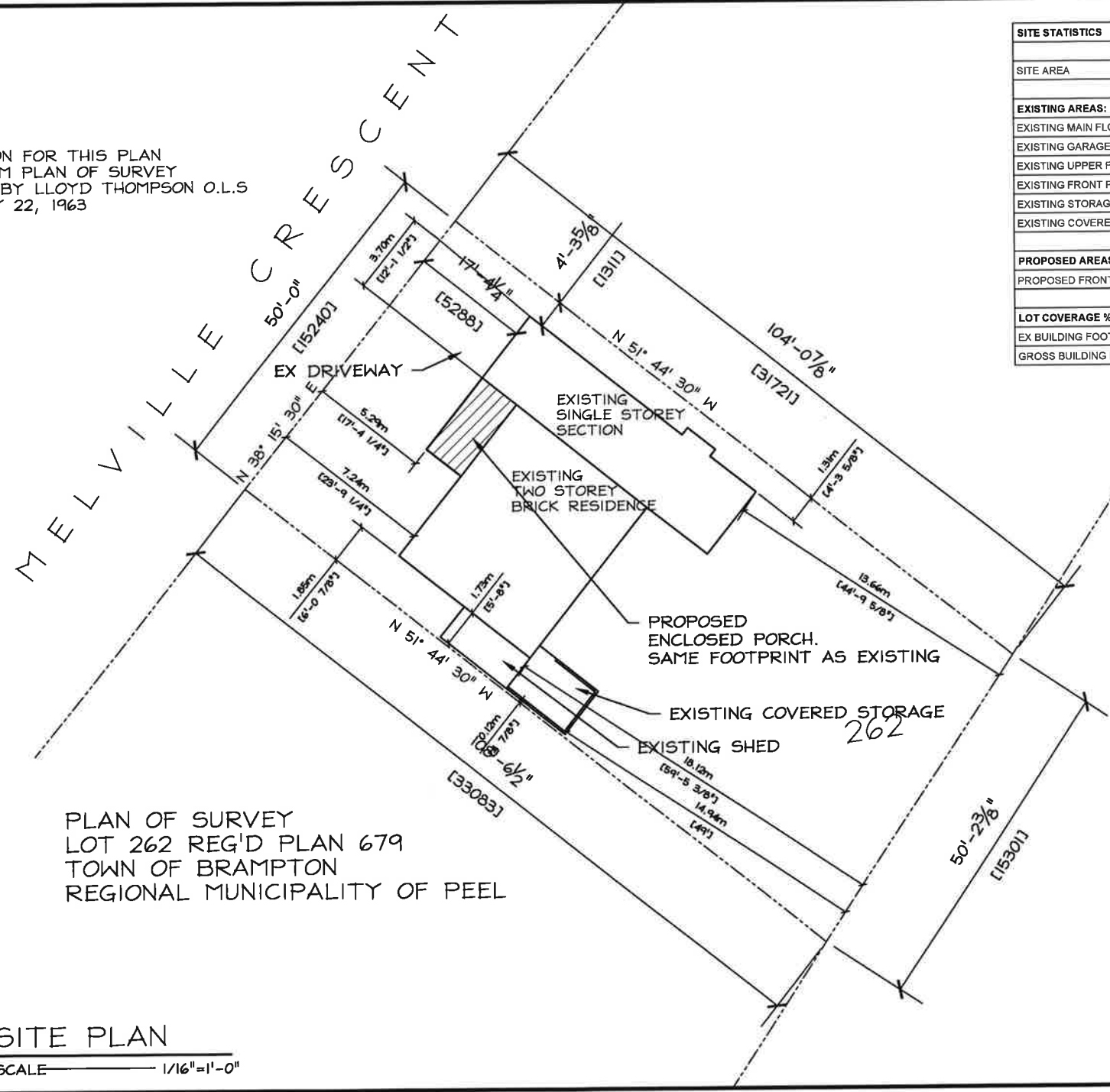


## Public Notice

INFORMATION FOR THIS PLAN  
TAKEN FROM PLAN OF SURVEY  
PREPARED BY LLOYD THOMPSON O.L.S.  
DATED MAY 22, 1963



PLAN OF SURVEY  
LOT 262 REG'D PLAN 679  
TOWN OF BRAMPTON  
REGIONAL MUNICIPALITY OF PEEL

 SITE PLAN  
SCALE 1/16"=1'-0"

SITE STATISTICS		
	SQ FT	SQ M
SITE AREA	5315.3	493.79
EXISTING AREAS:		
EXISTING MAIN FLOOR HABITABLE	950.7	88.32
EXISTING GARAGE AREA	228.1	21.19
EXISTING UPPER FLOOR HABITABLE	706.6	65.64
EXISTING FRONT PORCH - DEMOLISHED	82.2	7.64
EXISTING STORAGE SHED	89.9	8.49
EXISTING COVERED STORAGE	88	8.18
PROPOSED AREAS:		
PROPOSED FRONT PORCH - ENCLOSED	82.2	7.64
LOT COVERAGE %:		
EX BUILDING FOOTPRINT+EX SHED+PROPOSED ENCLOSED PORCH/ LOT %		26.89
GROSS BUILDING FLOOR AREA+EX SHEDS+PROPOSED ENCLOSED PORCH/ LOT %		39.89

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION  
Required unless design is exempt under 3.3.2.1 of Division "C" of the Ontario Building Code.

JASON PINHAY 30228  
NAME Signature BON

QUALIFICATION INFORMATION  
Required unless design is exempt under 3.3.2.1 of Division "C" of the Ontario Building Code.

EXCALIBUR CAD DESIGNS 44720  
FIRM NAME BON

CONSULTANT:  
 EXCALIBUR CAD DESIGNS  
97 EDLEWILD DRIVE,  
ORANGEVILLE, ONTARIO  
L9W 2Y4  
PHONE: 519-940-3763  
FAX: 519-940-3763  
EMAIL: xdesigns@rogers.com

CLIENT:  
PLUS CONTRACTING  
PROPOSED ADDITION  
17 MELVILLE CRESCENT  
BRAMPTON, ONTARIO

DRAWING TITLE:  
SITE PLAN

DESIGNED BY: RH & JP	PROJECT No:
DATE: OCTOBER 12/2022	REFERENCE:
SCALE: AS NOTED	DRAWING No.
CHECKED: J PINHAY	A-0

**Under the authority of the Emergency Management and Civil Protection Act and the Municipal Act, 2001, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).**

**Electronic/Hybrid Hearing Procedures  
How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **March 7, 2023** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

**How to Participate in the Hearing:**

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, March 2, 2023.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
  1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary–Treasurer at [cityclerksoffice@brampton.ca](mailto:cityclerksoffice@brampton.ca) or [jeanie.myers@brampton.ca](mailto:jeanie.myers@brampton.ca) by **4:30 pm Thursday, March 2, 2023.**
  2. To participate in-person, please email the Secretary–Treasurer at [cityclerksoffice@brampton.ca](mailto:cityclerksoffice@brampton.ca) or [jeanie.myers@brampton.ca](mailto:jeanie.myers@brampton.ca) by **4:30 pm Thursday, March 2, 2023.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, March 2, 2023.** . City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:  
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or  
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to [cityclerksoffice@brampton.ca](mailto:cityclerksoffice@brampton.ca) or [jeanie.myers@brampton.ca](mailto:jeanie.myers@brampton.ca). If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

**NOTE** Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, [www.brampton.ca](http://www.brampton.ca). By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

**AMENDMENT LETTER**

February 23, 2023

To: Committee of Adjustment  
**DAVID SMITH, DEIRDRE CHONG, STAN CHONG**  
**LOT 262, PLAN 679**  
**A-2023-0028 – 17 MELVILLE CRESCENT**

---

Please **amend** application **A-2023-0028** to reflect the following:

1. To permit a front yard setback of 5.288m (17.35 ft.) to a proposed addition (enclosed porch) whereas the by-law requires a minimum front yard setback of 6.0m (19.68 ft.);
2. To permit a side yard setback of 0.12m (0.40 ft.) to an existing addition whereas the by-law requires a minimum side yard setback of 1.2m (3.94 ft.).

  
Applicant/Authorized Agent



For Office Use Only  
(to be inserted by the Secretary-Treasurer  
after application is deemed complete)

FILE NUMBER: A-2023-0028

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

**APPLICATION**  
**Minor Variance or Special Permission**  
(Please read Instructions)

**NOTE:** It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** David Smith, Deirdre Chong, Stan Chong  
**Address** 17 Melville Crescent Brampton ON L6W 2S3  
  
**Phone #** 416-389-2523 **Fax #** \_\_\_\_\_  
**Email** davidbsmith.personal@gmail.com

2. **Name of Agent** \_\_\_\_\_  
**Address** \_\_\_\_\_  
  
**Phone #** \_\_\_\_\_ **Fax #** \_\_\_\_\_  
**Email** \_\_\_\_\_

3. **Nature and extent of relief applied for (variances requested):**  
Front yard setback relief of 0.712 metres to allow for a proposed extended front entry to line up with existing front wall of the existing attached garage.

