

APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **POOJA SHRESTHA AND JIVESH THAPA CHHETRI** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Lot 73, Plan 43M-1048 municipally known as **37 VALONIA ROAD**, Brampton;

AND WHEREAS the applicants are requesting the following variance(s):

1. To permit 1 parking space for a principal unit whereas the by-law requires 2 parking spaces for a principal unit.

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO File Number: _____
Application for Consent: NO File Number: _____

The Committee of Adjustment has appointed **TUESDAY, March 7, 2023 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant, the Minister, a specified person or a public body.

RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this this 23rd Day of February, 2023.

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca

GENERAL NOTES:
 DRAWINGS ARE TO BE READ NOT
 SCALED.
 CONTRACTOR MUST VERIFY ALL
 DIMENSIONS AND BE RESPONSIBLE
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NO.	DESCRIPTION	DATE
1	ISSUED FOR BUILDING PERMIT	FEB 06, 2023

ENGINEER:
Mechways Inc.
 ADDRESS : 2751 THAMESGATE DRIVE,
 MISSISSAUGA, ON, L4T 1G5
 TEL : 416-627-4100
 EMAIL : INFO@MECHWAYS.COM
 WEBSITE : WWW.MECHWAYS.COM

CONSULTANT:

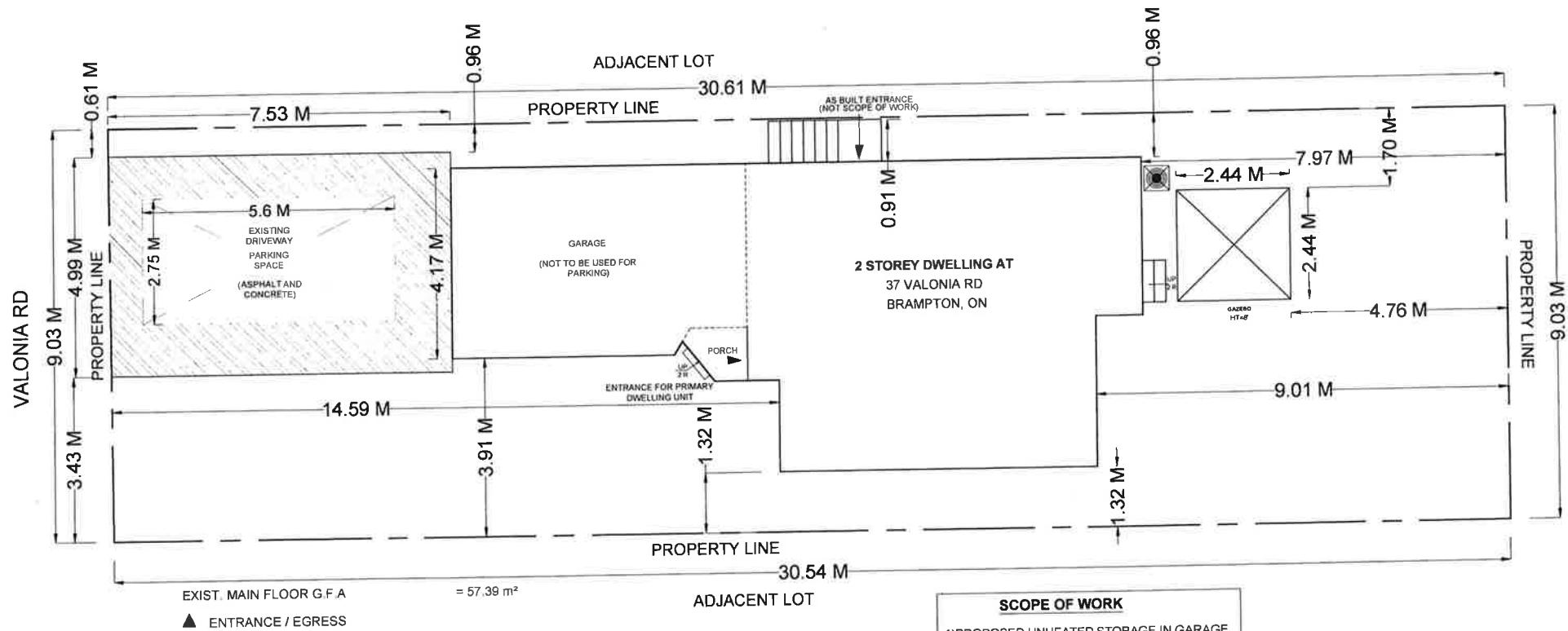
PROJECT:
 PROPOSED UNHEATED
 STORAGE
 AT 37 VALONIA

SHEET TITLE:
SITE PLAN

CHECKED: MBS
 DRAWN: AW
 SCALE: 1:100
 DATE: FEB/06/ 2023

DRAWING:

A 0.1



Under the authority of the Emergency Management and Civil Protection Act and the Municipal Act, 2001, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

**Electronic/Hybrid Hearing Procedures
How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **March 7, 2023** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

How to Participate in the Hearing:

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, March 2, 2023.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
 1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, March 2, 2023.**
 2. To participate in-person, please email the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, March 2, 2023.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, March 2, 2023.** . City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.



The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION
Minor Variance or Special Permission
(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** Pooja Shrestha, Jivesh Thapa Chhetri
Address 37 Valonia Dr. Brampton, L6V 4J2

