

APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **AARON FOX AND PRAGASHINI FOX** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Lot 80, Plan 354 municipally known as **19 TRELEAVEN DRIVE**, Brampton;

AND WHEREAS the applicants are requesting the following variance(s):

1. To permit a proposed accessory structure (home office/ home gym) having a gross floor area of 34.2 sq. m (368.13 sq. ft.) whereas the by-law permits a maximum gross floor area of 15 sq. m (161.46 sq. ft.) for an individual accessory structure;
2. To permit a combined gross floor area of 40.23 sq. m (430.03 sq. ft.) for two accessory structures (proposed home office/ home gym and an existing shed) whereas the by-law permits a maximum combined gross floor area of 20 sq. m (215.28 sq. ft.);
3. To permit an existing accessory structure (shed) having a setback of 0.53m (1.74 ft.) to the side lot line whereas the by-law requires a minimum setback of 2.4m (7.87 ft.) to the side lot line for an accessory structure.

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO
Application for Consent: NO

File Number: _____
File Number: _____

The Committee of Adjustment has appointed **TUESDAY, March 7, 2023 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant, the Minister, a specified person or a public body.

RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this this 23rd Day of February, 2023.

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca

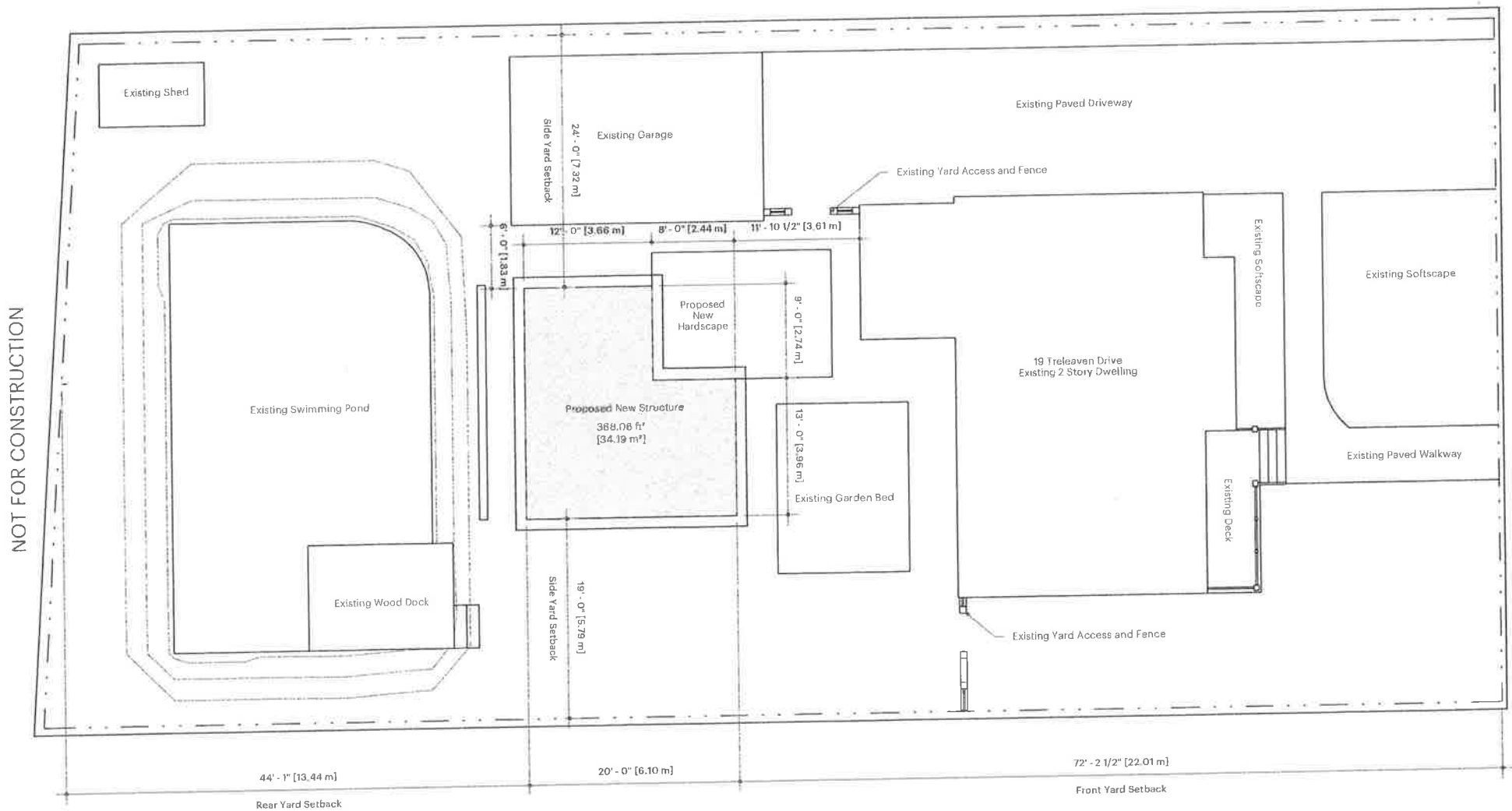
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Do not scale drawings. All dimensions are approximate. Verify all dimensions and site conditions. Report discrepancies to PDC before proceeding with the work.



Existing Shed - 60ft² [5.57m²]
Proposed Studio - 368ft² [34.19m²]
Total Coverage of Accessory Structures - 428ft² [39.76m²]

No change to Front Landscaping or Softscaping

Proposed Rear Landscaping	3011 ft ² [279.77 m ²]	90.05%
Proposed Rear Softscaping	2712 ft ² [251.92 m ²]	



Project Name
19 Treleaven Drive
Brampton, ON
L6Y1X7

Drawing Title
Proposed Site Plan
and Statistics

Project No.	22-028	Sheet No.
Date	2022-11-14	
Scale	3/32" = 1'-0"	
Drawn By	JM	
Checked By	JGA	