4. **Why is it not possible to comply with the provisions of the by-law?**  
The minimum front yard setback is 6 metres, and the proposed setback would be 5.288 metres

5. **Legal Description of the subject land:**  
**Lot Number** 262  
**Plan Number/Concession Number** 679  
**Municipal Address** 17 Melville Crescent

6. **Dimension of subject land (in metric units)**  
**Frontage** 15.240 m  
**Depth** 108.540 m  
**Area** 4841.665 m2

7. **Access to the subject land is by:**  
**Provincial Highway** ☐ **Seasonal Road** ☐  
**Municipal Road Maintained All Year** ☒ **Other Public Road** ☐  
**Private Right-of-Way** ☐ **Water** ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

**EXISTING BUILDINGS/STRUCTURES on the subject land:** List all structures (dwelling, shed, gazebo, etc.)

Existing 2 storey house w/ attached single garage: ground floor area= 88.323 m2, gross floor area= 153.968 m2. Overall dimensions 12.078 m wide x 12.840 m long x aprox. 6.401m high (top of roof)  
Existing attached 1 storey shed: Area= 6.493 m, 1.727m wide x 3.759m long x 2.438m high

**PROPOSED BUILDINGS/STRUCTURES on the subject land:**

Proposed 1 storey front entry addition: ground floor area= 6.642 m2, 4.064m wide x 1.956m long

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

**EXISTING**

Front yard setback	6.000m
Rear yard setback	7.500m
Side yard setback	3.000m
Side yard setback	3.000m

**PROPOSED**

Front yard setback	5.288m
Rear yard setback	7.500m
Side yard setback	3.000m
Side yard setback	3.000m

10. Date of Acquisition of subject land: May 2, 2017
11. Existing uses of subject property: Single family residence
12. Proposed uses of subject property: Single family residence
13. Existing uses of abutting properties: Single family residences
14. Date of construction of all buildings & structures on subject land: March 28, 1963 (date of survey)
15. Length of time the existing uses of the subject property have been continued: 60 years

16. (a) What water supply is existing/proposed?  
Municipal ☒ Other (specify) \_\_\_\_\_  
Well ☐
- (b) What sewage disposal is/will be provided?  
Municipal ☒ Other (specify) \_\_\_\_\_  
Septic ☐
- (c) What storm drainage system is existing/proposed?  
Sewers ☒ Other (specify) \_\_\_\_\_  
Ditches ☐  
Swales ☐



17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # \_\_\_\_\_ Status \_\_\_\_\_

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☐ Unknown ☒

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

David Smith  
Signature of Applicant(s) or Authorized Agent

DATED AT THE City \_\_\_\_\_ OF Brampton \_\_\_\_\_

THIS 27 DAY OF January, 2023.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, David Smith, OF THE City OF Brampton  
IN THE Region OF Peel SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton  
IN THE Region OF \_\_\_\_\_  
Peel THIS 27<sup>th</sup> DAY OF  
Jan., 2023

Jeanie Cecilia Myers  
a Commissioner, etc.,  
Province of Ontario  
for the Corporation of the  
City of Brampton  
Expires April 8, 2024.

J. C. Myers

David Smith  
Signature of Applicant or Authorized Agent

Submit by Email

Jeanie Myers  
A Commissioner etc.

FOR OFFICE USE ONLY

Present Official Plan Designation: \_\_\_\_\_

Present Zoning By-law Classification: \_\_\_\_\_

R1B and Mature Neighbourhood

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

[Signature]  
Zoning Officer

January 27.23  
Date

DATE RECEIVED

Date Application Deemed  
Complete by the Municipality

January 27, 2023



Lloyd Thomson

Ontario Land Surveyor

59 THIRD ST  
BOX 200  
BRANDERVILLE ONT

TELEPHONES  
OFFICE 941-3881  
RESIDENCE 941-0573

GORDON S. GOOD O.L.S. 2 Crestview Ave. BRAMPTON, ONT Phone 451-9570

DOCUMENTS RELEASED PURSUANT TO A REQUEST  
UNDER THE  
MUNICIPAL FREEDOM OF INFORMATION AND  
PROTECTION OF PRIVACY ACT R.S.O. 1990c. M56

COPYRIGHT ACT R.S., 1985, c. C-42 APPLIES TO THE  
USE AND REPRODUCTION OF THESE DOCUMENTS



APPROVED

MAY 22 1963

Dennis Warren  
BUILDING INSPECTOR

TOWN OF BRAMPTON  
BUILDING INSPECTOR

*[Signature]*

Original drawings and rights of reproduction are the property of Lloyd Thomson O.L.S.

DATE: MARCH 28, 1963

*Lloyd Thomson*  
Lloyd Thomson

O.L.S., S.M.T.P.I.C. Dip. T. & R.P., Tor. Univ.

Legal and Title Surveys

SURVEYOR'S CERTIFICATE

LOTS 261, 262, 263

REG'D. PLAN 679

TOWN OF BRAMPTON

Scale 1" = 30'

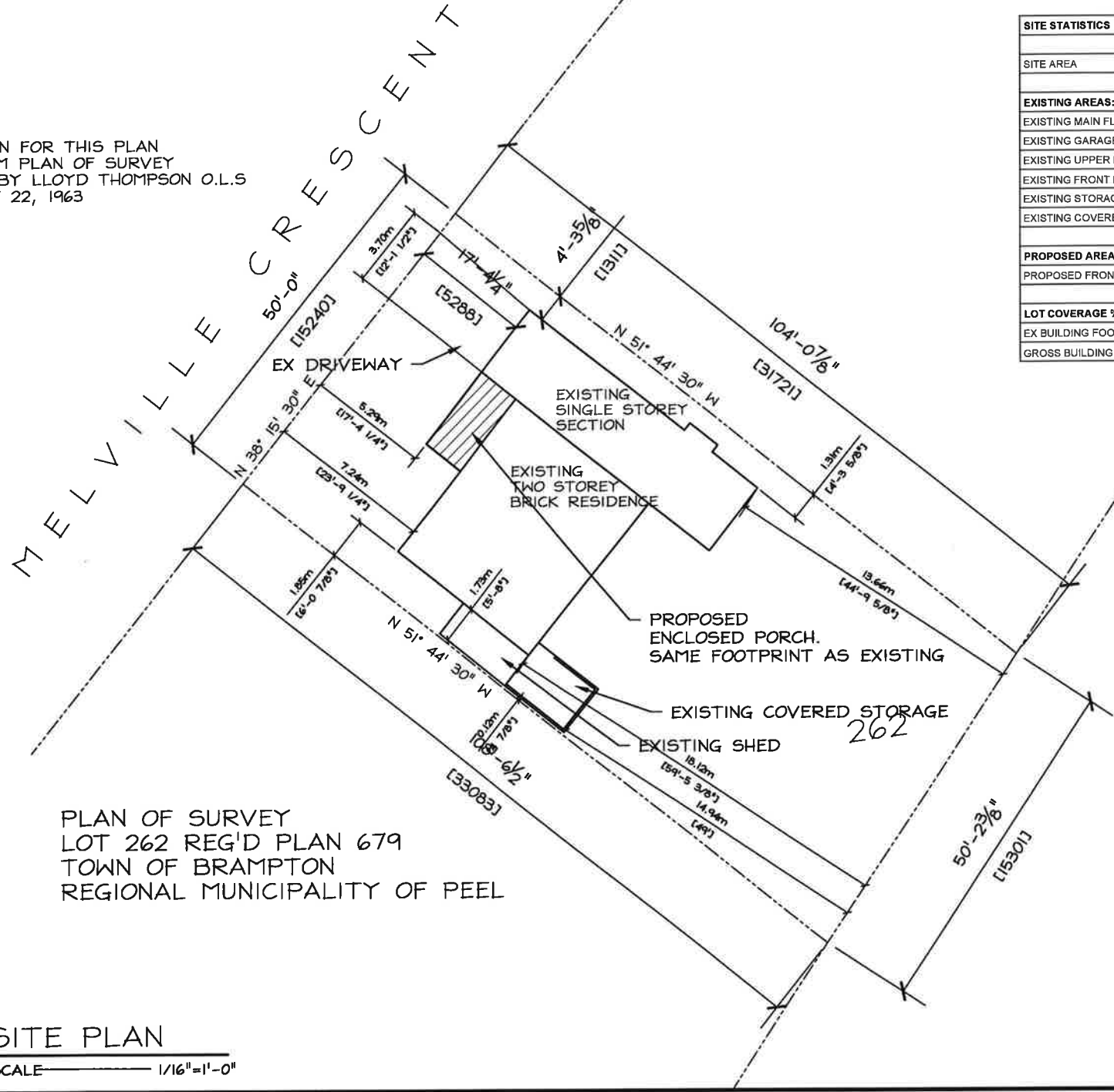
Town Planning Consultants

SURVEYOR'S CERTIFICATE - I hereby  
certify that the house(s) being constructed  
on LOTS 261, 262, 263 ARE  
within their boundaries as shown.

*Lloyd Thomson*  
Subdivision Design



INFORMATION FOR THIS PLAN  
TAKEN FROM PLAN OF SURVEY  
PREPARED BY LLOYD THOMPSON O.L.S  
DATED MAY 22, 1963



PLAN OF SURVEY  
LOT 262 REG'D PLAN 679  
TOWN OF BRAMPTON  
REGIONAL MUNICIPALITY OF PEEL

**SITE PLAN**  
SCALE 1/16"=1'-0"

SITE STATISTICS		
	SQ FT	SQ M
SITE AREA	5315.3	493.79
EXISTING AREAS:		
EXISTING MAIN FLOOR HABITABLE	950.7	88.32
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GROSS BUILDING FLOOR AREA+EX SHEDS+PROPOSED ENCLOSED PORCH/ LOT %		39.99

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION  
Required unless design is exempt under 3.2.5.1 of Division "C" of the Ontario Building Code.

JASON PINHAY 30229  
NAME High-Cadre BCN

QUALIFICATION INFORMATION  
Required unless design is exempt under 3.2.4.1 of Division "C" of the Ontario Building Code.

