

APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **PRANAVKUMAR SHAH AND BRINDABEN SHAH** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Part of Lot 94, Plan M-1340, Part 26, Plan 43R-24075 municipally known as **14 NEEDLEWOOD LANE**, Brampton;

AND WHEREAS the applicants are requesting the following variance(s):

1. To permit a driveway width of 5.4m (17.72 ft.) whereas the by-law permits a maximum driveway width of 4.9m (16.08 ft.);
2. To permit an existing fence having a maximum height of 3.2m (10.50 ft.) whereas the by-law permits a maximum fence height of 2.0m (6.56 ft.).

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: _____ NO _____ File Number: _____
Application for Consent: _____ NO _____ File Number: _____

The Committee of Adjustment has appointed **TUESDAY, March 7, 2023 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant, the Minister, a specified person or a public body.

RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this this 23rd Day of February, 2023.

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca

PRIME PERMIT

peimepermitdesigns@gmail.com
514-660-7576

SCOPE OF WORK

PROPOSAL TO CONSTRUCT SECOND UNIT AND EXTEND DRIVEWAY.

GENERAL NOTES

DO NOT SCALE DRAWINGS
PROPERTY RIGHTS RETAINED BY:
BG CONSTRUCTION DESIGN
ANY REPRODUCTION IN WHOLE OR IN PART
UNDER THE RULES AND BY-LAWS OF THE
CORPORATION IS STRICTLY FORBIDDEN.
ANY REPRODUCTIONS MUST BE
AUTHORIZED BY
ALL DRAWINGS ARE IN METRIC SCALE

NO	REVISION / ISSUE	DATE

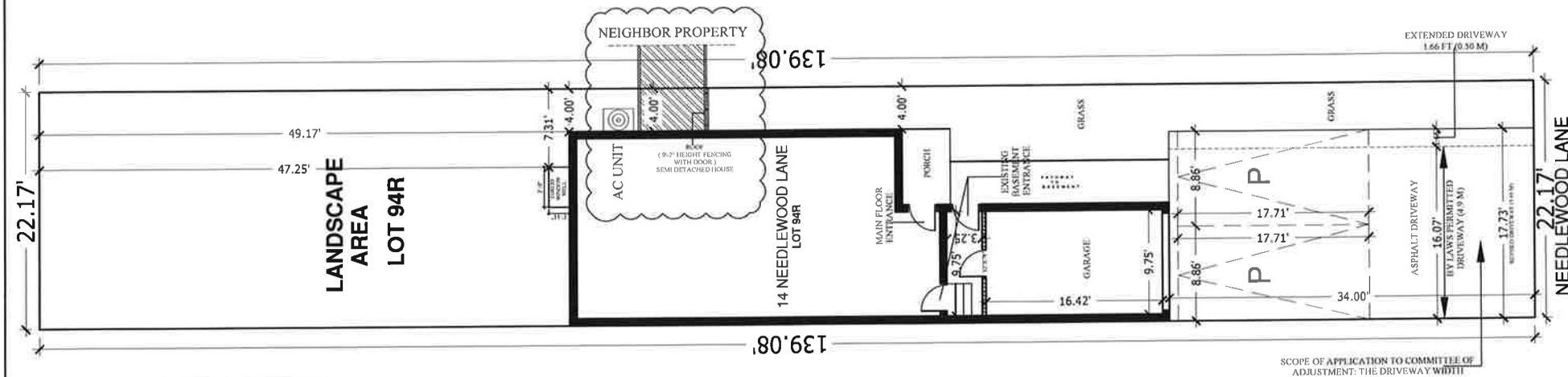
SITE PLAN

CITY : BRAMPTON

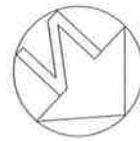
14 NEEDLEWOOD LANE

EXISTING DWELLING

SHEET	PROJECT
A-1	JAN 2023
	SCALE 3/32"=1'-0"



SITE PLAN
SCALE 3/32"=1'-0"



SCOPE OF APPLICATION TO COMMITTEE OF ADJUSTMENT: THE DRIVEWAY WIDTH

Under the authority of the *Emergency Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

Electronic/Hybrid Hearing Procedures
How to get involved in the Hybrid Hearing

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **March 7, 2023** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

How to Participate in the Hearing:

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, March 2, 2023.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
 1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, March 2, 2023.**
 2. To participate in-person, please email the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, March 2, 2023.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, March 2, 2023.** . City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

AMENDMENT LETTER

February 22, 2023

To: Committee of Adjustment
PRANAVKUMAR SDHAH AND BRINDABEN SHAH
PART OF LOT 94, PLAN 43M-1340
A-2023-0029 – 14 NEEDLEWOOD LANE

Please **amend** application **A-2023-0029** to reflect the following:

1. To permit a driveway width of 5.4m (17.72 ft.) whereas the by-law permits a maximum driveway width of 4.9m (16.08 ft.);
2. To permit an existing fence having a maximum height of 3.2m (10.50 ft.) whereas the by-law permits a maximum fence height of 2.0m (6.56 ft.).

