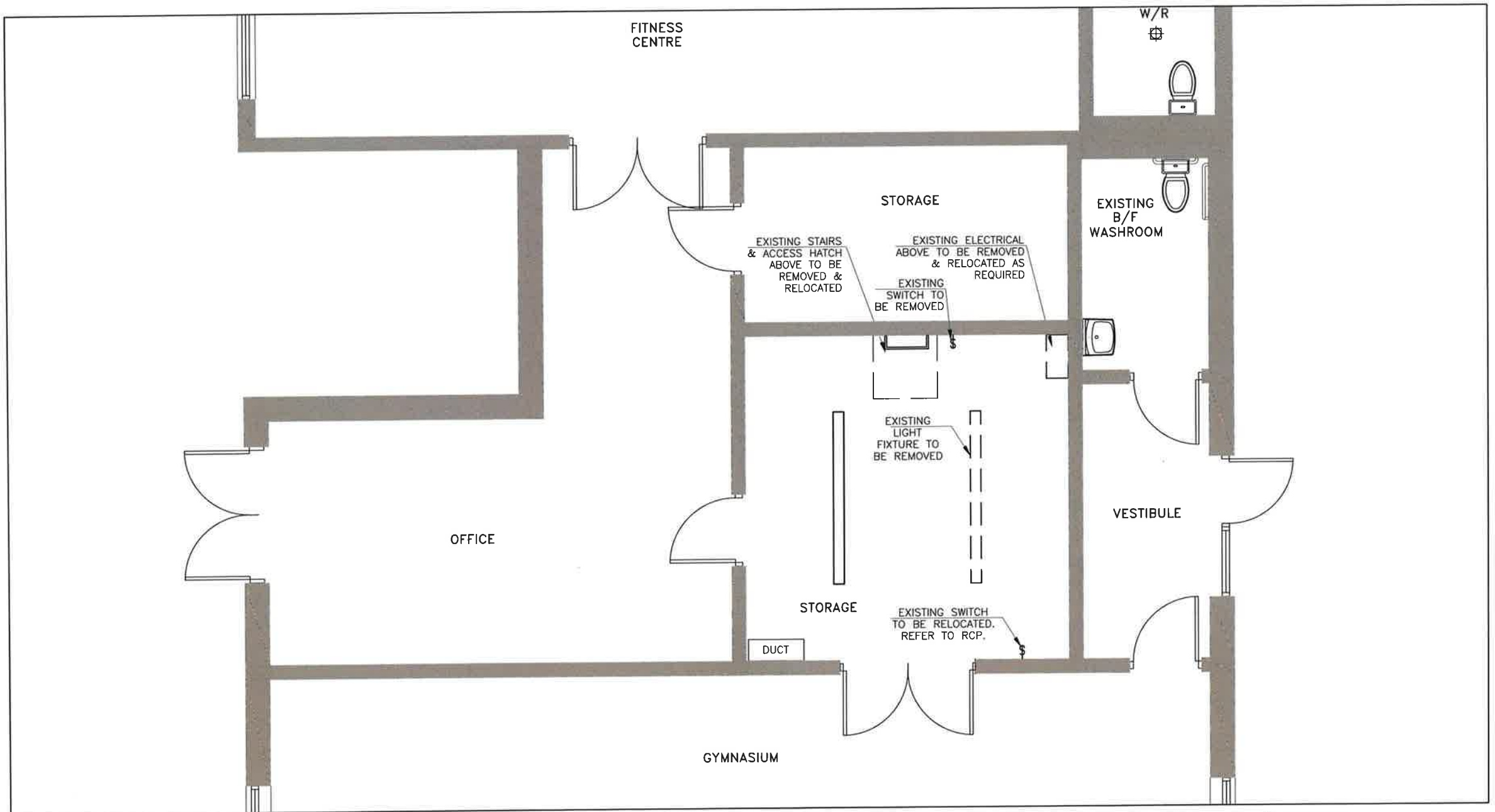
FRAME TYPE LEGEND



1

DOOR SCHEDULE			DOORS						FRAMES			FFR	MISCELLANEOUS			
LEVEL	DOOR No.	LOCATION	TYPE	WIDTH	HEIGHT	THK.	DOOR MATERIAL	DOOR FINISH	FRAME MATERIAL	TYPE	FRAME FINISH	FIRE RATING	THRESH.	CLOSER	H/WARE SET	REMARKS
GR. FLR	1	UNISEX WASHROOM	A	760	2032	45	SEE REMARKS	PAINT	SEE REMARKS	1	PAINT	N/A		SEE REMARKS	SEE REMARKS	DISCUSS ALL ITEMS WITH CLIENT - ST. LEONARDS