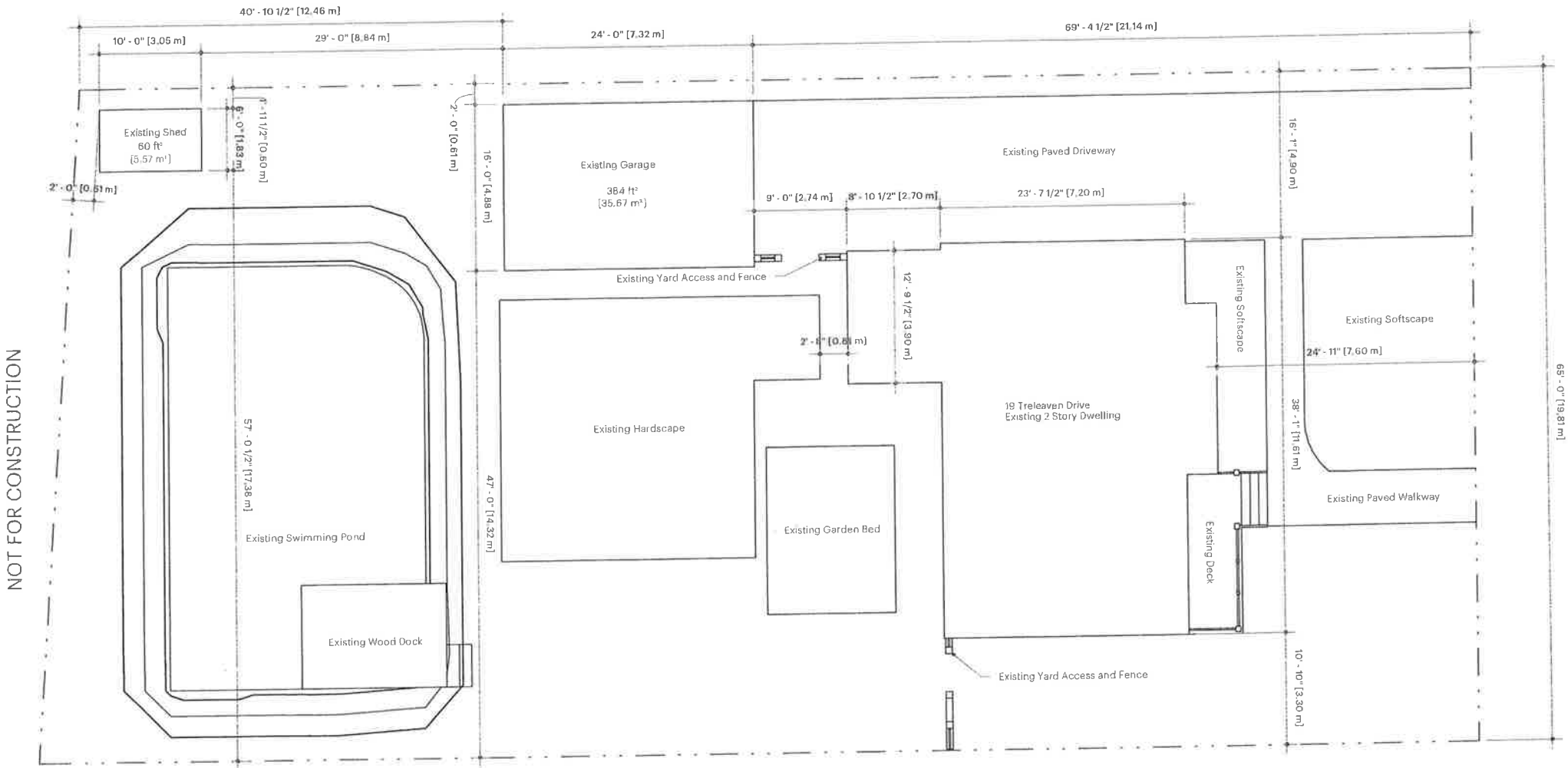
A00.21

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Existing Rear Landscaping	3415 ft²	[317.24 m²]	
Existing Rear Softscaping	2686 ft²	[249.57 m²]	78.67%



Project Name
19 Treleven Drive
Brampton, ON
L6Y1X7

Drawing Title
Existing Site Plan
and Statistics

Project No.	22-028	Sheet No.	
Date	2022-11-14		
Scale	3/32" = 1'-0"		
Drawn By	JM		
Checked By	JGA		

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Under the authority of the Emergency *Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

**Electronic/Hybrid Hearing Procedures
How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **March 7, 2023** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

How to Participate in the Hearing:

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, March 2, 2023.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
 1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, March 2, 2023.**
 2. To participate in-person, please email the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, March 2, 2023.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, March 2, 2023.** . City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

AMENDMENT LETTER

February 21, 2023

To: Committee of Adjustment
AARON FOX AND PRAGASHINI FOX
LOT 80, PLAN 354
A-2023-0030 – 19 TRELEAVEN DRIVE

Please **amend** application **A-2023-00.30** to reflect the following:

1. To permit a proposed accessory structure (home office/ home gym) having a gross floor area of 34.2 sq. m (368.13 sq. ft.) whereas the by-law permits a maximum gross floor area of 15 sq. m (161.46 sq. ft.) for an individual accessory structure;
2. To permit a combined gross floor area of 40.23 sq. m (430.03 sq. ft.) for two accessory structures (proposed home office/ home gym and an existing shed) whereas the by-law permits a maximum combined gross floor area of 20 sq. m (215.28 sq. ft.);
3. To permit an existing accessory structure (shed) having a setback of 0.53m (1.74 ft.) to the side lot line whereas the by-law requires a minimum setback of 2.4m (7.87 ft.) to the side lot line for an accessory structure.



Applicant/Authorized Agent

A- 2023-0030

January 30, 2023

Aaron and Pragashini Fox
19 Treleaven Drive
Brampton, ON
L6Y 1XY

To whom it may concern,

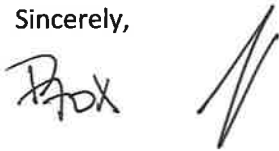
We are submitting this application for a minor variance to allow us to build an accessory structure in our backyard that will serve as a home office and home gym for our personal use only. Recent work and lifestyle changes brought on by COVID have led us to realize that we need the additional space to continue living in our house where we have lived for the past 20 years.

We are committed to building a well-designed and well-constructed structure that will be as sustainable as possible. As per the schematic elevation drawings included with the application, it will be a contemporary styled structure with vertical wood siding. It will also have a green roof with predominantly native place species that will help with minimizing stormwater runoff from the structure. We have carefully considered the proposed location to minimize its impact on our neighbours while still allowing us to have functional space in our backyard.

Should you have any questions or need further information about our application, please contact us at (905) 874-8276 or aaronfox101@hotmail.com.