P. S. Saha

Applicant/Authorized Agent



The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION
Minor Variance or Special Permission
(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** Pranavkumar Shah and Brindaben Shah
Address 14 Needlewood Lane
Brampton, L6R 2N2
Phone # 647-628-8598 **Fax #** _____
Email pranavs_shah@yahoo.co.in

2. **Name of Agent** Dhrupal Patel
Address 94-6622 Baker Rd.
Delta, BC, V4E 2V1
Phone # 514-660-7576 **Fax #** _____
Email primepermittedesigns@gmail.com

3. **Nature and extent of relief applied for (variances requested):**
TO ALLOW A 5.40M DRIVEWAY WIDTH INSTEAD OF 4.9M ALLOWED
(TO ACCOMODATE TWO CARS ON DRIVEWAY)

4. **Why is it not possible to comply with the provisions of the by-law?**
PROPOSED DRIVEWAY WIDTH IS 5.40M, AS PER BY LAW ALLOWED TO 4.9M

5. **Legal Description of the subject land:**
Lot Number - PART LOT 94
Plan Number/Concession Number - 43M1340
Municipal Address - 14 NEEDLEWOOD LANE, BRAMPTON, ON, L6R 2N2

6. **Dimension of subject land (in metric units)**
Frontage 6.8 M
Depth 42.39 M
Area 288.25 M2

7. **Access to the subject land is by:**
Provincial Highway Seasonal Road
Municipal Road Maintained All Year Other Public Road
Private Right-of-Way Water

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

SEMI DETACHED 2 STOREY DWELLING
GROSS FLOOR AREA = 514.76/47.82 SM

PROPOSED BUILDINGS/STRUCTURES on the subject land:

N/A

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback 7.06M
Rear yard setback 12.26M
Side yard setback 1.31M
Side yard setback 0

PROPOSED

Front yard setback 7.06M
Rear yard setback 12.26M
Side yard setback 1.31M
Side yard setback 0

10. Date of Acquisition of subject land: APRIL 25, 2020

11. Existing uses of subject property: SINGLE FAMILY DWELLING UNIT

12. Proposed uses of subject property: 2ND DWELLING UNIT

13. Existing uses of abutting properties: RESIDENTIAL USE

14. Date of construction of all buildings & structures on subject land: 2000-2001

15. Length of time the existing uses of the subject property have been continued: 2-3 YEARS

16. (a) What water supply is existing/proposed?

Municipal [X] Other (specify)
Well []

(b) What sewage disposal is/will be provided?

Municipal [X] Other (specify)
Septic []

(c) What storm drainage system is existing/proposed?

Sewers [X] Other (specify)
Ditches []
Swales []

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes No

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes No

19. Has the subject property ever been the subject of an application for minor variance?

Yes No Unknown

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

P.S. Sakh
Signature of Applicant(s) or Authorized Agent

DATED AT THE City OF Brampton
THIS 27th DAY OF January, 2023.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Pranavkumar Steeh, OF THE city OF Brampton
IN THE Region OF Peel SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

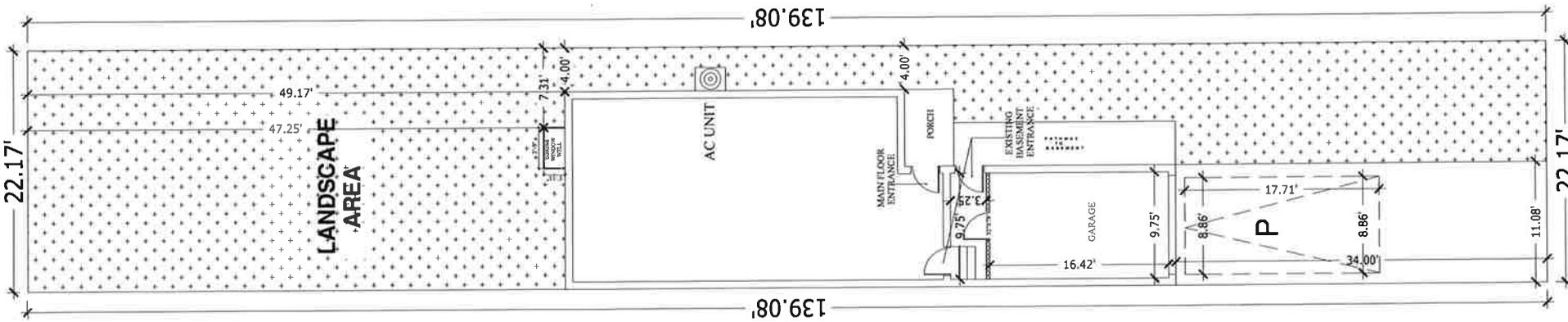
DECLARED BEFORE ME AT THE
City OF Brampton
IN THE Region OF
 Peel THIS 27th DAY OF
 Jan. , 2023

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024.
P.S. Sakh J.M.
Signature of Applicant or Authorized Agent

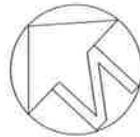
Jeanie Myers
A Commissioner etc.

FOR OFFICE USE ONLY	
Present Official Plan Designation:	_____
Present Zoning By-law Classification:	<u>R2C - 879</u>
This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.	
<u>HOTHU S.</u> Zoning Officer	<u>JAN 25 2023</u> Date

DATE RECEIVED January 27, 2023



SITE PLAN
SCALE 3/32"=1'-0"



14 NEEDLEWOOD LANE

PRIME PERMIT

peimeperitdesigns@gmail.com
 514-660-7576

SCOPE OF WORK

PROPOSAL TO CONSTRUCT
 SECOND UNIT.