	2	BARRIER-FREE SHOWER ROOM	A	965	2032	45	SEE REMARKS	PAINT	SEE REMARKS	1	PAINT	N/A		SEE REMARKS	SEE REMARKS	DISCUSS ALL ITEMS WITH CLIENT - ST. LEONARDS
NOTES																
1	SEE FINISH SCHEDULES FOR DOOR FINISHES.															





## St. Leonard's Place Gymnasium Renovation

1105 Queen Street E, Brampton  
Ontario Canada L6T 4E2

### GROUND FLOOR - DEMOLITION PLAN

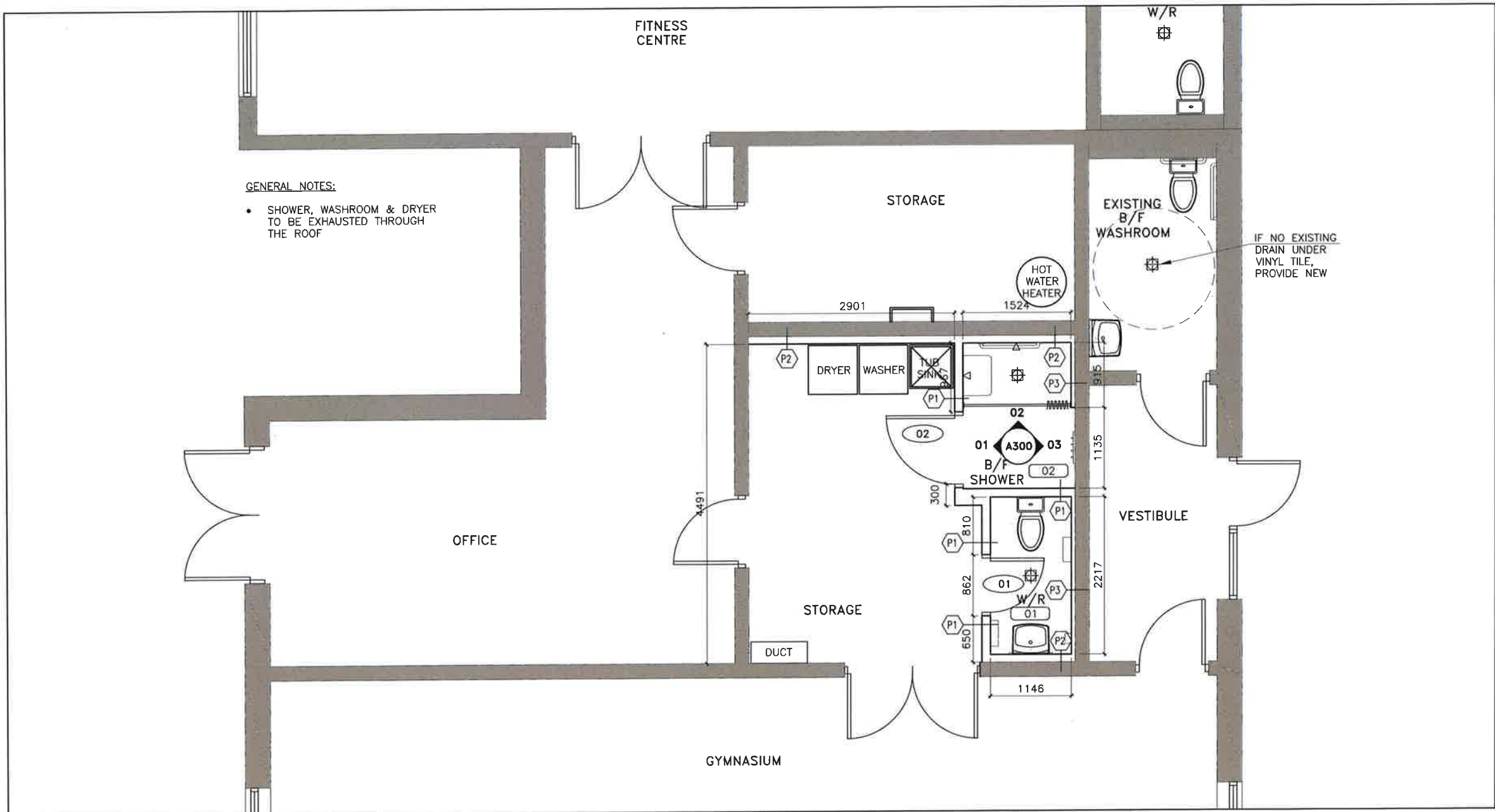
#### revision / issue:

01	For Review	Oct. 30, 2020
02	For Review	Nov. 3, 2020

date:	OCT.30-2020	project no:	20113
scale:	1:50	drawn by:	N.M.

**A-200**

rev no. **02**



**ARCHITECTURE**  
incorporated architects

100 Sheppard Ave. West  
Suite 100 Toronto, Ontario  
Canada M2N 1M6  
t. 416.482.5216  
info@hca.ca www.hca.ca.hca.ca

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## St. Leonard's Place Gymnasium Renovation

1105 Queen Street E, Brampton  
Ontario Canada L6T 4E2

GROUND FLOOR - PARTITION PLAN

revision / issue:

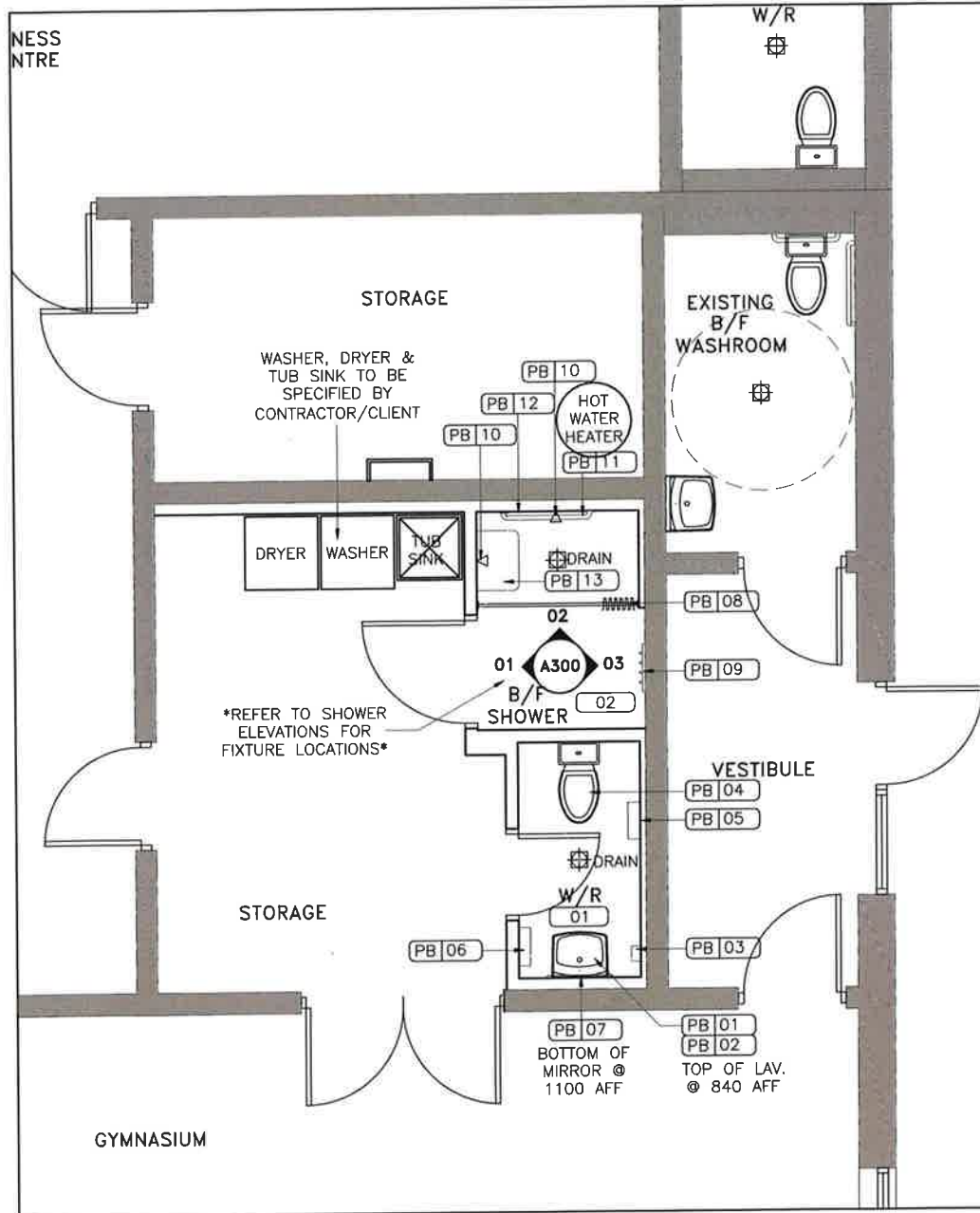
01	For Review	Oct. 30, 2020
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**A-201**