Thank you for considering our application.

Sincerely,

A handwritten signature in black ink, appearing to read 'A Fox', followed by a stylized flourish consisting of several parallel diagonal lines.

Aaron and Pragashini Fox



The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request. Questions about the collection of personal information should be directed to the Freedom of Information and Privacy Coordinator, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law 270-2004.

1. Name of Owner(s) AARON & PRAGASHINI FOX
 Address 19 TRELEAVEN DRIVE
BRAMPTON, ON
L6Y 1X7
 Phone # (905) 874-8276 Fax # _____
 Email aaronfox101@hotmail.com

2. Name of Agent _____
 Address _____

 Phone # _____ Fax # _____
 Email _____

3. Nature and extent of relief applied for (variances requested):
1. GROSS FLOOR AREA FOR A SINGLE ACCESSORY STRUCTURE OF
34.2 m² (EXCEEDS MAX GFA OF 15 m²)
2. COMBINED GROSS FLOOR AREA FOR TWO ACCESSORY
STRUCTURES OF 39.8 m² (EXCEEDS MAX COMBINED GFA
OF 20 m²)

4. Why is it not possible to comply with the provisions of the by-law?
PERMITTED GFA IS NOT SUFFICIENT FOR INTENDED USE OF
PROPOSED ACCESSORY STRUCTURE (HOME OFFICE & HOME GYM)

5. Legal Description of the subject land:
 Lot Number 80
 Plan Number/Concession Number 354
 Municipal Address 19 TRELEAVEN DRIVE

6. Dimension of subject land (in metric units)
 Frontage 19.8 m
 Depth 41.2 m
 Area 815.6 m²

7. Access to the subject land is by:
 Provincial Highway ☐
 Municipal Road Maintained All Year ☒
 Private Right-of-Way ☐
 Seasonal Road ☐
 Other Public Road ☐
 Water ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land:

1. 2- STOREY HOUSE - 98.1m² GROUND FLOOR AREA & 183.9m² GROSS FLOOR AREA

2. 1- STOREY GARAGE (4.9m x 7.3m) - 35.7m² GROUND FLOOR AREA

3. 1- STOREY SHED (1.8m x 3.0m) - 5.6m² GROUND FLOOR AREA

PROPOSED BUILDINGS/STRUCTURES on the subject land:

1. 1- STOREY STUDIO (HOME OFFICE & HOME GYM) - 34.2m² GROUND FLOOR AREA, 3.0m HEIGHT

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

<u>EXISTING</u>	<u>HOUSE</u>	<u>GARAGE</u>	<u>SHED</u>
Front yard setback	7.7m	21.1m	37.1m
Rear yard setback	22.9m	12.5m	0.6m
Side yard setback	4.9m	0.6m	0.6m
Side yard setback	3.2m	14.3m	17.3m
<u>PROPOSED</u>	<u>STUDIO</u>		
Front yard setback	22.0m		
Rear yard setback	13.4m		
Side yard setback	7.3m		
Side yard setback	5.8m		

10. Date of Acquisition of subject land: AUG. 29, 2003

11. Existing uses of subject property: RESIDENTIAL

12. Proposed uses of subject property: RESIDENTIAL

13. Existing uses of abutting properties: RESIDENTIAL

14. Date of construction of all buildings & structures on subject land: HOUSE - LATE 1940's? GARAGE - 2008 SHED - 2020

15. Length of time the existing uses of the subject property have been continued: APPROX. 75 YEARS

16. (a) What water supply is ~~existing~~/proposed?
Municipal ☒ Other (specify) N/A
Well ☐
- (b) What sewage disposal is/will be provided?
Municipal ☒ Other (specify) N/A
Septic ☐
- (c) What storm drainage system is existing/proposed?
Sewers ☐ Other (specify) N/A
Ditches ☐
Swales ☒

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☒ No ☐ Unknown ☐

If answer is yes, provide details:

File # <u>A08-119</u>	Decision <u>APPROVED</u>	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Signature of Applicant(s) or Authorized Agent

DATED AT THE CITY OF BRAMPTON

THIS 30 DAY OF JANUARY, 2023.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, AARON FOX, OF THE CITY OF BRAMPTON

IN THE REGION OF PEEL SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

CITY OF BRAMPTON

IN THE REGION OF PEEL THIS 31st DAY OF

JAN, 2023

Jeanie Myers
A Commissioner etc.

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024.

Signature of Applicant or Authorized Agent

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

R1B-3057, Mature

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

L Barbuto

Zoning Officer

February 9, 2023

Date

DATE RECEIVED January 31, 2023.

Legal Description	Lot 80 Registered Plan 354 City of Brampton
-------------------	---------------------------------------------------

Requirement	Permitted Accessory	Existing Shed	Proposed Accessory
Lot Coverage per Structure	161 ft ² [15.00m ²]	60ft ² [5.57m ²]	368.06 ft ² [34.19m ²]
Total Lot Coverage	215.28 ft ² [20.00m ²]	444ft ² [41.24m ²]	428ft ² [39.76m ²]
Front Yard Setback (North)	26' - 3" [8.00m]	121' - 9 1/2" [37.12m]	72' - 2 1/2" [22.01m]
Side Yard Setback (West)	1' - 11 1/2" [0.60m]	2' - 0" [0.61m]	24' - 0" [7.32m]
Rear Yard Setback (South)	1' - 11 1/2" [0.60m]	2' - 0" [0.61m]	44' - 11" [13.44m]
Side Yard Setback (East)	1' - 11 1/2" [0.60m]	56' - 8" [17.28m]	19' - 0" [5.79m]
Building Height	9' - 10" [3.00m]	8' - 4" [2.54m]	9' - 10" [3.00m]

Notes

Notes

2	2023-01-30	Issued for CoA
1	2023-01-26	Issued for Client Review
No.	Date	Revision

Drawing Title
**Cover Page and
Index**

Project No. 22-028 Sheet No.