GENERAL NOTES

DO NOT SCALE DRAWINGS
 PROPERTY RIGHTS RETAINED BY:
 BG CONSTRUCTION DESIGN
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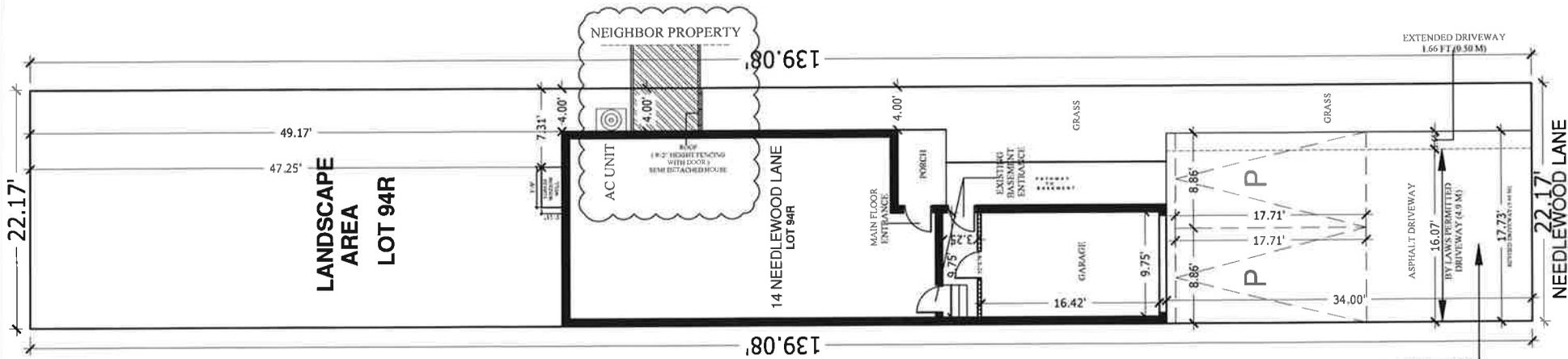
SITE PLAN

CITY : BRAMPTON

14 NEEDLEWOOD LANE

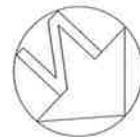
EXISTING DWELLING

SHEET	PROJECT
A-1	NOV 2022
	SCALE 3/32"=1'-0"



SITE PLAN

SCALE 3/32" = 1'-0"



SCOPE OF APPLICATION TO COMMITTEE OF ADJUSTMENT: THE DRIVEWAY WIDTH

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SCOPE OF WORK

PROPOSAL TO CONSTRUCT SECOND UNIT AND EXTEND DRIVEWAY.

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SITE PLAN

CITY : BRAMPTON

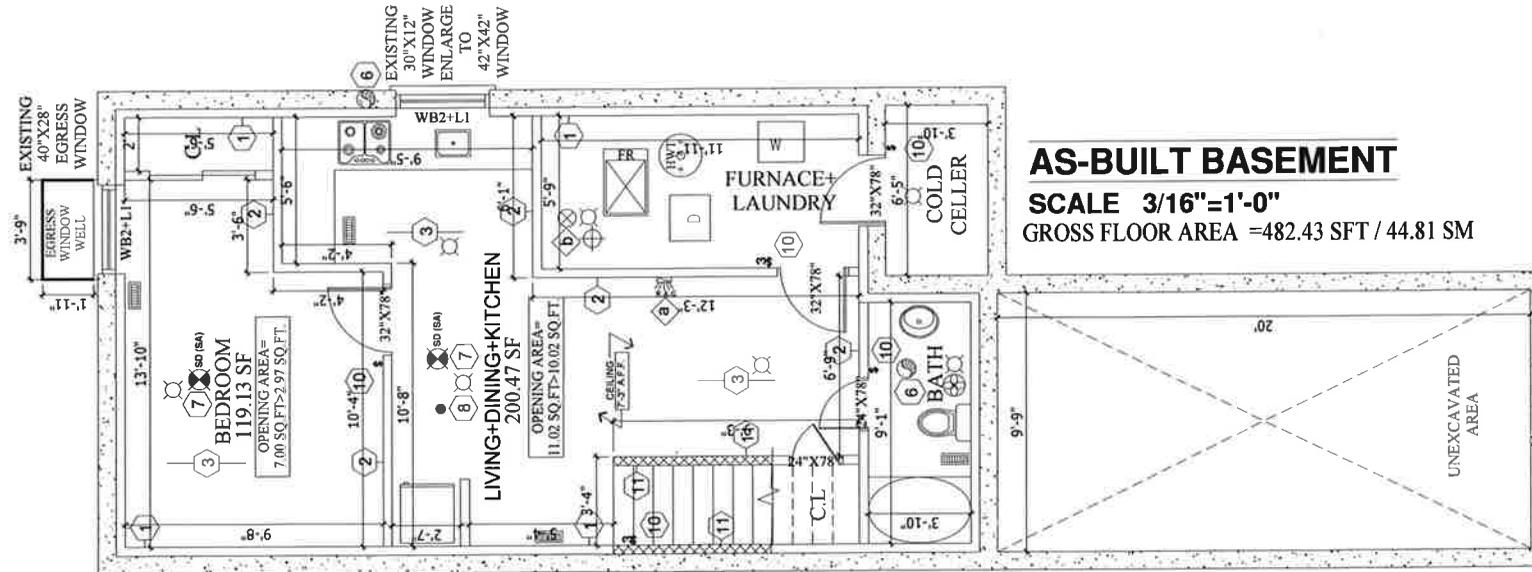
14 NEEDLEWOOD LANE

EXISTING DWELLING

SHEET	PROJECT
A-1	JAN 2023
	SCALE 3/32"=1'-0"

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AS-BUILT BASEMENT
SCALE 3/16"=1'-0"
GROSS FLOOR AREA =482.43 SFT / 44.81 SM

INTERNAL WALLS
NEW WOOD FRAMED WALL CONSISTING OF 2 BY 4 WOOD STUDS @ 16" O.C. WITH 1/2" DRY WALL ON BOTH SIDES, JOINTS TAPED AND SEALED. WATER RESISTANT GWB ON BATHROOMS WALLS.

