



Principals

Michael Gagnon
Lena Gagnon
Andrew Walker
Richard Domes

February 13, 2022

GWD File:
11.1768.00
Other Applications

The Corporation of the City of Brampton
2 Wellington Street West
City of Brampton, Ontario
L6Y 4R2

Attention: Mayor and Members of Planning Committee/Council
Peter Fay, City Clerk
Steve Ganesh, Commissioner of Planning and Development

Subject: FORMAL PUBLIC INPUT
Application to Amend the Zoning By-law for a Temporary Period of Three (3) Years – To permit the outdoor storage of 100 oversized vehicles (trucks) in the rear yard, 20 personal vehicle parking in the front yard, and repurposing/conversion of the existing residential dwelling into an office
2769197 Ontario Inc. – Glen Schnarr & Associates Inc.
8195 Winston Churchill Boulevard, City of Brampton
City File: OZS-2022-0016
Ward: 6

To Whom it May Concern:

Gagnon Walker Domes Ltd. (GWD) acts as Planning Consultant to Maple Lodge Farms Ltd. (MLF) and its affiliated companies, who own properties totaling approximately 366 hectares (904 acres), located on both the east and west sides of Winston Churchill Boulevard, north of Steeles Avenue. The properties consist of a broad range of uses; including, a Processing Plant, a Retail Outlet Store, a Water Pollution Control Plant, as well as fields on which commodity grains are farmed.

MLF owns lands located immediately north, south, and east of 8195 Winston Churchill Boulevard and as such has a direct interest in the Zoning By-law Amendment Application. MLF has requested that we submit this letter on their behalf.

'Original' vs. 'Revised' Amendment Application

On February 28, 2022, 2769197 Ontario Inc. filed a Zoning By-Law Amendment Application for a temporary period of three (3) years to permit the outside storage of 56 oversized vehicles (trucks and trailers) at the rear of the property, 20 personal motor

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vehicles at the front of the property, and repurposing/conversion of the existing residential dwelling into an office.

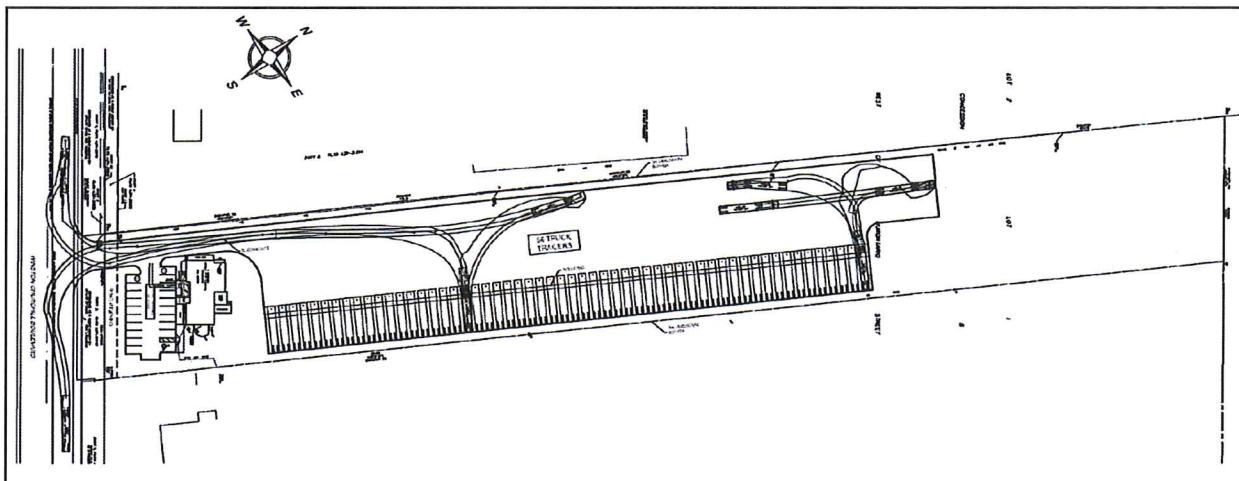


Figure 1 – Original Concept Plan

On May 16, 2022, a Statutory Public Meeting was held in connection with what is referred to as the 'Original' Application. At that time, our office filed a formal Public Input Letter summarizing MLF's comments, observations, concerns and recommendations with the Application (see attached).

The Applicant has since 'Revised' the Amendment Application and now contemplates the outside storage of 100 oversized vehicles (trucks) at the rear of the property, the parking of 20 personal motor vehicles at the front of the property, and repurposing/conversion of the existing residential dwelling into an office.

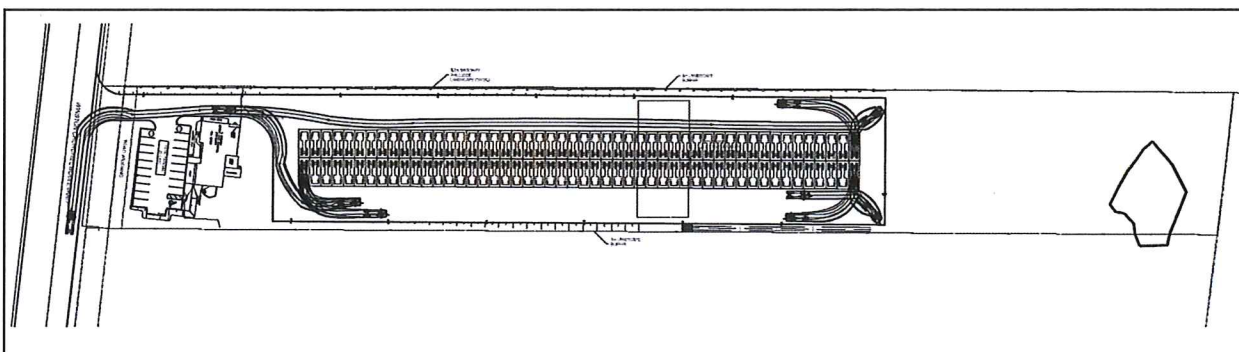


Figure 2 – Revised Concept Plan

Public Input

We have reviewed the January 20, 2023 Planning Department Recommendation Report and on behalf of MLF would like to take this opportunity to register with the City of Brampton MLF's comments, concerns and recommendations with the 'Revised' Amendment Application.



1. We note for the Record that the Recommendation Report does NOT include a copy of the Public Input Letter our office filed with the City of Brampton prior to the May 16, 2022 Statutory Public Meeting. The omission of this letter is of great concern.
2. The Applicant's Agent submitted a Proposed Public Engagement Strategy in support of the original submission with the goal of ensuring transparency throughout the consultation period. As the predominant and largest landowner in the immediate area there has been NO efforts on the part of the Applicant (or their Consultants) to contact MLF to discuss the proposal and address their concerns.
3. MLF completed its own Zoning By-law Amendment Application on the lands known municipally as 8175 Winston Churchill Boulevard, located immediately south of the subject property in 2021 (City File: C06W01.005). A formal Site Plan Approval Application was filed on March 7, 2022 to facilitate the construction of its new Chicken Shop and Factory Outlet and Special Event Team Storage Building (City File: SPA-2022-0043). The Application is anticipated to be approved in Q2-2023. A copy of the latest Architectural and Landscape Plans are attached. Proposed landscape works are estimated to be in excess of \$600,000.00.

The Temporary Use Application and the Recommendation Report appear to have little to NO regard for the vision, approvals, and significant investment MLF is making to its property and greater facility.

4. According to aerial photography secured from the City's Interactive Mapping Service site alteration works may have already occurred on site prior to securing the necessary approvals from the City of Brampton, Region of Peel and Credit Valley Conservation. The parking of oversized vehicles (trucks and trailers) may already be taking place and it also appears that an existing waterbody may have been filled in.



Figure 3 – Spring 2022 Aerial Photo



Figure 4 – Fall 2022 Aerial Photo



MLF has serious concerns that there may be potential off-site impacts on its lands. They question whether all Municipal By-laws are being complied with; hopefully they are.

5. Temporary Use By-laws are intended to permit a use on a short term basis (i.e. 36 months), utilize existing or temporary buildings and structures, and not require the extensive construction of permanent buildings or structures or, the significant alteration of the site in question to accommodate the temporary use. Upon the expiry of the temporary time period the authorized use of land, buildings or structures that were permitted is intended to cease.

Based on a review the Revised Site Plan and supporting technical plans, reports, and studies it is obvious that extensive site alteration and building/structure renovations proposed; including; but not limited to the following:

- Below grade stormwater management chamber;
- Significant tree removal and tree preservation hoarding;
- Perimeter landscaping, fencing, and masonry walls;
- Sound barrier wall measuring 3.5 metres in height, 270+ metres in length;
- Asphalt, concrete curbing and grading;
- Removal and replacement of the existing driveway access culvert;
- Exterior light standards and fixtures; and
- Repurposing/conversion of the existing residential dwelling.

The aforementioned are typical of permanent construction and can hardly be considered moderate or temporary. They do NOT meet the criteria set out in the City of Brampton Official Plan. It is questionable whether the property can ever reasonably revert back to a residential use following the expiry of the temporary period.

6. Staff's recommendation that a Site Plan Approval Application be approved prior to the establishment of the use serves as confirmation that the level of alteration is well beyond a "temporary" condition and will likely warrant a "Full" Site Plan Review involving internal City Department/Divisions and any number of external agencies; including; the Region's of Peel and Halton, Town of Halton Hills, and Credit Valley Conservation. "Full" Site Plan Approval Applications typically require proponents to enter into Agreements with the City (and sometimes the Region) which are registered on the property's title, post financial securities and provide insurance coverage satisfactory to the City of Brampton.
7. The outside storage of oversized vehicles is an 'industrial' use and is permitted within industrial areas. The property has been planned for highway commercial use. If the temporary use is approved conformity with the Bram West Secondary Plan will NOT have been met resulting in a conflict between planning policy and the City Zoning By-law. Once established there is no telling how many renewals the Applicant will pursue. The Temporary Use has the potential to negatively impact the long-term vision for the area and this is NOT good planning.



8. The submitted Environmental Noise Report recommends mitigation measures to ensure the trucking operations do not disrupt the existing neighbourhood. It is evident based on the length and height of the recommended noise barrier along the north property line that extensive mitigation is needed. The outside storage of oversized vehicles adjacent to the sensitive noise receptors to the north raises legitimate compatibility concerns.
9. Planning Staff note within Appendix #9 of the Recommendation Report that both the City of Brampton and the Region of Peel have advised the Applicant to revise the Traffic Impact Study (TIS) to ensure it is consistent with the current proposal. The TIS suggests that its findings, conclusions, and recommendations are NOT final and could be subject to change.

We disagree with the Addendum Traffic Brief dated October 2022 which states that an auxiliary turning lane is NOT required. It is important to clarify that as part of the new MLF Retail Outlet and Special Event Team Building will be constructing a northbound auxiliary turning lane.