Date 2022-11-14

Scale 3/16" = 1'-0"

Drawn By JM

Checked By JGA

A00.00

A00.00

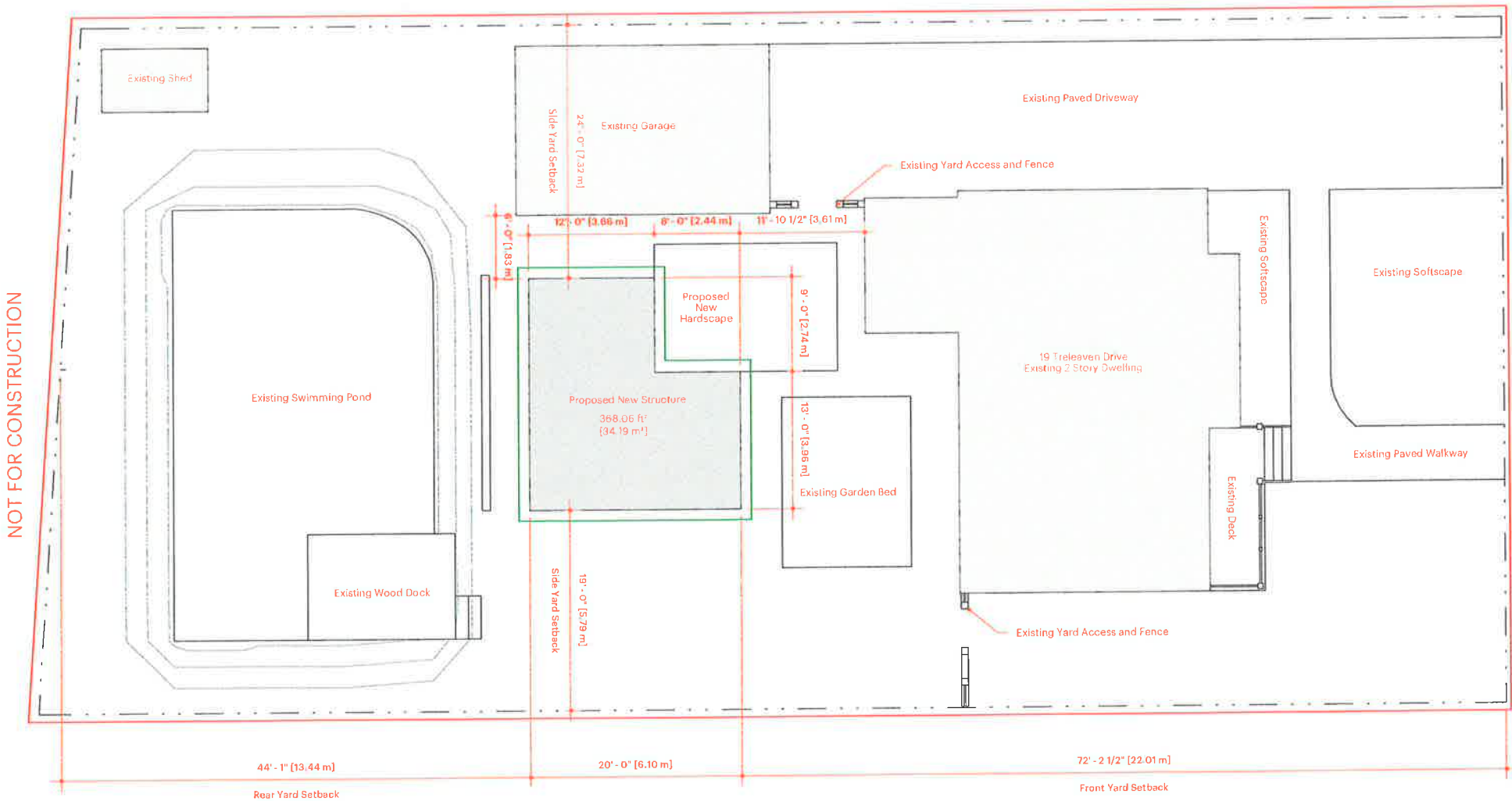
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Existing Shed - 60ft² [5.57m²]
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Total Coverage of Accessory Structures - 428ft² [39.76m²]

No change to Front Landscaping or Softscaping

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Drawing Title
Proposed Site Plan
and Statistics

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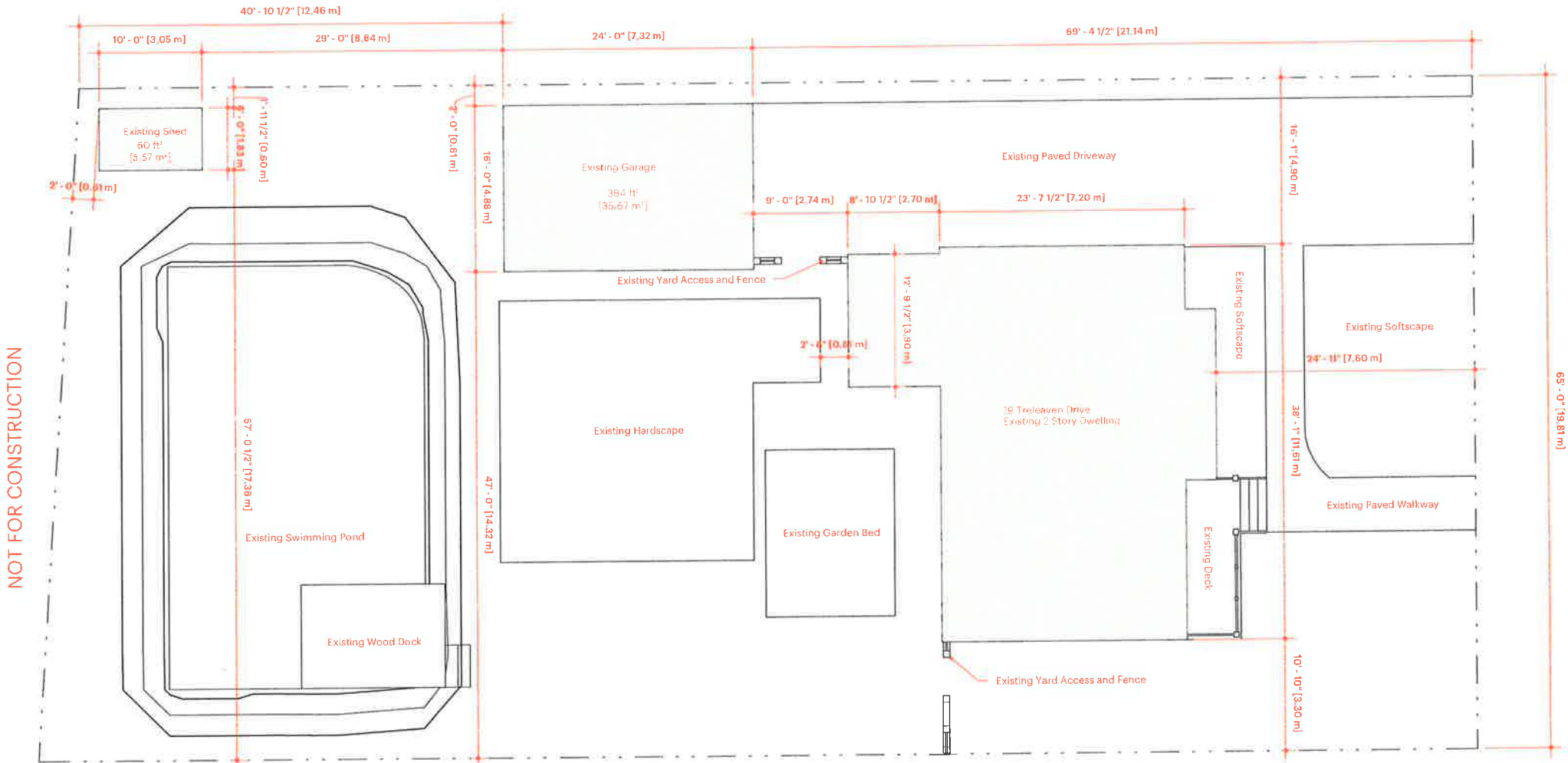
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Drawing Title
Existing Site Plan
and Statistics