ALL CEILING 1/2" GYPSUM BOARD
PROVIDE MINIMUM 15 MIN. HORIZONTAL FIRE SEPARATION
ENSURE MINIMUM 15 MINUTES FIRE SEPARATION AROUND ALL STRUCTURE COLUMNS AND BEAMS

LINTEL	OPENINGS	SIZE
WB1	UPTO 42" OPENINGS	2-2"X6"
WB2	UPTO 68" OPENINGS	2-2"X8"
WB3	UPTO 78" OPENINGS	3-2"X10"
WB4	UPTO 80" OPENINGS	3-2"X12"
LINTEL	OPENINGS	SIZE
L1	UPTO 54" OPENINGS	L 3 5" X 3 5" X 0.3125"
L2	UPTO 68" OPENINGS	L 4 0" X 3 5" X 0.3125"

R12 INSULATION REMAINS
FOUNDATION WALL INSULATION
FOUNDATION WALL, MOISTURE BARRIER, R12 INSULATION, 2 BY 4 STUDS @ 16" O.C., 6 MIL POLYETHYLENE V.B., 1/2" GYPSUM DRYWALL JOINTS TAPED AND SEALED

SCOPE OF WORK

PROPOSAL TO CONSTRUCT SECOND UNIT AND EXTEND DRIVEWAY.

GENERAL NOTES

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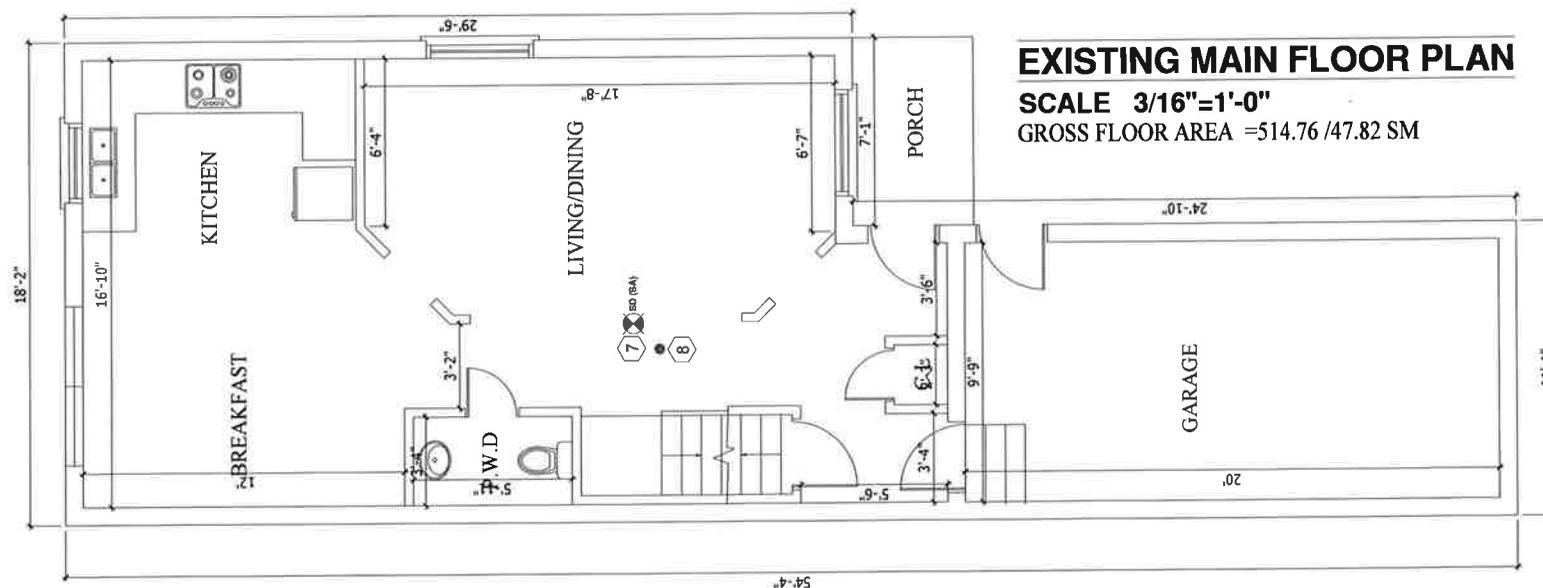
BASEMENT PLAN

CITY : BRAMPTON

14 NEEDLEWOOD LANE

EXISTING DWELLING

SHEET	PROJECT
A-2	NOV 2022
	SCALE 3/16"=1'-0"



EXISTING MAIN FLOOR PLAN

SCALE 3/16"=1'-0"
GROSS FLOOR AREA =514.76 /47.82 SM

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514-660-7576

SCOPE OF WORK

PROPOSAL TO CONSTRUCT
SECOND UNIT AND EXTEND
DRIVEWAY.

GENERAL NOTES

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NO	REVISION / ISSUE	DATE

MAIN FLOOR PLAN

CITY : BRAMPTON

14 NEEDLEWOOD LANE

EXISTING DWELLING

A-3	SHEET	PROJECT
		NOV 2022
		SCALE 3/16"=1'-0"