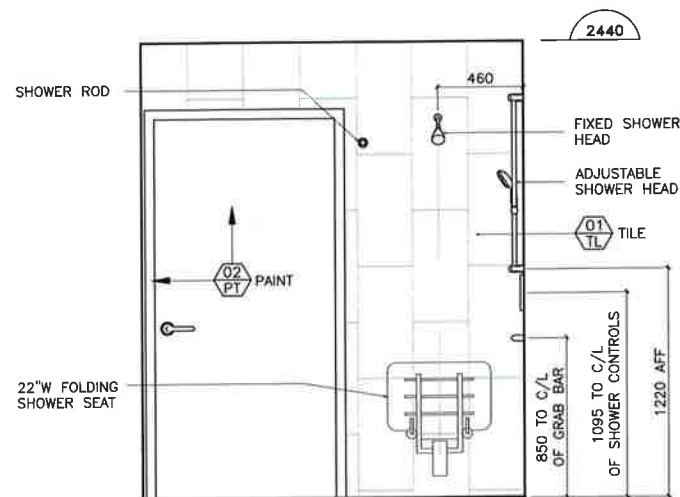
rev no. **02**



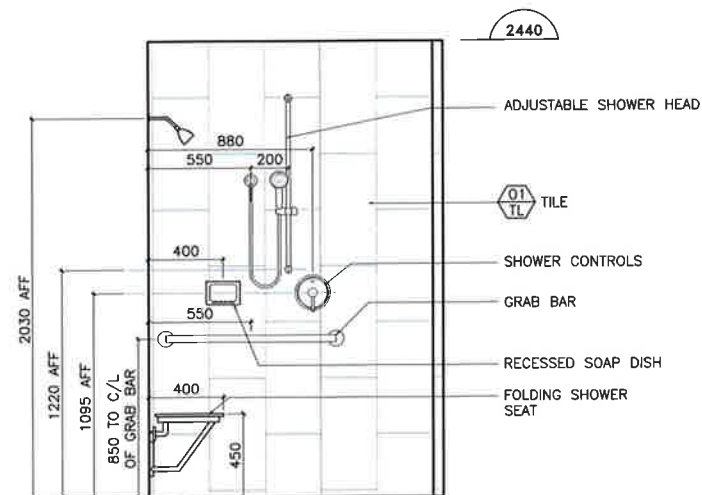


PLUMBING SCHEDULE							
WASHROOMS							
NO.	ITEM	PRODUCT #	COLOUR	DESCRIPTION	SUPPLIER	c/o	REMARKS
PB-01	Wall Hung Sink	Declyn Lavatory 0321.026	white	ADA wall mount sink with single faucet hole 18.5"W x 17"D	American Standard	Lixil	
PB-02	Deck Mount Faucet	Colony Pro Faucet 7075.006	polished chrome	Single handle deck mount faucet - 1 hole installation 4.5"L reach on spout	American Standard	Lixil	Must purchase Grid drain with Overflow 2411.015
PB-03	Wall Mount Soap Dispenser						client/contractor selection
PB-04	Floor Toilet with tank	Cadet Pro Elongated Toilet Tank: 215AA.104 Seat: 5901.110T	white	Barrier free 4.8 Lpf/ 1.28Gpf 16.5" high elongated toilet 17 3/8" x 30 1/8" x 30 3/8"	American Standard	Lixil	
PB-05	Toilet Tissue Dispenser						client/contractor selection
PB-06	Recessed Paper Towel Dispenser & Waste Receptacle						client/contractor selection
PB-07	Mirror	B-290 Series 2436	satn stainless steel	24"Wx36"H	Bobrick		
PB-08	Shower Rod	B-207 x60	satn stainless steel	Heavy Duty Shower Curtain Rod with concealed mounting. 60"W	Bobrick		Use with Vinyl shower curtain B204-3, shower curtain hooks B204-1 or equivalent
PB-09	Clothes Hook Strip	B-995	satn stainless steel	Vandal-Resistant Clothes Hook Strip 18"W x 5 1/2"H x 7/8"D	Bobrick		
PB-10	Shower System Trim Kit	TU662SG.213	polished chrome	Contains double ceramic pressure balance cartridge, valve trim kit, 3-function hand shower with non-positive shut-off, metal hose, vacuum breaker, wall supply, 2-way diverter, fixed showerhead and 36" slide-grab bar. 1.5gpm/5.7 L/min.	American Standard	Lixil	*Flash rough-in valve RU101 must be purchased separately *Refer to elevations for mounting locations
PB-11	36" Horizontal Grab Bar	B-6806 Series	.99 Satin finish with peened grip	Stainless Steel Grab bar with snap flange covers B6806.99x36	Bobrick		
PB-12	Recessed Soap Dish	B-4380	stainless steel	Recessed heavy-duty soap dish 7-3/16"W x 5"H x3"D	Bobrick		requires 6"W x 4"H x 4"D minimum recessed rough wall
PB-13	Solid Phenolic Folding Shower Seat	B-5192	matte ivory melamine	One piece 5/16"thick laminate seat secured to stainless steel frame 22"W x 15-13/16"D x 13-3/4"H	Bobrick		Ensure concealed Wall Backing complies with OBC to support load