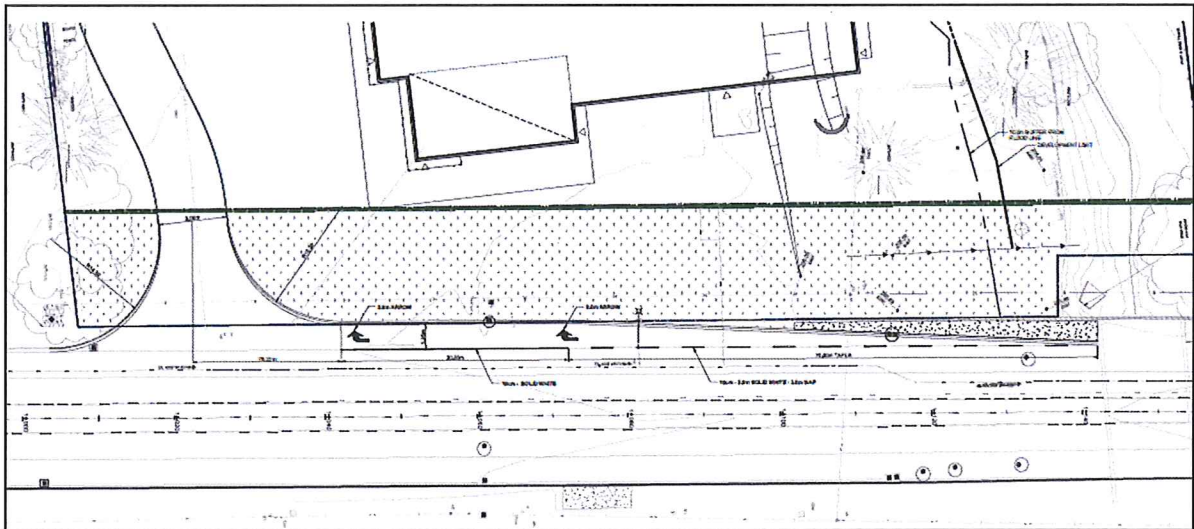


Figure 5 – 8175 Winston Churchill Boulevard Pavement Marking and Signage Plan

The Region's requirement that the Temporary Use Application install an auxiliary turning lane should be strictly enforced.

10. Appendix #11 of the Recommendation Report titled "Results of the Application Circulation" is inclusive of external agency commentary. The Town of Halton Hills provided written correspondence on three (3) occasions, the latest being issued on November 7, 2022. The Town has consistently maintained the same position and recommended refusal. The following are direct quotes from the Town of Halton Hills:

March 31, 2022

"...The Town has been approached with numerous similar requests for Temporary Use Zoning By-law Amendments to establish temporary transport terminals within



the Provincially Significant Employment Zones situated in the Town along the Steeles Avenue Premier Gateway Employment Area.

Town Staff has advised prospective applicants that we do not consider transport terminals, temporary or otherwise, to be major employment uses and would not support such proposals.”

March 30, 2022

“...Town Staff cannot support the Temporary Use Zoning By-law Amendment application to permit a temporary transport terminal for 3 years and requests that Council for the City of Brampton refuses to grant approval of the application.

The site is located within a Provincially Significant Employment Zone in the Growth Plan for the Greater Golden Horseshoe, which requires development to consist of a major employment use (i.e., 3 contains a significant number of jobs). Given the nature of the proposed use Staff is of the opinion that it would not constitute a major employment use”.

Town Staff has consistently discouraged the submission of both permanent and Temporary Use Zoning By-law Amendment applications for transport terminals in the Town of Halton Hills given concerns regarding their ability to meet the above criteria.

With respect to the subject application at 8195 Winston Churchill Boulevard, staff has particular concerns regarding the proposal’s ability to not cause traffic hazards or an unacceptable level of congestion on surrounding roads (criterion e) given Winston Churchill Boulevard is a boundary road between the Region of Peel and Region of Halton and the proximity of the site to the Town’s Premier Gateway Employment Area Business Park. In addition, the proposed use suggests the truck parking (56 spots) will be for gravel trucks and trailers with the trucks remaining coupled to the trailers when not in use. This would suggest that every operator will also require a place to park a personal vehicle and Staff has concerns regarding the proposal’s ability to provide parking facilities required by the proposed use entirely on-site (criterion f).”

November 7, 2022

“It is Town Staff’s understanding that a Temporary Use Zoning By-law Amendment application has been resubmitted to permit a transport terminal for 3 years at 8195 Winston Churchill Boulevard in the City of Brampton, which consists of outdoor storage of 56 trucks (tractors only) and an associated office in the existing building.

The Town will be reiterating our comments from the 1st submission. However, the comment regarding needing to provide a personal vehicle parking space for each tractor-trailer parking space has been removed given the change in the proposal to only include parking for tractors (no trailers).



The Town has been approached with numerous similar requests for Temporary Use Zoning By-law Amendments to establish temporary transport terminals within the Provincially Significant Employment Zones situated in the Town along the Steeles Avenue Premier Gateway Employment Area.

Town Staff has advised prospective applicants that we do not consider transport terminals, temporary or otherwise, to be major employment uses and would not support such proposals.”

It is disappointing that City of Brampton Planning Staff have chosen to dismiss the Town of Halton Hills’ concerns and recommendations.

Final Remarks and Recommendation

Thank you for this opportunity to share our Client’s comments, observations, and recommendations. MLF recommends that Planning Committee NOT approve the Temporary Use Application for the reasons outlined in earlier correspondence, this letter and input raised by other stakeholders. In summary the proposal:

- Even on an interim basis, is NOT consistent with applicable planning policies;
- Will create adverse effects of the surrounding community;
- Requires significant site works that are inconsistent with a Temporary Use;
- Is NOT compatible with the abutting residential and highway commercial land uses;
- Does NOT represent good planning

Should you require anything further, please do not hesitate to contact the undersigned.

Yours truly,



Michael Gagnon, B.E.S., M.C.I.P., R.P.P.
Managing Principal Planner
mgagnon@gwdplanners.com



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Planning Associate
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**C.c.: N. Cubacub, City of Brampton
D. VanderBerg, City of Brampton
S. Ganesh, City of Brampton
A. Parsons, City of Brampton
J. Hardcastle, Region of Peel
M. Meldrum, Region of Peel
J. McMulkin, Town of Halton Hills
S. Partridge, Halton Region
T. Hughes, Credit Valley Conservation
Maple Lodge Farms Ltd.**



Principals

Michael Gagnon
Lena Gagnon
Andrew Walker
Richard Domes

May 16, 2022

GWD File:
11.1768.00
Other Applications

The Corporation of the City of Brampton
Planning & Development Services Department
2 Wellington Street West (3rd Floor)
City of Brampton, Ontario
L6Y 4R2

Attention: Mr. Noel Cubacub
Development Planner

Subject: FORMAL PUBLIC INPUT
Application to Temporarily Amend the Zoning By-law
[To permit the outdoor storage of 56 trucks and trailers, along with
an associated office space – temporary period of three (3) years]
2769197 Ontario Inc. – Glen Schnarr & Associates Inc.
8195 Winston Churchill Boulevard, City of Brampton
City File: OZS-2022-0016
Ward: 6

Dear Noel:

Gagnon Walker Domes Ltd. (GWD) acts as Planning Consultant to Maple Lodge Farms Ltd. (MLF) and its affiliated companies, who own properties totaling approximately 366 hectares (904 acres), located on both the east and west sides of Winston Churchill Boulevard, north of Steeles Avenue. The properties consist of a broad range of features; including, a Processing Plant, a Retail Outlet Store, a Water Pollution Control Plant, as well as fields on which commodity grains are farmed.

MLF owns lands located immediately north, south, and east of 8195 Winston Churchill Boulevard and as such has a direct interest the Zoning By-law Amendment Application. It has requested that our office monitor its processing and submit this public input letter on their behalf.

8301 Winston Churchill Boulevard

At any given time some 1,600 to 1,800 individuals are employed at the main MLF Processing Facility located at 8301 Winston Churchill Boulevard. In recent years a series of renovations and upgrades to the facility have been completed. In the very near future MLF is planning to commence the next phase of its facility expansion and site improvements.

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8175 Winston Churchill Boulevard

MLF recently completed its own Zoning By-law Amendment Application on the lands known municipally as 8175 Winston Churchill Boulevard, located immediately south of the subject property (City File: C06W01.005). After a lengthy planning approvals process that involved consultation with external agencies including the Credit Valley Conservation Authority (CVCA), the Town of Halton Hills, Peel and Halton Regions, a Report was considered on December 6, 2021 by the City of Brampton Planning and Development Committee recommending approval of the Application. By-law 289-2021 was subsequently passed by City Council on December 8, 2021.

With the appropriate zoning now in effect MLF filed its formal Site Plan Approval Application on March 7, 2022 to facilitate the construction of its new Chicken Shop and Factory Outlet and Special Event Team Storage Building (City File: SPA-2022-0043). The proposal which has been further refined complies with all zoning standards. All existing buildings and structures are to be demolished.

Appendix “1” includes a perspective rendering of the new Chicken Shop and Factory Outlet.

OZS-2022-0016 – Application to Temporarily Amend City Zoning By-law 270-2004

Based on our review of the Notice of Public Meeting and City Information Report, we wish to share the following concerns, observations, and recommendations. They should be considered prior to City Planning Staff tabling a future Recommendation Report.

1. Page 4 – The Information Report advises that the proposed trailer parking and underground water storage structure encroaches into the Regulatory Floodplain and associated buffer. A closer review of Development Plan and Natural Heritage Constraints Map within the submitted Environmental Impact Study (EIS) depicts as many as many as 15 trailer parking encroaching in the flood zone.

MLF and its Consultants worked closely with Brampton Environmental Planning and CVCA Staff during the processing of C06W01.005 to determine the limits of development. The Regulatory Floodplain was respected and placed in an appropriate restrictive zoning. MLF has serious concerns that the proposed encroachment will have offsite impacts on its lands; the Floodplain should be maintained to ensure that there is no net loss in flood storage.

2. Page 4 – The Information Report notes that the Application is proposing to change the existing “*Agricultural (A)*” zoning to an “*Industrial Two (M2)*” zone which would permit a wide range of industrial uses beyond the temporary parking of trailers, outdoor storage, and associated office. City Staff will be reviewing the appropriateness of changing the current zone to a site specific zoning category where there will be no permitted uses outside of the current proposal.

Pursuant to Sections 5.10.3 and 5.10.4 of the City Official Plan, Temporary Use By-laws are intended to permit a use on a short term basis (i.e. 36 months) which



utilizes existing or temporary buildings and structures and does not require the extensive construction of permanent buildings or structures or, the significant alteration of the land to accommodate the temporary use. Upon the expiry of the temporary time period(s) the authorized use of land, buildings or structures that were permitted shall cease to exist.

Requesting a zoning change via a Temporary Use Application is not appropriate in the context of Section 39 of the *Planning Act*. The property's Agricultural zoning should be maintained. If the Owner is desirous of changing the property's zoning, then a formal Zoning By-law Amendment Application should be submitted.

3. The requested "Industrial Two (M2)" zoning does not appear to conform to the local Bram West Secondary Plan (Area 40, Chapter A) "Highway Commercial Service Commercial" designation. This designation permits a range of uses including: office, retail and service uses, restaurants, retail warehousing, hotels and motels, specialty food and grocery stores, and select industrial uses which have a substantial retail component. The M2 zoning does not permit any above-mentioned uses. If approved conformity with the Secondary Plan will not have been met resulting in a conflict between planning policy and the Zoning By-law.

By way of comparison the "Industrial Business – Section 3608 (MBU-3608)" zoning which applies to the westerly half of 8175 Winston Churchill Boulevard is inclusive of regulations that: 1) require trucks and/or trailers associated with a retail establishment to be stored within an enclosed building; and 2) prohibit the repair and outside storage of trailers. These regulations were put in place to ensure the intent of the Highway & Service Commercial designation is maintained

4. Based on a cursory review the proposed Site Plan, Site Servicing and Grading Plans extensive site alteration and building/structure renovations are needed. The use requires significant investment including the installation of new stormwater management infrastructure which are typical of permanent construction. The use does not appear to meet the criteria established in Section 5.10.3 of the Official Plan.