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SCOPE OF WORK

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MAIN FLOOR PLAN

CITY : BRAMPTON

14 NEEDLEWOOD LANE

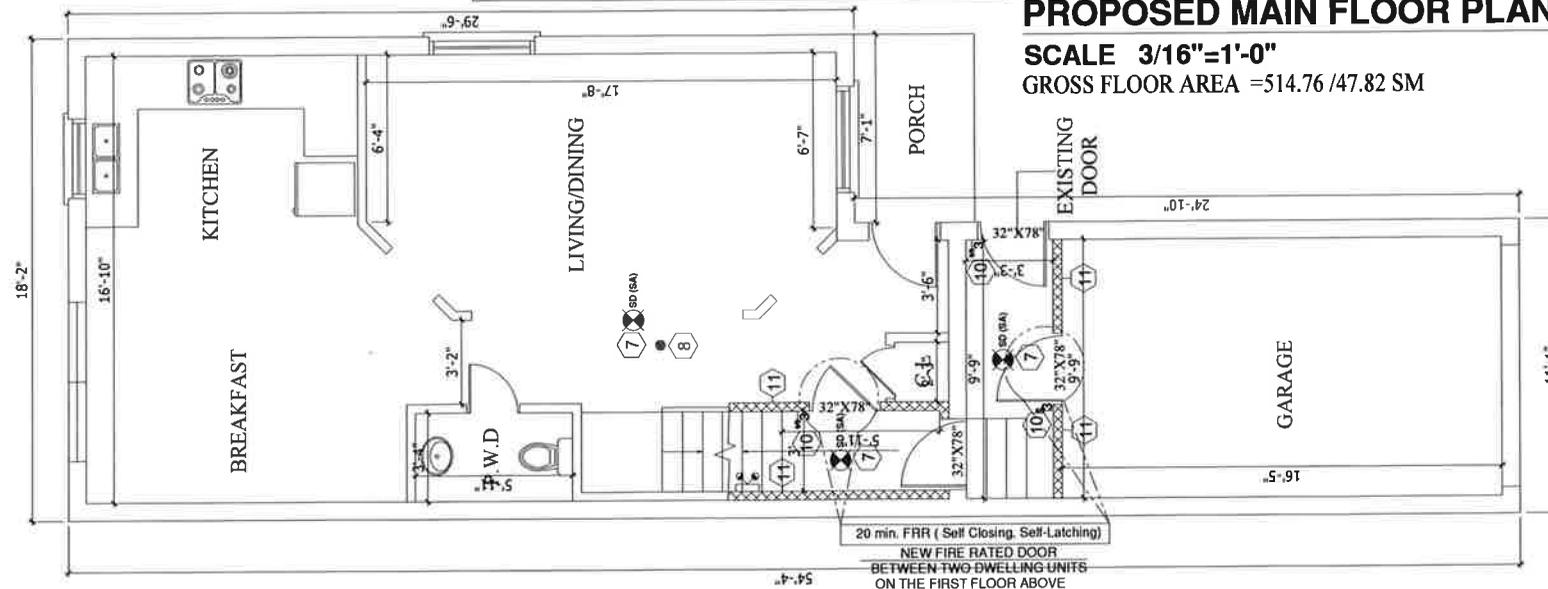
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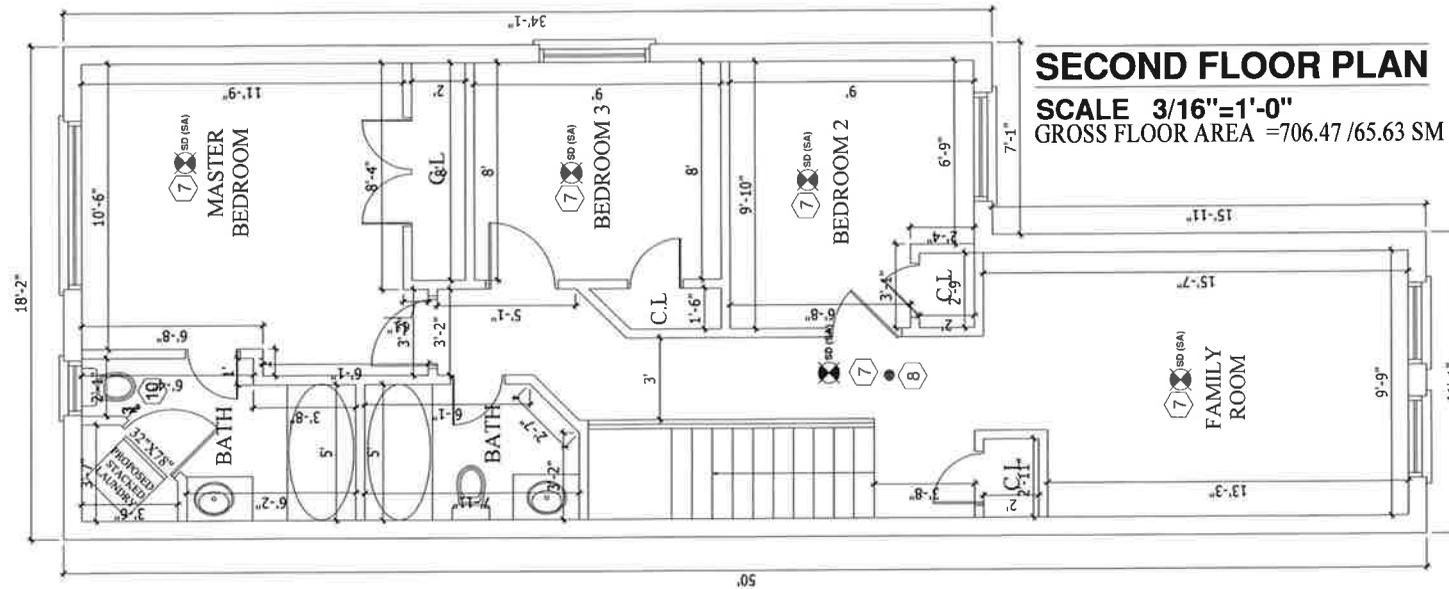
SHEET	PROJECT
A-4	NOV 2022
	SCALE 3/16"=1'-0"

11 PROVIDE 30 MIN FIRE SEPERATION
1/2" GYPSUM BOARD
2" X 4" WOOD STUD AT 16" O.C
3 1/2" ROXULL SAFE "N" SOUND INSULATION
1/2" GYPSUM BOARD

PROPOSED MAIN FLOOR PLAN

SCALE 3/16"=1'-0"
GROSS FLOOR AREA =514.76 /47.82 SM





SECOND FLOOR PLAN

SCALE 3/16"=1'-0"

GROSS FLOOR AREA =706.47 /65.63 SM

PRIME PERMIT

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SCOPE OF WORK

PROPOSAL TO CONSTRUCT
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DRIVEWAY.

