

APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **NIRMALA PRAKASH AND SHEURI ORAKASH** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Lot 83, Plan M-1360 municipally known as **37 MAROTTA AVENUE**, Brampton;

AND WHEREAS the applicants are requesting the following variance(s):

1. To permit a 2.7m (8.56 ft.) encroachment into the minimum required rear yard, resulting in a rear yard setback of 3.3m (10.83 ft.) to an open roofed porch whereas the by-law permits a maximum encroachment of 2.0m (6.56 ft.) resulting in a rear yard setback of 4.0m (13.12 ft.).

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO
Application for Consent: NO

File Number: _____
File Number: _____

The Committee of Adjustment has appointed **TUESDAY, March 7, 2023 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant or another member of the public.

RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this 24th Day of February, 2023.

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca

ENGINEERING SEAL

REVISION		DESCRIPTION	
NO.	DATE	BY	
ISSUE TABLE		DESCRIPTION	
NO.	DATE	BY	
01	07 OCT 2022	C.N.	NEW DRAWING
02	13 OCT 2022	C.N.	ISSUED FOR INTERNAL REVIEW
03	01 DEC 2022	C.N.	ISSUED FOR SQUAD CHECK
04	20 DEC 2022	C.N.	ISSUED FOR ENGINEER

BUSH AND MALA
37 MAROTTA AVENUE,
BRAMPTON, ONTARIO

SITE PLAN

Project number 50639889

Date 07 OCT 2022

Drawn by C.N.

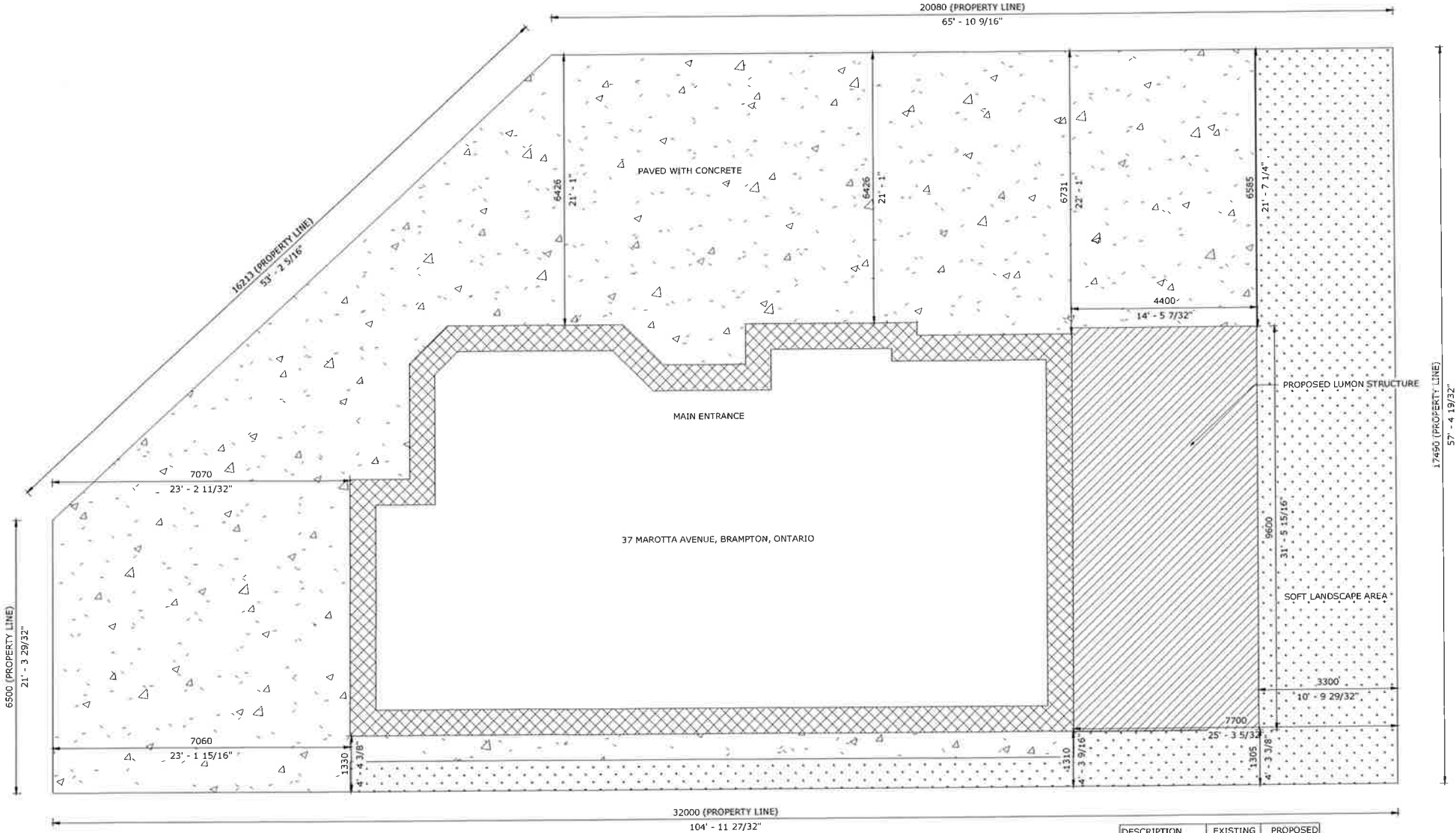
L0.2

Scale 1 : 50



MAROTTA AVENUE

CHINGUACOUSY ROAD



SITE PLAN

1 : 50

DESCRIPTION	EXISTING	PROPOSED
LOT AREA	158.8 m ²	—
LEFT SETBACK	1.3m	—
RIGHT SETBACK	6.4m	—
FRONT SETBACK	7m	—
REAR SETBACK	7.7m	3.2m
DRIVEWAY	182.7m	182.7m
YARD	110m	110m
PROPOSED LUMON PATIO COVER	—	42.2 m ²
NO. OF STOREY	3	3

Under the authority of the Emergency Management and Civil Protection Act and the Municipal Act, 2001, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

**Electronic/Hybrid Hearing Procedures
How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **March 7, 2023** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

How to Participate in the Hearing:

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, March 2, 2023.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
 1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, March 2, 2023.**
 2. To participate in-person, please email the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, March 2, 2023.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, March 2, 2023.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1.

Name of Owner(s) NIRMALA & SHRUTI PRAKASH

Address 37 MAROTTA AVE, L6X 4W9, BRAMPTON, ON

Phone # 5613583275

Fax #

Email Bush.prakash@intellaquest.com

2.

Name of Agent TARUNPREET KAUR

Address UNIT -5, 600 ZENWAY BLVD, L4H 3M9, VAUGHAN, ON

Phone # 2268214294

Fax #

Email TARUNPREET.KAUR@LUMON.COM

3.

Nature and extent of relief applied for (variances requested):

Nature- REAR YARD SETBACK

1. Allowable encroachment into the rear yard is 2.0m whereas we are proposing 4.4m encroachment into the rear yard.

2. Allowable minimum rear yard setback is 4m whereas proposed rear yard setback is 3.3m.

4.

Why is it not possible to comply with the provisions of the by-law?

1. Allowable encroachment into the rear yard is 2.0m whereas we are proposing 4.4m encroachment into the rear yard.

2. Allowable minimum rear yard setback is 4m whereas proposed rear yard setback is 3.3m.

5.

Legal Description of the subject land:

Lot Number 83

Plan Number/Concession Number 43M-1360

Municipal Address 37 MAROTTA AVE, L6X 4W9, BRAMPTON, ON

6.

Dimension of subject land (in metric units)

Frontage 6.5M

Depth 32M

Area 494.13 sqm

7.

Access to the subject land is by:

Provincial Highway ☐

Municipal Road Maintained All Year ☒

Private Right-of-Way ☐

Seasonal Road ☐

Other Public Road ☐

Water ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

1st Floor= 120.16sqm
2nd Floor=141.88sqm
Lot Coverage=163.57sqm
No.of Storeys=2
Width=32'-0" Length=56'-6"

PROPOSED BUILDINGS/STRUCTURES on the subject land:

Proposing a concrete deck and an aluminium patio cover on the proposed concrete deck attached to the rear main wall of the existing house.

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback 7.06m
Rear yard setback 7.7m
Side yard setback 1.31m
Side yard setback 6.70m

PROPOSED

Front yard setback 7.06m
Rear yard setback 3.3m
Side yard setback 1.31m
Side yard setback 6.70m

10. Date of Acquisition of subject land: DECEMBER 2001
11. Existing uses of subject property: RESIDENTIAL
12. Proposed uses of subject property: RESIDENTIAL
13. Existing uses of abutting properties: RESIDENTIAL
14. Date of construction of all buildings & structures on subject land: JANUARY 2000
15. Length of time the existing uses of the subject property have been continued: 22 YEARS

16. (a) What water supply is existing/proposed?

Municipal ☒
Well ☐

Other (specify) _____

- (b) What sewage disposal is/will be provided?

Municipal ☒
Septic ☐

Other (specify) _____

- (c) What storm drainage system is existing/proposed?

Sewers ☒
Ditches ☐
Swales ☐

Other (specify) _____

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Tarunpreet
Kaur

Digitally signed by Tarunpreet Kaur
DN: cn=Tarunpreet Kaur, o=CA,
ou=Lumon Canada,
email=Tarunpreet.kaur@lumon.com
Reason: Tarunpreet Kaur
Location: Lumon Canada
Date: 2023.01.11 10:58:51 -0500

Signature of Applicant(s) or Authorized Agent

DATED AT THE 10 CITY OF JANUARY BRAMPTON
THIS 10 23 DAY OF JANUARY, 2023.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, TARUNPREET KAUR, OF THE CITY OF BRAMPTON
IN THE REGION OF PEEL SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton
IN THE Region OF
Peel THIS 23rd DAY OF

Jan., 2023

Jeanie Myers
A Commissioner etc.

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024.

Tarunpreet Kaur

Signature of Applicant or Authorized Agent

Submit by Email

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Zoning Officer

Date

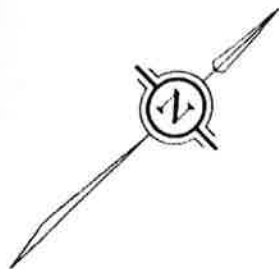
DATE RECEIVED

Date Application Deemed
Complete by the Municipality

January 23, 2023

METRIC

DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048



MAROTTA AVENUE

(BY PLAN 43M-1360)
PIN 14094-0497 (LT)

ASSOCIATION OF ONTARIO
LAND SURVEYORS
PLAN SUBMISSION FORM
1298990



SURVEYOR'S REAL PROPERTY REPORT

PLAN OF SURVEY OF
LOTS 83, 84, 86 AND 87
PLAN 43M-1360
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEL

SCALE 1 : 300



REPORT

REGISTERED EASEMENTS AND/OR RIGHTS-OF-WAY
NONE

NOTES

THIS PLAN AND REPORT WAS PREPARED FOR THE SOLE
USE OF TAS-MARINC/HIGHCASTLE HOMES

BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE
SOUTHEASTERLY LIMIT OF MAROTTA AVENUE AS SHOWN ON
PLAN 43M-1360, HAVING A BEARING OF N44°35'45"E.