It is questionable whether the property can revert back to the existing residential use following the expiry of the temporary period.

5. Should Staff proceed to recommend approval of the Application it is MLF's request that the Owner be required as a condition of approval to undertake a comprehensive planning process to secure Site Plan Approval prior to any development/alteration taking place on the property.

As noted earlier in the correspondence MLF has recently filed its Site Plan Approval Application for its new Chicken Shop and Factory Outlet and Special Event Team Storage Building. The Application has been deemed complete and is currently in process. Should the Trailer Parking use proceed coordination between Site Plan Applications should be made a requirement.



Closing Remarks

On behalf of MLF and its affiliated companies thank you for this opportunity to share our Client's preliminary comments, observations, and recommendations. Given the close proximity between properties it has a direct interest in the Application.

Copies of the technical studies that are currently available for public review have been secured. Additional submissions or requests for information may be forthcoming once MLF's Consultant Team has completed its review. They wish to reserve the right to provide further comments as necessary during the continued processing of the Application.

Kindly accept this letter as our formal request to be notified of all future Open Houses, Public Meetings, Planning Committee and Council Meetings to be held in connection with the Amendment Application. Lastly, we request notification of the passage of any and all By-laws or Notices.

Should you require anything further, please do not hesitate to contact the undersigned.

Yours truly,

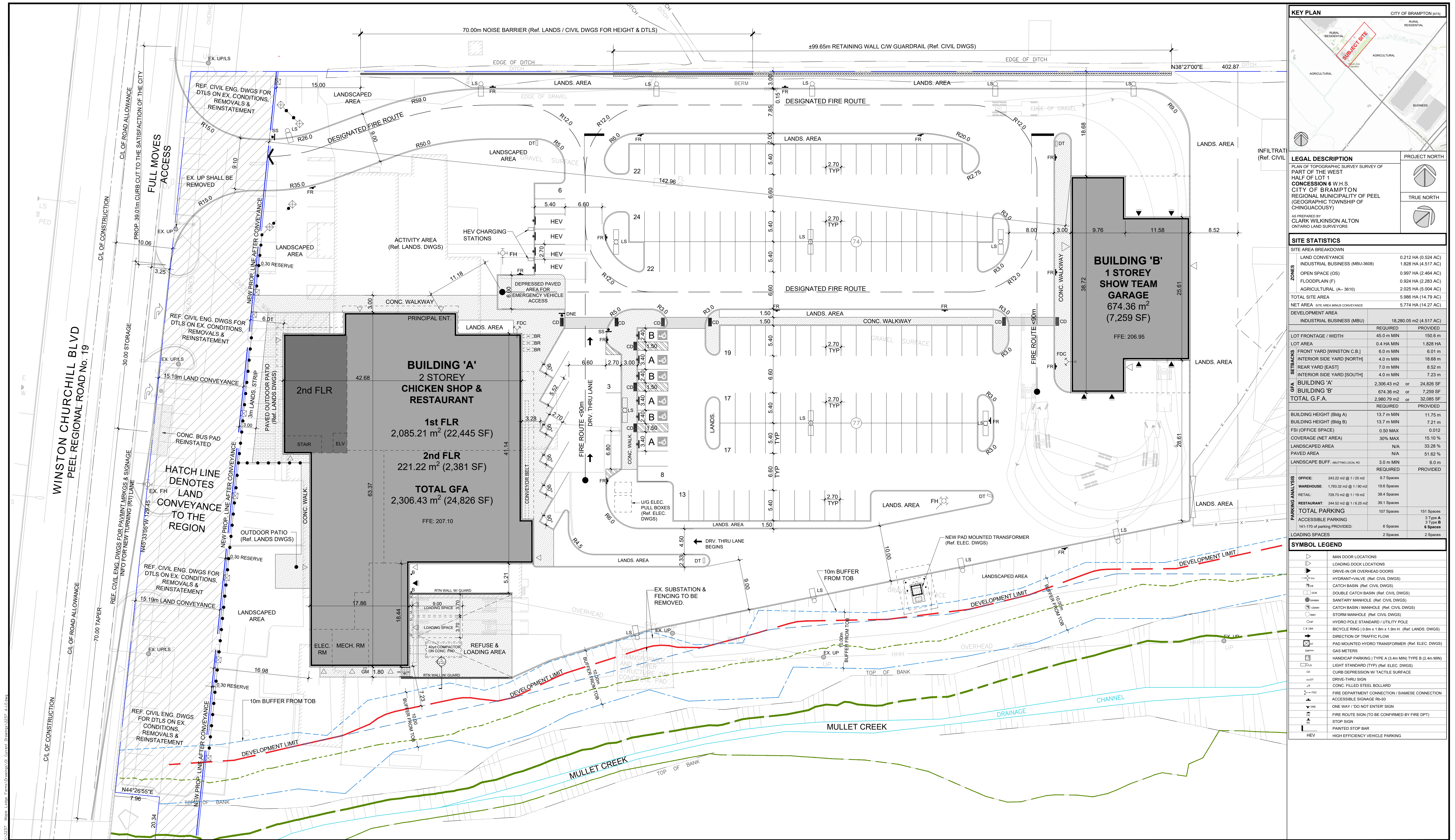
Marc De Nardis, B.U.R.P.I., M.C.I.P., R.P.P.
Planning Associate

mdenardis@gwdplanners.com

- C.c. C. Owusu-Gyimah, City of Brampton**
- A. Homagain, Region of Peel**
- R. Conard, Town of Halton Hills**
- S. Partridge, Halton Region**
- T. Hughes, Credit Valley Conservation Authority**
- Maple Lodge Farms Ltd.**
- M. Gagnon, Gagnon Walker Domes Ltd.**



Figure 9: Perspective Rendering



KEY PLAN		CITY OF BRAMPTON (INTS)	
LEGAL DESCRIPTION		PROJECT NORTH	
PLAN OF TOPOGRAPHIC SURVEY SURVEY OF PART OF THE WEST HALF OF LOT 1 CONCESSION 6 W.H.S. CITY OF BRAMPTON REGIONAL MUNICIPALITY OF PEEL (GEOGRAPHIC TOWNSHIP OF CHINGLIACOLUZY)			
AS PREPARED BY CLARK WILKINSON ALTON ONTARIO LAND SURVEYORS			
SITE STATISTICS			
SITE AREA BREAKDOWN			
LAND CONVEYANCE	0.212 HA (0.524 AC)		
INDUSTRIAL BUSINESS (MBU-3608)	1.828 HA (4.517 AC)		
OPEN SPACE (OS)	0.997 HA (2.464 AC)		
FLOODPLAIN (F)	0.924 HA (2.283 AC)		
AGRICULTURAL (A=3610)	2.025 HA (5.004 AC)		
TOTAL SITE AREA	5.986 HA (14.79 AC)		
NET AREA - SITE AREA MINUS CONVEYANCE	5.774 HA (14.27 AC)		
DEVELOPMENT AREA			
INDUSTRIAL BUSINESS (MBU)	18,280.05 m ² (4,517 AC)		
LOT FRONTS / WIDTHS			
REQUIRED	PROVIDED		
LOT FRONTAGE / WIDTH	45.0 m MIN	150.6 m	
LOT AREA	0.4 HA MIN	1,828 HA	
FRONT YARD (WINSTON C.B.)	6.0 m MIN	6.01 m	
INTERIOR SIDE YARD (NORTH)	4.0 m MIN	18.68 m	
REAR YARD (EAST)	7.0 m MIN	8.52 m	
INTERIOR SIDE YARD (SOUTH)	4.0 m MIN	7.23 m	
GFA			
BUILDING 'A'	2,306.43 m ² or 24,826 SF		
BUILDING 'B'	674.36 m ² or 7,259 SF		
TOTAL G.F.A.	2,980.79 m ² or 32,085 SF		
REQUIRED / PROVIDED			
BUILDING HEIGHT (Bldg A)	13.7 m MIN	11.75 m	
BUILDING HEIGHT (Bldg B)	13.7 m MIN	7.21 m	
FS (OFFICE SPACE)	0.50 MAX	0.12	
COVERAGE (NET AREA)	30% MAX	15.10 %	
LANDSCAPED AREA	N/A	33.28 %	
PAVED AREA	N/A	51.62 %	
LANDSCAPE BUFF. (ADJUTING LOCAL RD)	3.0 m MIN	6.0 m	
REQUIRED	PROVIDED		
OFFICE:	243.32 m ² @ 11/25 m ²	9.7 Spaces	
WAREHOUSE:	1,763.32 m ² @ 11/90 m ²	19.6 Spaces	
RETAIL:	729.73 m ² @ 11/119 m ²	38.4 Spaces	
RESTAURANT:	244.52 m ² @ 11/625 m ²	39.1 Spaces	
TOTAL PARKING		107 Spaces	
ACCESSIBLE PARKING		151 Spaces	
141-170 of parking PROVIDED:		3 Type A 3 Type B 8 Spaces	
LOADING SPACES		2 Spaces	
SYMBOL LEGEND			
	MAN DOOR LOCATIONS		
	LOADING DOCK LOCATIONS		
	DRIVE-IN OR OVERHEAD DOORS		
	HYDRANT/VALVE (Ref. CIVIL DWGS)		
	CATCH BASIN (Ref. CIVIL DWGS)		
	DOUBLE CATCH BASIN (Ref. CIVIL DWGS)		
	SANITARY MANHOLE (Ref. CIVIL DWGS)		
	CATCH BASIN / MANHOLE (Ref. CIVIL DWGS)		
	STORM MANHOLE (Ref. CIVIL DWGS)		
	HYDRO POLE STANDARD / UTILITY POLE		
	BICYCLE RING (0.6m x 1.8m x 1.9m H. (Ref. LANDS. DWGS))		
	DIRECTION OF TRAFFIC FLOW		
	PAD MOUNTED HYDRO TRANSFORMER (Ref. ELEC. DWGS)		
	GAS METERS		
	HANDICAP PARKING (TYPE A (3.4m MIN) TYPE B (2.4m MIN))		
	LIGHT STANDARD (TYP) (Ref. ELEC. DWGS)		
	CURB DEPRESSION W/ TACTILE SURFACE		
	DRIVE-THRU SIGN		
	CONC. FILLED STEEL BOLLARD		
	FIRE DEPARTMENT CONNECTION / SIAMENSE CONNECTION		
	ACCESSIBLE SIGNAGE Rb-93		
	ONE WAY / DO NOT ENTER SIGN		
	FIRE ROUTE SIGN (TO BE CONFIRMED BY FIRE DPT)		
	STOP SIGN		
	PAINTED STOP BAR		
	HIGH EFFICIENCY VEHICLE PARKING		

No.	ISSUED	DATE
1	ISSUED FOR REVIEW & COORDINATION	OCT. 22, 2018
2	ISSUED FOR ZBA	DEC. 13, 2018
3	RE-ISSUED FOR ZBA	SEPT. 08, 2020
4	RE-ISSUED FOR ZBA	AUG. 12, 2021
5	ISSUED FOR SPA	FEB. 11, 2022

No.	REVISION	DATE
6	RE-ISSUED FOR SPA	FEB. 10, 2023

No.	REVISION	DATE
1	COORDINATED w/ CIVIL	JULY 23, 2020
2	REVISED PER MUNICIPAL COMMENTS	AUG. 12, 2021
3	REVISED TO SUIT SPA COMMENTS	OCT. 20, 2022
4	UPDATED TO INCLUDE NEW TRANSFORMER LOCATION	JAN. 25, 2023

BALDASSARRA
Architects Inc.