GENERAL NOTES

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SECOND FLOOR PLAN

CITY : BRAMPTON

14 NEEDLEWOOD LANE

EXISTING DWELLING

SHEET	PROJECT
A-5	NOV 2022
	SCALE 3/16"=1'-0"

DOOR SCHEDULE

1- ALL INTERIOR DOORS ARE SLAB DOOR 1-3/8 TH. HOLLOW CORE. THE SIZES ARE MENTIONED ON THE FLOOR PLAN. THE HEIGHT OF ALL DOORS ARE 80"

2- EGRESS DOOR - EXISTING AT GRADE EXTERIOR TYPE STEEL DOOR PROVIDES ACCESS TO THE OUTSIDE

WINDOW SCHEDULE

ONE WINDOW PER FLOOR TO HAVE AN UNOBSTRUCTED OPEN PORTION W/A MIN. AREA OF 0.35m² W/ NO DIMENSION LESS THAN 380mm & MAXIMUM SILL HEIGHT OF 1 M ABOVE FLOOR WINDOW SIZES HAVE BEEN PROVIDED ON THE FLOOR PLANS SEE NOTE-1 ON BASEMENT FLOOR PLAN

- ① FOUNDATION WALL INSULATION FOUNDATION WALL, MOISTURE BARRIER, R12+10ci INSULATION, 2 BY 4 STUDS @ 16" O.C., 6 MIL POLYETHYLENE V.B., 1/2" GYPSUM DRYWALL JOINTS TAPED AND SEALED
- ② INTERNAL WALLS NEW WOOD FRAMED WALL CONSISTING OF 2 BY 4 WOOD STUDS @ 16" O.C. WITH 1/2" DRY WALL ON BOTH SIDES, JOINTS TAPED AND SEALED. WATER RESISTANT GWB ON BATHROOMS WALLS.
- ③ ALL CEILING 1/2" GYPSUM BOARD PROVIDE MINIMUM 15 MIN. HORIZONTAL FIRE SEPARATION * ENSURE MINIMUM 15 MINUTES FIRE SEPARATION AROUND ALL STRUCTURE COLUMNS AND BEAMS
- ④ 20 MIN. RATED DOOR BETWEEN BASEMENT APARTMENT AND PRINCIPAL RESIDENCE
- ⑤ EXISTING DUCT WORK LOCATED IN THE CEILING SHALL BE RELOCATED SO THAT THE DIRECTION OF THE HEAT FLOW IS TOWARDS THE FLOOR
- ⑥ INSTALL MECHANICAL VENTILATION PER OBC DIV B 9.32.1.3(3) REQ'S. EXHAUST FAN SHALL DISCHARGE DIRECTLY TO OUTSIDE. SEPARATE ANY INTAKE FROM BUILDING ENVELOPE PENETRATIONS THAT ARE POTENTIAL SOURCES OF CONTAMINANTS(GAS VENTS, OIL FILL PIPES, ETC, BY MIN 900MM (2FT 11 IN)
- ⑦ IN COMPLIANCE WITH C152(b) SMOKE ALARMS TO BE INSTALLED IN EVERY DWELLING UNIT AND COMMON AREAS IN CONFORMANCE WITH OBC 9.10.19. SMOKE ALARM SHALL BE WIRED AND INTERCONNECTED FOR THE ENTIRE BUILDING
- ⑧ HARD WIRE CONNECTED CARBON MONOXIDE DETECTOR AS PER CAN/CSA-6.19
- ⑨ FOR ALL ELECTRICAL WORK AND PERMIT CONTACT ELECTRICAL SAFETY AUTHORITY
- ⑩ LIGHT CONTROLLED BY A SWITCH IS REQUIRED IN EVERY KITCHEN, BEDROOM, LIVING ROOM, UTILITY ROOM, LAUNDRY ROOM, DINING ROOM BATHROOM, VESTIBULE, HALLWAY, GARAGE AND CARPORT. A SWITCH RECEPTACLE MAY BE PROVIDED INSTEAD OF LIGHT IN BEDROOMS AND LIVING ROOMS.

- ① PROVIDE 30 MIN FIRE SEPERATION 1/2" GYPSUM BOARD 2" X 4" WOOD STUD AT 16" O.C 3" ROCKWALL SAFE "N" SOUND INSULATION 1/2" GYPSUM BOARD

NEW WALL
EXISTING WALL

3 OR 4 WAY SWITCH
3 DENOTES 3-WAY SWITCH SPECIFICATION GRADE WHITE, WITH WHITE COVER PLATE 4 DENOTES 4-WAY SWITCH SHALL BE INSTALLED AT THE ENDS OF EACH STAIRWAYS

LINTEL SCHEDULES:-

LINTEL NO.	HEADER	STEEL ANGLE FOR BRICK/STONE VENEER SUPPORT
①	2'-2" X 8"	3 1/2" X 3 1/2" X 1/4" STEEL ANGLE
②	3'-2" X 8"	3 1/2" X 3 1/2" X 3/8" STEEL ANGLE

NOTE: PROVIDE MIN 6" BEARING OF LINTEL AT B/S OF WALL

GENERAL NOTES

- ALL WORK ACCORDING TO ONTARIO BUILDING CODE 2012
- ALL DIMENSIONS AND LOCATIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION.
- ALL WOOD USED IN THE CONSTRUCTION SHALL BE SPF NO.1 OR NO.2
- MINIMUM BEARING OF STEEL LINTELS 150 MM.
- MINIMUM BEARING OF WOOD BEAM / LINTELS 90 MM
- MINIMUM BEARING OF WOOD JOISTS 40MM
- VERIFY EXISTING SUPPORT SYSTEM, INCLUDING FOUNDATIONS, FOR LOADS IMPOSED BY THE PROPOSED CONSTRUCTION
- PROVIDE ALL BRACING, SHORING AND NEEDLING NECESSARY FOR THE SAFE EXECUTION OF THIS WORK
- INFORM CITY OF ALL INSPECTION AHEAD OF TIME AND AT EACH STAGE OF CONSTRUCTION