Phone # 647 705 2728, 647 575 0132 **Fax #** _____
Email sthapuja123@gmail.com

2. **Name of Agent** Valiuddin Mohammed
Address 2751 Thamesgate Dr. Mississauga, L4T 1G5

Phone # 647 786 5940 **Fax #** _____
Email info@mechways.com

3. **Nature and extent of relief applied for (variances requested):**
Seeking relief from by law to allow one parking space for principal dwelling unit. The existing single garage is proposed for storage purpose and thereby the parking space is reduced to one.

4. **Why is it not possible to comply with the provisions of the by-law?**
As per the zoning by law, each residential property must have 2 legal sized parking spaces. As an unheated storage is being proposed in the garage, only 1 parking space on the driveway is available for the principal dwelling unit.

5. **Legal Description of the subject land:**
Lot Number 73
Plan Number/Concession Number M1048
Municipal Address 37 Valonia Rd, Brampton, L6V 4J2

6. **Dimension of subject land (in metric units)**
Frontage 9.03 M
Depth 30.54 M
Area 275.7 SQ M

7. **Access to the subject land is by:**
Provincial Highway Seasonal Road
Municipal Road Maintained All Year Other Public Road
Private Right-of-Way Water

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

A 2 storied detached dwelling with a single attached garage in front with a main floor area of 57.39 sq m.

PROPOSED BUILDINGS/STRUCTURES on the subject land:

A proposed unheated storage space in the garage with an area of 7.90 sq m.

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback	7.53 m
Rear yard setback	7.97 m
Side yard setback	0.96 m
Side yard setback	1.32 m

PROPOSED

Front yard setback	7.53 m
Rear yard setback	7.97 m
Side yard setback	0.96 m
Side yard setback	1.32 m

10. Date of Acquisition of subject land: 2018

11. Existing uses of subject property: Residential

12. Proposed uses of subject property: Residential

13. Existing uses of abutting properties: Residential

14. Date of construction of all buildings & structures on subject land: 1985

15. Length of time the existing uses of the subject property have been continued: Since 1985

16. (a) What water supply is existing/proposed?

Municipal	<input checked="" type="checkbox"/>	Other (specify)	_____
Well	<input type="checkbox"/>		

(b) What sewage disposal is/will be provided?

Municipal	<input checked="" type="checkbox"/>	Other (specify)	_____
Septic	<input type="checkbox"/>		

(c) What storm drainage system is existing/proposed?