LEGEND

BY	BENNETT YOUNG LIMITED
PI	PLAN 43M-1360
CN	CONCRETE NAIL
IB	IRON BAR
WIT	WITNESS
(meas)	MEASURED
CBW	CONCRETE BASEMENT WALLS
000.00	ELEVATION ON TOP OF BASEMENT WALL
BP	BRICK PILLAR

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT, THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
- THE SURVEY WAS COMPLETED ON THE 4TH DAY OF AUGUST, 2000

SEPTEMBER 22, 2000
DATE:

E. Bennett
Wm. E. BENNETT
ONTARIO LAND SURVEYOR

© COPYRIGHT, 2000 BENNETT YOUNG LIMITED

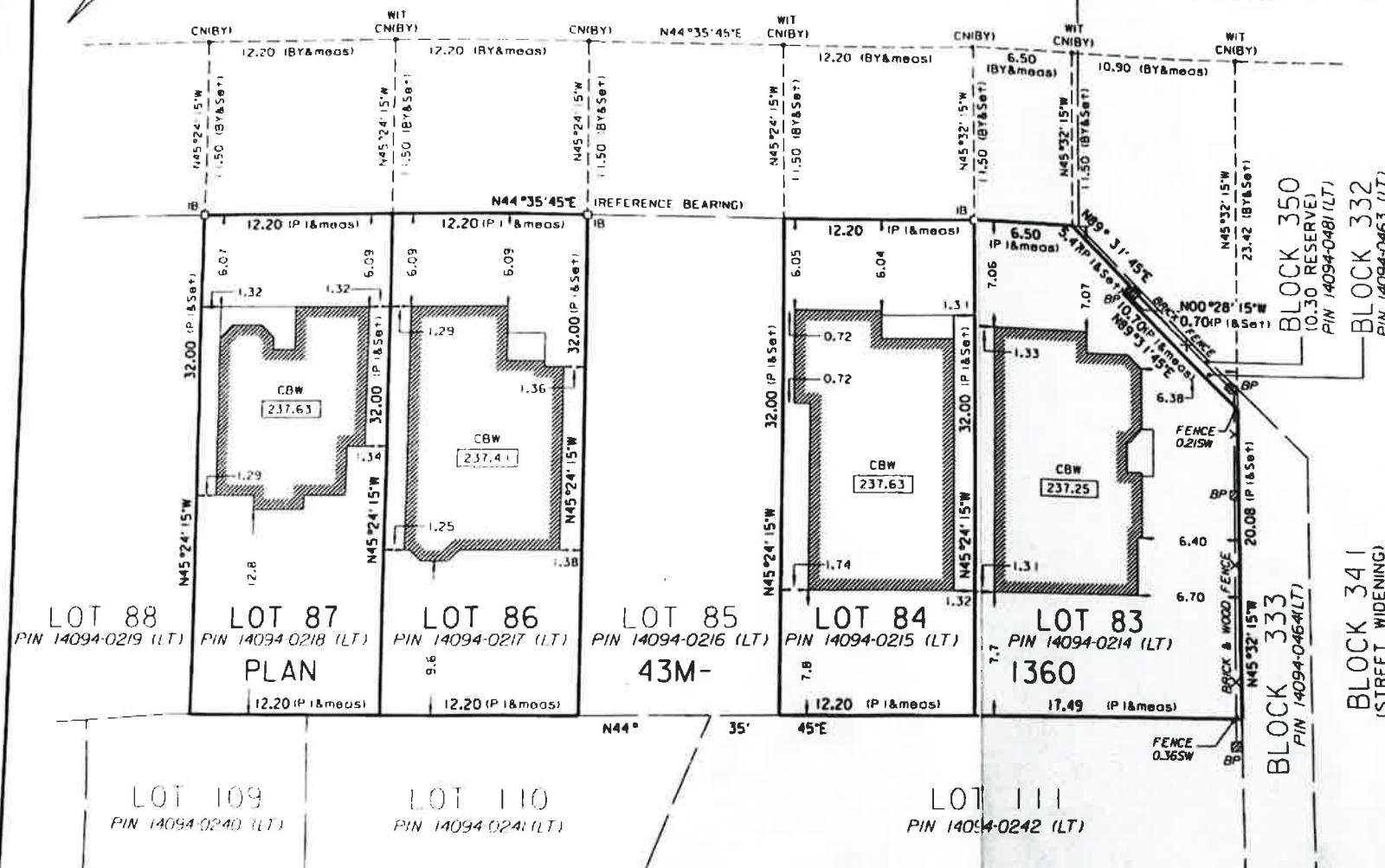
THE REPRODUCTION, ALTERATION OR USE OF THIS REPORT, IN WHOLE OR IN PART,
WITHOUT THE EXPRESS PERMISSION OF BENNETT YOUNG LIMITED, IS STRICTLY PROHIBITED.



BENNETT YOUNG LIMITED
PROFESSIONAL LAND SURVEYORS

50 RONSON DRIVE, SUITE 100, TORONTO, ONTARIO, M9W 1B3
TEL (416) 247-0691 / FAX (416) 247-0305

CHECKED BY: <i>AP</i>	DRAWN BY: DMD	REV. DATE: 2000/09/26	C.O. 2000043P1	REV. A
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1. THESE DRAWINGS DETAIL THE INSTALLATION.
2. DESIGN IS IN ACCORDANCE WITH CAN3-S157-M83 STRENGTH.
3. STRUCTURE AND ALL MATERIALS ARE IN ACCORDANCE WITH CURRENT EDITIONS OF THE NATIONAL BUILDING CODE OF CANADA 2015 AND THE 2012 ONTARIO BUILDING CODE.
4. CONSTRUCTION OF EXISTING STRUCTURE (I.E FOUNDATION WALLS, FOOTING, EXTERIOR WALLS AND SHEATHING ARE ASSUMED TO BE IN ACCORDANCE WITH REQUIREMENTS OF PART 4 OR PART 9 OF ONTARIO BUILDING CODE. THE LOAD OF THE SUNROOM (WIND AND SEISMIC) IS ASSUMED TO BE RESISTED BY THE EXISTING STRUCTURE. EXISTING STRUCTURE WHICH SUPPORTS THE SUNROOM IS REQUIRED TO SATISFY THE FOLLOWING REQUIREMENTS (TO BE VERIFIED):
 - * STUD WALL WITH SHEATHING: 2 x 6 SPRUCE-PINE-FIR NO. 1/NO. 2 @ 16" OR BETTER,
 - * OPENING LINTELS: 3 PLY 1 7/8" x 9 1/2" 2.0 E MICROLAM LVL OR BETTER,
 - * MINIMUM FOOTING SIZE 22" WIDE AND 7" THICK,
 - * MINIMUM CONCRETE WALL THICKNESS: 8" AND LATERALLY SUPPORTED TO THE FLOOR.

FOLLOW ALL NOTES AND RECOMMENDATIONS CONTAINED WITHIN THESE DRAWINGS.

CONSULT SEALING ENGINEER IF SITE CONDITIONS ARE DIFFERENT FROM WHAT SHOWN ON THE DRAWINGS OR ABOVE.

ATTACHMENTS AND THE CONDITION OF THE EXISTING STRUCTURE IS EXCLUDED FROM THE SCOPE OF THESE DRAWINGS AND RESPONSIBILITY OF SEALING ENGINEERS. ABOVE CRITERIA MUST BE ENGINEERED/VERIFIED BY OTHERS.

DESIGN CRITERIA

- | | | |
|--|-----------------|---------------|
| 1. | PREVAILING CODE | :OBC 2012 |
| 2. | SNOW LOAD | :Ss = 1.3 kPa |
| 3. | RAIN LOAD | :Sr = 0.4 kPa |
| 4. | WIND LOAD | |
| | a. 1 in 10 | : 0.44 kPa |
| | b. 1 in 50 | : 0.34 kPa |
| 5. | DEAD LOAD | : 0.49 kPa |
| 6. | SEISMIC DATA | |
| | a. Sa (0.2) | : 0.168 |
| | b. Sa (0.5) | : 0.096 |
| | c. Sa (1.0) | : 0.052 |
| | d. Sa (2.0) | : 0.028 |
| | e. PGA | : 0.106 |
| SITE CLASS: D (STIFF SOIL) - TO BE SITE VERIFIED | | |
| Rd=1 | | |
| SEISMIC BASE SHEAR | | = 9.09 kN |
| WIND BASE SHEAR (LONGITUDINAL) | | = 9.17 kN |
| WIND BASE SHEAR (TRANSVERSE) | | = 10.06 kN |

THE LUMON SYSTEM CREATES AN
UN-CONDITIONED OUTDOOR LIVING SPACE.

ROOF BEAM	L/120
INTERMEDIATE BEAM	L/200
FRONT BEAM	L/200
ACRYLIC HEATSTOP	MIN (W/20, 76.22mm)
TEMPERED GLASS	MIN (W/20, 76.2mm)



LOCATION	CASE	VERTICAL	HORIZONTAL
MIDDLE COLUMN (kN)	DEAD	4.36	0.2
	SNOW	12.15	0.3
	WIND(L)	-13.47	4.9
	WIND(T)	6.74	2.6
	SEISMIC	0.12	0.8
	CASE	VERTICAL	HORIZONTAL
CORNER COLUMN (kN)	DEAD	1.49	0.2
	SNOW	4.11	0.2
	WIND(L)	-4.56	2.3
	WIND(T)	2.28	0.8
	SEISMIC	0.11	0.8

* LOADS ARE UN-FACTORED
* L IS PARALLEL TO THE MAIN BLDG WALL
* T IS PERPENDICULAR TO MAIN BLDG WALL
* +/-TO BE CONSIDERED FOR WIND AND SEISMIC
* + IS DOWNWARD LOAD



BUSH AND MALA
37 MAROTTA AVENUE, BRAMPTON, ONTARIO

SHEET LIST			SHEET LIST		
NO.	TITLE	REV.	NO.	TITLE	REV.
L0.1	COVER PAGE		L3.1	SECTION & DETAIL	B
L0.2	SITE PLAN		L3.2	DETAILS	
L0.3	LUMON MODEL AND REBAR		L4.1	CONCRETE WALL REBAR DETAIL	B2
L1.1	PLAN ON BASEMENT	B2	L4.2	DECK REBAR DETAIL	B2
L1.2	PLAN ON POST LAYOUT	A	L4.3	SECTION REBAR DETAIL	B2
L1.3	PLAN ON VT4 COVER	B2	L4.4	SECTION REBAR DETAIL	B2
L2.1	ELEVATIONS		L4.5	SECTION REBAR DETAIL	B2
L2.2	ELEVATION		L4.6	SECTION REBAR DETAIL	
L2.3	SECTION		L4.7	STAIR REBAR DETAIL	B2
L2.4	SECTION				

MEMBER LEGEND.		
Mark	Type	MATERIAL
A	LUMON ALUMINUM VT4 70x70 POST	ALUMINUM
B	LUMON ALUMINUM VT4 HEAVY DUTY FRONT BEAM	ALUMINUM
C	LUMON ALUMINUM VT4 HEAVY DUTY RETURN BEAM	ALUMINUM
D	LUMON ALUMINUM VT4 ROOF RAFTER	ALUMINUM
E	LUMON ALUMINUM VT4 REAR BEAM	ALUMINUM
F	LUMON ALUMINUM VT4 GUTTER	ALUMINUM
G	GLASS ROOF PANEL	GLASS



ENGINEERING SEAL.

[illegible]

BUSH AND MALA
37 MAROTTA AVENUE,
BRAMPTON, ONTARIO

COVER PAGE

Project number	50639889
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Date	07 OCT 2022
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Drawn by C. N.

L0.1

Scale 1 : 1

ENGINEERING SEAL.