WOOD MEMBERS TO BE IN CONTACT WITH CONCRETE TO BE PROTECTED FROM DECAY AND DAMPNESS WITH MIN. 0.05 MM POLYETHYLENE FILM OR TYPE"S" ROLL ROOFING AS PER OBC DIV "B" 9.23.2.2 AND 9.23.2.3

- ⊠ THE RETURN AIR GRILL SHALL BE INSTALLED NEAR THE FLOOR LEVEL (HRAI REQ'S), UNDERCUT BY 1" THE DOOR TO ANY ROOM WITH OUT RETURN GRILL
- ⊠ ENSURE ADEQUATE VENTILATION AND COMBUSTION AIR FOR THE OPTIMUM OPERATION OF THE FURNACE, PER MANUFACTUR'S RECOMMENDATIONS.
- ⊠ PROVIDE MINIMUM 30 MINUTE FIRE RATED, 1/2" THICK DRYWALL OR TYPE X DRY WALL UNDER THE STAIR SOFFIT/CEILING AND ON THE WALLS ENCLONGING STAIRWAYS CONNECTING BASEMENT TO MAIN FLOOR
- ⊠ DUCT-TYPE SMOKE DETECTOR TO BE INSTALLED IN THE SUPPLY OR RETURN AIR DUCT SYSTEM SERVING THE ENTIRE BUILDING THAT MUST TURN OFF THE FUEL SUPPLY AND ELECTRICAL POWER TO THE HEATING SYSTEM UPON ACTIVATION

- ⊠ 15A, 120V DUPLEX RECEPTACLE SPECIFICATION GRADE, WHITE C/W WHITE COVER PLATE GF1- GROUND FAULT TYPE WP- WEATHERPROOF COVER C - ABOVE COUNTER
- ⊠ RECEPTACLE 50A, 208V, STOVE OR DRIER OUTLET.
- ⊠ EXHAUST FAN
- ⊠ FD: FLOOR DRAIN
- ⊠ SPRINKLER
- ⊠ SUPPLY AIR REGISTER
- ⊠ EMERGENCY LIGHT WITH BATTERY BACK UP 4 HRS
- ⊠ DRY EXHAUST FAN
- ⊠ SD: SMOKE DETECTOR
- ⊠ CO: CARBON MONOXIDE DETECTOR
- ⊠ LIGHT
- ⊠ SPOT LIGHT
- ⊠ RETURN AIR REGISTER
- ⊠ ELECTRICAL PANEL
- ⊠ SWITCH

PRIME PERMIT

peimepermitdesigns@gmail.com
514-660-7576

SCOPE OF WORK

PROPOSAL TO CONSTRUCT SECOND UNIT AND EXTEND DRIVEWAY.

GENERAL NOTES

DO NOT SCALE DRAWINGS
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ANY REPRODUCTIONS MUST BE AUTHORIZED BY
ALL DRAWINGS ARE IN METRIC SCALE