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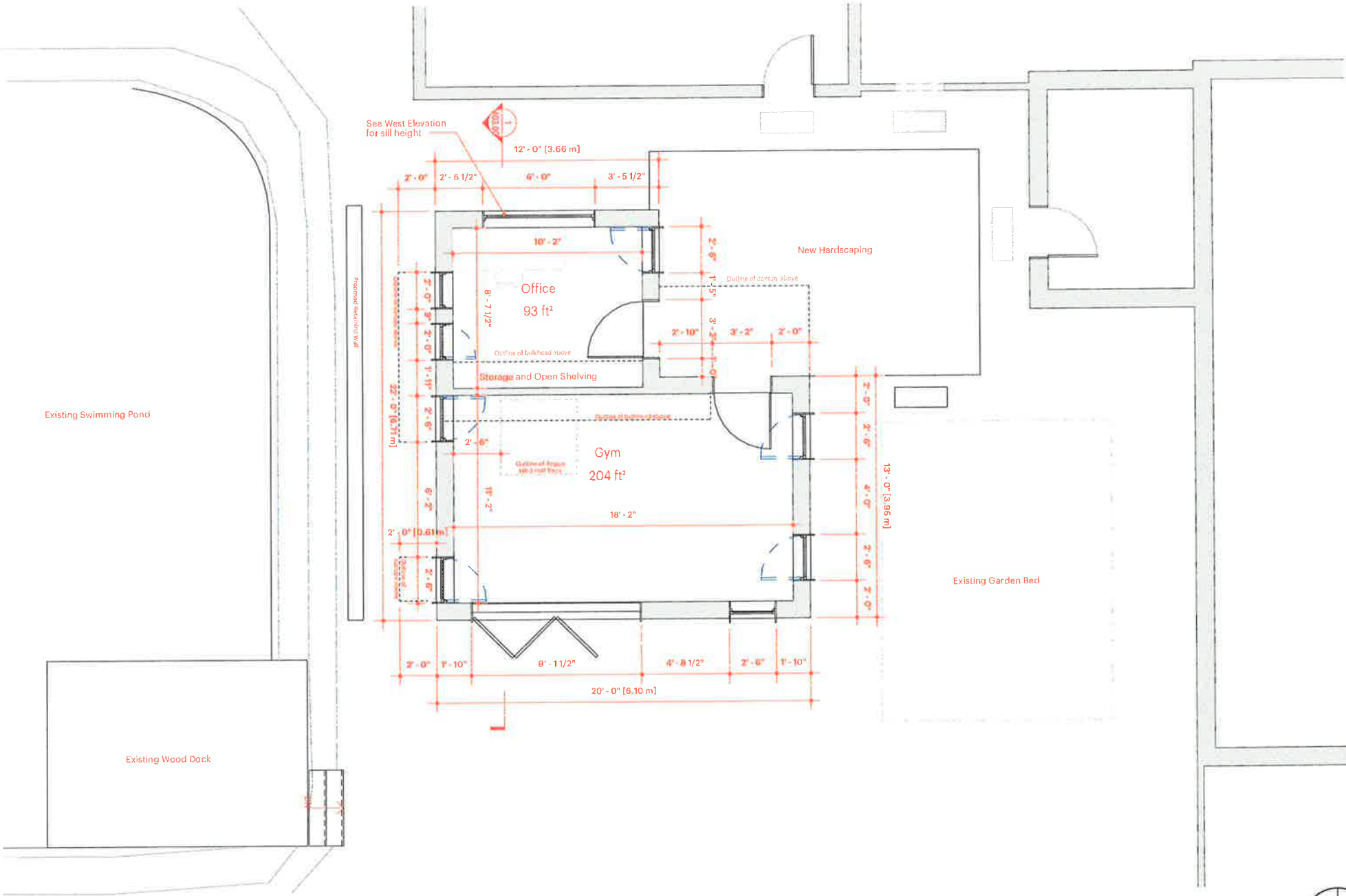
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NOT FOR CONSTRUCTION



Proposed Ground Level 368 ft² [34.19 m²]



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Project Name
19 Treleven Drive
Brampton, ON
L6Y1X7

Drawing Title
Proposed Ground
Level Plan

Project No.	22-028	Sheet No.
Date	2022-11-14	
Scale	3/16" = 1'-0"	
Drawn By	JM	
Checked By	JGA	