REVISION		DESCRIPTION	
NO.	DATE	BY	DESCRIPTION
ISSUE TABLE			
NO.	DATE	BY	DESCRIPTION
01	07 OCT 2022	C.N.	NEW DRAWING
02	13 OCT 2022	C.N.	ISSUED FOR INTERNAL REVIEW
03	01 DEC 2022	C.N.	ISSUED FOR SQUAD CHECK
04	20 DEC 2022	C.N.	ISSUED FOR ENGINEER

BUSH AND MALA
37 MAROTTA AVENUE,
BRAMPTON, ONTARIO

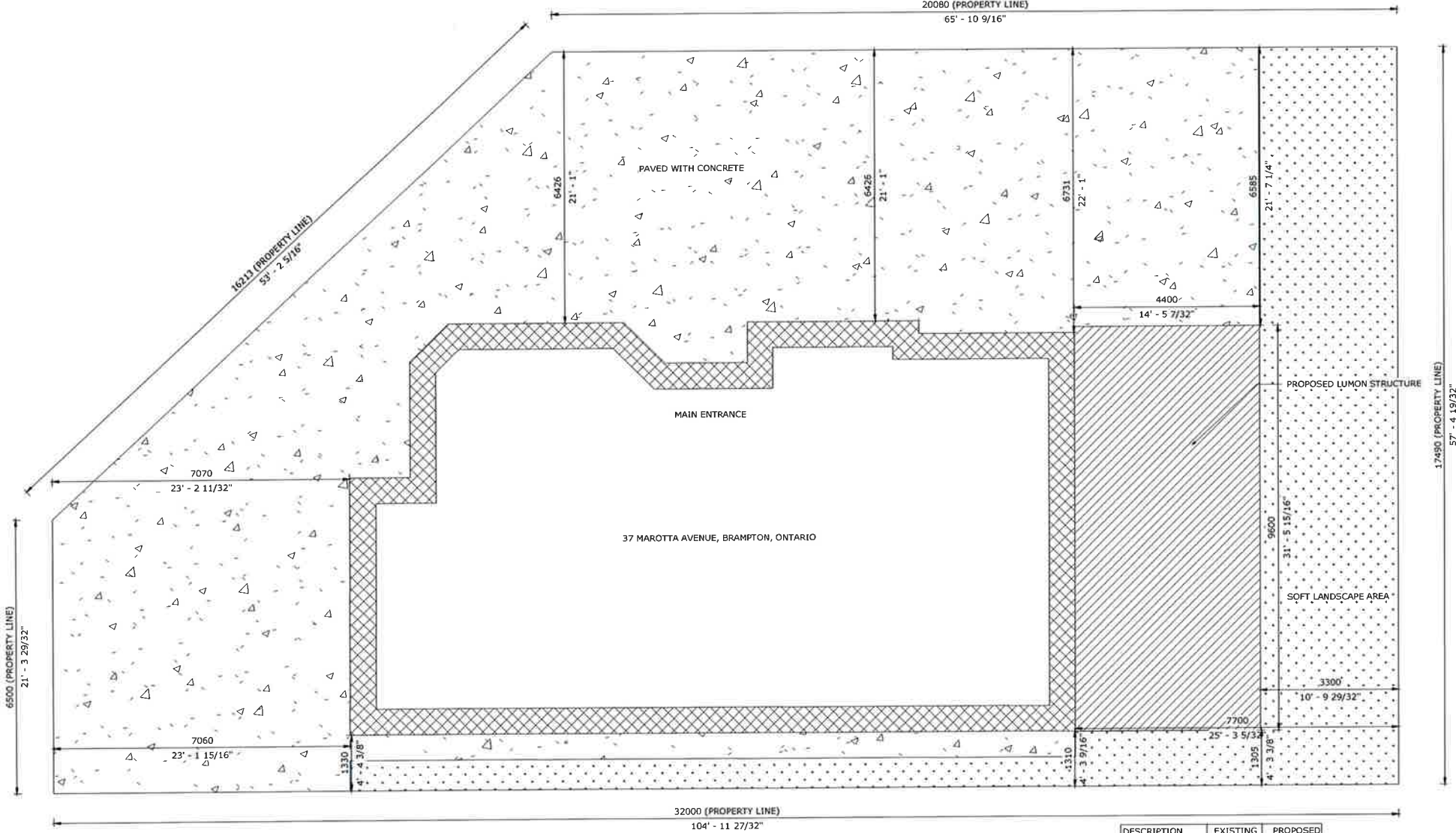
SITE PLAN

Project number	50639889
Date	07 OCT 2022
Drawn by	C.N.
L0.2	
Scale	1 : 50



MAROTTA AVENUE

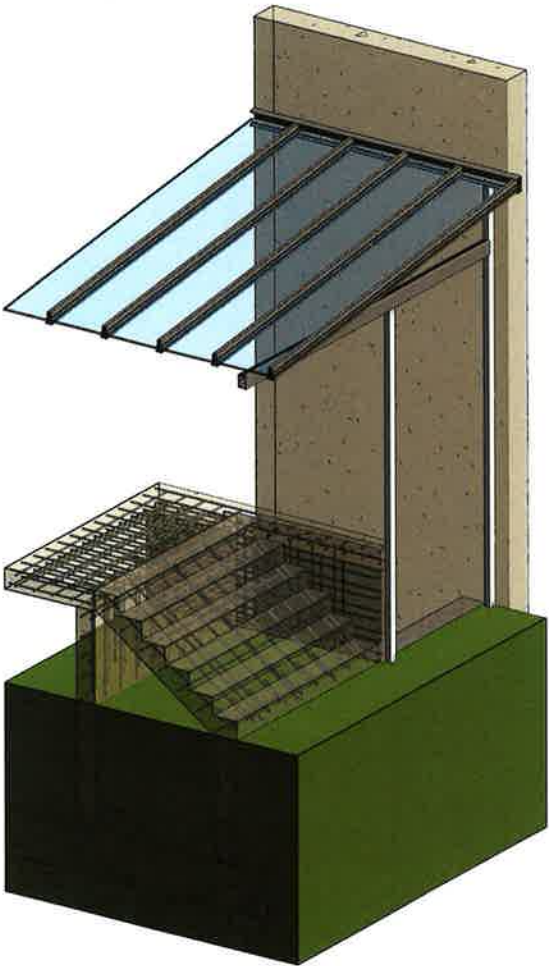
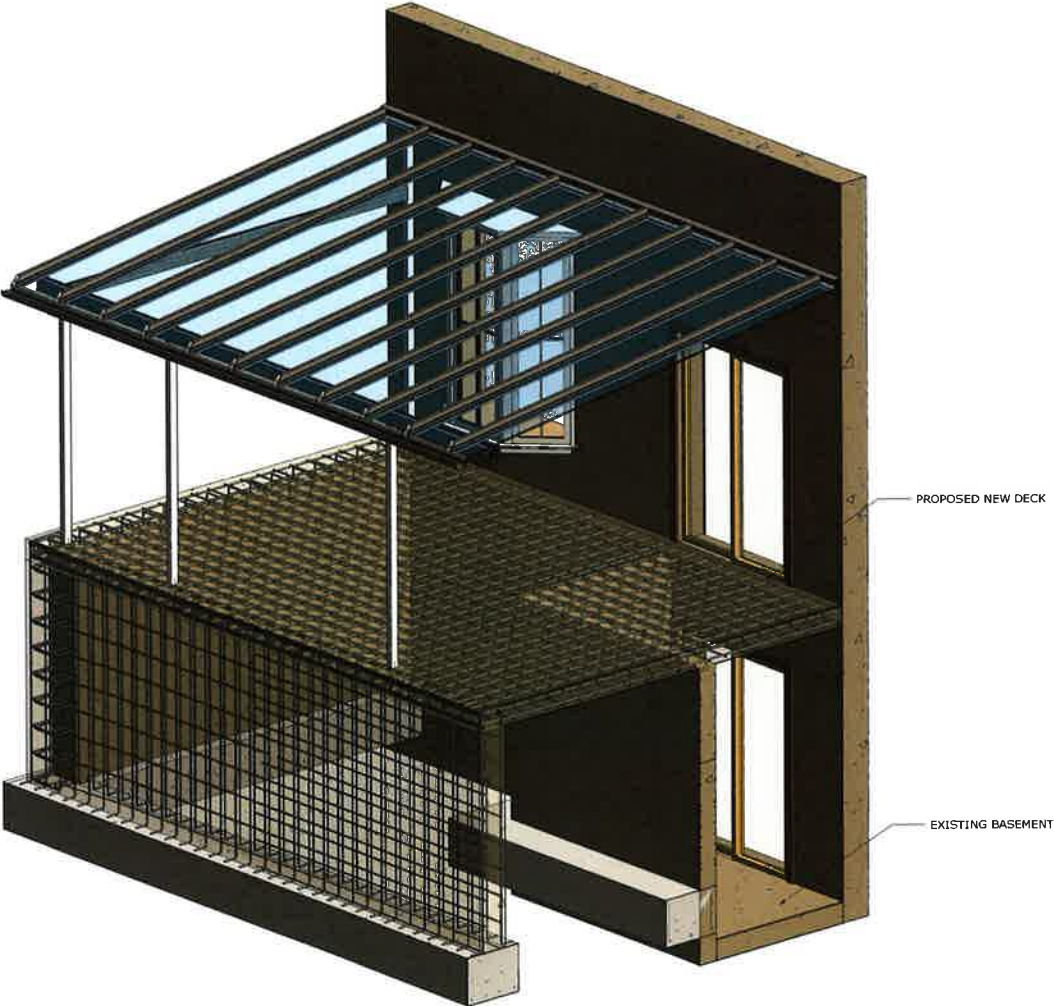
CHINGUACOUSY ROAD



SITE PLAN

1 : 50

DESCRIPTION	EXISTING	PROPOSED
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LEFT SETBACK	1.3m	—
RIGHT SETBACK	6.4m	—
FRONT SETBACK	7m	—
REAR SETBACK	7.7m	3.2m
DRIVEWAY	182.7m	182.7m
YARD	110m	110m
PROPOSED LUMON PATIO COVER	—	42.2 m ²
NO. OF STOREY	3	3



ENGINEERING SEAL

REVISION

NO.	DATE	BY	DESCRIPTION

ISSUE TABLE

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04	20 DEC 2022	C.N.	ISSUED FOR ENGINEER

BUSH AND MALA
37 MAROTTA AVENUE,
BRAMPTON, ONTARIO

LUMON MODEL AND
REBAR

Project number 50639889

Date 07 OCT 2022

Drawn by C.N.

L0.3

Scale



ENGINEERING SEAL

MEMBER LEGEND

Mark	Type
A	LUMON ALUMINUM VT4 70x70 POST
B	LUMON ALUMINUM VT4 HEAVY DUTY FRONT BEAM
C	LUMON ALUMINUM VT4 HEAVY DUTY RETURN BEAM
D	LUMON ALUMINUM VT4 ROOF RAFTER
E	LUMON ALUMINUM VT4 REAR BEAM
F	LUMON ALUMINUM VT4 GUTTER
G	GLASS ROOF PANEL

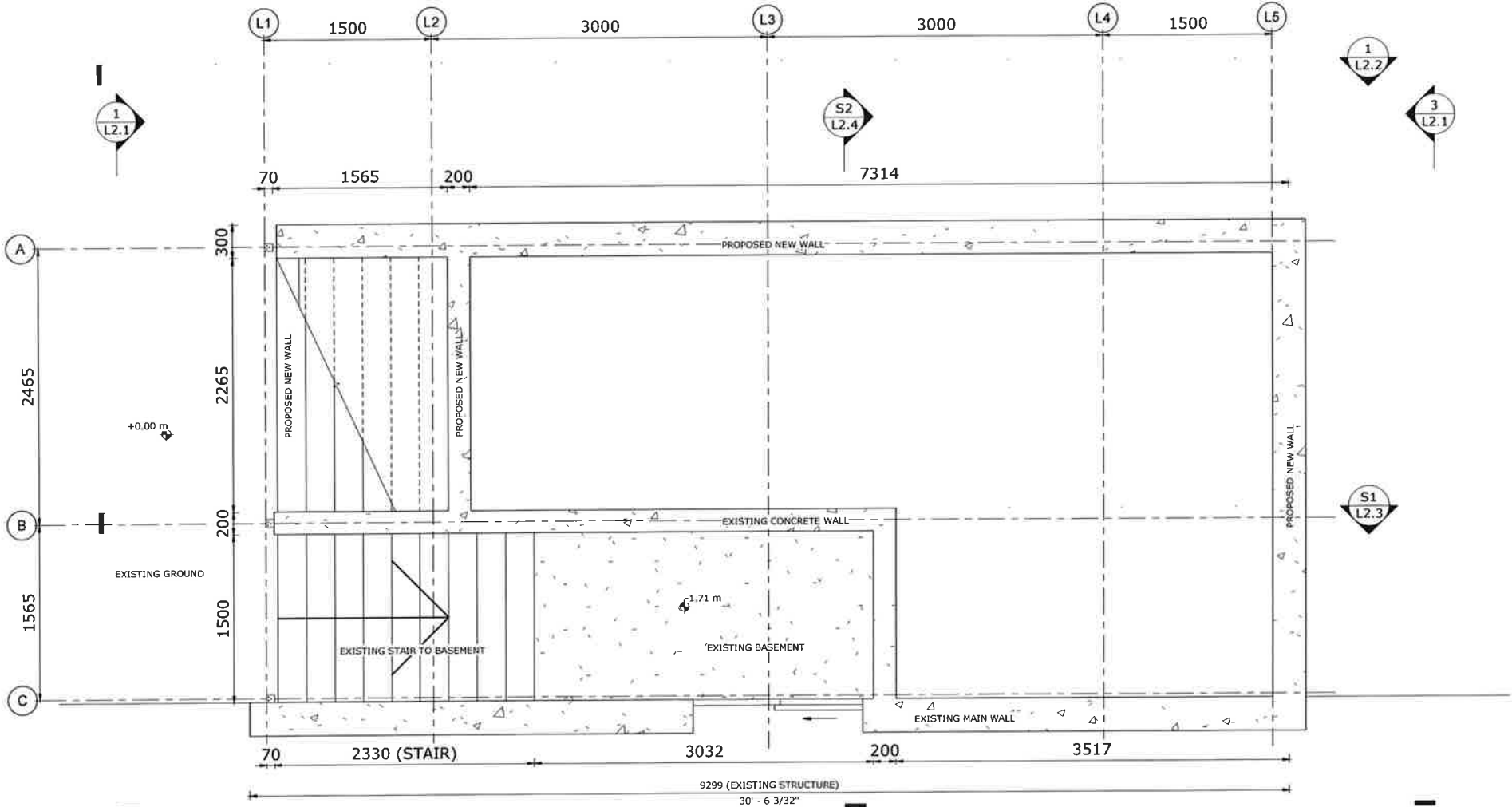
REVISION				ISSUE TABLE			
NO.	DATE	BY	DESCRIPTION	NO.	DATE	BY	DESCRIPTION
A	13 OCT 2022	C.N.	STRUCTURE SUPPORT REVISED	01	07 OCT 2022	C.N.	NEW DRAWING
B2	01 DEC 2022	C.N.	REVISED STRUCTURAL DETAIL	02	13 OCT 2022	C.N.	ISSUED FOR INTERNAL REVIEW
				03	01 DEC 2022	C.N.	ISSUED FOR SQUAD CHECK
				04	20 DEC 2022	C.N.	ISSUED FOR ENGINEER