30 Great Gulf Drive, Unit 20 | Concord ON | L4K 0K7
T. 905.660.0722 | www.baldassarra.ca

OWNERS INFORMATION:
MAPLE LODGE FARMS LTD.



MAPLE LODGE FARMS

8175 WINSTON CHURCHILL BOULEVARD
BRAMPTON, ON

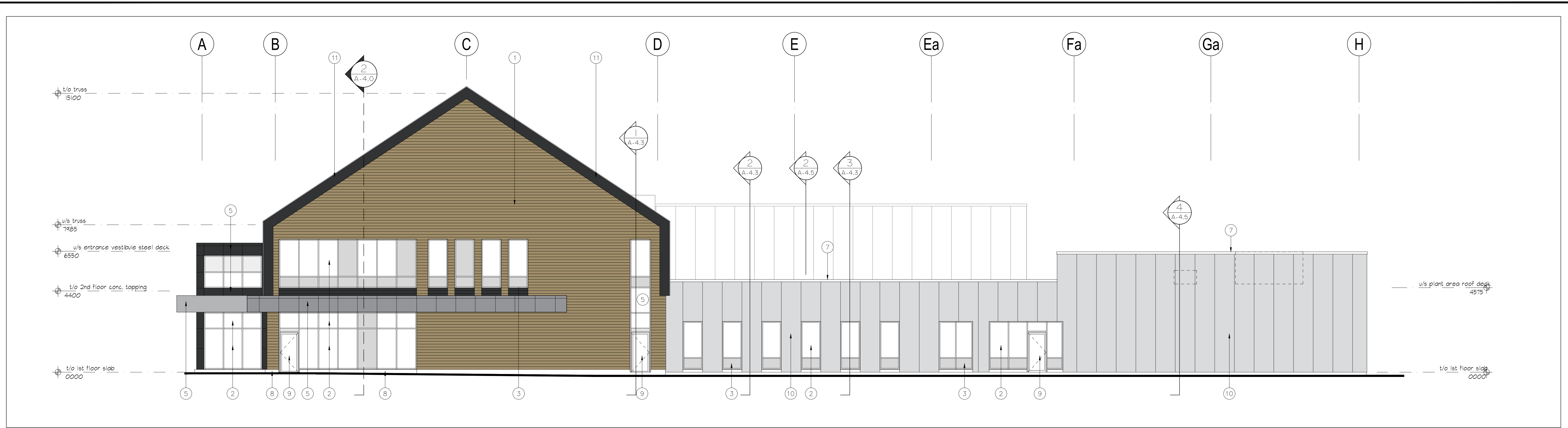
SITE PLAN

SPA-2022-0043

DATE: JAN. 2018 DRAWN BY: DW CHECKED: SCALE: 1:300

PROJECT No. DRAWING No. 22-37

A-1.0



1 WEST ELEVATION
A-3.0 1:100



2 NORTH ELEVATION
A-3.0 1:100

- 1 "LONGBOARD" WITH WOOD GRAIN FINISH.
- 2 CLEAR THERMAL GLAZING IN PREFINISHED ALUMINUM CURTAIN WALL FRAMES WITH BLACK ANODIZED FINISH.
- 3 SPANDREL GLAZING IN PREFINISHED ALUMINUM CURTAIN WALL FRAMES WITH BLACK ANODIZED FINISH. SPANDREL COLOUR TO FUTURE DETAIL.
- 4 AUTOMATIC SLIDING DOOR WITH TEMPERED THERMAL GLASS IN BLACK ANODIZED FRAMES.
- 5 COMPOSITE ALUMINUM CLAD CANOPY. COLOUR TO BE BLACK.
- 6 PREFINISHED METAL STANDING SEAM ROOF. COLOUR TO BE BLACK.
- 7 PREFINISHED METAL COPING. COLOUR TO MATCH ADJACENT MATERIAL BELOW.
- 8 150mm HIGH x 100mm WIDE CONCRETE CURB.
- 9 CLEAR TEMPERED THERMAL GLASS AND BLACK ANODIZED ALUMINUM FRAME DOOR.
- 10 INSULATED METAL PANEL. COLOUR AND FINISH TO FUTURE DETAIL.
- 11 PREFINISHED METAL FLASHING. COLOUR TO BE BLACK.
- 12 INSULATED H.M. MAN DOOR IN PRESSED STEEL THERMAL FRAME. ALL PAINTED TO MATCH ADJACENT MATERIAL.
- 13 GUARD SYSTEM CONFORMING TO ALL OBC REQUIREMENTS.
- 14 PREFINISHED INSULATED METAL O.H. DOOR. COLOUR TO MATCH ADJACENT INSULATED METAL PANELS.

D:\2023 - Maple Lodge Farms\Drawings\04 - Current Drawings\04g - A-3.0.dwg

No.	ISSUED	DATE
1	ISSUED FOR REVIEW & COORDINATION	OCT. 22, 2018
2	ISSUED FOR ZBA	DEC. 13, 2018
3	ISSUED FOR SPA	FEB. 04, 2022
4	RE-ISSUED FOR SPA	JAN. 27, 2023

No.	REVISION	DATE
1	OWNER REQUESTED REVISIONS	NOV. 03 2021

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OWNERS INFORMATION:
MAPLE LODGE FARMS LTD.



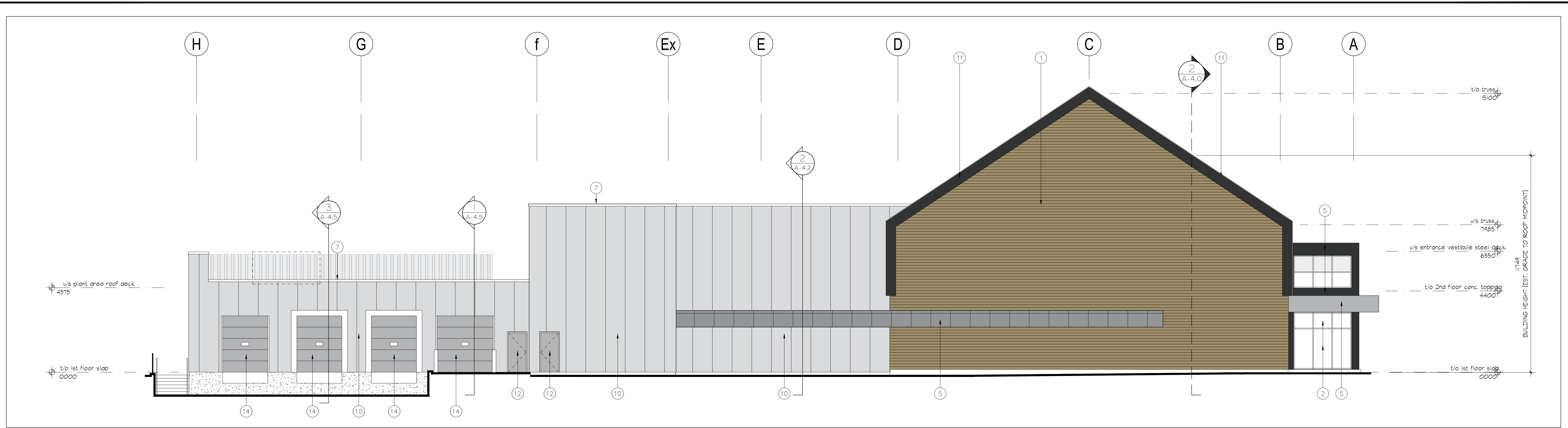
MAPLE LODGE FARMS

8175 WINSTON CHURCHILL BOULEVARD
BRAMPTON, ON

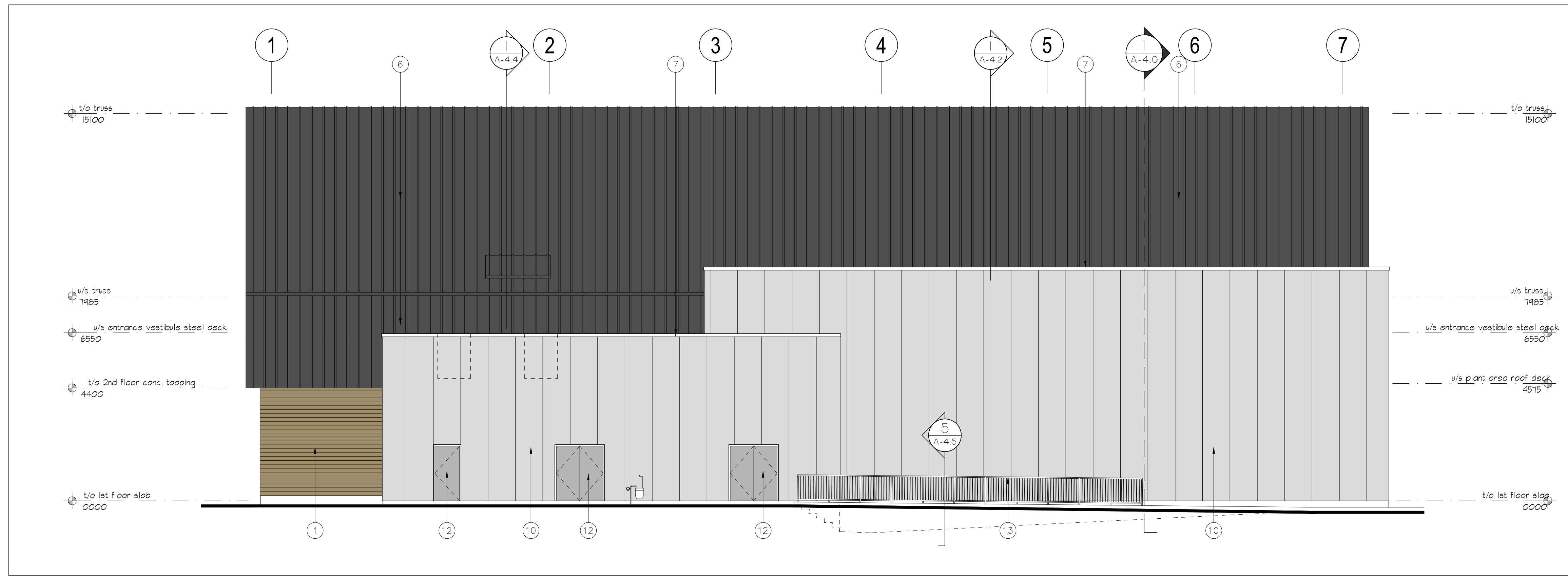
ELEVATIONS BUILDING 'A'
SPA-2022-0043

DATE: JAN. 2018	DRAWN BY: DW/JH	CHECKED:	SCALE: 1:100
PROJECT No.	DRAWING No.		