NO	REVISION / ISSUE	DATE

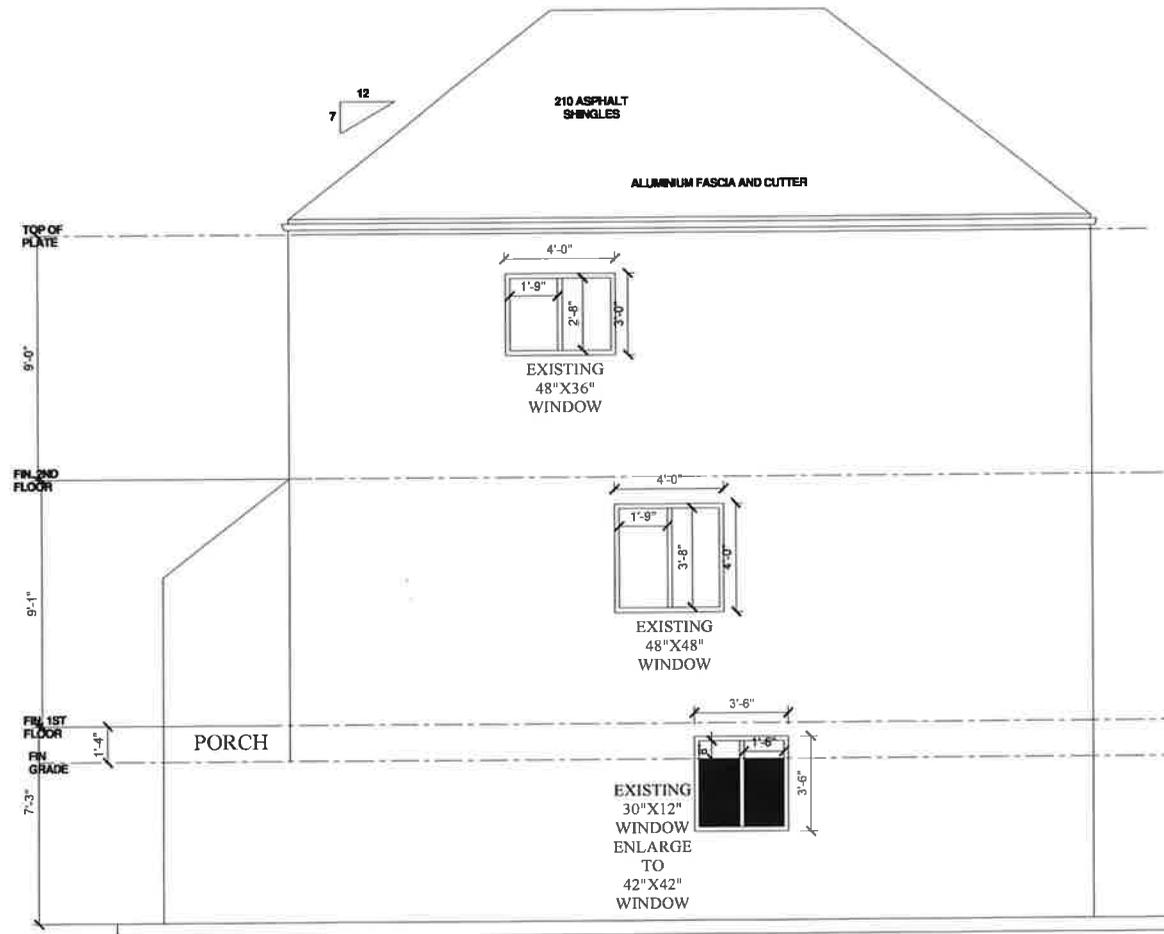
GENERAL NOTES

CITY : BRAMPTON

14 NEEDLEWOOD LANE

EXISTING DWELLING

A-6	SHEET	PROJECT
		NOV 2022
		SCALE 3/16"=1'-0"



RIGHT SIDE ELEVATION

ALLOWABLE UNPROTECTED OPENINGS
(EXPOSED BUILDING)

LIMITING DISTANCE	4.29 FT(1.31 M)
MAX PERCENTAGE	7.30 %
TOTAL WALL AREA	572.78 SF (53.213 SM)
ALLOWABLE OPENINGS	41.81 SF (3.88 SM)
ACTUAL OPENINGS	23.16 SF (2.15 SM)
	4.04%

RIGHT SIDE ELEVATION

SCALE 3/16"=1'-0"

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SCOPE OF WORK

PROPOSAL TO CONSTRUCT
SECOND UNIT AND EXTEND
DRIVEWAY.

GENERAL NOTES

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RIGHT SIDE ELEVATION

CITY : BRAMPTON

14 NEEDLEWOOD LANE

EXISTING DWELLING

SHEET	PROJECT
A-7	NOV 2022
	SCALE 3/16"=1'-0"

a

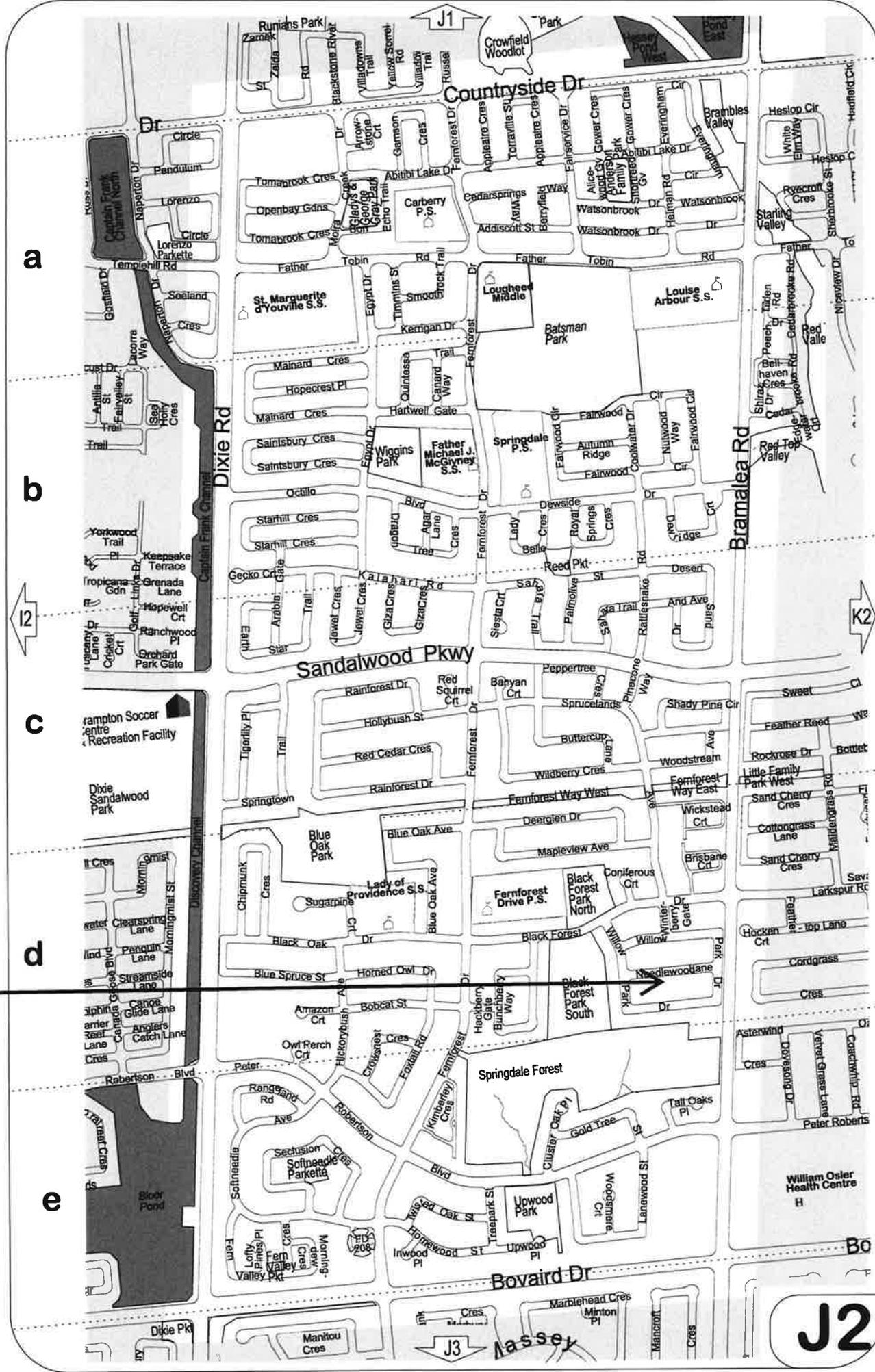
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