BUSH AND MALA
37 MAROTTA AVENUE,
BRAMPTON, ONTARIO

PLAN ON BASEMENT

Project number	50639889
Date	07 OCT 2022
Drawn by	C.N.
	L1.1
Scale	1 : 20

2022-12-26 15:14:52 AM



BASEMENT LAYOUT PLAN

1 : 20



ENGINEERING SEAL

MEMBER LEGEND

Mark	Type
A	LUMON ALUMINUM VT4 70x70 POST
B	LUMON ALUMINUM VT4 HEAVY DUTY FRONT BEAM
C	LUMON ALUMINUM VT4 HEAVY DUTY RETURN BEAM
D	LUMON ALUMINUM VT4 ROOF RAFTER
E	LUMON ALUMINUM VT4 REAR BEAM
F	LUMON ALUMINUM VT4 GUTTER
G	GLASS ROOF PANEL

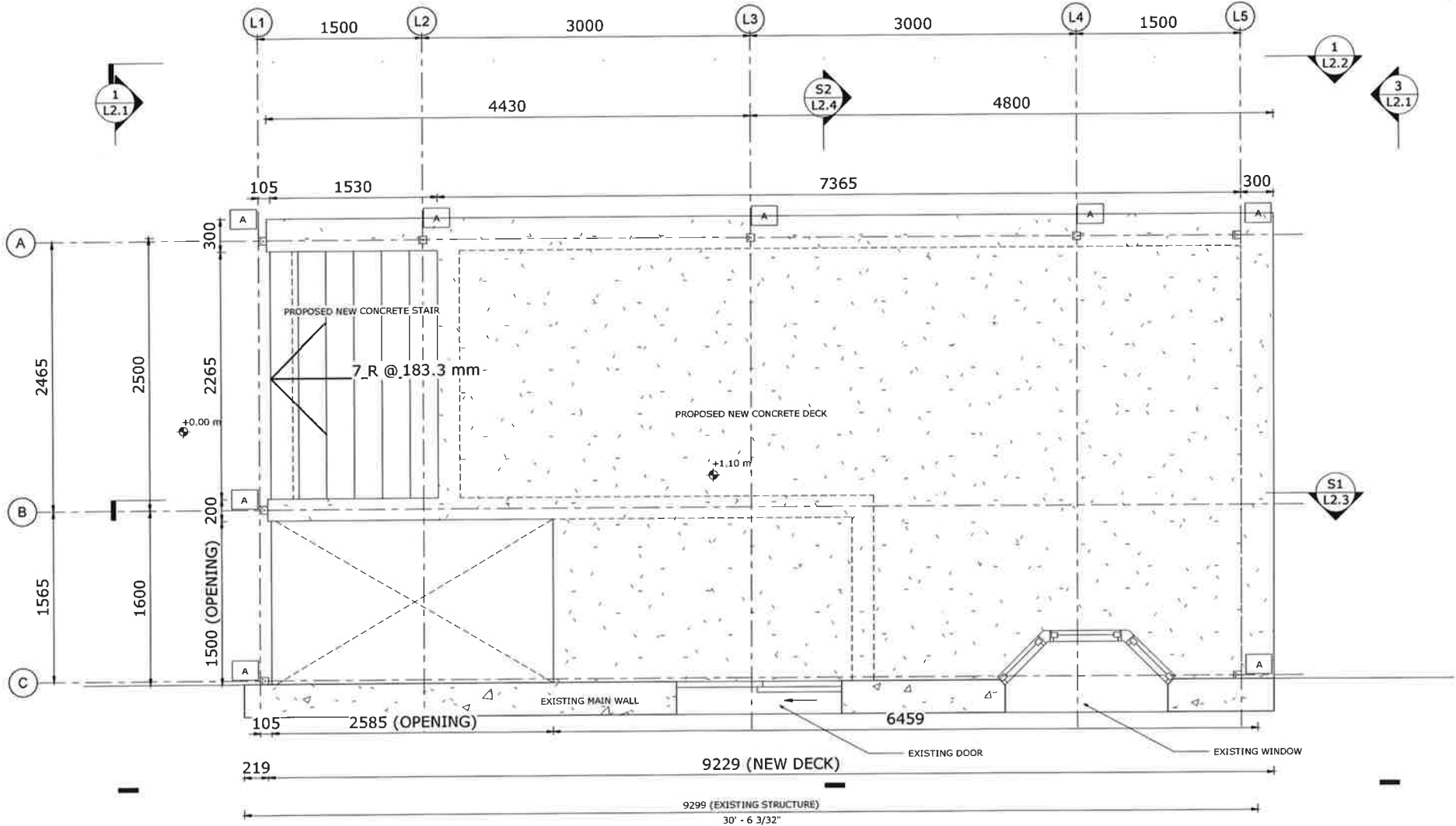
REVISION			ISSUE TABLE		
NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION
1	13 OCT 2022	STRUCTURE SUPPORT REVISED	01	07 OCT 2022	NEW DRAWING
			02	13 OCT 2022	ISSUED FOR INTERNAL REVIEW
			03	01 DEC 2022	ISSUED FOR SQUAD CHECK
			04	20 DEC 2022	ISSUED FOR ENGINEER

BUSH AND MALA
37 MAROTTA AVENUE,
BRAMPTON, ONTARIO

PLAN ON POST LAYOUT

Project number	50639889
Date	07 OCT 2022
Drawn by	C.N.
Scale	1 : 20

2022-12-20 15:18:02 AM



LUMON COLUMN POST LAYOUT

1 : 20



ENGINEERING SEAL

MEMBER LEGEND

Mark	Type
A	LUMON ALUMINUM VT4 70x70 POST
B	LUMON ALUMINUM VT4 HEAVY DUTY FRONT BEAM
C	LUMON ALUMINUM VT4 HEAVY DUTY RETURN BEAM
D	LUMON ALUMINUM VT4 ROOF RAFTER
E	LUMON ALUMINUM VT4 REAR BEAM
F	LUMON ALUMINUM VT4 GUTTER
G	GLASS ROOF PANEL

REVISION		NO.	DATE	BY	DESCRIPTION
		A	13 OCT 2022	C.N.	STRUCTURE SUPPORT REVISED
		B2	01 DEC 2022	C.N.	REVISED STRUCTURAL DETAIL
ISSUE TABLE		NO.	DATE	BY	DESCRIPTION
		01	07 OCT 2022	C.N.	NEW DRAWING
		02	13 OCT 2022	C.N.	ISSUED FOR INTERNAL REVIEW
		03	01 DEC 2022	C.N.	ISSUED FOR SQUAD CHECK
		04	20 DEC 2022	C.N.	ISSUED FOR ENGINEER

BUSH AND MALA
37 MAROTTA AVENUE,
BRAMPTON, ONTARIO

PLAN ON VT4 COVER

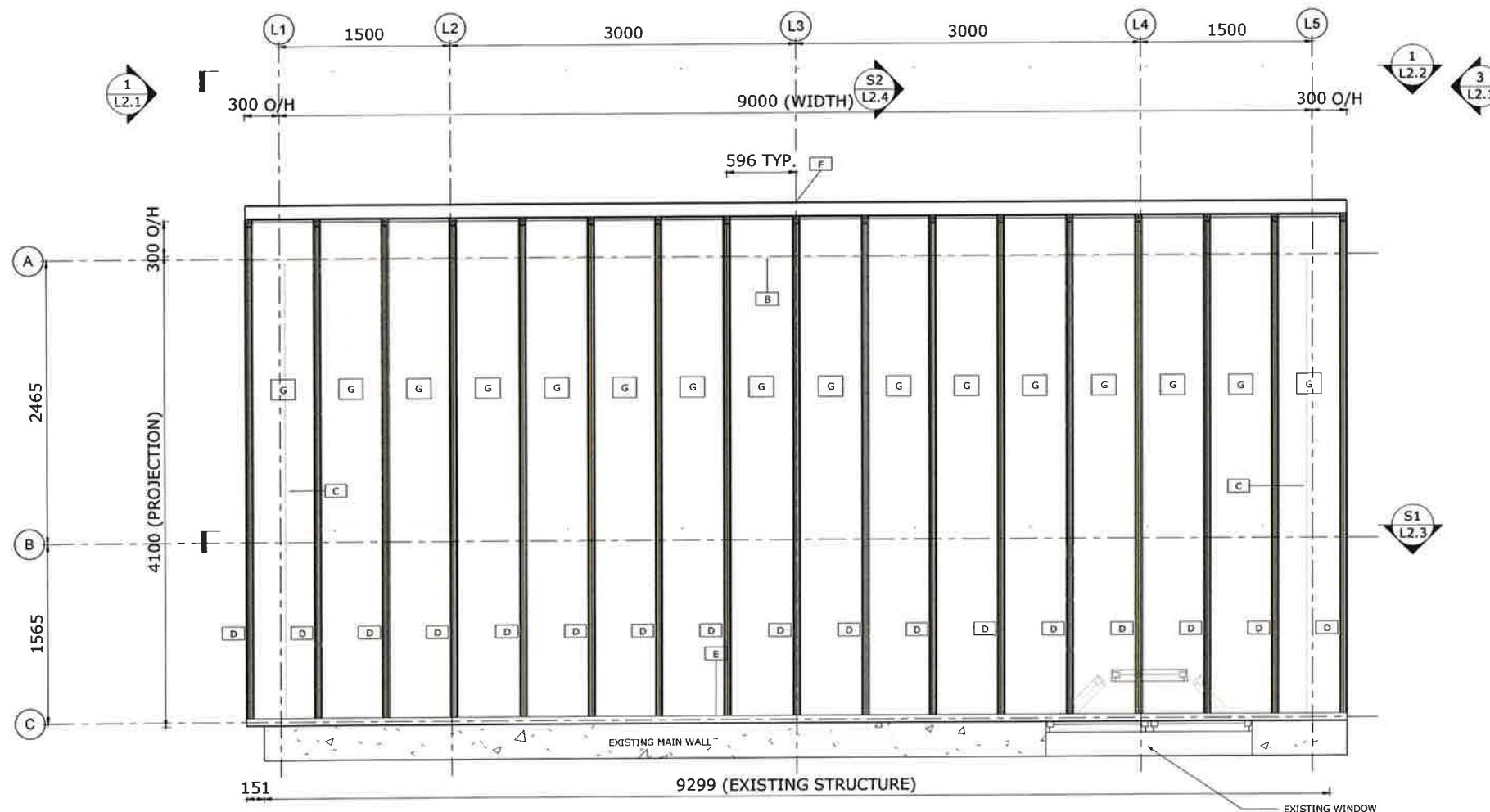
Project number 50639889

Date 07 OCT 2022

Drawn by C.N.