22-37 **A-3.0 A**



1 EAST ELEVATION
A-3.1 1:100



2 SOUTH ELEVATION
A-3.1 1:100

- 1 "LONGBOARD" WITH WOOD GRAIN FINISH.
- 2 CLEAR THERMAL GLAZING IN PREFINISHED ALUMINUM CURTAIN WALL FRAMES WITH BLACK ANODIZED FINISH.
- 3 SPANDREL GLAZING IN PREFINISHED ALUMINUM CURTAIN WALL FRAMES WITH BLACK ANODIZED FINISH. SPANDREL COLOUR TO FUTURE DETAIL.
- 4 AUTOMATIC SLIDING DOOR WITH TEMPERED THERMAL GLASS IN BLACK ANODIZED FRAMES.
- 5 COMPOSITE ALUMINUM CLAD CANOPY. COLOUR TO BE BLACK.
- 6 PREFINISHED METAL STANDING SEAM ROOF. COLOUR TO BE BLACK.
- 7 PREFINISHED METAL COPING. COLOUR TO MATCH ADJACENT MATERIAL BELOW.
- 8 150mm HIGH x 100mm WIDE CONCRETE CURB.
- 9 CLEAR TEMPERED THERMAL GLASS AND BLACK ANODIZED ALUMINUM FRAME DOOR.
- 10 INSULATED METAL PANEL. COLOUR AND FINISH TO FUTURE DETAIL.
- 11 PREFINISHED METAL FLASHING. COLOUR TO BE BLACK.
- 12 INSULATED H.M. MAN DOOR IN PRESSED STEEL THERMAL FRAME. ALL PAINTED TO MATCH ADJACENT MATERIAL.
- 13 GUARD SYSTEM CONFORMING TO ALL OBC REQUIREMENTS.
- 14 PREFINISHED INSULATED METAL O.H. DOOR. COLOUR TO MATCH AJACENT INSULATED METAL PANELS.

20237 - Maple Lodge Farms, Ontario, Canada, Drawing Title: A-3.1 Elevations

No.	ISSUED	DATE
1	ISSUED FOR REVIEW & COORDINATION	OCT. 22, 2018
2	ISSUED FOR ZBA	DEC. 13, 2018
3	ISSUED FOR SPA	FEB. 04, 2022
4	RE-ISSUED FOR SPA	JAN. 27, 2023

No.	REVISION	DATE
1	OWNER REQUESTED REVISIONS	NOV. 03 2021

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MAPLE LODGE FARMS

8175 WINSTON CHURCHILL BOULEVARD
BRAMPTON, ON

**ELEVATIONS
BUILDING 'A'**

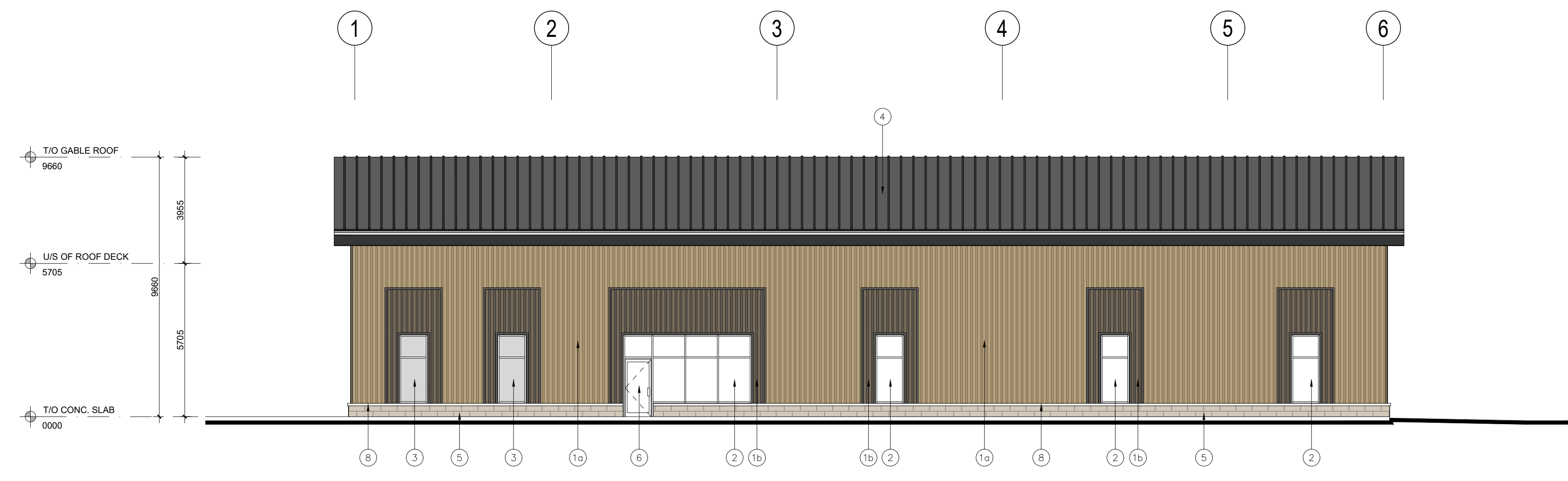
SPA-2022-0043

DATE: JAN. 2018	DRAWN BY: DW	CHECKED:	SCALE: 1:100
PROJECT No.	DRAWING No.		

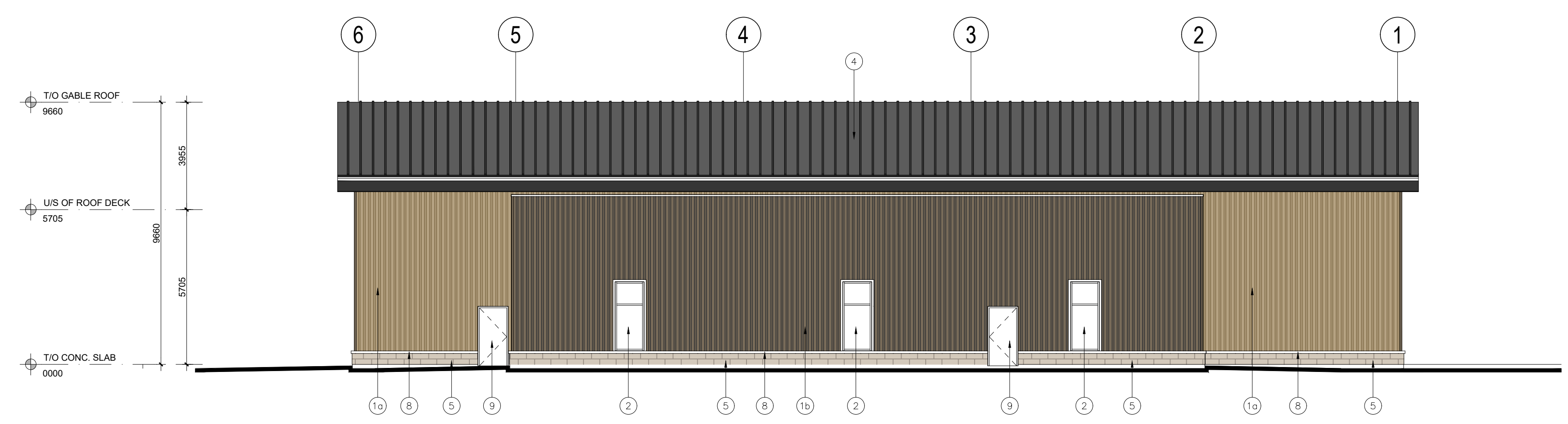
A-3.1 A

No.	ISSUED	DATE
1	ISSUED FOR REVIEW & COORDINATION	OCT. 22, 2019
2	ISSUED FOR ZBA	DEC. 13, 2019
3	ISSUED FOR SPA	FEB. 04, 2022
4	RE-ISSUED FOR SPA	JAN. 26, 2023

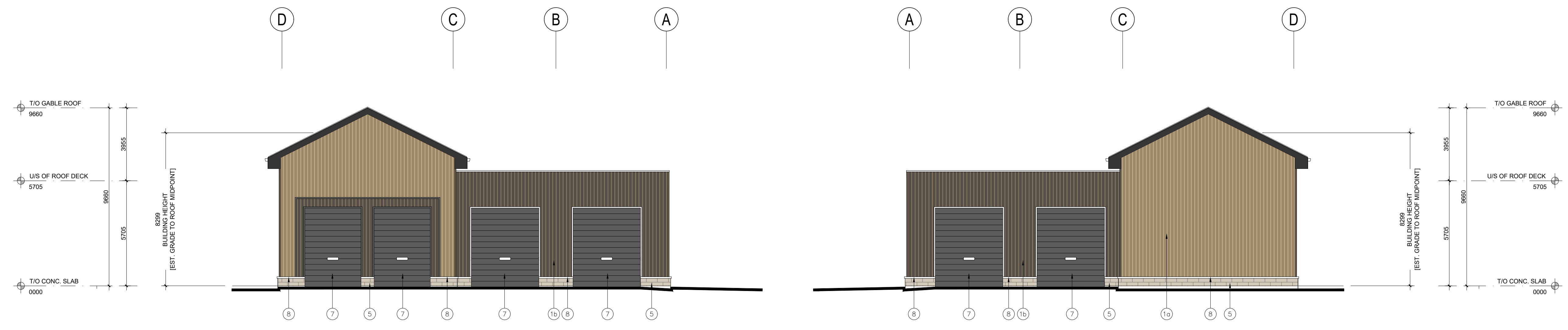
- 1a CORRUGATED METAL SIDING. COLOUR: WICKER
- 1b CORRUGATED METAL SIDING. COLOUR: DARK GREY
- 2 CLEAR THERMAL GLAZING IN PREFINISHED ALUMINUM CURTAIN WALL FRAMES WITH BLACK ANODIZED FINISH.
- 3 SPANDREL GLAZING IN PREFINISHED ALUMINUM CURTAIN WALL FRAMES WITH BLACK ANODIZED FINISH. SPANDREL COLOUR: GREY
- 4 PREFINISHED METAL STANDING SEAM ROOF. COLOUR TO BE BLACK.
- 5 ARCHITECTURAL BLOCK 190mm x 590mm
- 6 CLEAR TEMPERED THERMAL GLASS AND BLACK ANODIZED ALUMINUM DOOR FRAME.
- 7 PREFINISHED INSULATED METAL O.H. DOOR. COLOUR: DARK GREY
- 8 PRECAST CONC. SILL COLOUR: LIGHT GREY
- 9 MAN DOOR PAINTED TO MATCH COLOUR OF ADJACENT MATERIAL



1 WEST ELEVATION
A-3.0B 1:125



2 EAST ELEVATION
A-3.0B 1:125



3 SOUTH ELEVATION
A-3.0B 1:125

NORTH ELEVATION 4
1:125 A-3.0B

No.	REVISION	DATE
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MAPLE LODGE FARMS
8175 WINSTON CHURCHILL BOULEVARD
BRAMPTON, ON

ELEVATIONS BUILDING 'B'
SPA-2022-0043

DATE: JAN. 2018	DRAWN BY: DW	CHECKED: JH	SCALE: AS SHOWN
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PROJECT No. 22-37 B DRAWING No. **A-3.0 B**

01/23/23 - Maple Lodge Farms/Owners/PA/Concord - Drawings/Maple B - A-3.0/01

GENERAL NOTES:

MAINTENANCE and ACCEPTANCE:

- ALL PLANT MATERIAL SHALL BE MAINTAINED BY THE CONTRACTOR IMMEDIATELY AFTER ANY PLANTING HAS BEEN INSTALLED AND SHALL CONTINUE UNTIL THE DATE OF FINAL ACCEPTANCE.
- SUCH MAINTENANCE SHALL INCLUDE ALL MEASURES NECESSARY TO ESTABLISH AND MAINTAIN ALL PLANTS IN AN ACCEPTABLE, WOODED AND HEALTHY GROWING CONDITION INCLUDING CULTIVATING AND WEEDING, WATERING, WHEN REQUIRED, PRUNING AND MAINTENANCE OF ALL ACCESSORIES.
- AT TIME OF INSPECTION FOR INITIAL & FINAL ACCEPTANCE, ALL PLANTING BEDS AND TREE PITS SHALL BE FRESHLY CULTIVATED, FREE OF WEEDS, LEAVES, BROKEN BRANCHES AND RUBBISH AND SHALL BE IN A NEAT AND TIDY CONDITION.
- ALL PLANT MATERIAL TO BE GUARANTEED FOR A PERIOD OF 2 (TWO) YEARS FROM THE DATE OF ACCEPTANCE BY THE LANDSCAPE ARCHITECT AND LOCAL AUTHORITY UNLESS OTHERWISE NOTED.
- MAINTAIN PLANTING BEDS AND TREE PITS FREE OF WEEDS THROUGHOUT THE GUARANTEE PERIOD.
- THE DEVELOPER SHALL REGULARLY REMOVE DEBRIS FROM THE WETLAND UNITS, THE COMPLETION OF ALL BUILDING CONSTRUCTION WITHIN THE DEVELOPMENT.