Sewers	<input checked="" type="checkbox"/>	Other (specify)	_____
Ditches	<input type="checkbox"/>		
Swales	<input type="checkbox"/>		

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes No

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes No

19. Has the subject property ever been the subject of an application for minor variance?

Yes No Unknown

If answer is yes, provide details:

File # _____ Decision _____ Relief _____
File # _____ Decision _____ Relief _____
File # _____ Decision _____ Relief _____

VALIUDDIN MOHAMMED

Digitally signed by VALIUDDIN MOHAMMED
DN: cn=VALIUDDIN MOHAMMED, o, ou=MECHWAYS INC, email=mechways@gmail.com, c=CA
Date: 2022.12.20 14:26:13 -05'00'

Signature of Applicant(s) or Authorized Agent

DATED AT THE City _____ OF Mississauga

THIS 09 DAY OF December, 2022.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Valiuddin mohammed OF THE City OF Mississauga

IN THE region OF Peel SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

city OF Toronto

IN THE Province OF

Ontario THIS 19th DAY OF

December, 2022

VALIUDDIN MOHAMMED

Digitally signed by VALIUDDIN MOHAMMED
DN: cn=VALIUDDIN MOHAMMED, o, ou=MECHWAYS INC, email=mechways@gmail.com, c=CA
Date: 2022.12.20 14:26:59 -05'00'

Signature of Applicant or Authorized Agent

Submit by Email

Ramesh Patel
A Commissioner etc
Ramesh Patel Law Professional Corporation
127 Westmore Dr. Unit # 101,
Toronto, ON, M9V 3Y6

Tel: 416-742-2999 Fax: 416-742-2999 FOR OFFICE USE ONLY

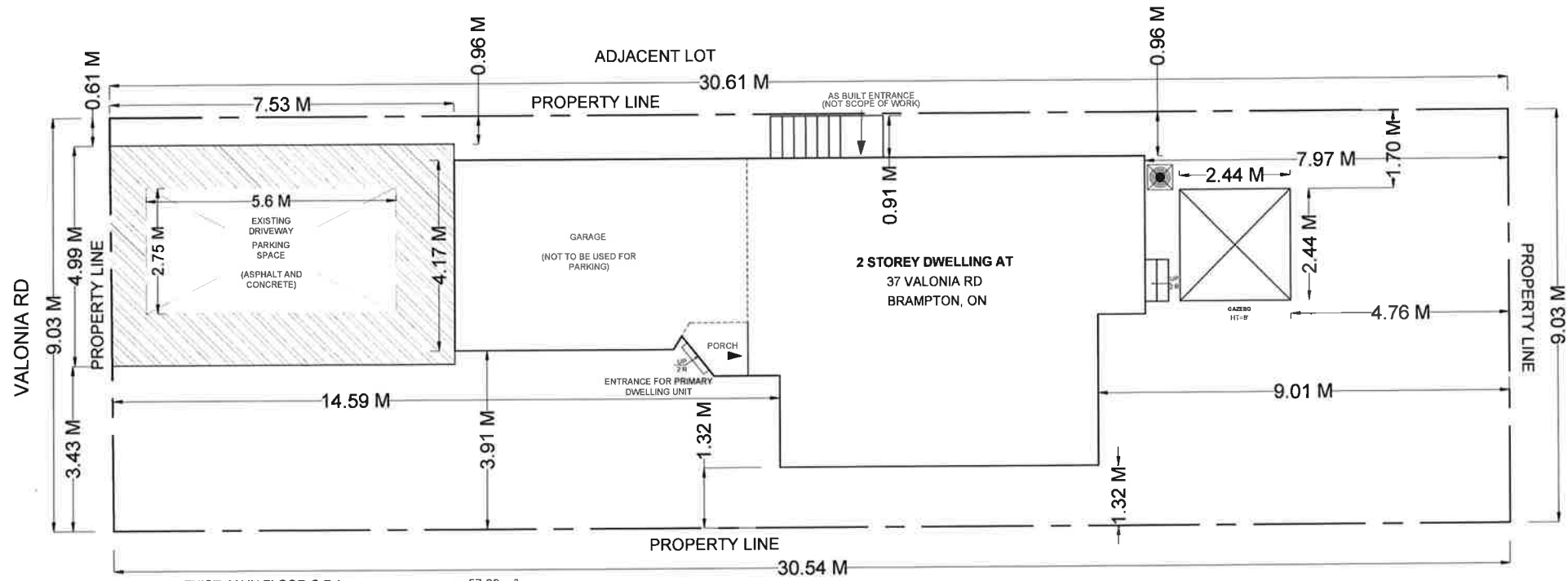
Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Zoning Officer Date