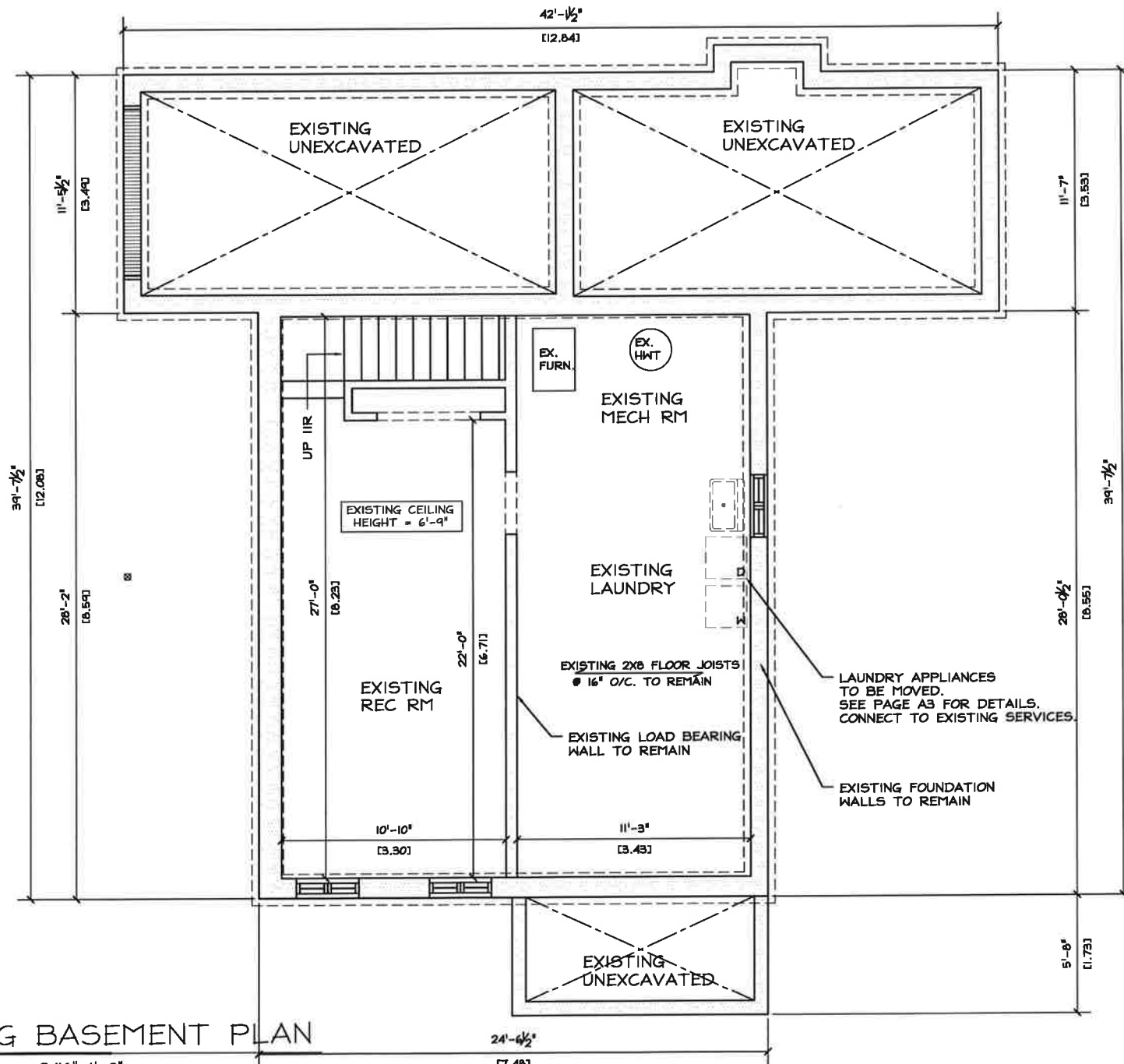
EXCALBUR CAD DESIGNS 44720  
FIRM NAME BCN

CONSULTANT:  
**EXCALBUR CAD DESIGNS**  
PHONE: 519-940-3763  
FAX: 519-940-3763  
97 EDELWILD DRIVE,  
GRANDVILLE, ONTARIO L9W 2Y4  
EMAIL: XDESIGNS@ROGERS.COM

CLIENT:  
**PLUS CONTRACTING**  
PROPOSED ADDITION  
17 MELVILLE CRESCENT  
BRAMPTON, ONTARIO

DRAWING TITLE:  
**SITE PLAN**

DRAWN BY: RH & JP	PROJECT No.
DATE: OCTOBER 12/2022	REFERENCE:
SCALE: AS NOTED	DRAWING No.
CHECKED: J PINHAY	<b>A-0</b>



CONTRACTOR TO FIELD VERIFY  
ALL DIMENSIONS PRIOR TO  
COMMENCING WORK

EXISTING HABITABLE FLOOR AREA: 710.5 SQ FT

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION  
Required unless design is exempt under 3.2.5.1 of Division "C" of the Ontario Building Code.

JASON PINHAY 30228  
NAME SIGNATURE BCN

QUALIFICATION INFORMATION  
Required unless design is exempt under 3.2.6.1 of Division "C" of the Ontario Building Code.

EXCALIBUR CAD DESIGNS 44720  
FIRM NAME BCN

CONSULTANT:

**EXCALIBUR CAD DESIGNS**

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FAX: 519-940-3763  
97 EDELWILD DRIVE,  
ORANGEVILLE, ONTARIO  
L9W 2Y4  
EMAIL: xob@excalibur.ca  
xob@excalibur.ca

CLIENT:

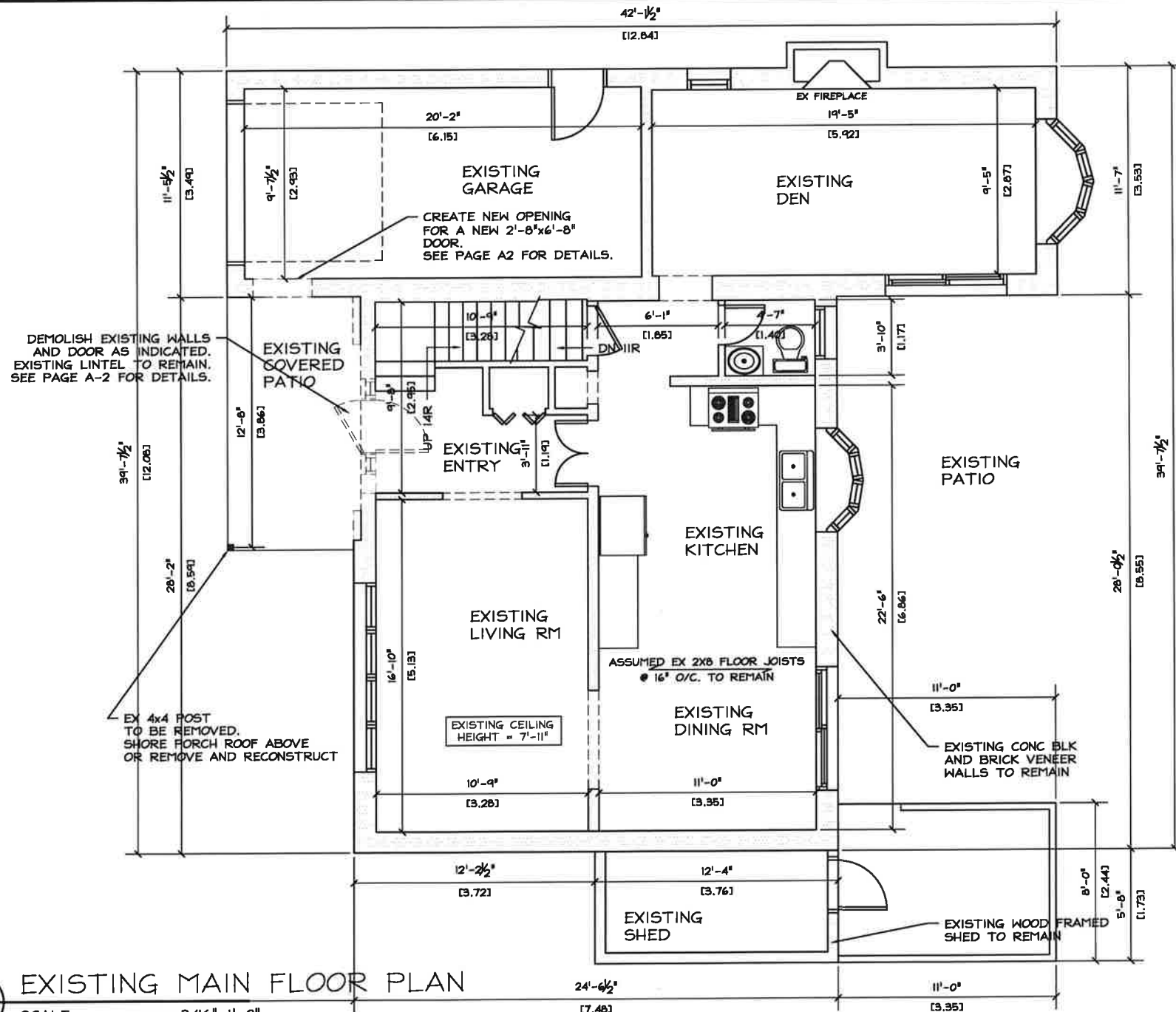
**PLUS CONTRACTING**  
PROPOSED ADDITION  
17 MELVILLE CRESCENT  
BRAMPTON, ONTARIO

DRAWING TITLE:

**EXISTING BASEMENT PLAN**

DESIGN BY: RH & JP	PROJECT No.
DATE: OCTOBER 12/2022	REFERENCE:
SCALE: AS NOTED	DRAWING No.
CHECKED: J PINHAY	<b>EX-1</b>

1 EXISTING BASEMENT PLAN  
EX-1 SCALE 3/16"=1'-0"



CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS PRIOR TO COMMENCING WORK

EXISTING HABITABLE FLOOR AREA: 950.7 SQ FT  
EXISTING GARAGE FLOOR AREA: 226.1 SQ FT

The undersigned has reviewed and takes responsibility for this design, and hereby certifies that the design meets the requirements set out in the Ontario Building Code to be a designer.		
QUALIFICATION INFORMATION		
Registered unless design is exempt under 3.2.4.1 of Division 10" of the Ontario Building Code.		
NAME	DATE	30229
JASON PINHAY	12/22/2022	BCR
QUALIFICATION INFORMATION		
Registered unless design is exempt under 3.2.4.1 of Division 10" of the Ontario Building Code.		
EXCALIBUR CAD DESIGNS	44720	
FIRM NAME	BCR	

CONSULTANT:

**EXCALIBUR CAD DESIGNS**

PHONE: 519-940-3763  
FAX: 519-940-3763  
97 EDELWILD DRIVE, ORANGEVILLE, ONTARIO  
L9W 2Y4  
EMAIL: XDESIGNS@ROGERS.COM

CLIENT:

**PLUS CONTRACTING**  
PROPOSED ADDITION  
17 MELVILLE CRESCENT  
BRAMPTON, ONTARIO

DRAWING TITLE:

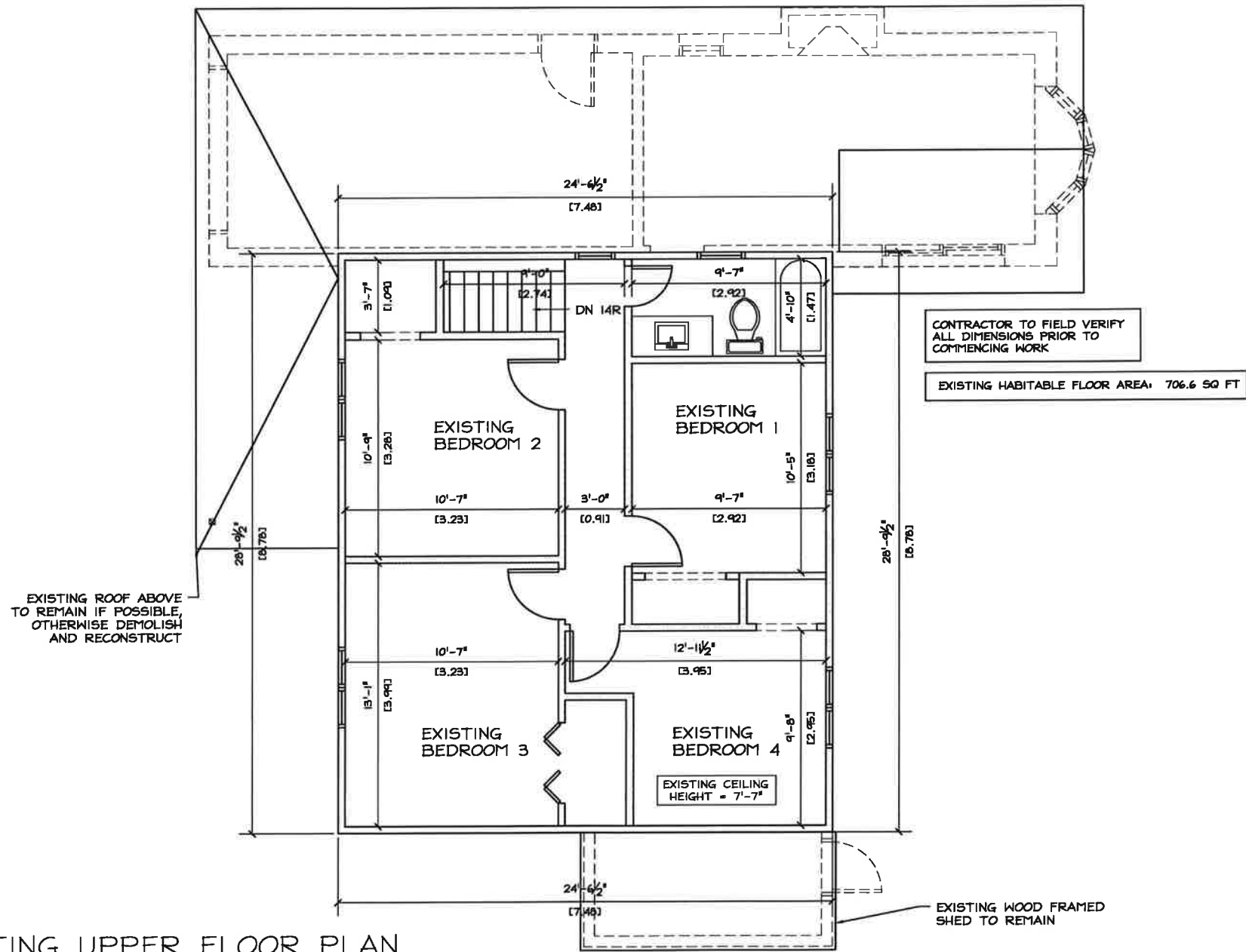
**EXISTING MAIN FLOOR PLAN**

DESIGN BY:	PROJECT No:
RH & JP	
DATE:	REFERENCE:
OCTOBER 12/2022	
SCALE:	DRAWING No:
AS NOTED	
CHECKED:	
J. PINHAY	

**EX-2**

**EXISTING MAIN FLOOR PLAN**

SCALE: 3/16" = 1'-0"



The undersigned has reviewed and taken responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.	
QUALIFICATION INFORMATION	
Registered unless design is exempt under 3.2.4.1 of Division "C" of the Ontario Building Code	
JASON PINHAY	30228
NAME	Signature
QUALIFICATION INFORMATION	
Registered unless design is exempt under 3.2.4.1 of Division "C" of the Ontario Building Code	
EXCALIBUR CAD DESIGNS	44720
FIRM NAME	BCR

CONSULTANT:

**EXCALIBUR CAD DESIGNS**

PHONE: 519-940-3763  
FAX: 519-940-3763  
EMAIL: XDESIGNS@ROGERS.COM

97 EDELWILD DRIVE,  
BRANDBEVILLE, ONTARIO  
L9W 2Y4

CLIENT:

**PLUS CONTRACTING**  
PROPOSED ADDITION  
17 MELVILLE CRESCENT  
BRAMPTON, ONTARIO

DRAWING TITLE:

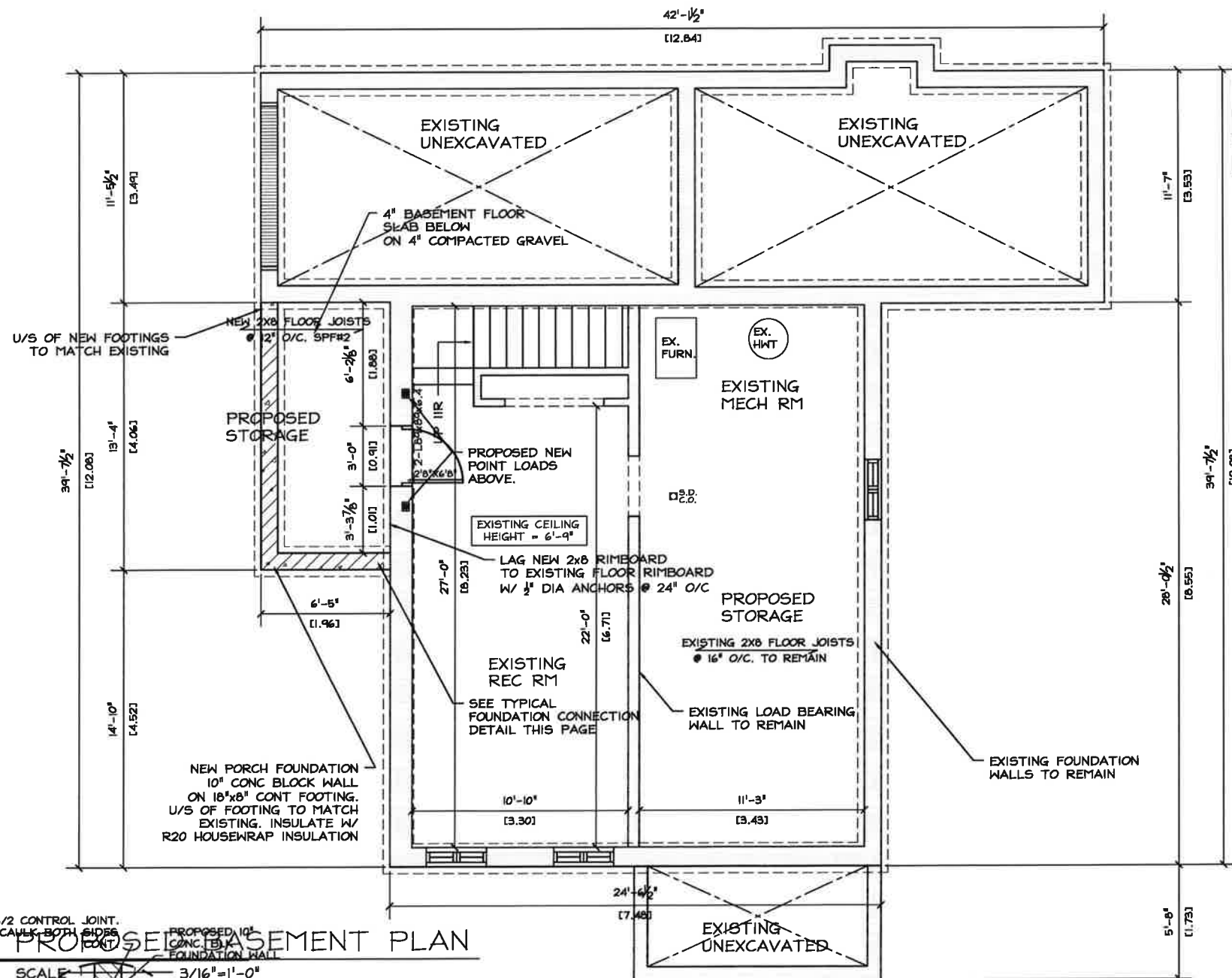
**EXISTING UPPER FLOOR PLAN**

DESIGNED BY:	PROJECT No:
RH & JP	
DATE:	REFERENCE:
OCTOBER 12/2022	
SCALE:	DRAWING No.:
AS NOTED	
CHECKED:	
J. PINHAY	

**EX-3**

**EXISTING UPPER FLOOR PLAN**

EX-3 SCALE 3/16"=1'-0"



CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS PRIOR TO COMMENCING WORK

EXISTING HABITABLE FLOOR AREA: 710.5 SQ FT

The undersigned has reviewed and taken responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

**QUALIFICATION INFORMATION**  
Registered unless design is exempt under 3.3.2.1 of Division "C" of the Ontario Building Code

NAME: JASON PINHAY  
SIGNATURE: [Signature]  
ID#: 30229  
BCA

**QUALIFICATION INFORMATION**  
Registered unless design is exempt under 3.3.2.1 of Division "C" of the Ontario Building Code

EXCALIBUR CAD DESIGNS  
FIRM NAME: EXCALIBUR CAD DESIGNS  
ID#: 44720  
BCA

**CONSULTANT:**

**EXCALIBUR CAD DESIGNS**

PHONE: 519-940-3763  
FAX: 519-940-3763  
EMAIL: xcdesigns@rogers.com

97 EDELWILD DRIVE,  
GRANBYVILLE, ONTARIO  
L9W 3Y4

**CLIENT:**

**PLUS CONTRACTING**  
PROPOSED ADDITION  
17 MELVILLE CRESCENT  
BRAMPTON, ONTARIO

**DRAWING TITLE:**

**PROPOSED BASEMENT PLAN**

<b>DRAWN BY:</b> RH & JP	<b>PROJECT No:</b>
<b>DATE:</b> OCTOBER 12/2022	<b>REFERENCE:</b>
<b>SCALE:</b> AS NOTED	<b>DRAWING No:</b>
<b>CHECKED:</b> J PINHAY	<b>A-1</b>