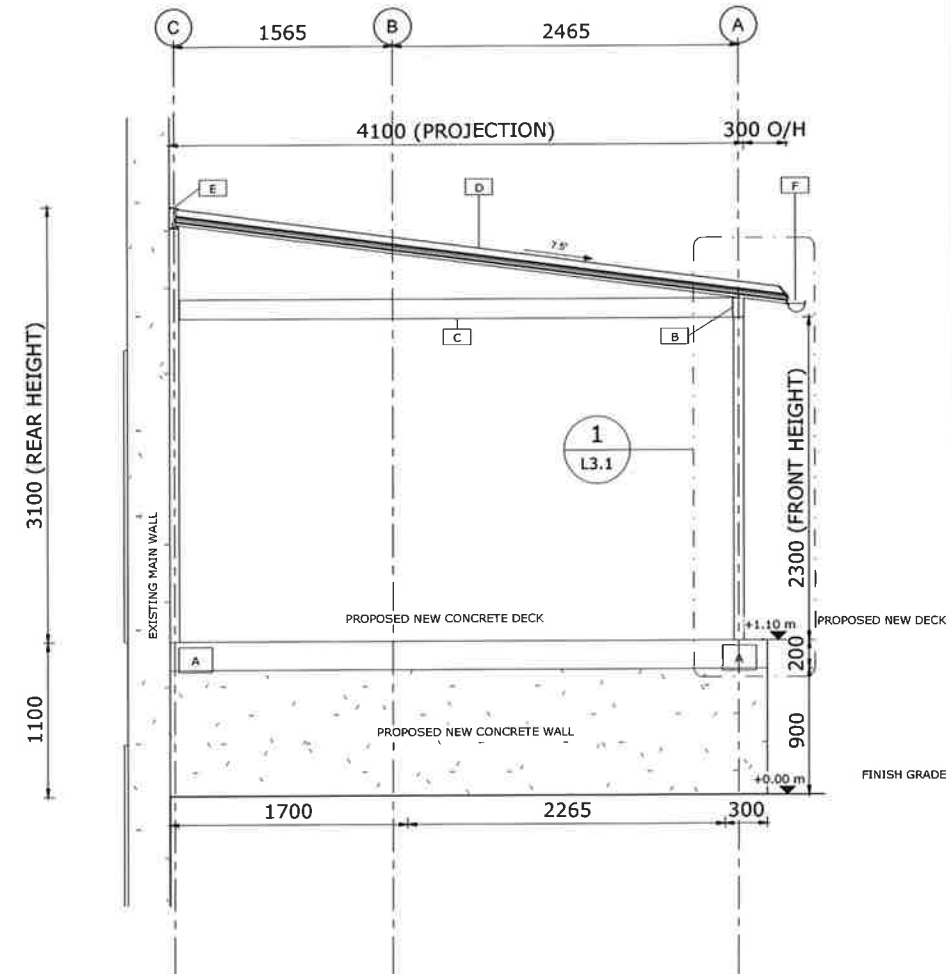
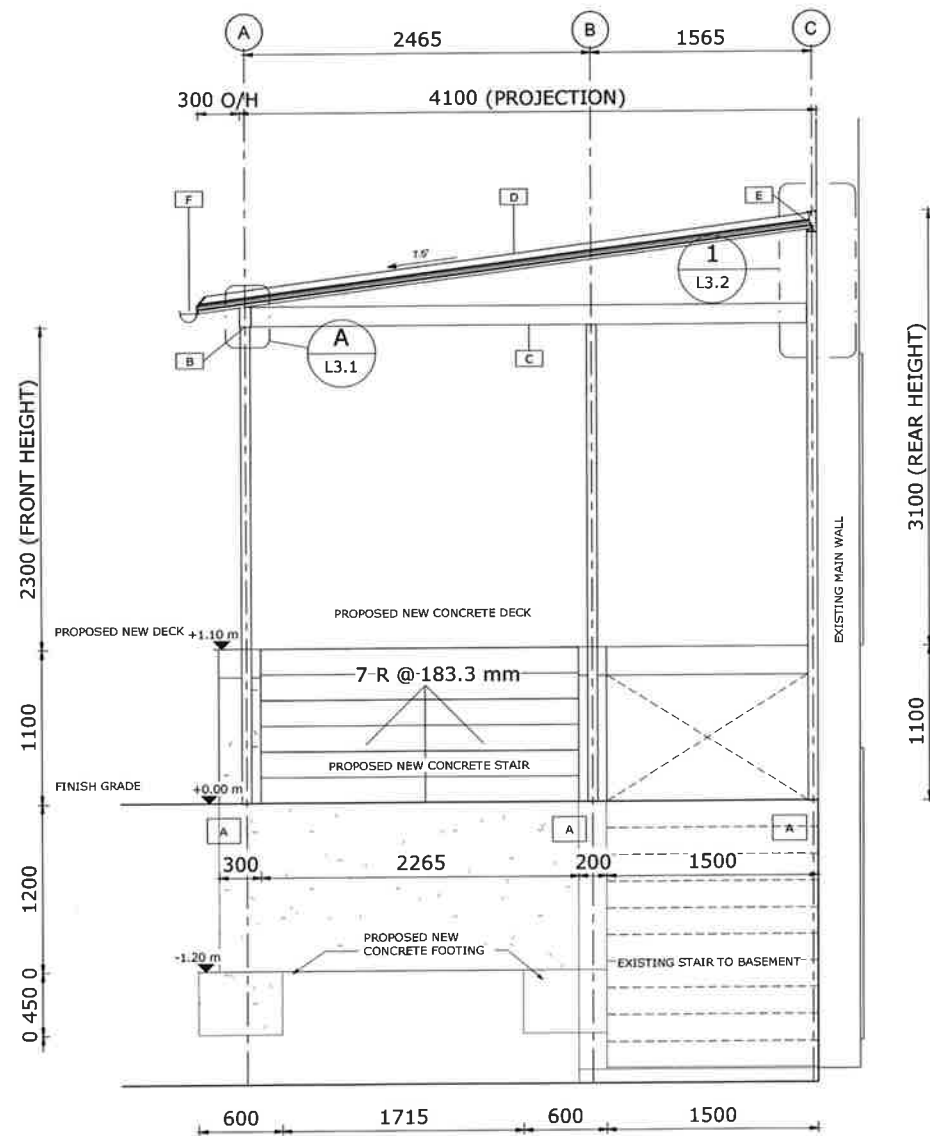
L1.3

Scale 1 : 20



PLAN ON VT4 COVER

1 : 20



ENGINEERING SEAL.

MEMBER LEGEND

Mark	Type
A	LUMON ALUMINUM VT4 70x70 POST
B	LUMON ALUMINUM VT4 HEAVY DUTY FRONT BEAM
C	LUMON ALUMINUM VT4 HEAVY DUTY RETURN BEAM
D	LUMON ALUMINUM VT4 ROOF RAFTER
E	LUMON ALUMINUM VT4 REAR BEAM
F	LUMON ALUMINUM VT4 GUTTER
G	GLASS ROOF PANEL

[illegible]

BUSH AND MALA
37 MAROTTA AVENUE,
BRAMPTON, ONTARIO

ELEVATIONS

Project number	50639889
Date	07 OCT 2022
Drawn by	C.N.
L2.1	
Scale	1 : 20

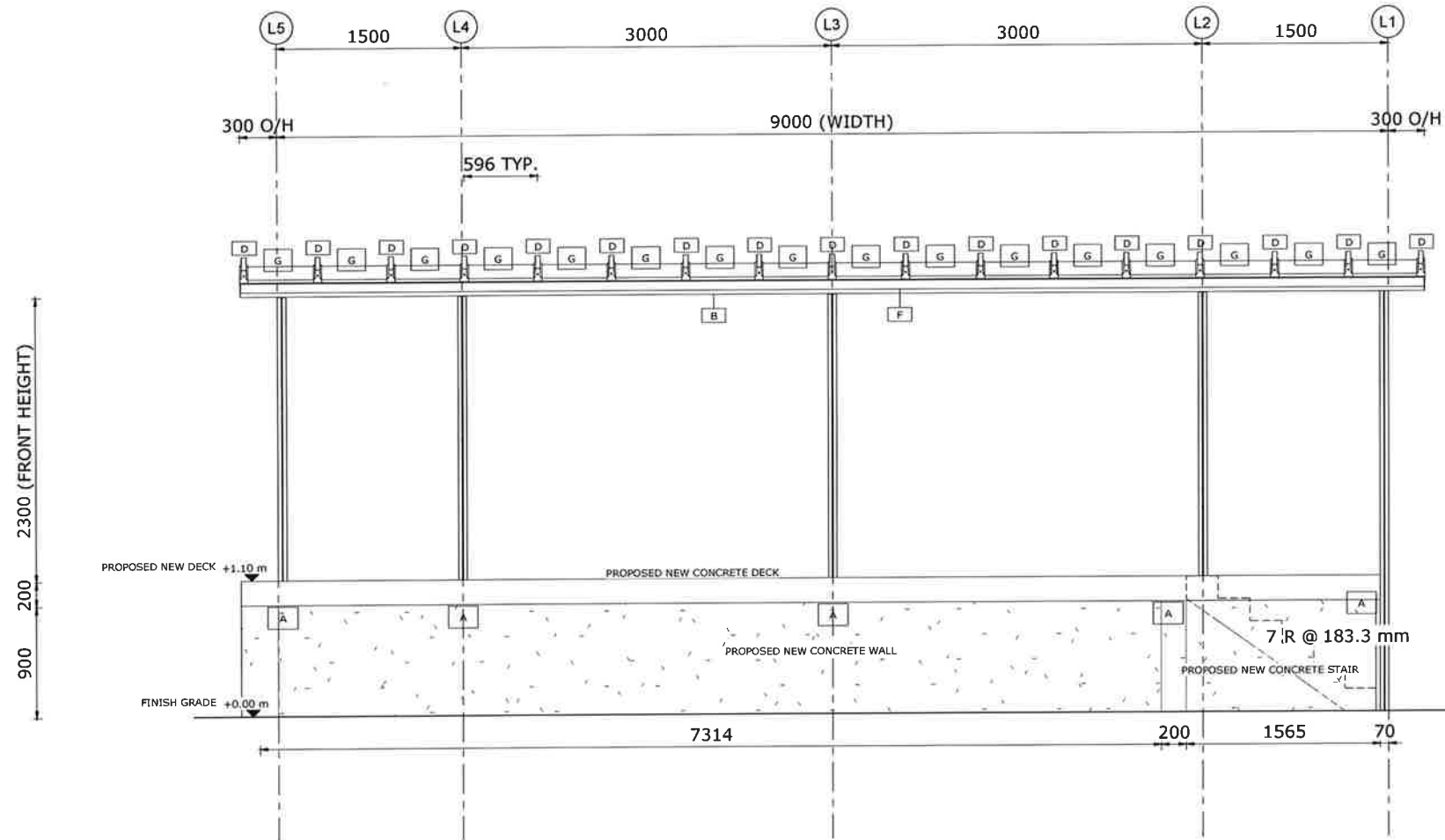


Mark	Type
A	LUMON ALUMINUM VT4 70x70 POST
B	LUMON ALUMINUM VT4 HEAVY DUTY FRONT BEAM
C	LUMON ALUMINUM VT4 HEAVY DUTY RETURN BEAM
D	LUMON ALUMINUM VT4 ROOF RAFTER
E	LUMON ALUMINUM VT4 REAR BEAM
F	LUMON ALUMINUM VT4 GUTTER
G	GLASS ROOF PANEL