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NOT FOR CONSTRUCTION

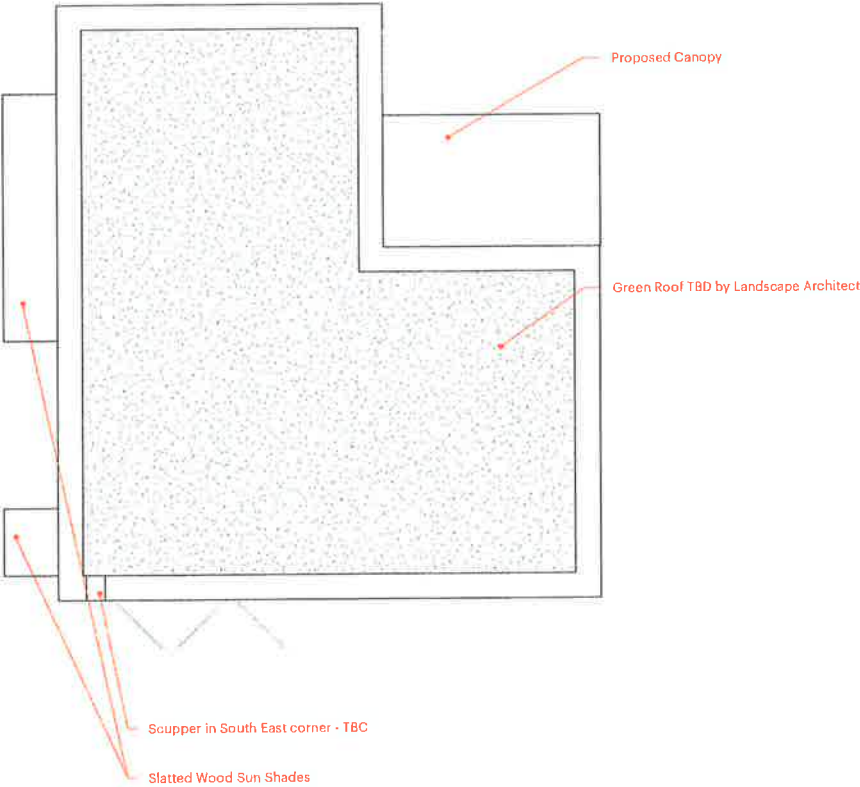
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Project Name
19 Treleaven Drive
Brampton, ON
L6Y1X7

Drawing Title
Proposed Roof
Level Plan

Project No.	22-028	Sheet No.
Date	2022-11-14	
Scale	3/16" = 1'-0"	
Drawn By	JM	
Checked By	JGA	

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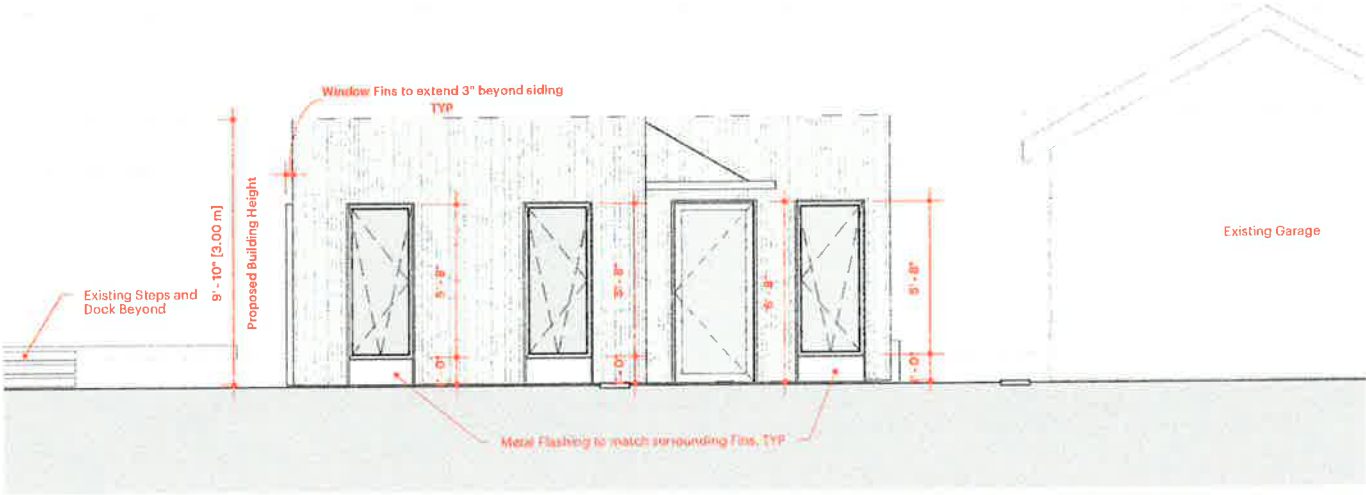
NOT FOR CONSTRUCTION

+13' - 9 11/32" [+4.20 m]
Garage Roof Peak

+9' - 10 1/8" [+3.00 m]
T/O Roof
+8' - 0" [+2.44 m]
Ceiling Height

+0' - 0" [+0.00 m]
Ground Level

-2' - 10" [-0.86 m]
Average Grade



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Project Name
19 Treleven Drive
Brampton, ON
L6Y1X7

Drawing Title
Proposed North
Elevation

Project No.	22-028	Sheet No.
Date	2022-11-14	
Scale	3/16" = 1'-0"	
Drawn By	JM	
Checked By	JGA	