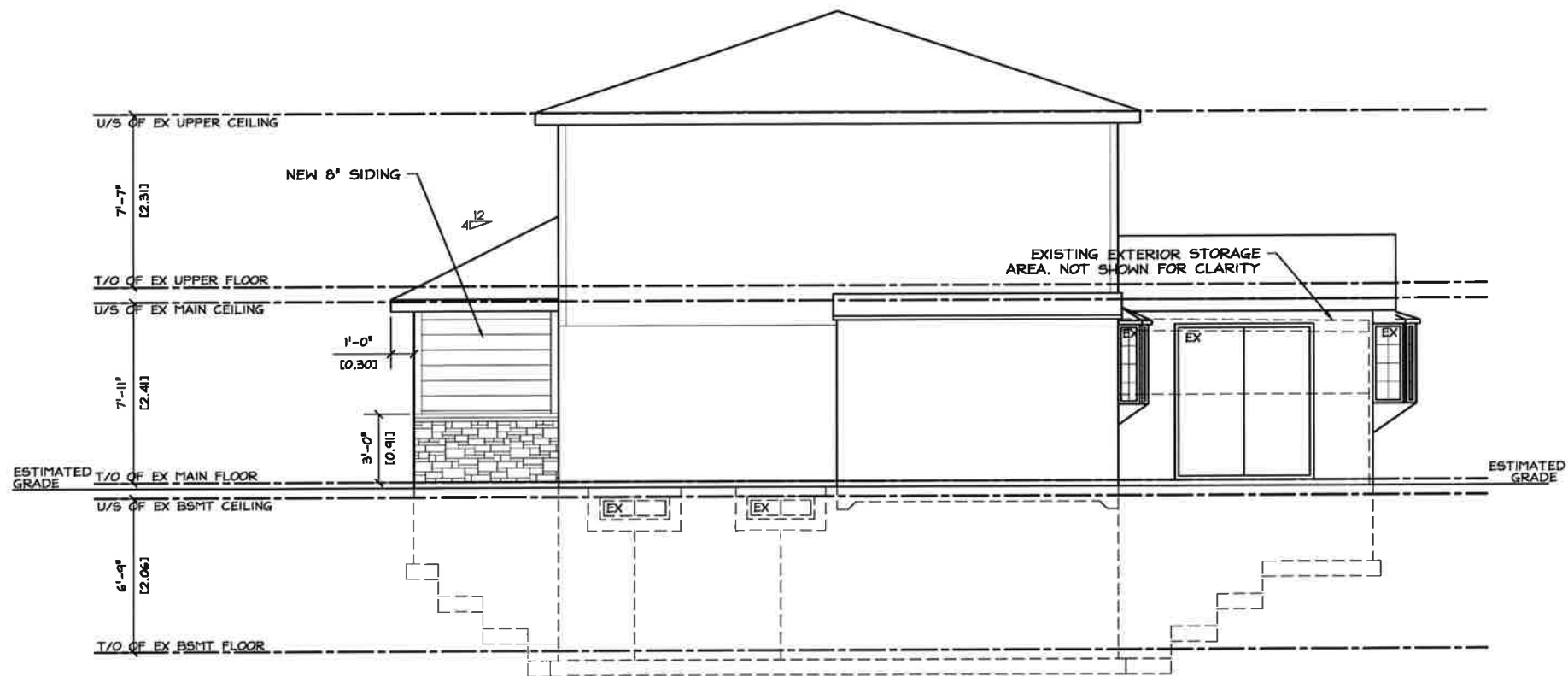


1  
A-2

PROPOSED MAIN FLOOR PLAN

SCALE 3/16" = 1'-0"





The undersigned has released and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.	
QUALIFICATION INFORMATION Required unless design is exempt under 3.3.4.1 of Division "C" of the Ontario Building Code:	
JASON PINHAY	30229
NAME	BCR
QUALIFICATION INFORMATION Required unless design is exempt under 3.3.4.1 of Division "C" of the Ontario Building Code:	
EXCALIBUR CAD DESIGNS	44720
TYPE	BCR

CONSULTANT:

**EXCALIBUR CAD DESIGNS**

PHONE: 519-940-3763  
FAX: 519-940-3763  
EMAIL: xdesigns@rogers.com  
97 EDELWILD DRIVE,  
ORANGEVILLE, ONTARIO  
L9W 2Y4

CLIENT:

**PLUS CONTRACTING**  
PROPOSED ADDITION  
17 MELVILLE CRESCENT  
BRAMPTON, ONTARIO

DRAWING TITLE:

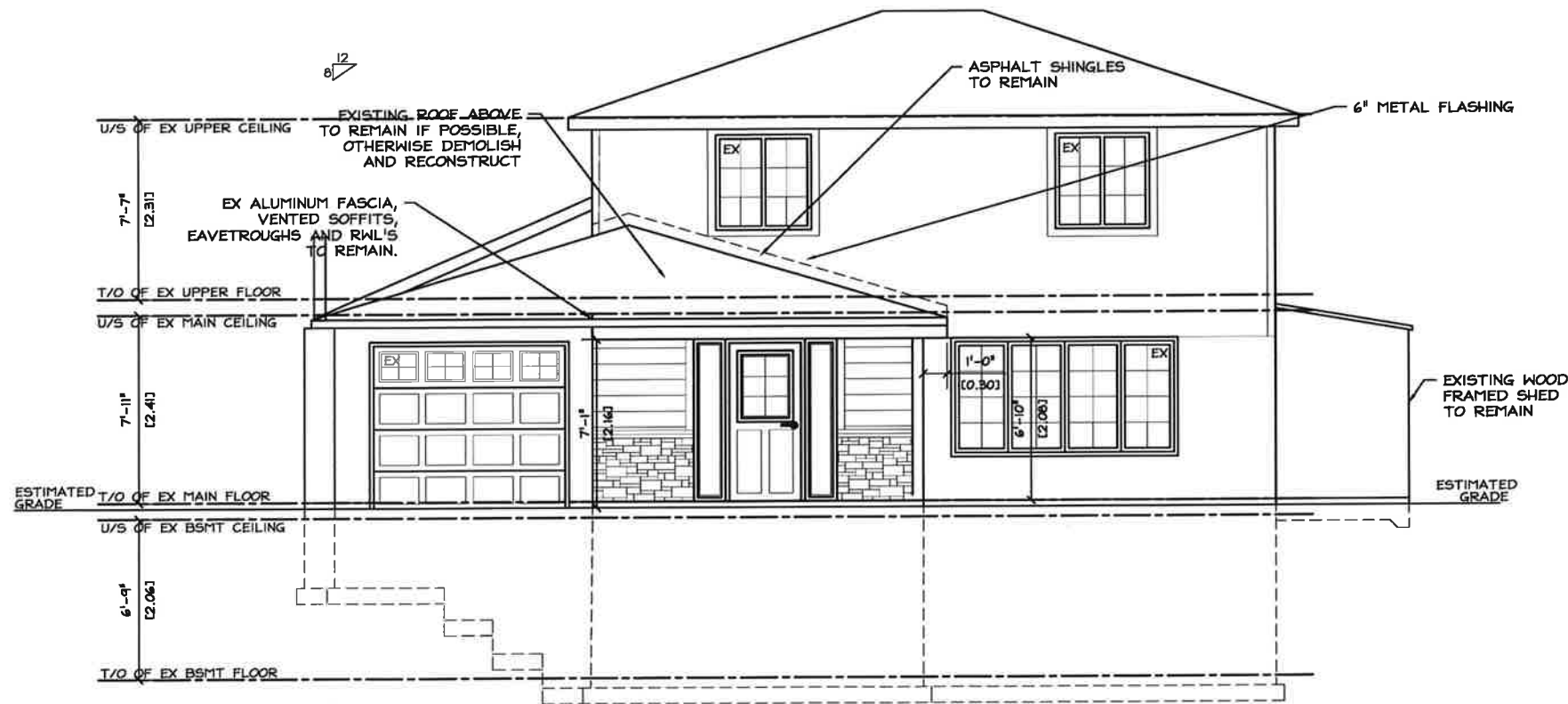
**PROPOSED CROSS SECTION**

DESIGN BY:	PROJECT No:
RH & JP	
DATE:	REFERENCE:
OCTOBER 12/2022	
SCALE:	DRAWING No.
AS NOTED	
CHECKED:	
J PINHAY	

**A-4**

**PROPOSED SOUTH (SIDE) ELEVATION**

SCALE ——— 3/16"=1'-0"



The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.	
QUALIFICATION INFORMATION	
Required unless design is exempt under 3.2.6.1 of Ontario "C" of the Ontario Building Code	
JASON PINHAY	30239
NAME	BCN
QUALIFICATION INFORMATION	
Required unless design is exempt under 3.2.6.1 of Ontario "C" of the Ontario Building Code	
EXCALIBUR CAD DESIGNS	44720
FIRM NAME	BCN

CONSULTANT:

**EXCALIBUR CAD DESIGNS**

PHONE: 519-940-3763  
FAX: 519-940-3763  
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97 EDELWILD DRIVE,  
ORANSEVILLE, ONTARIO  
L9W 2Y4

CLIENT:

**PLUS CONTRACTING**  
PROPOSED ADDITION  
17 MELVILLE CRESCENT  
BRAMPTON, ONTARIO

DRAWING TITLE

**PROPOSED ELEVATIONS**

DESIGN BY	PROJECT No.
RH & JP	
DATE	REFERENCE
OCTOBER 12/2022	
SCALE	DRAWING No.
AS NOTED	
CHECKED	
J PINHAY	

**A-5**

**PROPOSED WEST (FRONT) ELEVATION**

SCALE 3/16"=1'-0"



The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION  
Required unless design is exempt under 3.8.5.1 of Division "C" of the Ontario Building Code

JASON PINHAY Signature 30229  
NAME BCN

QUALIFICATION INFORMATION  
Required unless design is exempt under 3.8.4.1 of Division "C" of the Ontario Building Code

EXCALIBUR CAD DESIGNS 44720  
FIRM NAME BCN

CONSULTANT:

**EXCALIBUR CAD DESIGNS**

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97 EDELWILD DRIVE,  
ORANGEVILLE, ONTARIO  
L9W 2Y4

CLIENT:

**PLUS CONTRACTING**  
**PROPOSED ADDITION**  
**17 MELVILLE CRESCENT**  
**BRAMPTON, ONTARIO**

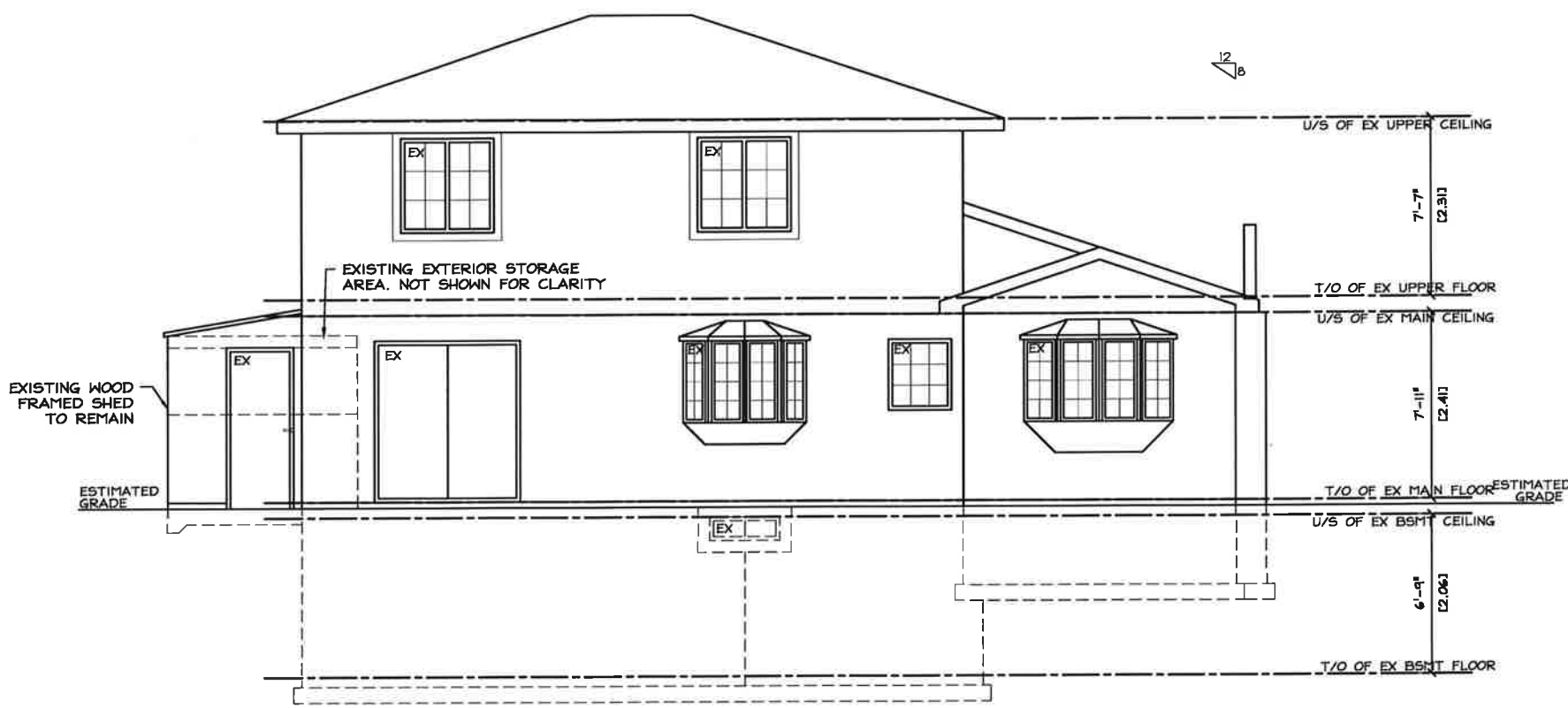
DRAWING TITLE:

**PROPOSED ELEVATIONS**

DESIGNED BY: RH & JP	PROJECT No:
DATE: OCTOBER 12/2022	REFERENCE:
SCALE: AS NOTED	DRAWING No.
CHECKED: J PINHAY	<b>A-6</b>

**1** PROPOSED NORTH (SIDE) ELEVATION  
A-6 SCALE 3/16"=1'-0"





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QUALIFICATION INFORMATION	
Required unless design is exempt under 3.2.3.1 of Division "C" of the Ontario Building Code.	
JASON PINHAY	30229
NAME	Signature
EXCALIBUR CAD DESIGNS	44730
FIRM NAME	BCN

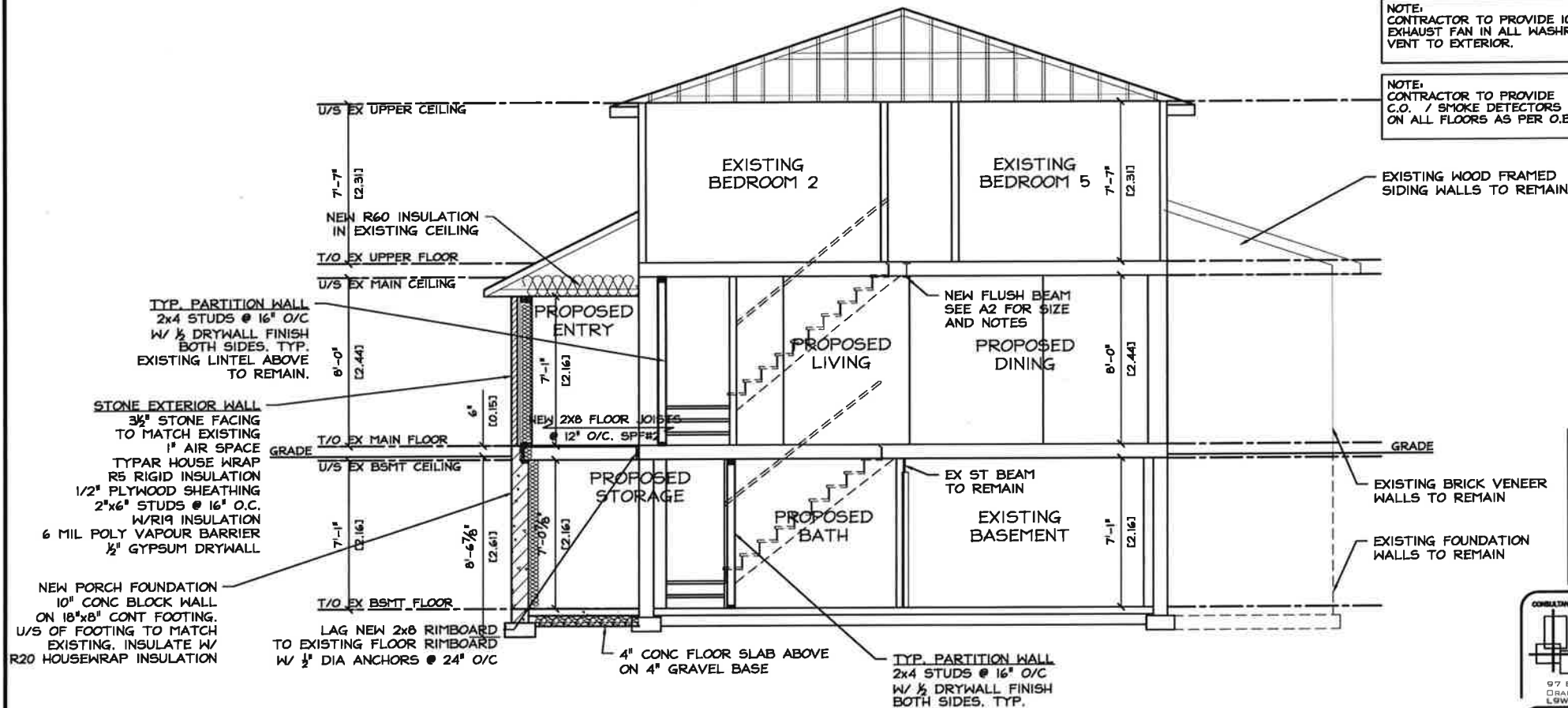
CONSULTANT:  
**EXCALIBUR CAD DESIGNS**  
97 EDELWILD DRIVE,  
ORANGEVILLE, ONTARIO  
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PHONE: 519-940-3763  
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CLIENT:  
**PLUS CONTRACTING**  
PROPOSED ADDITION  
17 MELVILLE CRESCENT  
BRAMPTON, ONTARIO

DRAWING TITLE:  
**PROPOSED ELEVATIONS**

DESIGN BY: RH & JP	PROJECT No:
DATE: OCTOBER 12/2022	REVISED:
SCALE: AS NOTED	DRAWING No.
CHECKED: J PINHAY	<b>A-7</b>

1  
A-7  
PROPOSED EAST (REAR) ELEVATION  
SCALE 3/16"=1'-0"



CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS PRIOR TO COMMENCING WORK

ELECTRICAL CONTRACTOR TO PROVIDE REQUIRED DUPLEX RECEPTACLES AS PER CODE.

NOTE: CONTRACTOR TO PROVIDE 100 CFM EXHAUST FAN IN ALL WASHROOMS. VENT TO EXTERIOR.

NOTE: CONTRACTOR TO PROVIDE C.O. / SMOKE DETECTORS WIRED IN ON ALL FLOORS AS PER O.B.C.

The undersigned has reviewed and takes responsibility for this design, and from the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.	
QUALIFICATION INFORMATION	
Required unless design is exempt under 3.2.5.1 of Division "C" of the Ontario Building Code	
JASON PINHAY	30229
NAME	ENGINEER
QUALIFICATION INFORMATION	
Required unless design is exempt under 3.2.5.1 of Division "C" of the Ontario Building Code	
EXCALIBUR CAD DESIGNS	44720
FIRM NAME	BCN

CONSULTANT:

**EXCALIBUR CAD DESIGNS**

97 EDLEWILD DRIVE,  
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CLIENT:

**PLUS CONTRACTING**  
PROPOSED ADDITION  
17 MELVILLE CRESCENT  
BRAMPTON, ONTARIO

DRAWING TITLE:

**CROSS SECTION**

DESIGN BY:	PROJECT No:
RH & JP	
DATE:	REFERENCE:
OCTOBER 12/2022	
SCALE:	DRAWING No.:
AS NOTED	
CHECKED:	
J PINHAY	

**PROPOSED CROSS SECTION**

SCALE: N.T.S.