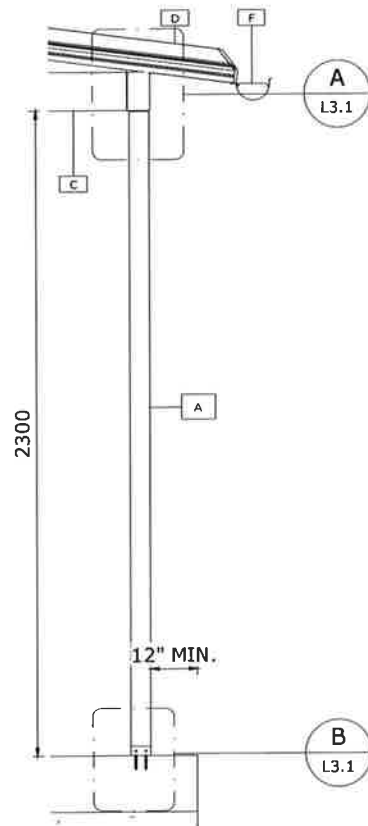
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37 MAROTTA AVENUE,
BRAMPTON, ONTARIO

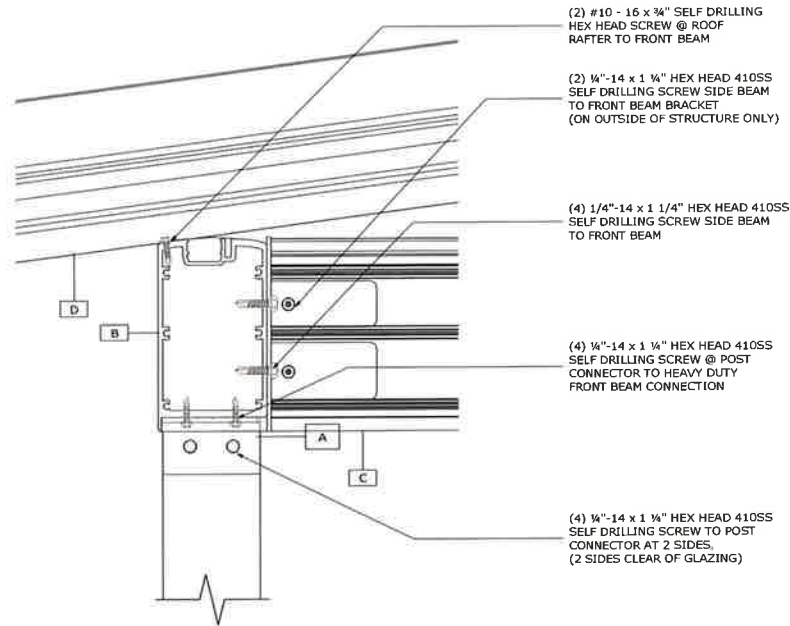
Project number	50639889
Date	07 OCT 2022
Drawn by	C.N.
L2.2	
Scale	1 : 20



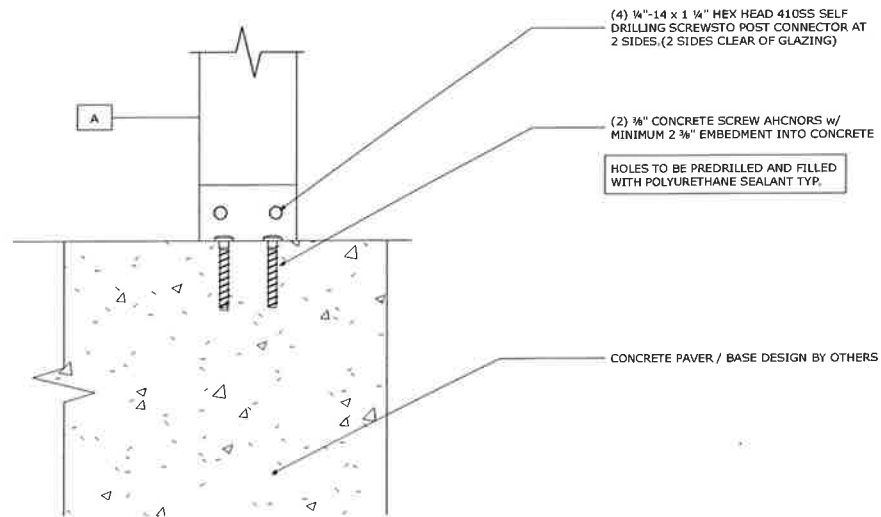
1 SIDE 2 ELEVATION
L1.1 1:20



1 TYPICAL POST CROSS SECTION
L2.1 1:10



A DETAIL A
L2.1 1:2



B DETAIL B
L3.1 1:2



ENGINEERING SEAL

MEMBER LEGEND

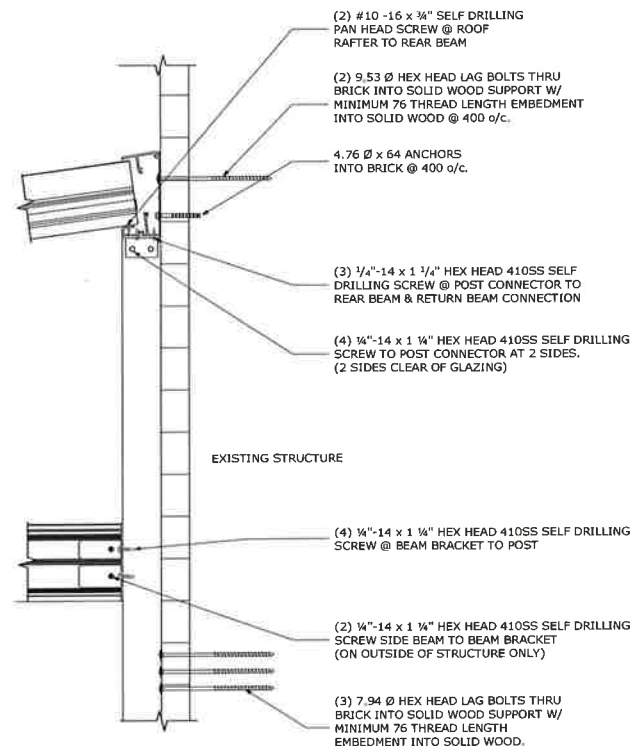
Mark	Type
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B	LUMON ALUMINUM VT4 HEAVY DUTY FRONT BEAM
C	LUMON ALUMINUM VT4 HEAVY DUTY RETURN BEAM
D	LUMON ALUMINUM VT4 ROOF RAFTER
E	LUMON ALUMINUM VT4 REAR BEAM
F	LUMON ALUMINUM VT4 GUTTER
G	GLASS ROOF PANEL

REVISION			ISSUE TABLE		
NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION
A	13 OCT 2022	C.N. STRUCTURE SUPPORT REVISED	01	07 OCT 2022	C.N. NEW DRAWING
B	29 NOV 2022	REVISED STRUCTURAL DETAIL	02	13 OCT 2022	C.N. ISSUED FOR INTERNAL REVIEW
			03	01 DEC 2022	C.N. ISSUED FOR SQUAD CHECK
			04	20 DEC 2022	C.N. ISSUED FOR ENGINEER

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SECTION & DETAIL

Project number	50639889
Date	07 OCT 2022
Drawn by	C.N.
	L3.1
Scale	As indicated



1 CONNECTION TO WALL
L2.1 1 : 5



ENGINEERING SEAL

MEMBER LEGEND

Mark	Type
A	LUMON ALUMINUM VT4 70x70 POST
B	LUMON ALUMINUM VT4 HEAVY DUTY FRONT BEAM
C	LUMON ALUMINUM VT4 HEAVY DUTY RETURN BEAM
D	LUMON ALUMINUM VT4 ROOF RAFTER
E	LUMON ALUMINUM VT4 REAR BEAM
F	LUMON ALUMINUM VT4 GUTTER
G	GLASS ROOF PANEL

REVISION			ISSUE TABLE				
NO.	DATE	BY	DESCRIPTION	NO.	DATE	BY	DESCRIPTION
				01	07 OCT 2022	C.N.	NEW DRAWING
				02	13 OCT 2022	C.N.	ISSUED FOR INTERNAL REVIEW
				03	01 DEC 2022	C.N.	ISSUED FOR SQUAD CHECK
				04	20 DEC 2022	C.N.	ISSUED FOR ENGINEER

BUSH AND MALA
37 MAROTTA AVENUE,
BRAMPTON, ONTARIO

DETAILS

Project number	50639889
Date	07 OCT 2022
Drawn by	C.N.
L3.2	
Scale	1 : 5



ENGINEERING SEAL

REVISION				
NO.	DATE	BY	DESCRIPTION	
02	01 DEC 2022	C.N.	REVISED STRUCTURAL DETAIL	

BUSH AND MALA
37 MAROTTA AVENUE,
BRAMPTON, ONTARIO

DECK REBAR DETAIL

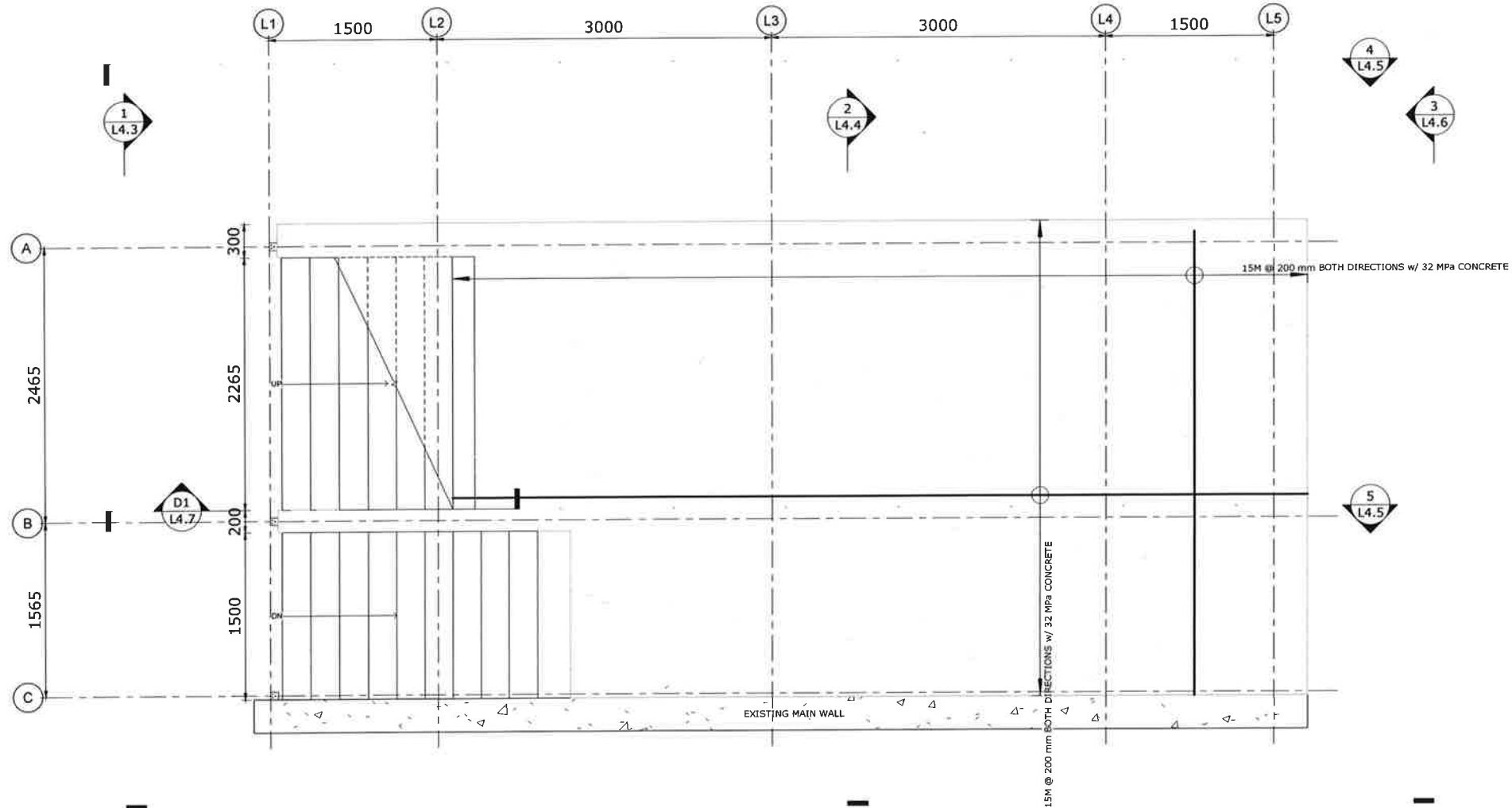
Project number 50639889

Date 07 OCT 2022

Drawn by C.N.