A02.01

NOT FOR CONSTRUCTION

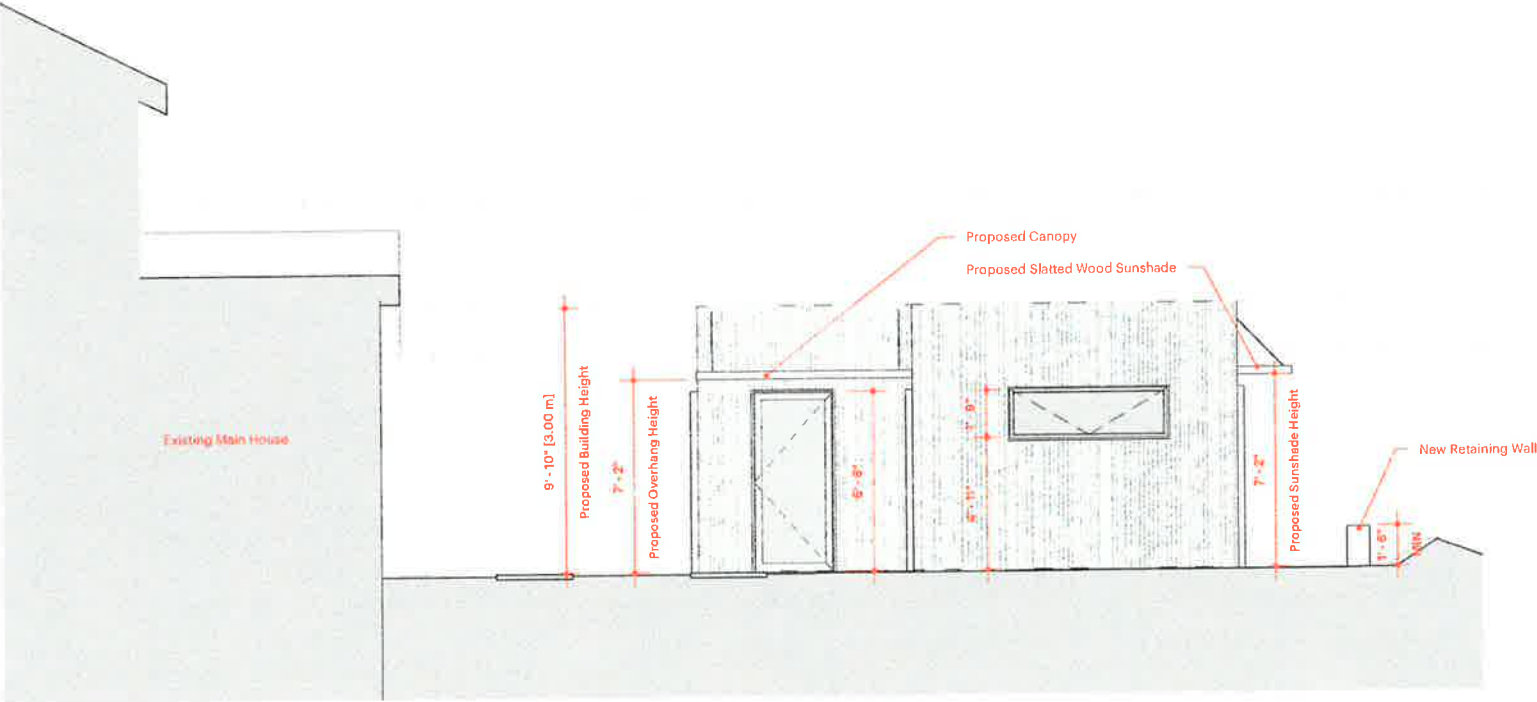
+25' - 3" [+7.70 m]
Roof Peak

+13' - 9 11/32" [+4.20 m]
Garage Roof Peak

+9' - 10 1/8" [+3.00 m]
T/O Roof
+8' - 0" [+2.44 m]
Ceiling Height

+0' - 0" [+0.00 m]
Ground Level

-2' - 10" [-0.86 m]
Average Grade



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Project Name
19 Treleaven Drive
Brampton, ON
L6Y1X7

Drawing Title
Proposed West
(Side) Elevation

Project No.	22-026	Sheet No.
Date	2022-11-14	
Scale	3/16" = 1'-0"	
Drawn By	JM	
Checked By	JGA	

A02.21

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NOT FOR CONSTRUCTION

+25' - 3" [+7.70 m]

Roof Peak

+17' - 2" [+5.23 m]

Second Level Ceiling

+13' - 9 11/32" [+4.20 m]

Garage Roof Peak

+9' - 10 1/8" [+3.00 m]

T/O Roof
+8' - 0" [+2.44 m]

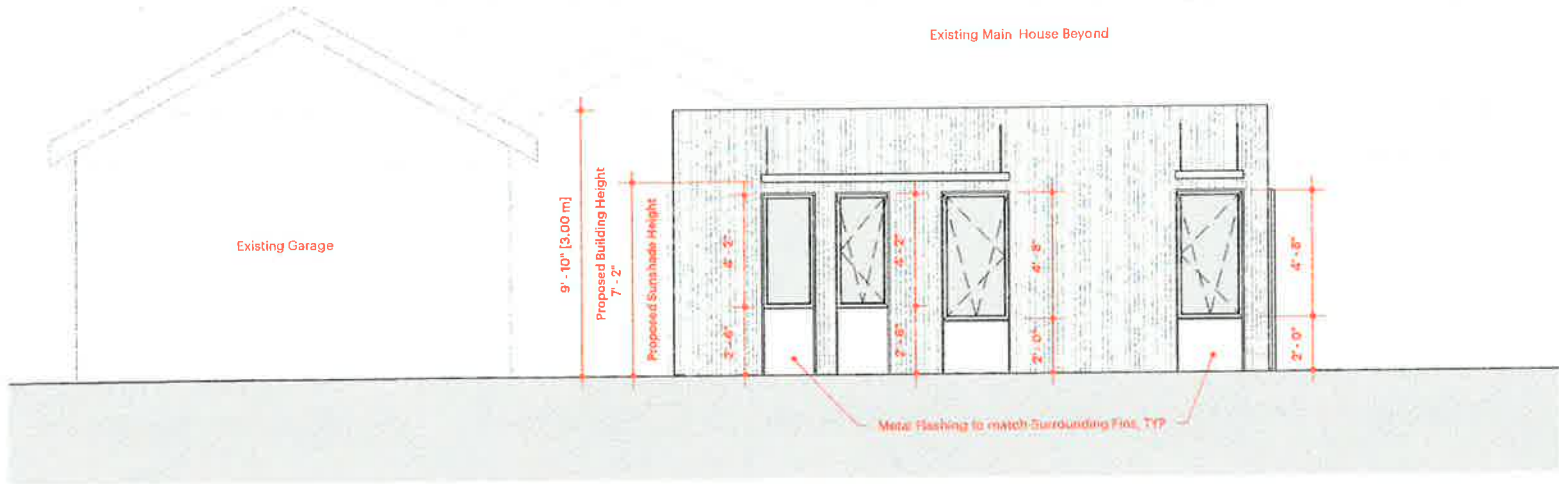
Ceiling Height

+0' - 0" [+0.00 m]

Ground Level

-2' - 10" [-0.86 m]

Average Grade



2	2023-01-30	Issued for CoA
1	2023-01-26	Issued for Client Review
No.	Date	Revision

Project Name
19 Treleven Drive
Brampton, ON
L6Y1X7

Drawing Title
Proposed South
Elevation

Project No.	22-028	Sheet No.
Date	2022-11-14	
Scale	3/16" = 1'-0"	
Drawn By	JM	
Checked By	JGA	