DATE RECEIVED *January 9, 2023*



EXIST. MAIN FLOOR G.F.A = 57.39 m²
 ▲ ENTRANCE / EGRESS

SCOPE OF WORK
 1) PROPOSED UNHEATED STORAGE IN GARAGE
 AREA OF WORK = 85 ft² / 7.90 m²

NOTE: SECOND DWELLING UNIT IS NOT INTENDED

GENERAL NOTES:
 DRAWINGS ARE TO BE READ NOT SCALED.
 CONTRACTOR MUST VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR THE SAME.
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NO.	DESCRIPTION	DATE
1	ISSUED FOR BUILDING PERMIT	FEB 06, 2023

ENGINEER:

 ADDRESS : 2751 THAMESGATE DRIVE, MISSISSAUGA, ON, L4T 1G5
 TEL : 416-627-4130
 EMAIL : INFO@MECHWAYS.COM
 WEBSITE : WWW.MECHWAYS.COM

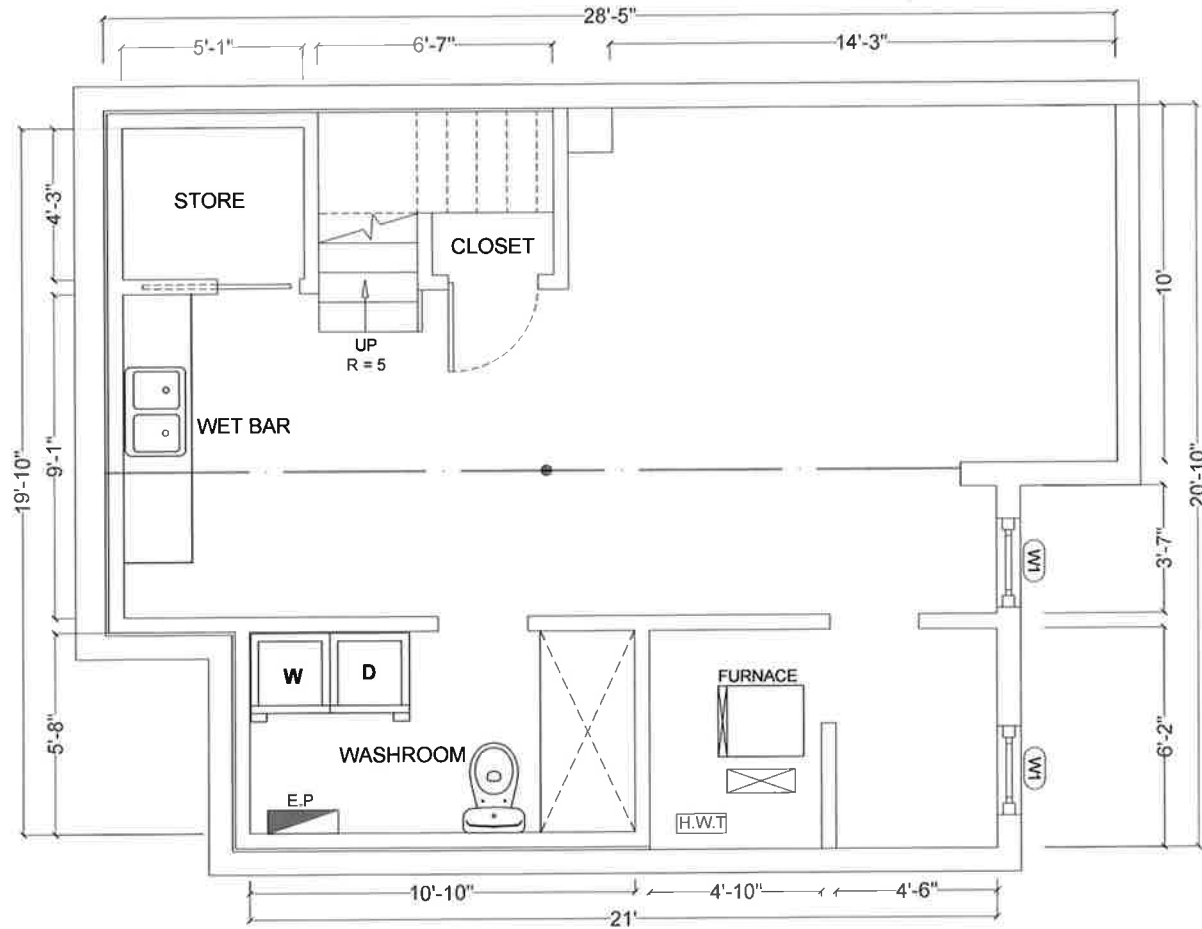
CONSULTANT:

PROJECT:
 PROPOSED UNHEATED STORAGE AT 37 VALONIA

SHEET TITLE:
 SITE PLAN

CHECKED: MBS
 DRAWN: AW
 SCALE: 1:100
 DATE: FEB/06/ 2023





EXIST. BASEMENT PLAN
 BASEMENT G.F.A = 586 ft² / 54.51 m²
 FINISHED CEILING HEIGHT = 7' - 4"
 FINISHED CEILING HEIGHT U/S OF DUCT = 6' - 7"

WINDOW SCHEDULE	
WINDOW#	WINDOW SIZE
EXIST. W1	30" x 12"

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 TEL : 416-627-4100
 EMAIL : INFO@MECHWAYS.COM
 WEBSITE : WWW.MECHWAYS.COM

CONSULTANT:

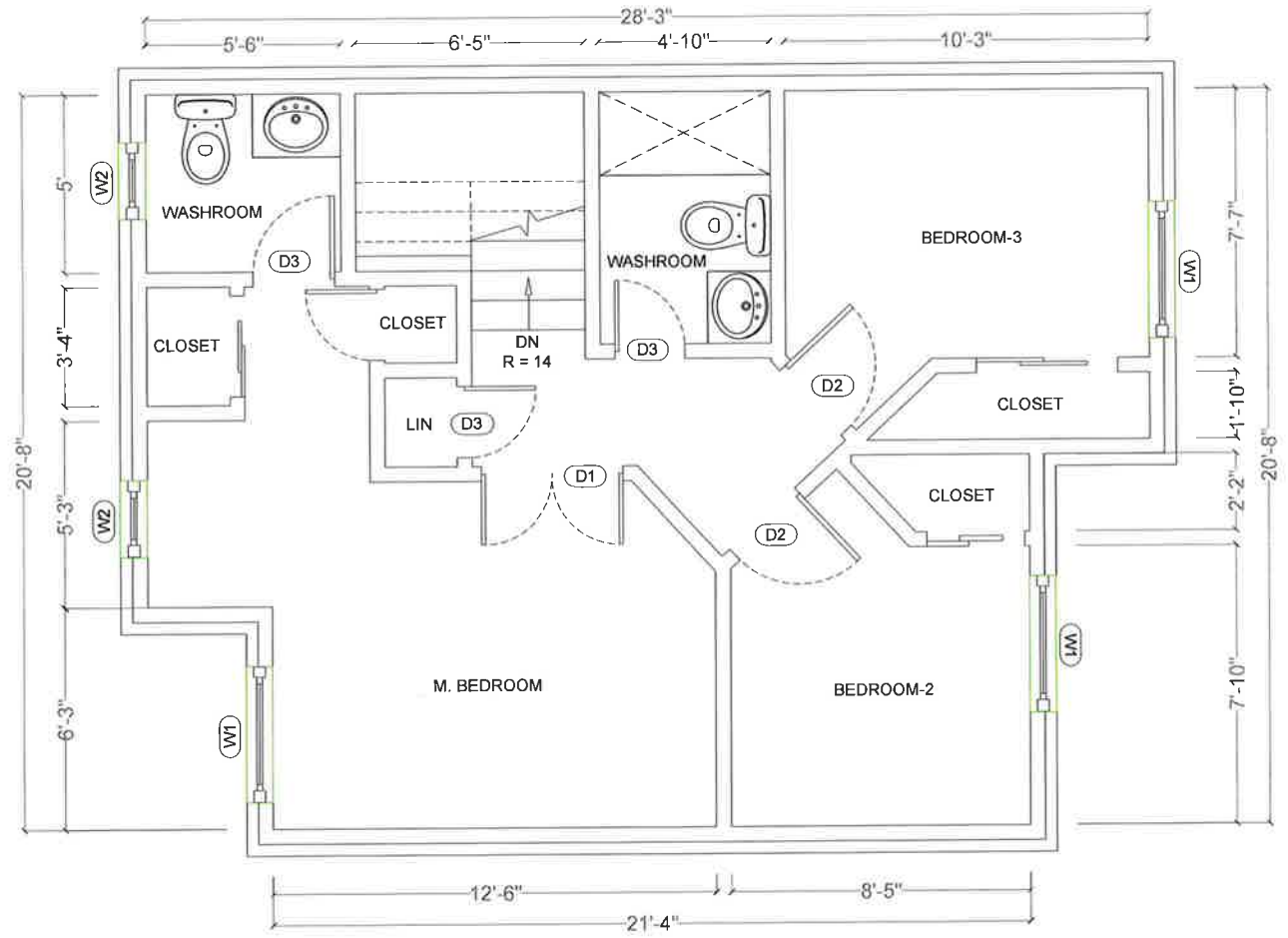
PROJECT:
 PROPOSED UNHEATED STORAGE AT 37 VALONIA

SHEET TITLE:
 EXIST. BASEMENT PLAN

CHECKED: MSS
 DRAWN: AW
 SCALE: 1/4" = 1'
 DATE: FEB/06/ 2023

DRAWING:

 A 1.3



EXIST. SECOND FLOOR PLAN

SECOND FLOOR G.F.A = 586 ft² / 54.51 m²
 FIN. CEILING HEIGHT = 7'-11"

WINDOW SCHEDULE	
WINDOW	SIZE
EXIST.W1	46" X 42"
EXIST.W2	26" X 42"

DOOR SCHEDULE	
DOOR	SIZE
EXIST.D1	48" X 80"
EXIST.D2	30" X 80"
EXIST.D3	24" X 80"