UTILITIES:

- APPLICANT IS RESPONSIBLE FOR OBTAINING NECESSARY APPROVALS FROM THE UTILITY COMPANIES FOR WORKS WITHIN THE MUNICIPAL BOULEVARD.
- ALL UTILITIES WITHIN THE BOULEVARDS MUST BE LOCATED PRIOR TO COMMENCING CONSTRUCTION WITHIN THE BOULEVARD.

RODENT PROTECTION:

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL TREES AND SHRUBS FROM RODENT HARM FOR THE DURATION OF THE GUARANTEE PERIOD.
- PROTECTIVE WIRE MESH GUARDS SHALL BE EMPLOYED AROUND ALL DECIDUOUS TREES. GUARDS SHALL BE INSTALLED PRIOR TO THE APPLICATION OF MULCH AND SHOULD BE PLACED AT A MINIMUM OF 50mm OUT FROM THE TREE TRUNK ON ALL SIDES. SUFFICIENT MESH SHOULD BE CUT TO COMPLETE THIS CIRCUMFERENCE AS WELL AS TO PROVIDE A MINIMUM OF 25mm OVERLAP.
- THE WIRE MESH GUARDS MUST BE OF GALVANIZED STEEL 12mm SQUARE MESH, 19 GAUGE AND SUPPLIED IN 600mm ROLLS. THE WIRE MESH CAN BE FASTENED WITH ANY ACCEPTABLE GALVANIZED WIRE TIE. ALL SHRUBS AND CONIFEROUS TREES SHALL HAVE AN APPLICATION OF "SKOOTT" OR APPROVED EQUIVALENT RODENT FORMULA TO BE APPLIED AT THE END OF OCTOBER, FOLLOW MANUFACTURER'S DIRECTIONS FOR APPLICATION.

UNIT PAVING:

- PAVERS SHALL BE PRECAST CONCRETE UNIT PAVERS WITH MIN. 5845 M.P.A. (8500 P.S.I.) COMPRESSIVE STRENGTH AND A WATER ABSORPTION NOT EXCEEDING 5% AND A FREETE-TENSILE RESISTANCE EQUAL TO C.S.A.-A2-2 (1967).
- SETTING BED SHALL CONSIST OF SHARP, CLEAN, COARSE CONCRETE SAND OR APPROVED LIMESTONE SCREENINGS.
- SAND FOR JOINTS SHALL BE A CLEAN, NATURAL GRAVEL, CRUSHED STONE OR ROCK.
- INSTALL GRANULAR BASE AND COMPACT TO A MINIMUM 8% STANDARD PROCTOR DENSITY UNTIL THE MIN. SPECIFIED DEPTH AS DETAILED, HAS BEEN ESTABLISHED.
- LOOSELY PLACED CONCRETE SAND OR SCREENINGS TO A UNIFORM DEPTH OF 50mm (2"), MIN.
- MAINTAIN JOINTS UNIFORM AND CLOSELY BUTTED THROUGHOUT.
- WHERE NECESSARY, SAW CUT PAVERS TO PRODUCE A SHARP, VERTICAL CUT WITHOUT DAMAGED EDGES, AND TO FIT ACCURATELY.
- AFTER COMPLETION OF INSTALLATION, COMPACT PAVING BY MEANS OF A VIBRATING PLATE TAMPER.
- FILL THE JOINTS WITH FINE SAND, BY BRUSHING AND SWEEPING, HOSE PAVING WITH FINE WATER SPRAY.

CARPENTRY:

- ALL LUMBER SHALL BE No. 1 GRADE WESTERN CEDAR UNLESS OTHERWISE STATED, AND SHALL BE STAMPED IN ACCORDANCE WITH THE CURRENT REQUIREMENTS OF THE LATEST MILWAUKEE STANDARD GRADING RULES.
- PRESSURE TREATED WOOD SHALL BE EITHER PINE, SPRUCE, OR FIR. THIS WOOD SHALL BE PRESSURE TREATED WITH A C.O.-B (ALKALINE COPPER QUAT TYPE 1) OR OTHER APPROVED WATERBORNE CHEMICAL IN ACCORDANCE WITH THE LATEST REQUIREMENTS OF C.S.A.-084.
- ALL CEDAR LUMBER IS TO BE STAMPED WITH ONE COAT OF A LATEX STAIN AS APPROVED BY THE LANDSCAPE ARCHITECT BEFORE APPLICATION.
- ALL WOOD SHALL BE SELECTED FOR UNIFORM APPEARANCE AND SIZE. SHALL BE STRUCTURALLY SOUND AND SHALL BE FREE OF SPLITS, CRACKS AND LOOSE AND OPEN KNOTS.
- ALL WOOD SHALL BE GRESSED FOUR SIDES.
- ALL SPIKES AND NAILS SHALL BE "ARDOX" SPIRAL SHANK.
- ALL SPIKES, NAILS, BOLTS, NUTS AND ANY OTHER METAL FASTENERS AND CONNECTORS SHALL BE HOT DIPPED, GALVANIZED IN ACCORDANCE WITH C.S.A.-064.
- CONCRETE FOR FOOTINGS SHALL HAVE A COMPRESSIVE STRENGTH OF 20.7 M.P.A. IN 28 DAYS (MIN).
- MAKE ALL TRIMMER CUTS STRAIGHT AND PLUMB TO INSURE A TIGHTLY BUTTED FLUSH JOINT. PAINT ALL OUTS TO PRESSURE TREATED WOOD WITH ONE COAT OF APPROVED PRESERVATIVE PRIOR TO ASSEMBLY.
- COUNTERSINK ALL BOLTS, NUTS, PLATES, ANCHORS, ETC. IN ORDER TO BE FLUSH WITH WOOD SURFACE AND AS DETAILED.

PLANTING:

- PREPARE PLANTING SOIL BY EVENLY MIXING FOUR PARTS SANDY TOPSOIL, ONE PART ORGANIC SOIL ADDITIVE WITH 500g BONE MEAL AND 750g COMMERCIAL FERTILIZER PER CUBIC METRE. THE FERTILIZING RATES ARE SUBJECT TO ADJUSTMENT ON RECEIPT OF TOPSOIL ANALYSIS REPORT.
- EXCAVATE AND PROVIDE PLANTING SOILS AS PER PLANTING DETAILS.
- PROVIDE ALL SHRUBS AND TREES ACCORDING TO THE GUIDE SPECIFICATIONS FOR NURSERY STOCK OF THE CANADIAN NURSERY TRADE ASSOCIATION WITH REGARD TO QUALITY AND GRADING AND SIZED AS PER PLANT LIST.
- SPRAY ALL PLANTINGS IN LEAF WITH ANTI-DESICCANT. PROVIDE TREES WITH STAKES.
- PLANTS ARE TO BE No. 1 NURSERY GROWN, UNDER PROPER CULTURAL PRACTICES, IN PARTICULAR WITH RESPECT TO AMPLE SPACING, PEST AND DISEASE CONTROL AND BRANCH AND ROOT PRUNING.
- TREES ARE TO HAVE STURDY, STRAIGHT TRUNKS. TREES SHALL BE WELL BRANCHED AND BALANCED WITH A STRONG CENTRAL LEADER.
- DECIDUOUS SHADE TREES SHALL BE FREE OF BRANCHES NOT LESS THAN 15mm ABOVE THE GROUND.
- ALL SHRUBS ARE TO BE PLANTED IN CONTINUOUS BEDS, DO NOT SOO BETWEEN PLANTS. EXCAVATE ENTIRE AREA OF SHRUB BED UNIFORM TO SPECIFIED DEPTH AND FILL WITH SPECIFIED PLANTING SOIL.

TOPSOIL:

- USE EVENLY MIXED TOPSOIL OF FERTILE, FRIABLE NATURAL LOAM CONTAINING NOT LESS THAN 4% ORGANIC MATTER FOR CLAY LOAMS AND 2% MINIMUM ORGANIC MATTER FOR SAND LOAMS WITH AN ACIDITY RANGE OF 5.5 TO 7.5 pH.
- ALL TOPSOIL SHOULD BE FREE OF SUBSOILS, CLAY, STONES, ROOTS, EXCESS WATER, FROST AND OTHER EXTRANEIOUS MATTER.

HYDRO SEEDING:

- HYDROSEED ALL DISTURBED AREAS AS WELL AS AREAS INDICATED ON PLANS.
- USE APPROPRIATE SEED MIX IN AREAS AS SPECIFIED.
- ENSURE THAT AREAS TO BE SEEDING HAVE BEEN CULTIVATED TO A DEPTH OF 25mm AND ARE MOST TO DEPTH OF 150mm BEFORE SEEDING. FINE GRADE AREA FREE OF HUMPS AND HOLLOW'S IS REQUIRED.
- OBTAIN LANDSCAPE ARCHITECT'S APPROVAL OF TOPSOIL GRADE AND DEPTH BEFORE STARTING TO SEED.
- FERTILIZER TO BE 8-32-16 AND TO BE APPLIED AT A RATE OF 300 KG/HECTARE.
- TACKLER IF REQUIRED, TO BE APPLIED AT A RATE OF 88 KG/HECTARE.
- INDICATE AREAS OF TACKLER USE TO LANDSCAPE ARCHITECT PRIOR TO APPLICATION.
- APPLY SEED MIX AT A RATE OF 150KG/HECTARE.
- SEEDING TO BE COMPLETED BETWEEN APRIL 1 AND MAY 15 OR BETWEEN AUGUST 15 AND SEPTEMBER 30.

TREE LOCATION:

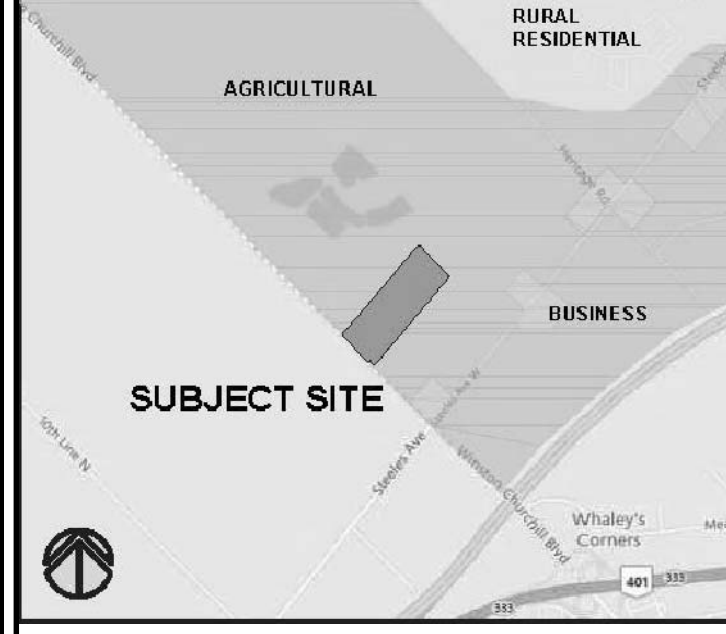
- NO TREES SHALL BE PLANTED UNDER OVERHEAD WIRES OR OVER UNDERGROUND SERVICES.
- TREES ARE NOT TO BE PLANTED LESS THAN 1M FROM CURBS, UNDERGROUND UTILITIES, SIDEWALKS AND DRIVEWAYS, 2m FROM FIRE HYDRANTS AND TRANSFORMERS, AND 4m FROM LIGHT STANDARDS.
- THE CONTRACTOR IS TO STAKE OUT LOCATIONS OF TREE PITS. THIS STAKE OUT IS TO BE INSPECTED BEFORE THE EXCAVATION OF ANY TREE PITS.
- BEFORE THIS STAKE OUT THE CONTRACTOR IS TO REQUEST A STAKE OUT ALL UNDERGROUND SERVICES.
- THE LANDSCAPE ARCHITECT AND THE MUNICIPALITY MAY, AT THEIR DISCRETION REDISTRIBUTE TREE LOCATIONS PRIOR TO PLANTING, IN ORDER TO MINIMIZE CONFLICTS WITH UTILITIES, DRIVEWAYS AND INTERSECTION VISIBILITY.