**A-8**

#### Excavation and Backfill

- Excavation shall be undertaken in such a manner so as to prevent damage to existing structures, adjacent property and utilities.
- The topsoil and vegetable matter in excavated areas under a building shall be removed. The bottom of excavations for foundations shall be free of all organic material.
- If termittes are known to exist, all stumps, roots and wood debris shall be removed to a minimum depth of 3/4" in excavated areas under a building, and the clearance between untreated structural wood elements and the ground shall be no less than 17 3/4".
- Backfill within 25 5/8" of the foundation walls shall be free of deleterious debris and boulders over 9 7/8" in diameter.

#### Dampproofing and Drainage

- In normal soil conditions, the exterior surfaces of foundation walls enclosing basements and crawl spaces shall be dampproofed. Where hydrostatic pressure occurs, a waterproofing system is required.
- Masonry foundation walls shall be parged with 1/4" of mortar covered over the footing prior to dampproofing.
- 4" foundation drains shall be laid on level, undisturbed ground adjacent to the footings at or below the top of the basement slab or crawl space floor, and shall be covered with 6" of crushed stone. Foundation drains shall drain to a storm sewer, drainage ditch, dry well or sump.
- Window walls shall be drained to the footing.
- Downspouts not directly connected to a storm sewer shall have extensions to carry water away from the building, and provisions shall be made to prevent soil erosion.
- Concrete slabs in attached garages shall be sloped to drain to the exterior.
- The building site shall be graded so that surface, sump and roof drainage will not accumulate at or near the building and will not adversely affect adjacent properties.

#### Footings

- minimum 2200 psi poured concrete
- minimum 48" below finished grade
- Footings shall be founded on natural undisturbed soil, rock or compacted granular fill with minimum bearing capacity 5000psf

#### Footing Size

Floors Supported	Supporting Ext. Wall	Supporting Int. Wall	Column Area
1	9 7/8"	9 7/8"	4.3 (12)
2	13 3/4"	13 3/4"	6.1 (12)
3	17 3/4"	19 3/4"	10.9 (12)

Increase footing width by 2 5/8" for each storey of brick veneer supported, and by 5 1/8" for each storey of masonry.

The projection of an unreinforced footing beyond the wall supported shall not be greater than its thickness.

#### Step Footings

- Vertical Rise 23 5/8" max. for firm soils
- 23 5/8" max. for sand or gravel
- Horizontal Run 23 5/8" min.

#### Foundation Walls

- To be poured concrete, unit masonry or precast used (see drawings for type and thickness).
- Dampproofing shall be a heavy coat of bituminous material.
- Foundation wall to extend minimum 5 7/8" above finished grade.
- A drainage layer is required on the outside of a foundation wall where the interior insulation extends more than 2'-11" below exterior grade. A drainage layer shall consist of:
  - Min 3/4" mineral fibre insulation with min. Density of 3.6 lb/ft<sup>3</sup>
  - Min. 4" of free drainage granular material, or
  - An approved system which provides equivalent performance
- Foundation walls shall be braced or have the floor joists installed before backfilling.

#### Concrete Floor Slabs

- Garage, carport and exterior slabs and exterior steps shall be 4050psi concrete with 5-8# air entrainment.
- Other slabs 3600psi concrete.
- Minimum 3" thick, placed on a minimum 4" of compact, clean, granular material.
- All fill other than coarse clean material placed beneath concrete slabs shall be compacted to provide uniform support.

#### Masonry Walls

- Where constructed of 3 1/2" brick, wall shall be bonded with header course every 6th course.
- Provide 2" solid masonry or continuous 1 1/2" plate under all roof and floor framing members.
- Provide 7 1/2" solid masonry under beams and columns.
- Masonry wall to be tied to each tier of joists with 1 9/16" x 3/16" corrosion resistant steel straps, keyed minimum 4" into masonry. When joists are parallel to wall, ties are to extend across at least 3 joists @ 6'-7" o.c.
- Inside back of wall to be parged and covered with N-5 breather-type asphalt paper.
- For reduced foundation walls to allow a brick facing while maintaining lateral support, the minimum 1/2" brick to minimum 3 1/2" back-up block with corrosion resistant ties at least 0.028" in cross sectional area, spaced 7 7/8" vertically and 2'-11" horizontally, with joints completely filled with mortar.
- Masonry over openings shall be supported on corrosion resistant or prime painted steel lintels with a minimum of 5 7/8" end bearing.

#### Masonry Veneer

- Minimum 2 3/4" thick if joints are not raked and 3 1/2" thick if joints are raked.
- Minimum 1" air space to sheathing.
- Provide weep holes @ 1/2" o.c. at the bottom of the cavity and over doors and windows.
- Direct drainage through weep holes with 20 mil poly flashing extending minimum 5 7/8" up behind the sheathing paper.
- Veneer ties minimum 0.030" thick 3/8" wide corrosion resistant straps spaced @ 23 5/8" vertically and 5 3/4" horizontally.
- Fasten ties with corrosion resistant 0.125" diameter screws or spiral nails which penetrate at least 1-3/16" into studs.

#### Wood Frame Construction

- All lumber shall be spruce-pine-fir No. 1 #2 and shall be identified by a grade stamp.
- Maximum moisture content 18% at time of installation.
- Wood framing members which are supported on concrete in direct contact with soil shall be separated from the concrete with 6 mil polyethylene.

#### Walls

- Exterior walls shall consist of:
  - cladding
  - sheathing paper lapped 4" at joints
  - 3/8" fibreboard or gypsum board or 1/4" plywood sheathing
  - 2x6 studs @ 16" o.c.
  - 2x6 bottom plate and double 2x6 top plate
  - 2x4 studs @ 16" o.c. can be utilized provided the combined R value of the batt insulation and exterior rigid insulation achieves R-17.
- Interior loadbearing walls shall consist of:
  - 2x4 studs @ 16" o.c.
  - 2x4 bottom plate and double 2x4 top plate
  - 2x4 mid-girts if not sheathed
  - 1/2" gypsum board sheathing

#### Floors

- Joists to have minimum 1 1/2" bearing and bearing.
- Joists shall bear on a sill plate fixed to foundation with 1/2" anchor bolts @ 7' 10" o.c.
- Header joists between 3' 11" and 10' 6" in length shall be doubled. Header joists exceeding 10' 6" shall be sized by calculations.
- Trimmer joists shall be doubled when supported header is between 2' 7" and 6' 7". Trimmer joists shall be sized by calculations when supported header exceeds 6' 7".
- 2x2 cross bridging required not more than 6' 11" from each support and from other runs of bridging.
- Joists shall be supported on joist hangers at all flush beams, trimmers, and headers.
- Joists located under parallel non-loadbearing partitions shall be doubled.

#### Roof & Ceilings

- Hip and valley rafter shall be 2" deeper than common rafters.
- 2x4 collar ties @ rafter spacing with 1x4 continuous brace at mid span if collar tie exceeds 7' 10" in length.

#### Notching & Drilling of Trusses, Joists, Rafters

- Holes in floor, roof and ceiling members to be maximum 1/4" x actual depth of member and not less than 2" from edges.
- Notches in floor, roof and ceiling members to be located on top of the member within 1/2 the actual depth from the edge of bearing and not greater than 1/3 joist depth.
- Wall studs may be notched or drilled provided that no less than 2/3 the depth of the stud remains, if load bearing, and 1 9/16" if non-load bearing.
- Roof truss members shall not be notched, drilled or weakened unless accommodated in the design.

#### Roofing

- Fasteners for roofing shall be corrosion resistant. Roofing nails shall penetrate through or at least 1/2" into roof sheathing.
- Every asphalt shingle shall be fastened with at least 4 nails.
- Eave protection shall extend 2' 11" up the roof slope from the edge, and at least 1 3/4" from the inside face of the exterior wall, and shall consist of Type F1 or Type S Roll Roofing laid with minimum 4" head and end laps cemented together or glass fibre or Polyester Fibre coated base sheathing self sealing composite membranes consisting of modified bituminous coated material. Eave protection is not required for unheated buildings, for roofs exceeding a slope of 1 in 1.5, or where a low slope asphalt shingle application is provided.
- Open valleys shall be flashed with 2 layers of roll roofing, or layer of sheet metal min. 23 5/8" wide.
- Flashing shall be provided at the intersection of shingle roofs with exterior walls and chimneys.
- Sheet metal flashing shall consist of not less than 1/16" sheet lead, 0.013" galvanized steel, 0.018" copper, 0.018" zinc, or 0.019" aluminum.
- Copper, Beams & Lintels
- Steel beams and columns shall be shop primed.
- Minimum 3 1/2" bearing for wood and steel beams, with 7 7/8" solid masonry beneath the beam.
- Steel columns to have minimum outside diameter of 2 7/8" and minimum wall thickness of 3/16".
- Wood columns for carports and garages shall be minimum 3 1/2" x 3 1/2" in all other cases either 5 1/2" x 5 1/2" or 1 1/4" round, unless calculations based on actual loads show lesser sizes are adequate. All columns shall be not less than the width of the supported member.
- Masonry columns shall be a minimum of 11 3/8" x 11 3/8" x 15".
- Provide solid blocking the full width of the supported member under all concentrated loads.

#### Insulation & Weatherproofing

- Insulation shall be protected with gypsum board or an equivalent interior finish, except for unfinished basements where 6 mil poly is sufficient for fiberglass type insulation.
- Ducts passing through unheated space shall be made airtight with tape or sealant.
- Caulking shall be provided for all exterior doors and windows between the frame and the exterior cladding.
- Weatherstripping shall be provided on all doors and access hatches to the exterior, except doors from a garage to the exterior.
- Exterior walls, ceilings and floors shall be constructed so as to provide a continuous barrier to the passage of water vapour from the interior and to the leakage of air from the exterior.