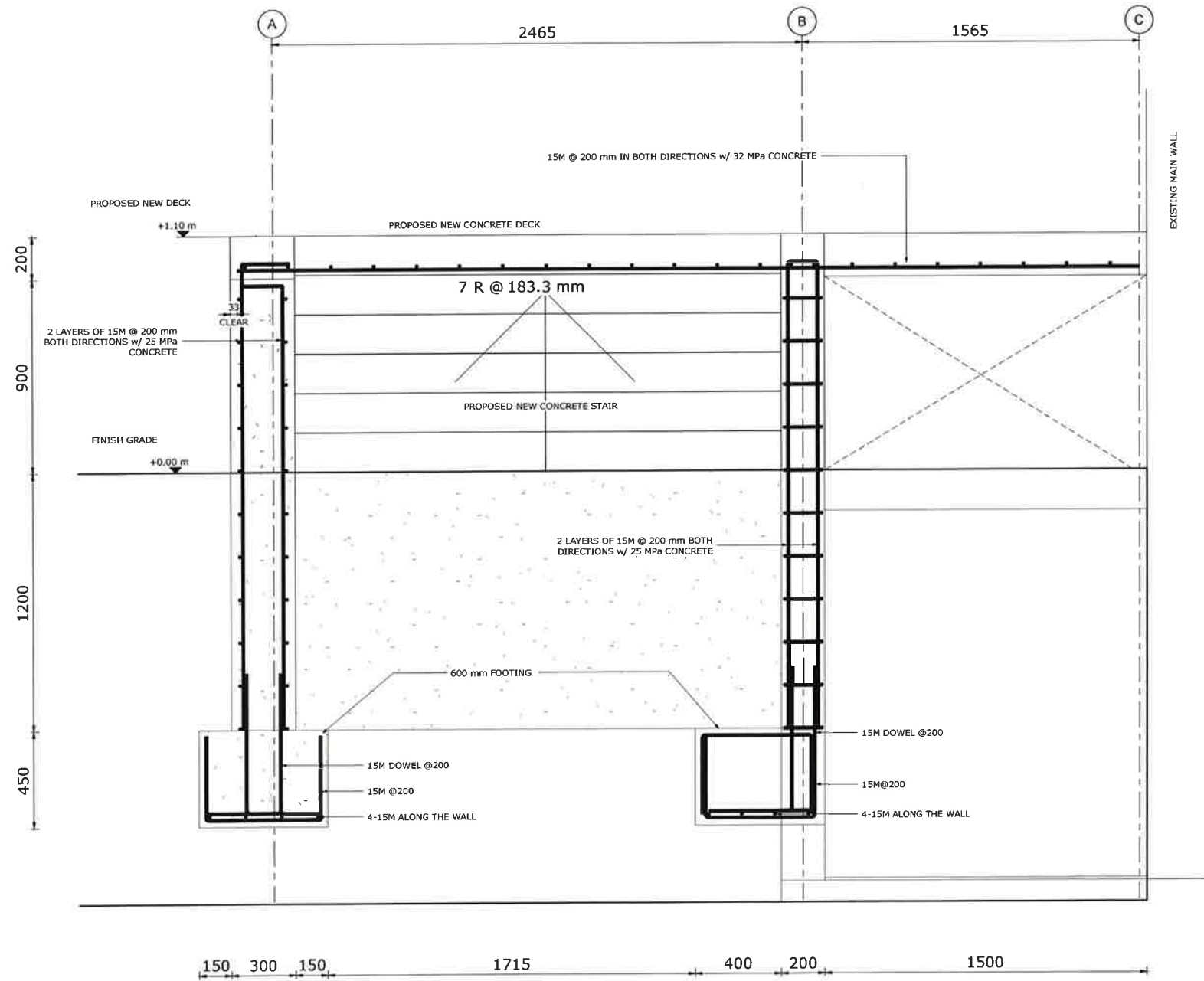
L4.2

Scale 1 : 20



CONCRETE DECK REBAR

1 : 20



1 REBAR SECTION 1
L4.1 1 : 10



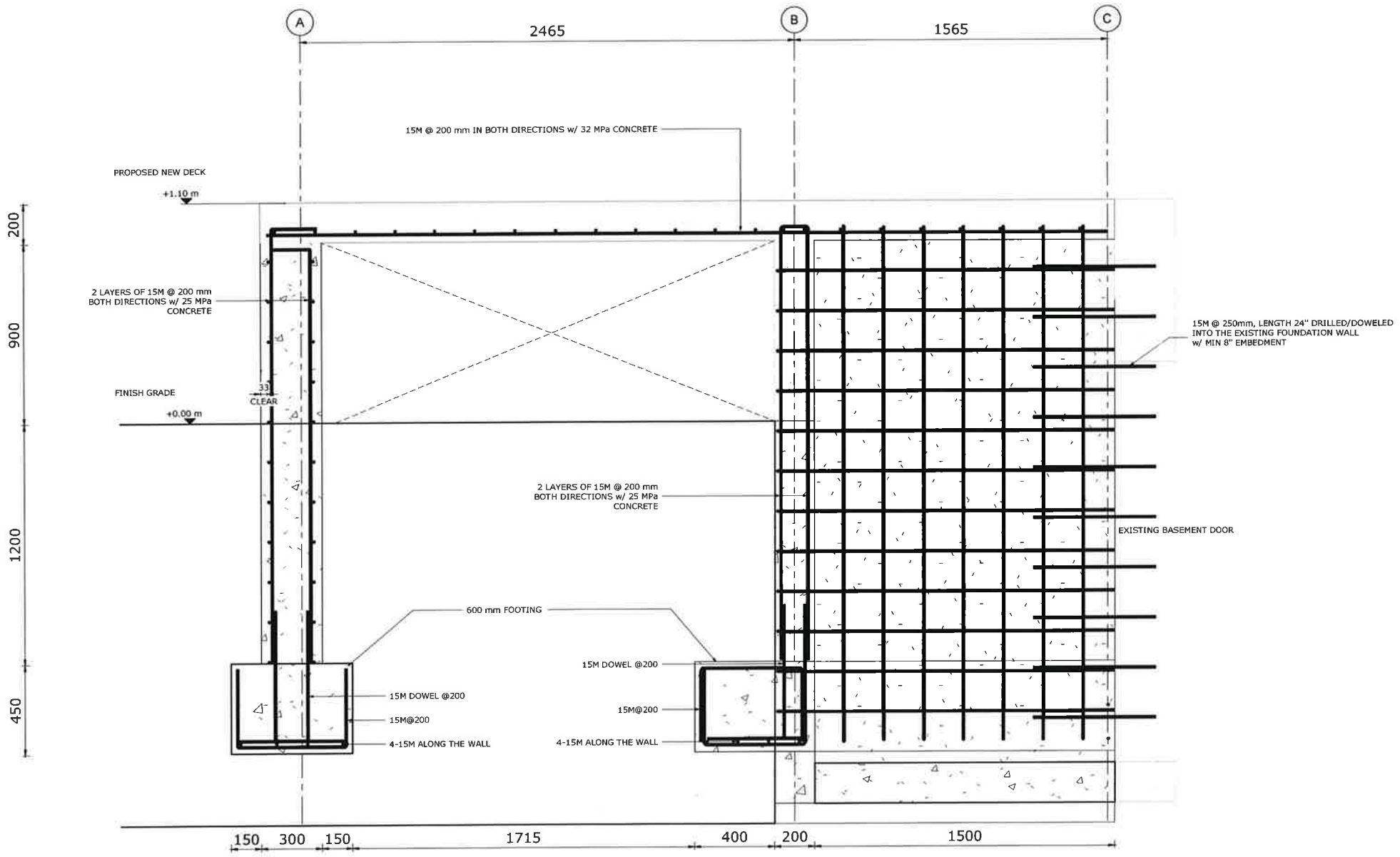
ENGINEERING SEAL

REVISION			ISSUE TABLE		
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B2	01 DEC 2022	C.N. REVISED STRUCTURAL DETAIL	D1	07 OCT 2022	C.N. NEW DRAWING
			D2	13 OCT 2022	C.N. ISSUED FOR INTERNAL REVIEW
			D3	01 DEC 2022	C.N. ISSUED FOR SQUAD CHECK
			D4	20 DEC 2022	C.N. ISSUED FOR ENGINEER

BUSH AND MALA
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SECTION REBAR DETAIL