SOODING:

- PREPARE A MINIMUM 100mm DEPTH OF TOPSOIL WITH A 10-6-4 COMMERCIAL FERTILIZER AT 7.3kg/100sqm AND SUPER PHOSPHATE AT 5kg/100sqm. THE PROPORTIONS SPECIFIED ARE SUBJECT TO ADJUSTMENT DEPENDING ON TOPSOIL ANALYSIS REPORT.
- LAY No. 1 NURSERY SOO ON ALL AREAS OF THE PROJECT NOT COVERED BY BUILDINGS OR PAVING. IMMEDIATELY AFTER INSTALLATION, SOO MUST BE WATERED AND ROLLED.

GENERAL NOTES

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- DO NOT SCALE DRAWINGS.
- REPORT ANY DISCREPANCIES, DISCOVERED ERRORS, OR OMISSIONS TO THE LANDSCAPE ARCHITECT BEFORE PROCEEDING.
- IT IS ADVISED THAT CONTRACTORS CONTACT THE LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION TO ENSURE THE USE OF THE LATEST REVISED DRAWINGS.
- DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF THE LANDSCAPE ARCHITECT.



KEY MAP LEGEND

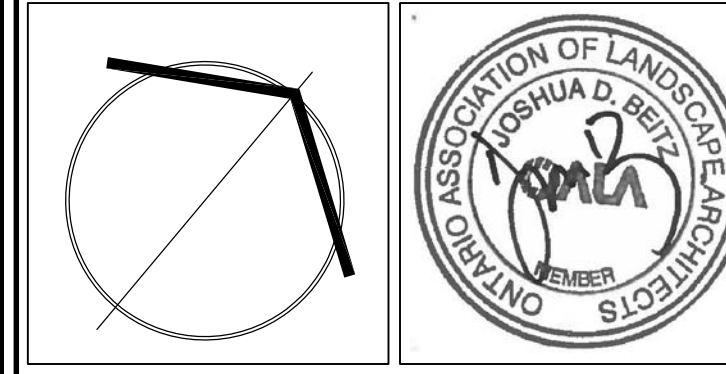
- EXISTING TREE TO BE PRESERVED
- PROPOSED DECIDUOUS TREE
- PROPOSED CONIFEROUS TREE
- PROPOSED SHRUBS
- PROPOSED PERENNIALS
- SOODING
- SEEDING
- DECORATIVE PILLAR
- DECORATIVE METAL FENCE
- CHAIN LINK FENCE
- RIVERSTONE
- PRECAST CONCRETE UNIT PAVERS

CITY OF BRAMPTON LANDSCAPE PLAN APPROVED
 subject to an agreement
 On This ___ Day of ___
 Allan Parsons
 Director, Development Services

LIST OF DRAWINGS

No.	DATE	REVISION	BY
5	FEB 27/2022	ISSUED FOR SPA SUBMISSION	J.D.B.
4	FEB 24/2022	REVISED AS PER ENVIRONMENTAL COMMENTS	J.D.B.
3	FEB 9/2022	ISSUED FOR SPA SUBMISSION	J.D.B.
2	NOV 5/2020	ISSUED FOR RESUBMISSION	J.D.B.
1	DEC 10/2018	ISSUED FOR REZONING SUBMISSION	J.D.B.

It is the responsibility of the Contractor and/or Owner to ensure that the drawings with the latest revisions are used for construction.



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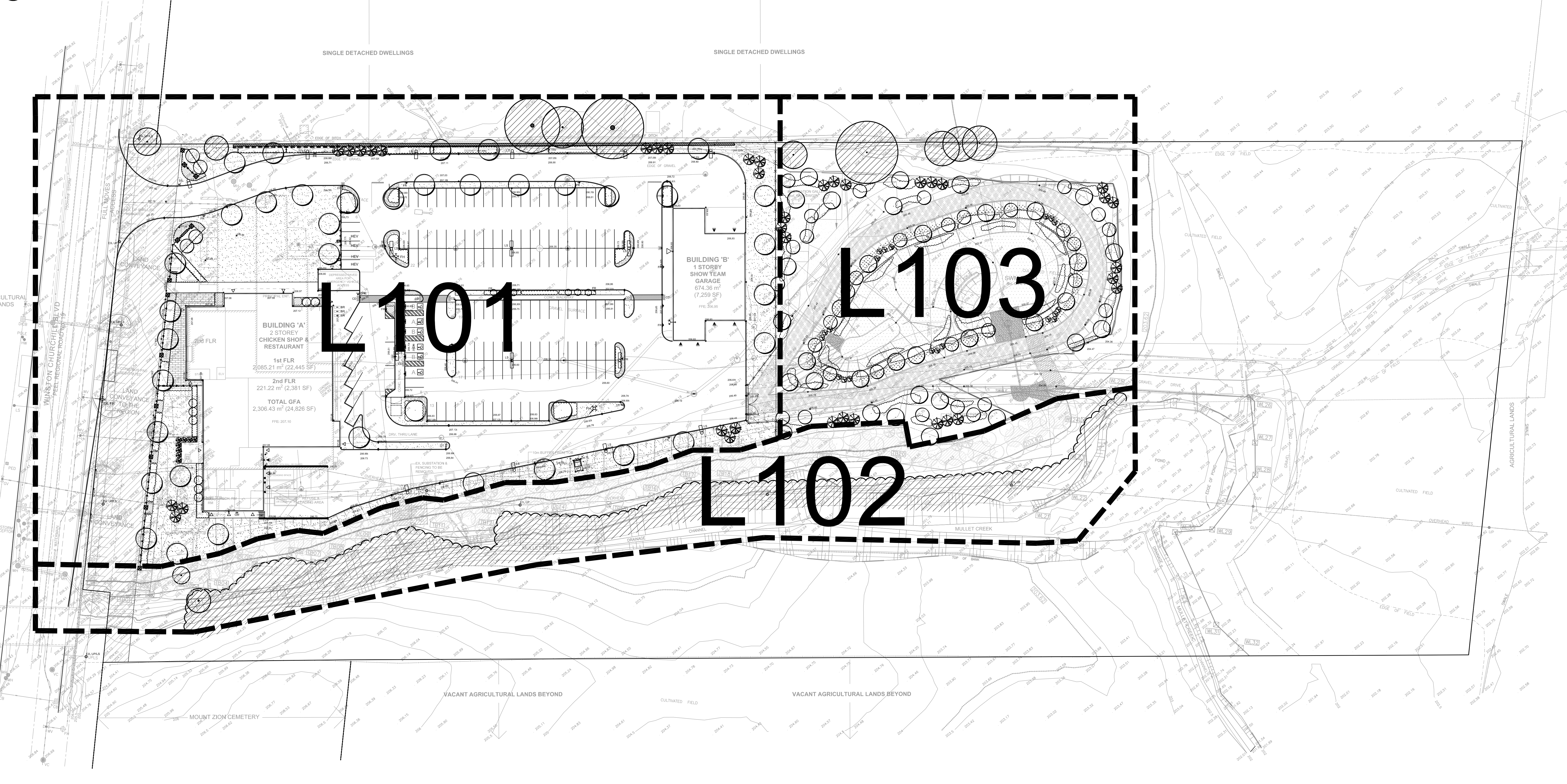
STRYBOS BARRON KING
 LANDSCAPE ARCHITECTURE

PROJECT: **MAPLE LODGE FARMS RETAIL OUTLET**
 8175 WINSTON CHURCHILL BOULEVARD
 BRAMPTON, ON
 SPA-2022-0043

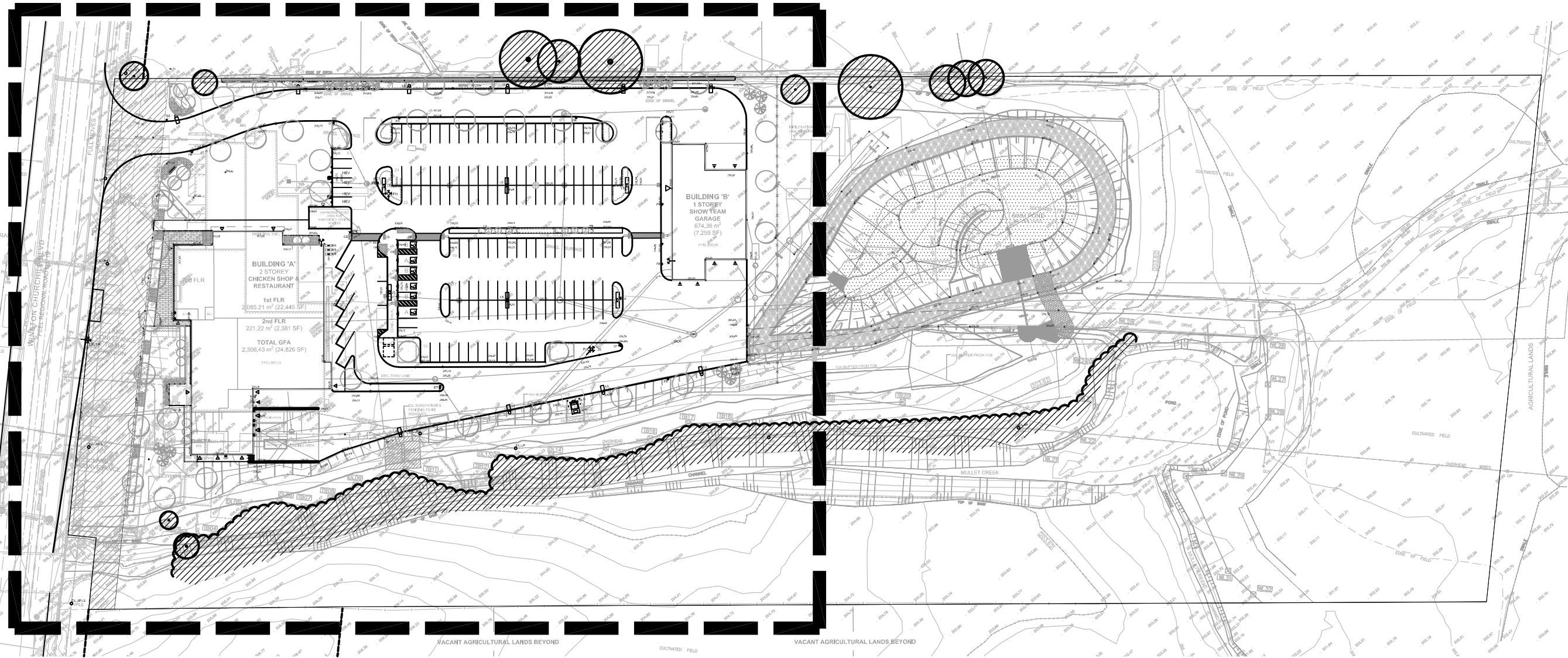
DRAWING TITLE: **LANDSCAPE KEY PLAN**

SCALE: 1 : 500	PROJECT No. 18-5133
DATE: JULY 2018	DRAWING No. L100
DRAWN BY: SS	
CHECKED BY: MG	

1 LANDSCAPE GENERAL NOTES



FOR ENLARGEMENT SEE THIS SHEET



1 KEY PLAN (1: 1250)

PLANT LIST (MASTER PLANT LIST)