#### Thermal Compliance Package

Type of Heating Package Selected	Gas Furnace Table 3.1.1.1.1 Min
Ceiling with attic (nominal)	R-40
Ceiling without attic (nominal)	R-31
Exposed Floor (nominal)	R-31
Exterior Wall Above Grade (nominal)	R-19+5 CI
Basement Wall (nominal c)	R-20 CI
Basement Slabs	
24" below grade	None
24" below grade (nominal)	R-10
Heated (nominal)	R-10
Windows & Glass Doors (U Value)	0.28
Skylights (U Value)	0.41
Supply Ducts in unheated space	R-12
Space Heating Equipment	96%
HRV	75%
DHW (EF)	0.8

U Values are Metric, R Values in Imperial

#### Natural Ventilation

- Every roof space above an insulated ceiling shall be ventilated with unobstructed openings equal to not less than 1/300 of insulated area.
- Insulated roof spaces not incorporating an attic shall be ventilated with unobstructed openings equal to not less than 1/50 of insulated area.
- Roof vents shall be uniformly distributed and designed to prevent the entry of rain, snow or insects.
- Unheated crawl spaces shall be provided with 1.1 ft<sup>2</sup> of ventilation for each 538 ft<sup>2</sup>.
- Minimum natural ventilation areas, where mechanical ventilation is not provided, are:
  - Bathrooms: 0.97 ft<sup>2</sup>
  - Other rooms: 3 ft<sup>2</sup>
- Unfinished basement: 0.2% of floor area

#### Doors and Windows

- Every floor level containing a bedroom and not served by an exterior door shall contain at least 1 window having an unobstructed open area of 3.6 ft<sup>2</sup> and no dimension less than 15", which is operable from the inside without tools.
- Exterior house doors and windows within 6' 7" from grade shall be constructed to resist forced entry. Doors shall have a deadbolt lock.
- The principal entry door shall have either a door viewer, transparent glazing or a sidelight.

#### Exterior Walls

- No windows or other unprotected openings are permitted in exterior walls less than 3' 11" from property lines.
- 5/8" fine rated drywall shall be installed on the inside face of attached garage exterior walls and gable ends of roofs which are less than 3' 11" from property lines.
- Non combustible cladding shall be installed on all exterior walls less than 23 5/8" from property lines.

#### Ceramic Tile

- When ceramic tile applied to a mortar bed with adhesive, the bed shall be a minimum of 1/2" thick & reinforced with galvanized diamond mesh lath, applied over polyethylene on subflooring on joists at not more than 16" o.c. with at least 2 rows cross bridging.

#### Access to Attics and Crawl Spaces

- Access hatch minimum 14 3/4" x 21 4" to be provided to every crawl space and every roof space which is 100 ft<sup>2</sup> or more in area and more than 23 5/8" in height.

#### Garage Gasproofing

- The walls and ceiling of an attached garage shall be constructed and sealed so as to provide an effective barrier to exhaust fumes.
- All plumbing and other penetrations through the walls and ceiling shall be caulked.
- Doors between the dwelling and attached garage may not open into a bedroom and shall be weatherstripped and have a self-closer.

#### Alarms and Detectors

- At least one smoke alarm shall be installed on or near the ceiling on each floor and basement level 2' 11" or more above an adjacent level.
- Smoke alarms shall be interconnected and located such that one is within 16' 5" of every bedroom door and no more than 49' 3" travel distance from any point on a floor.
- A carbon monoxide detector shall be installed on or near the ceiling in every room containing a solid fuel burning fireplace or stove.

#### Stairs

- Minimum Rise 7 7/8"
- Minimum Run 8 1/4"
- Minimum Tread 9 1/4"
- Minimum Head Room 6' 5"
- Minimum Width 2' 10"
- Curved stairs shall have a min. run of 5 7/8" at any point and a minimum average run of 7 7/8".
- Hinders which converge to a point in stairs must turn through an angle of no more than 90°, with no less than 30" or more than 45" per tread. Sets of winders must be separated by 3' 11" along the run of the stair.
- A landing minimum 2' 11" in length is required at the top of any stair leading to the principal entrance to a dwelling, and other entrances with more than 3 risers.
- Exterior concrete stairs with more than 2 risers require foundations.

#### Handrails and Guards

- A handrail is required for interior stairs containing more than 2 risers and exterior stairs containing more than 3 risers.
- Guards are required around every accessible surface which is more than 23 5/8" above the adjacent level.
- Interior and exterior guards min. 2' 11" high. Exterior guards shall be 3' 4" high where height above adjacent surface exceeds 5' 11".
- Guards shall have no openings greater than 4" and no member between 4" and 2' 11" that will facilitate climbing.

#### Plumbing

- Every dwelling requires a kitchen sink, lavatory, water closet, bathtub or shower stall and the installation or availability of laundry facilities.
- A floor drain shall be installed in the basement, and connected to the sanitary sewer where gravity drainage is possible. In other cases, it shall be connected to a storm drainage system, ditch or dry well.

#### Electrical

- An exterior light controlled by an interior switch is required at every entrance.
- A light controlled by a switch is required in every kitchen, bedroom, living room, utility room, laundry room, dining room, bathroom, vestibule, hallway, garage and carport. A switched receptacle may be provided instead of a light in bedrooms and living rooms.
- Stairs shall be lighted, and except where serving an unfinished basement shall be controlled by a 3 way switch at the head and foot of the stairs.
- Basements require a light for each 523 ft<sup>2</sup>, controlled by a switch at the head of the stairs.

#### Mechanical Ventilation

- A mechanical ventilation system is required with a total capacity at least equal to the sum of:
  - 10 cfm each for basement and master bedroom
  - 5 cfm for each other room
- A principal dwelling exhaust fan shall be installed and controlled by a centrally located switch identified as such.
- Supplemental exhaust shall be installed so that the total capacity of all kitchen, bathroom and other exhausts, less the principal exhaust, is not less than the total required capacity.
- A Heat Recovery Ventilator may be employed in lieu of exhaust to provide ventilation. An HRV is required if any solid fuel burning appliances are installed.
- Supply air intakes shall be located so as to avoid contamination from exhaust outlets.

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QUALIFICATION INFORMATION  
Required unless design is exempt under 3.2.5.1 of Division "C" of the Ontario Building Code

JASON PERRY	30228
NAME	Signature
BOB	BOB

Required unless design is exempt under 3.2.5.1 of Division "C" of the Ontario Building Code

EXCALIBUR CAD DESIGNS	44720
FIRM NAME	BOB

#### COMPANY

EXCALIBUR CAD DESIGNS

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PLUS CONTRACTING  
PROPOSED ADDITION  
17 MELVILLE CRESCENT  
BRAMPTON, ONTARIO

#### DRAWING TITLE

GENERAL NOTES

#### DRAWN BY

RH & JP

#### DATE

OCTOBER 12/2022

#### SCALE

AS NOTED

#### CHECKED

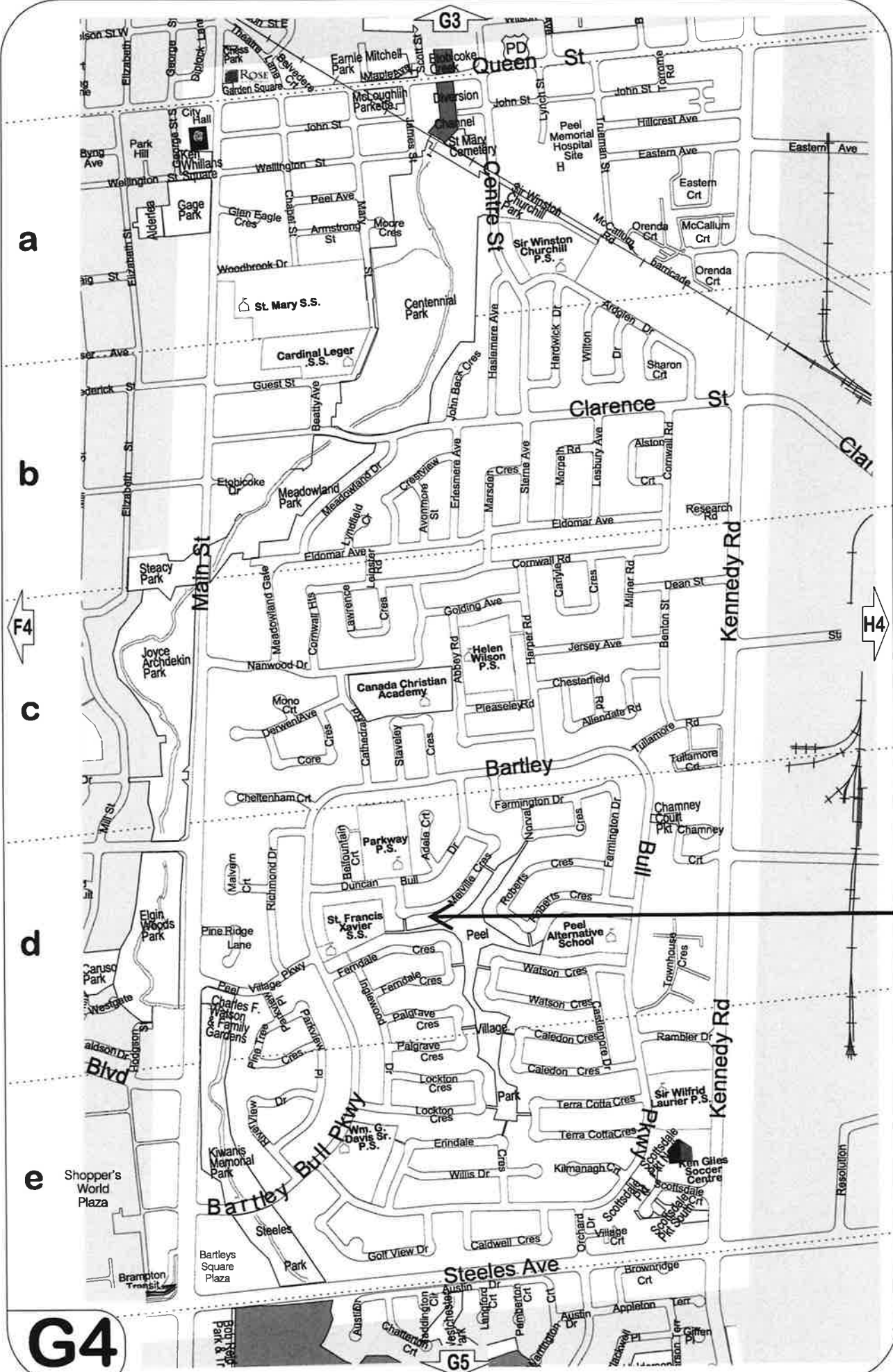
J PINHAY

#### PROJECT NO.

#### REFERENCE

#### DRAWING NO.

A-9



A-2023-0028

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