Project number	50639889
Date	07 OCT 2022
Drawn by	C.N.
Scale	1 : 10



2 REBAR SECTION 2
L4.1 1:10

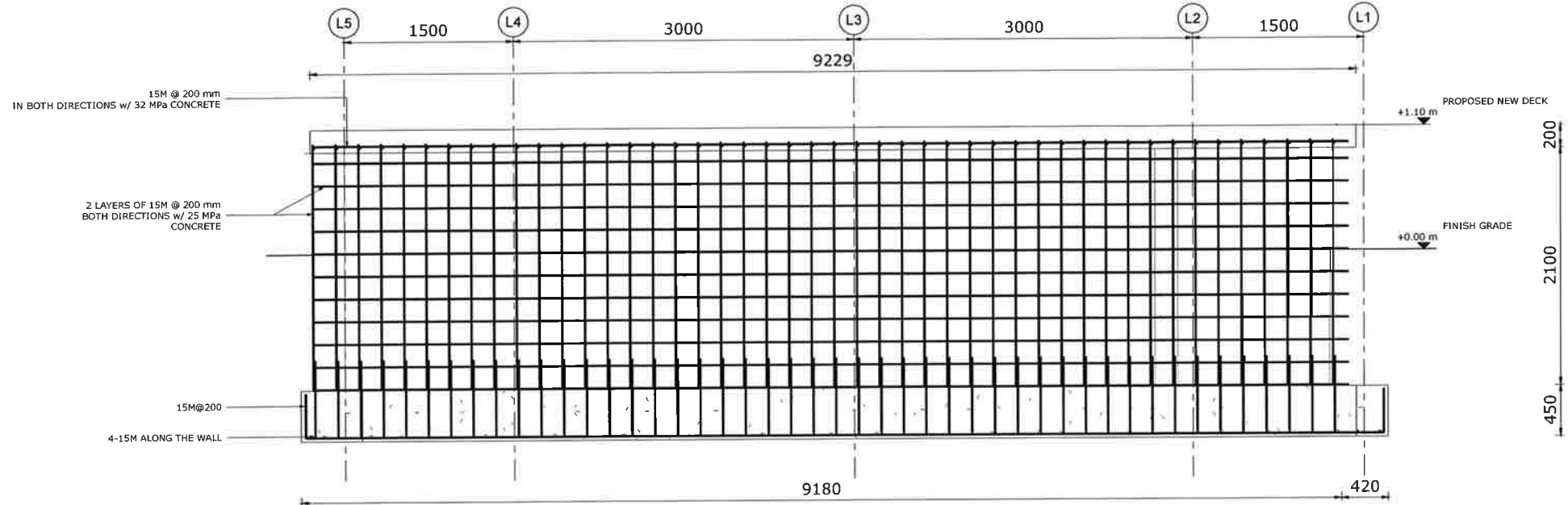


ENGINEERING SEAL

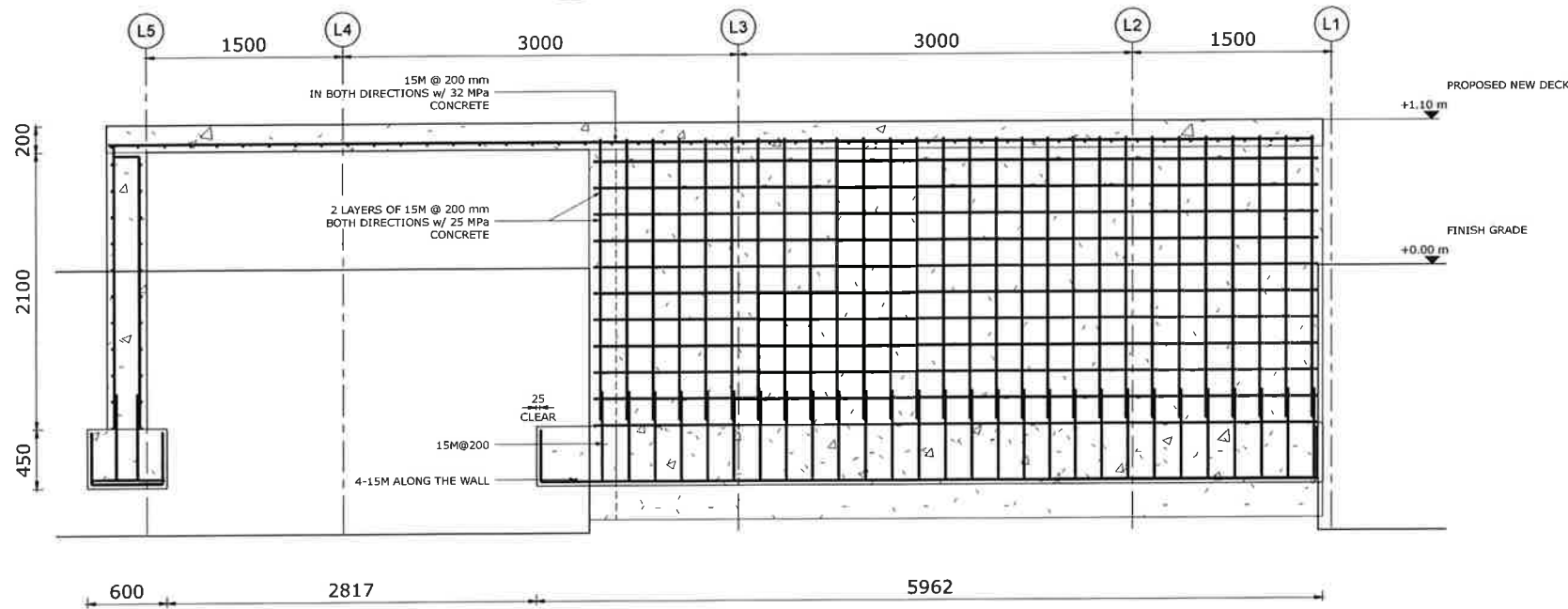
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			03	01 DEC 2022	C.N. ISSUED FOR SQUAD CHECK
			04	20 DEC 2022	C.N. ISSUED FOR ENGINEER

BUSH AND MALA
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SECTION REBAR DETAIL	
Project number	50639889
Date	07 OCT 2022
Drawn by	C.N.
L4.4	
Scale	1:10



4 REBAR SECTION 3
L4.1 1 : 20



5 REBAR SECTION 4
L4.1 1 : 20



ENGINEERING SEAL

REVISION			ISSUE TABLE		
NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION
B2	01 DEC 2022	C.N. REVISED STRUCTURAL DETAIL	01	07 OCT 2022	C.N. NEW DRAWING
			02	13 OCT 2022	C.N. ISSUED FOR INTERNAL REVIEW
			03	01 DEC 2022	C.N. ISSUED FOR SQUAD CHECK
			04	20 DEC 2022	C.N. ISSUED FOR ENGINEER

BUSH AND MALA
37 MAROTTA AVENUE,
BRAMPTON, ONTARIO

SECTION REBAR DETAIL

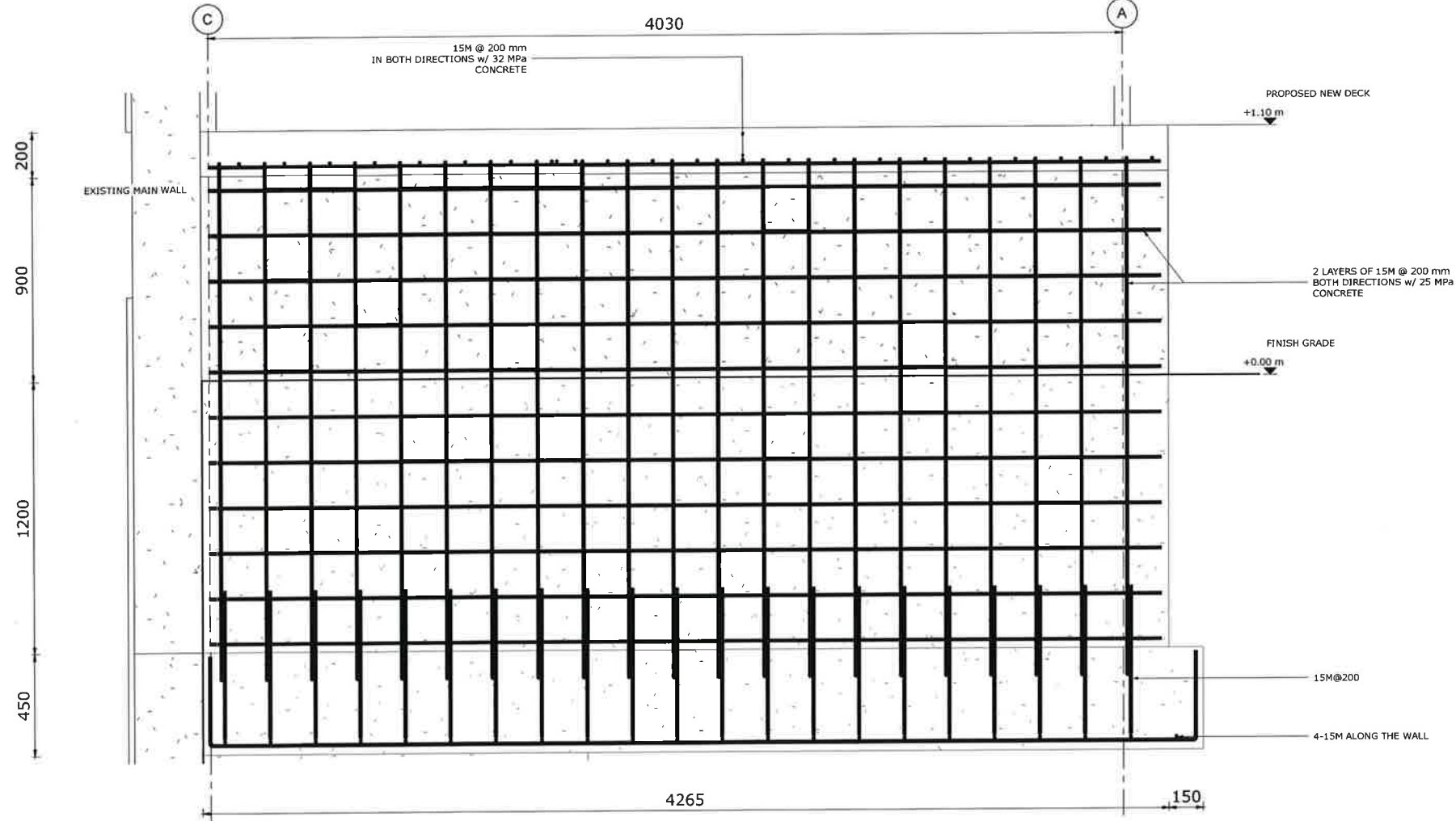
Project number 50639889

Date 07 OCT 2022

Drawn by C.N.

L4.5

Scale 1 : 20



ENGINEERING SEAL

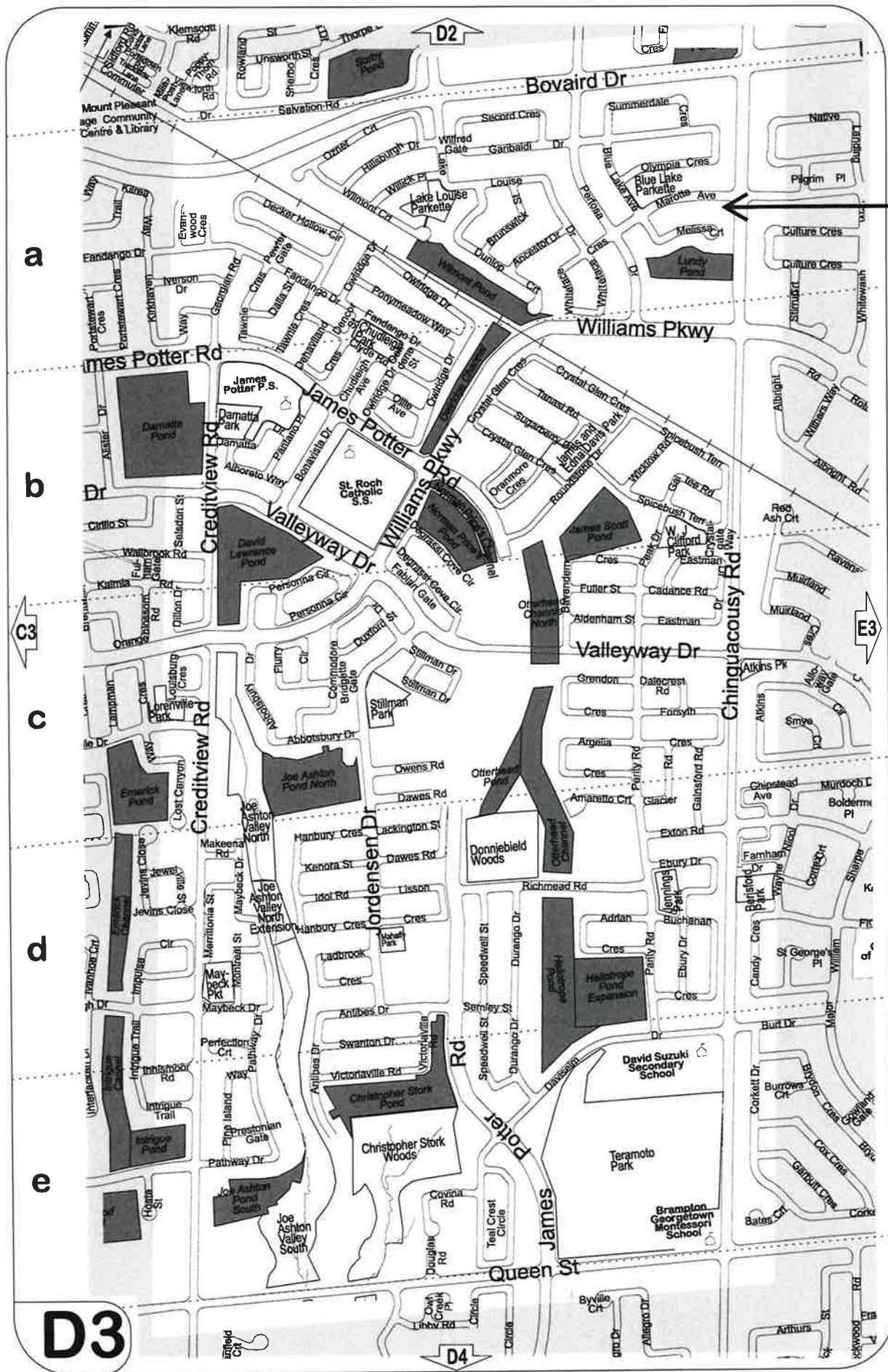
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NO.	DATE	BY			
ISSUE TABLE					
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01	07 OCT 2022	C.N.	NEW DRAWING		
02	13 OCT 2022	C.N.	ISSUED FOR INTERNAL REVIEW		
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04	20 DEC 2022	C.N.	ISSUED FOR ENGINEER		

BUSH AND MALA
37 MAROTTA AVENUE,
BRAMPTON, ONTARIO

SECTION REBAR DETAIL

Project number	50639889
Date	07 OCT 2022
Drawn by	C.N.
	L4.6
Scale	1:10





A-2023-0026