DECIDUOUS TREES									
KEY	QUANT.	BOTANICAL NAME	COMMON NAME	CAL.	HEIGHT	SPREAD	SPACE	COND.	KEY
AF	05	Acer x freemanii 'Jeffersred'	Autumn Blaze® Maple	60	4000	2000	-	SB	AF
AS	08	Acer spicatum	Sugar Maple	60	4000	2000	-	SB	AS
CO	07	Celtis occidentalis	Hackberry	60	4000	2000	-	SB	CO
GB	02	Ginkgo biloba	Ginkgo Tree	60	4000	2000	-	SB	GB
GT	06	Gleditsia triacanthos var. intermedia	Shademaster Honeylocust	60	4000	2000	-	SB	GT
PA	04	Platanus x acerifolia	London Plane Tree	60	4000	2000	-	SB	PA
QM	06	Quercus macrocarpa	Bur Oak	60	4000	2000	-	SB	QM
QR	04	Quercus rubra	Red Oak	60	4000	2000	-	SB	QR
TA	01	Tilia americana	Basswood	60	4000	2000	-	SB	TA

CONIFEROUS TREES									
KEY	QUANT.	BOTANICAL NAME	COMMON NAME	CAL.	HEIGHT	SPREAD	SPACE	COND.	KEY
AC	08	Abies concolor	White Fir	3000	3000	-	-	SB	AC
PG	11	Picea glauca	White Spruce	1750	-	3000	-	SB	PG
TO	08	Thuja occidentalis 'Nigra'	Black Spruce	1500	-	1500	-	SB	TO

LARGE DECIDUOUS SHRUBS									
KEY	QUANT.	BOTANICAL NAME	COMMON NAME	CAL.	HEIGHT	SPREAD	SPACE	COND.	KEY
Amo	08	Amelanchier alnifolia	Regent Saskatoon Berry	1200	-	-	-	CG (small)	Amo
Coa	08	Cornus alternifolia	Pagoda Dogwood	1200	-	-	-	CG (small)	Coa

DECIDUOUS SHRUBS									
KEY	QUANT.	BOTANICAL NAME	COMMON NAME	CAL.	HEIGHT	SPREAD	SPACE	COND.	KEY
Chs	86	Cornus sericea	Red Osier Dogwood	600	-	900	CG	CG	Chs
Dil	92	Dierilla lonicera	Bush Honeysuckle	600	-	900	CG	CG	Dil
Hme	68	Hydrangea macrophylla 'Endless Summer'	Endless Summer Hydrangea	600	-	900	CG	CG	Hme
Rha	138	Rhus aromatica 'Grow-Low'	Grow-Low Fragrant Sumac	600	600	1000	CG	CG	Rha
Ros	05	Rosa rugosa	Japanese Rose	600	-	900	CG	CG	Ros
Sym	30	Syringa meyeri 'Palibin'	Dwarf Korean Lilac	600	-	900	CG	CG	Sym

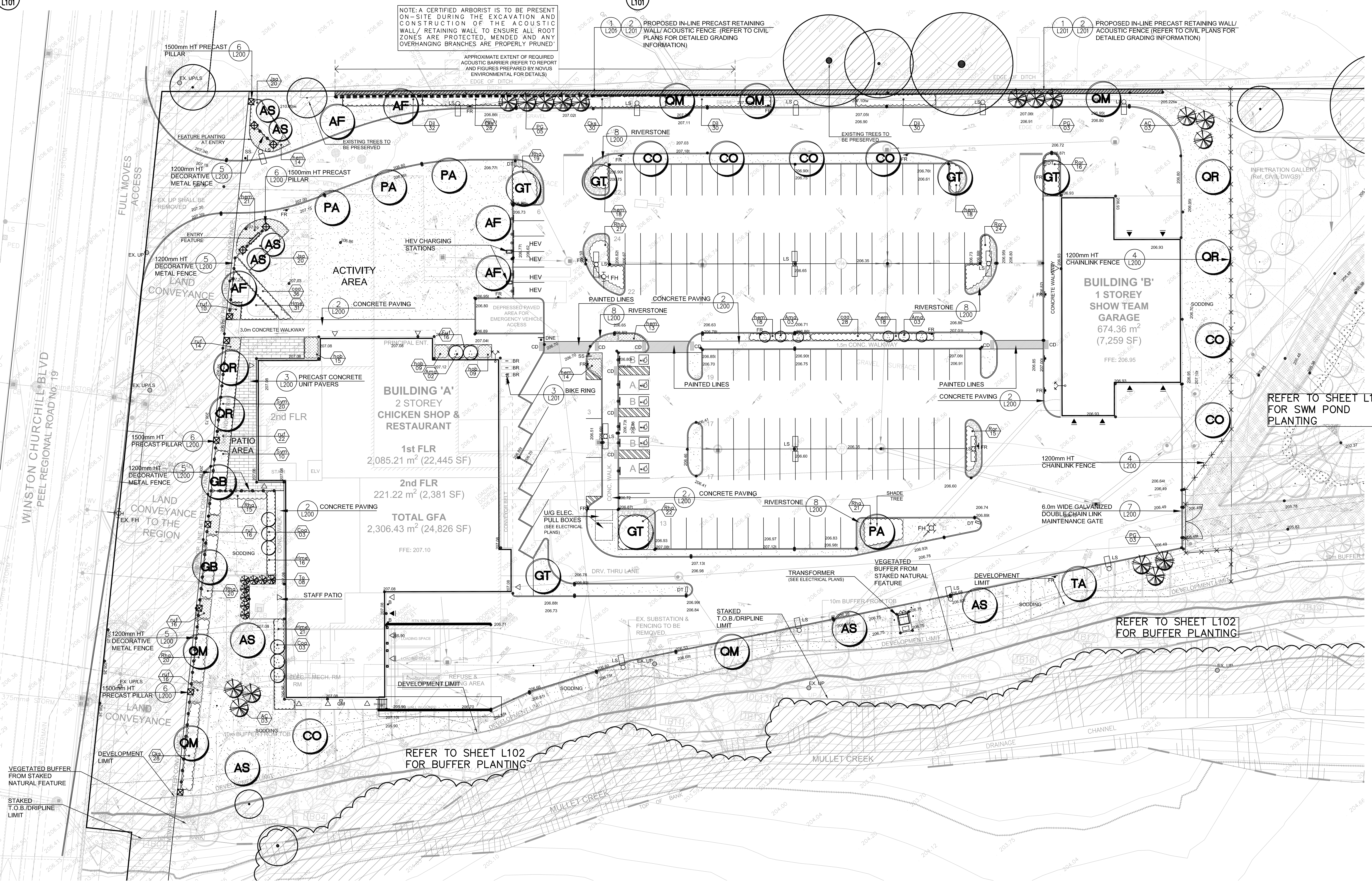
CONIFEROUS SHRUBS									
KEY	QUANT.	BOTANICAL NAME	COMMON NAME	CAL.	HEIGHT	SPREAD	SPACE	COND.	KEY
Euf	16	Euonymus fortunei 'Coloratus'	Purpleleaf Wintercreeper	-	600	750	CG	CG	Euf
Jsa	40	Juniperus sabinio 'Arcadia'	Arcadia Juniper	-	600	900	CG	CG	Jsa

PERENNIALS									
KEY	QUANT.	BOTANICAL NAME	COMMON NAME	SPACE	COND.	KEY			
Hem	134	Hemerocallis 'Stella D'Or'	Stella D'Or Daylily	600	1 Gallon	Potted	Hem		
Hob	83	Hosta 'Blue Wedgewood'	Blue Wedgewood Hosta	750	1 Gallon	CG	Hob		
Coa	64	Calamagrostis acutiflora 'Karl Foerster'	Feather Reed Grass	700	2 Gallon	Potted	Coa		
Ruf	94	Rudbeckia fulgida var. sullivantii 'Little Goldstar'	Little Goldstar Black-Eyed Susan	600	1 Gallon	Potted	Ruf		

PLANTING NOTES:

- CHECK ALL QUANTITIES
- REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT
- THE QUANTITIES INDICATED ON THE PLAN SUPERSEDE THE TOTALS OF THE PLANT LIST
- THE LAYOUT OF ALL PLANT MATERIAL IS TO BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO PLANTING.

2 PROPOSED PLANT LIST



GENERAL NOTES

- VERIFY ALL DIMENSIONS.
- DO NOT SCALE DRAWINGS.
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KEY MAP LEGEND

- EXISTING TREE TO BE PRESERVED
- PROPOSED DECIDUOUS TREE
- PROPOSED CONIFEROUS TREE
- PROPOSED SHRUBS
- PROPOSED PERENNIALS
- SOODING
- SEEDING
- DECORATIVE PILLAR
- DECORATIVE METAL FENCE
- CHAIN LINK FENCE
- RIVERSTONE
- PRECAST CONCRETE UNIT PAVERS

CITY OF BRAMPTON LANDSCAPE PLAN APPROVED

subject to an agreement

On This ___ Day of _____

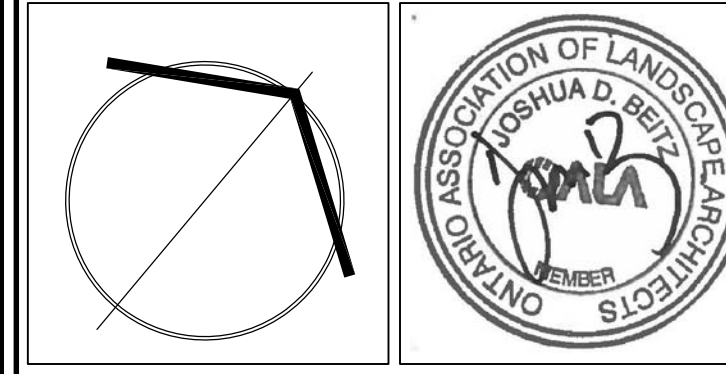
Allan Parsons
Director, Development Services

LIST OF DRAWINGS

No.	DATE	REVISION	BY
L100			
L101			
L102			
L103			
L200			
L201			
V100			

No.	DATE	REVISION	BY
5	FEB 27/2022	ISSUED FOR SPA RESUBMISSION	J.D.B.
4	FEB 24/2022	REVISED AS PER ENVIRONMENTAL COMMENTS	J.D.B.
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2	NOV 5/2020	ISSUED FOR RESUBMISSION	J.D.B.
1	DEC 10/2018	ISSUED FOR REZONING SUBMISSION	J.D.B.

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LANDSCAPE ARCHITECTURE

PROJECT: **MAPLE LODGE FARMS RETAIL OUTLET**
8175 WINSTON CHURCHILL BOULEVARD
BRAMPTON, ON
SPA-2022-0043

DRAWING TITLE: **LANDSCAPE PLAN**

SCALE: 1 : 500 PROJECT No. 18-5133

DATE: JULY 2018

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