A02.31

NOT FOR CONSTRUCTION

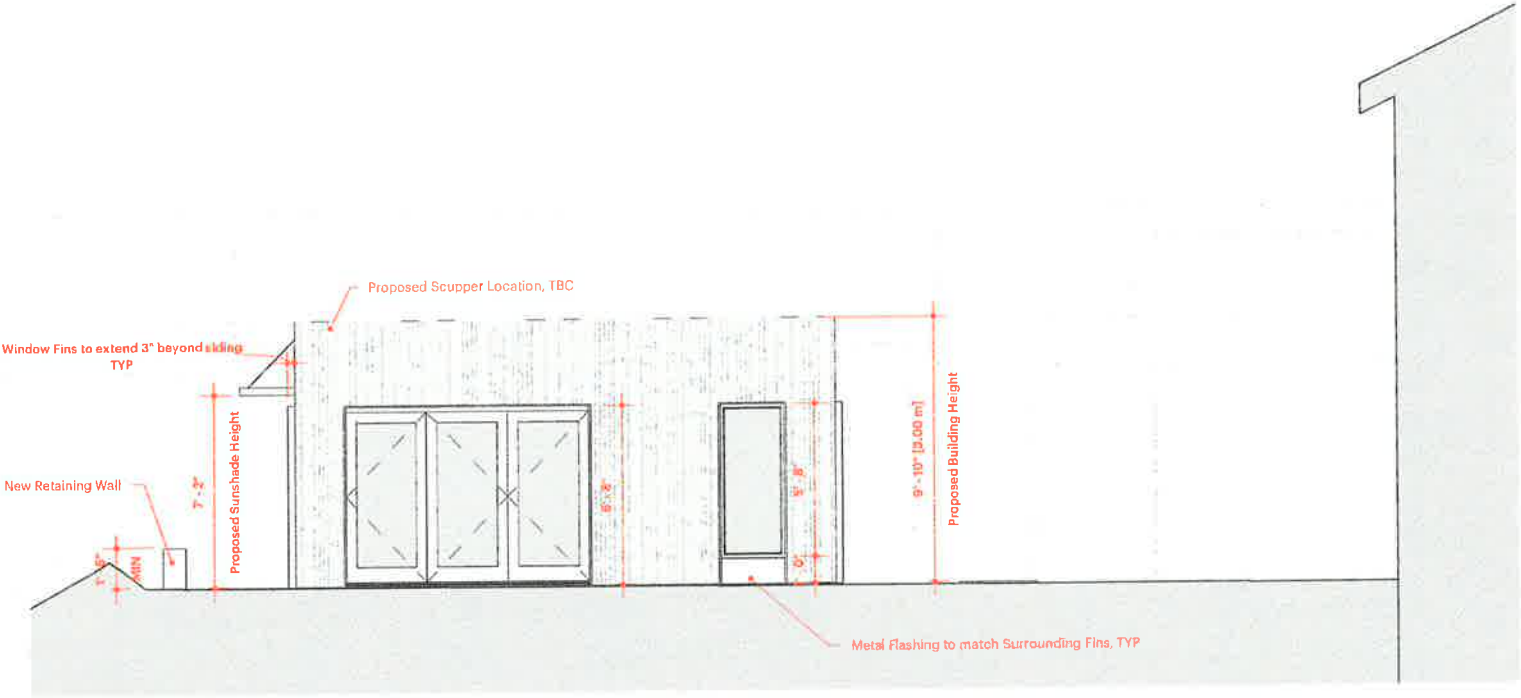
+25' - 3" [+7.70 m]
Roof Peak

+13' - 9 11/32" [+4.20 m]
Garage Roof Peak

+9' - 10 1/8" [+3.00 m]
T/O Roof
+8' - 0" [+2.44 m]
Ceiling Height

+0' - 0" [+0.00 m]
Ground Level

-2' - 10" [-0.86 m]
Average Grade



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2	2023-01-30	Issued for CoA
1	2023-01-26	Issued for Client Review
No.	Date	Revision

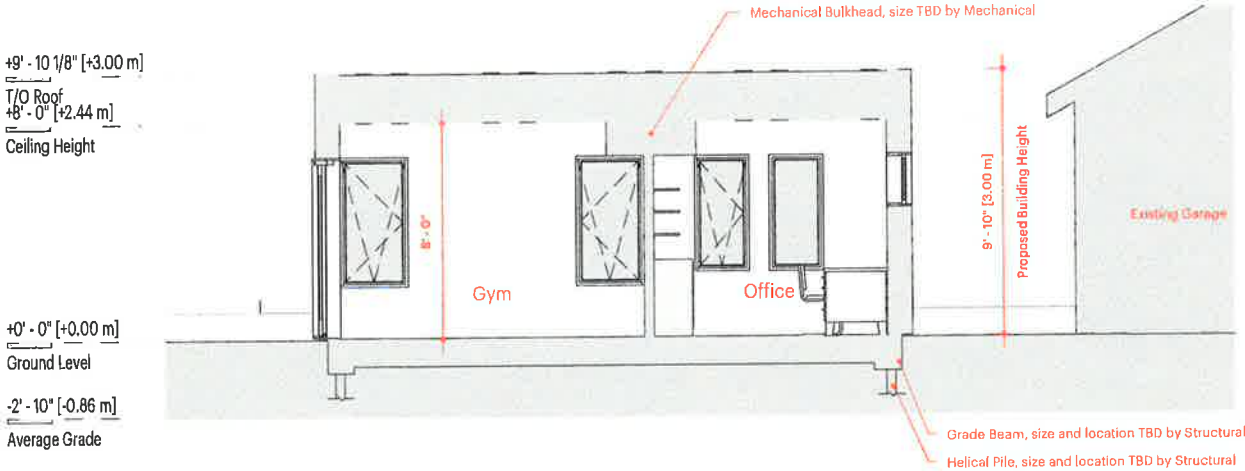
Project Name
19 Treleaven Drive
Brampton, ON
L6Y1X7

Drawing Title
Proposed East
(Side) Elevation

Project No.	22-028	Sheet No.
Date	2022-11-14	
Scale	3/16" = 1'-0"	
Drawn By	JM	
Checked By	JGA	

A02.41

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2	2023-01-30	Issued for CoA
1	2023-01-28	Issued for Client Review
No.	Date	Revision

Project Name
19 Treleven Drive
Brampton, ON
L6Y1X7

Drawing Title
Section

Project No.	22-028	Sheet No.
Date	2022-11-14	
Scale	3/16" = 1'-0"	
Drawn By	JM	
Checked By	JGA	

A03.00