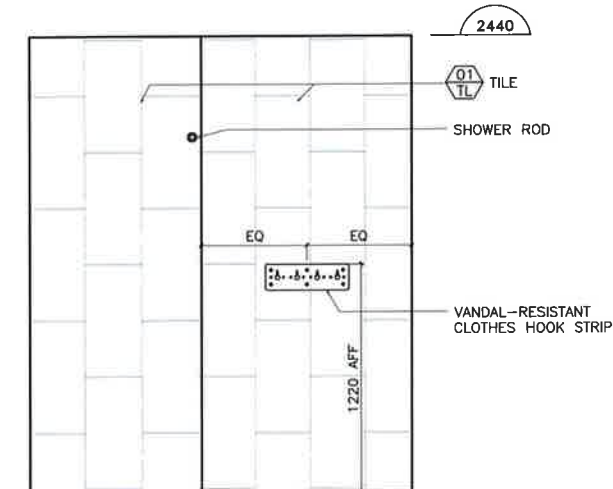




01 BARRIER-FREE SHOWER ROOM  
1/30

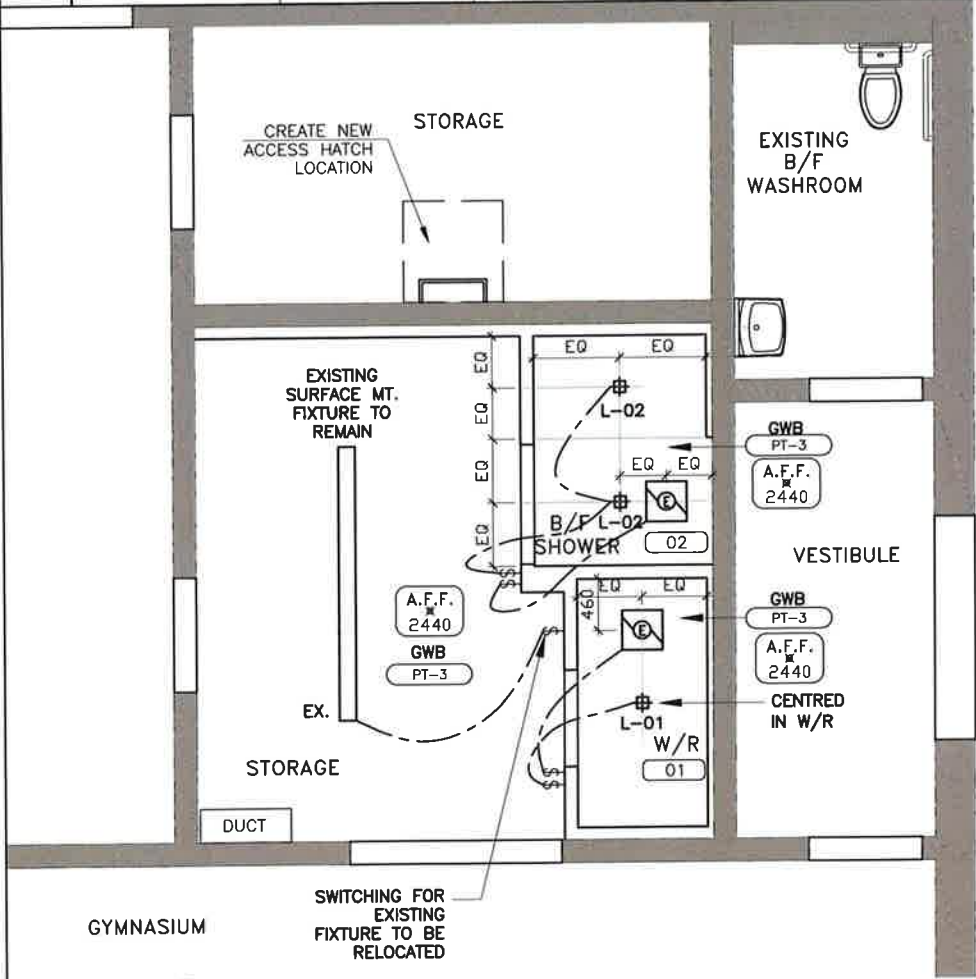


02 BARRIER-FREE SHOWER ROOM  
1/30

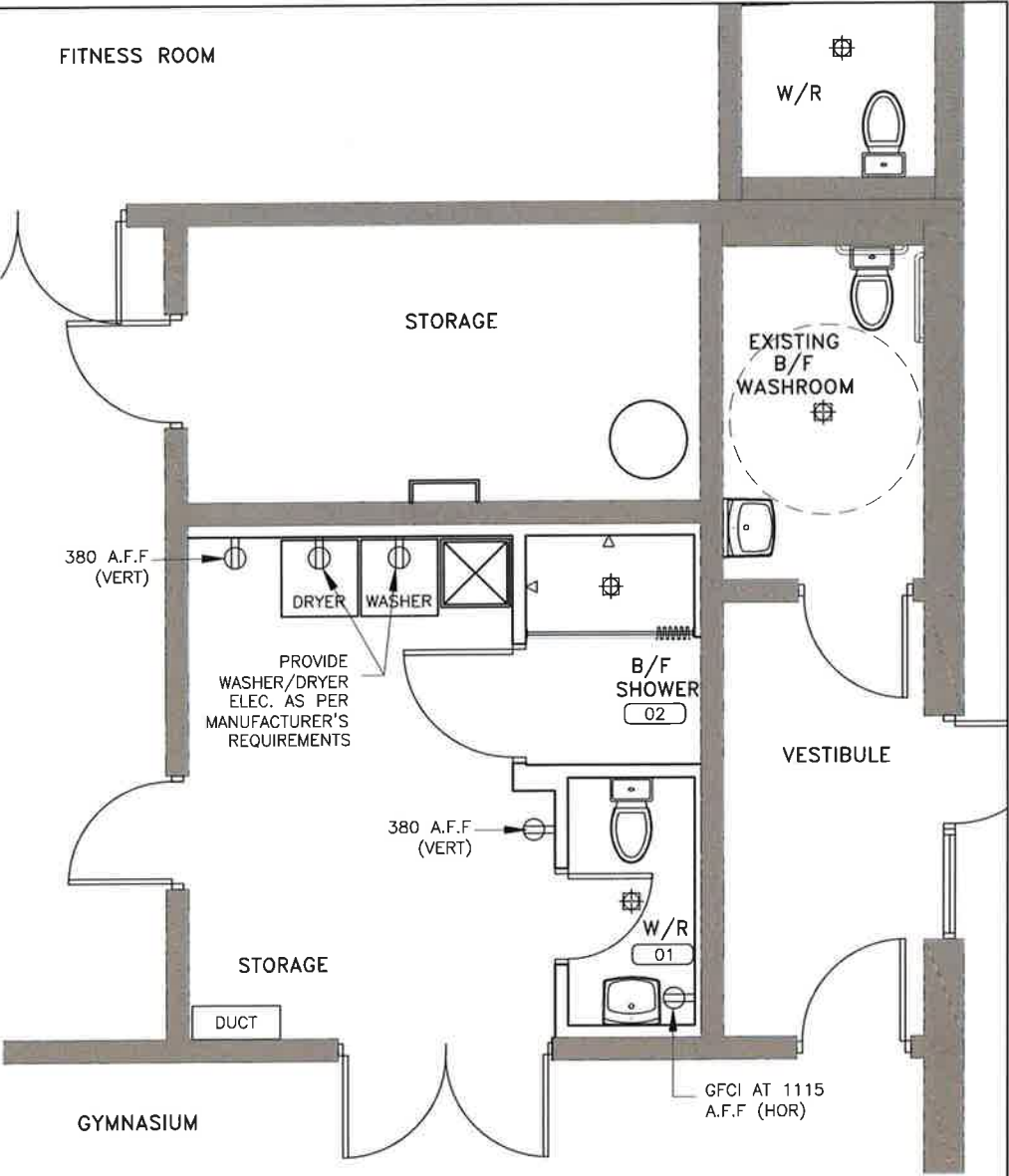


03 BARRIER-FREE SHOWER ROOM  
1/30

LIGHTING SCHEDULE				
NO.	ITEM	LOCATION	DESCRIPTION	FINISH
L-01	L.E.D Recessed Downlight	Washroom	4" diameter recessed ceiling LED downlight, 3000K, 800 lumen	White
L-02	L.E.D Recessed Downlight	Shower Room	4" diameter recessed ceiling LED downlight, 3000K, wet location	White



01 REFLECTED CEILING PLAN  
1/50



02 POWER PLAN  
1/50

H

C

A

ARCHITECTURE

incorporated architects

100 Sheppard Ave. West

Suite 100 Toronto, Ontario

Canada M2N 1M6

T. 416.482.5216

info@hca.ca www.hca.ca.hca.ca

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St. Leonard's Place

Gymnasium Renovation

1105 Queen Street E, Brampton

Ontario Canada L6T 4E2

GROUND FLOOR - REFLECTED

CEILING & POWER PLAN

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01 For Review Nov. 3, 2020

date: NOV.3-2020

scale: 1:50

project no: 20113

drawn by: N.M.

A-700

rev no: 01