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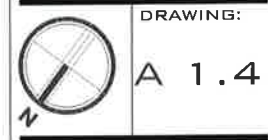
Mechways Inc.
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 TEL : 416-627-4100
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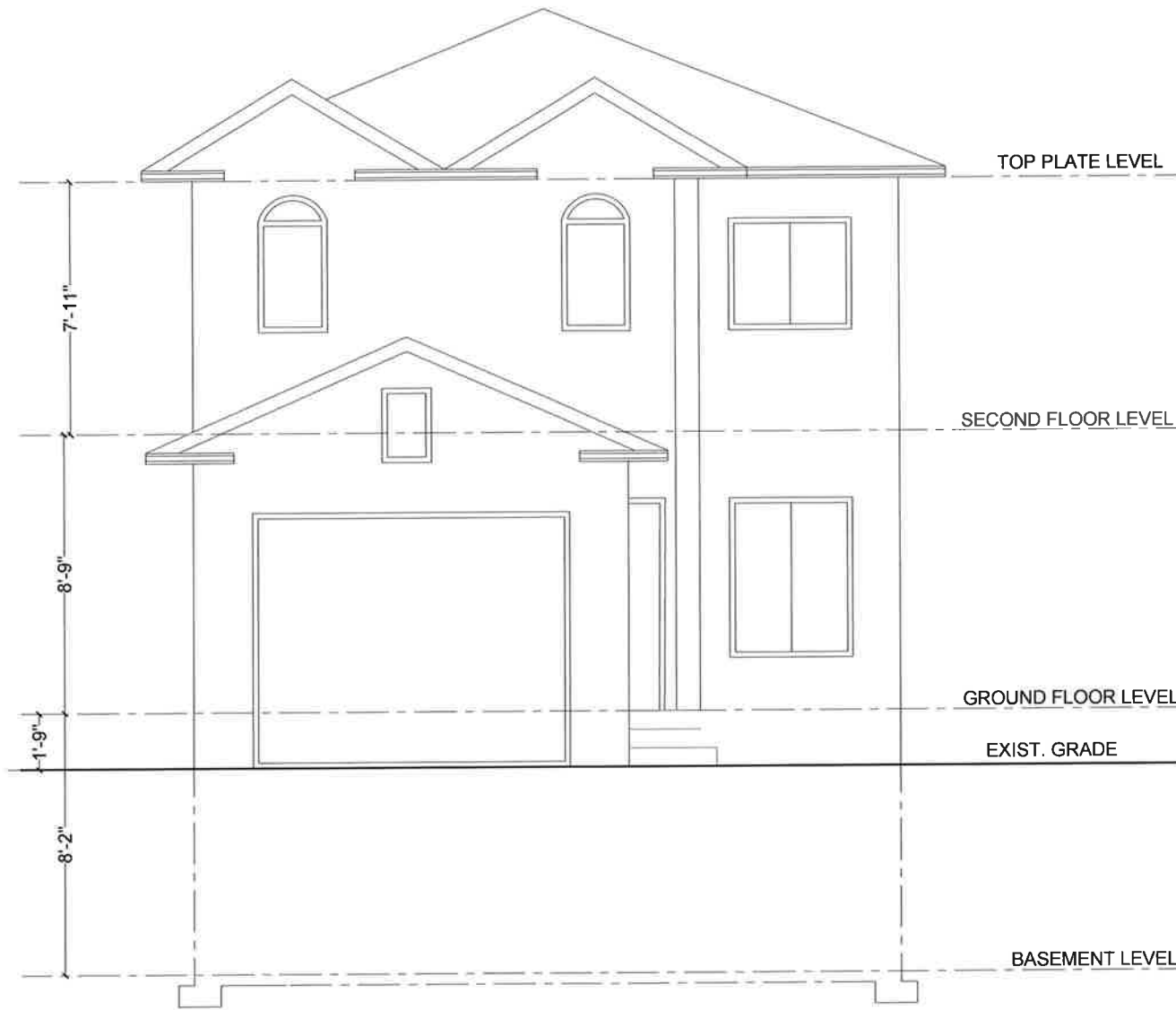
CONSULTANT:

PROJECT:
 PROPOSED UNHEATED STORAGE AT 37 VALONIA

SHEET TITLE:
 EXIST. SECOND FLOOR PLAN

CHECKED: MBS
 DRAWN: AW
 SCALE: 1/4" = 1'
 DATE: FEB/06/ 2023





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SEAL:



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 MISSISSAUGA, ON, L4T 1G5
 TEL : 416-627-4100
 EMAIL : INFO@MECHWAYS.COM
 WEBSITE : WWW.MECHWAYS.COM

CONSULTANT:

PROJECT:

PROPOSED UNHEATED
 STORAGE
 AT 37 VALONIA

SHEET TITLE:

**FRONT
 ELEVATION PLAN**

CHECKED: MSB

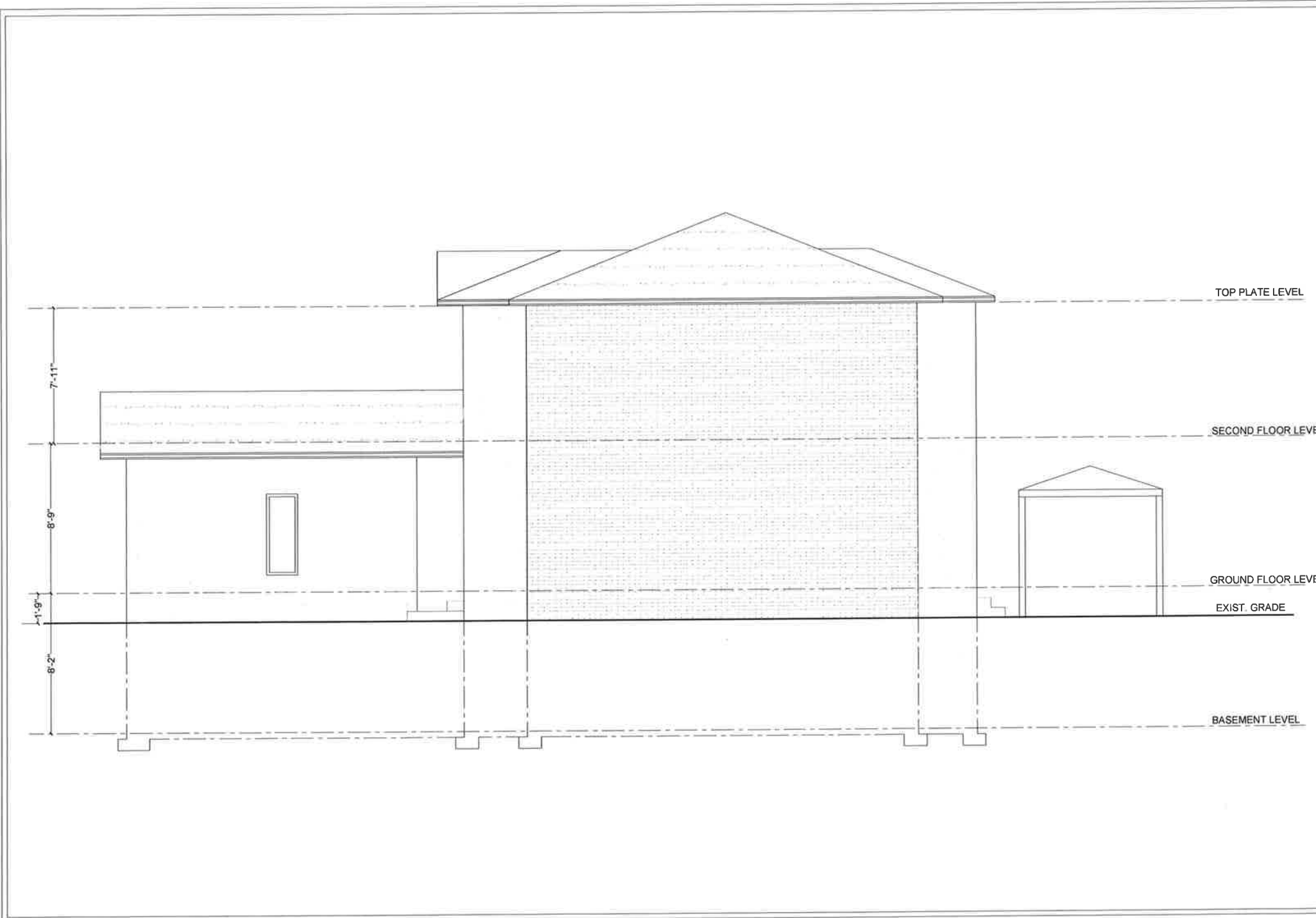
DRAWN: AW

SCALE: 1/4" = 1'

DATE: FEB/06/ 2023

DRAWING:

A 2.1



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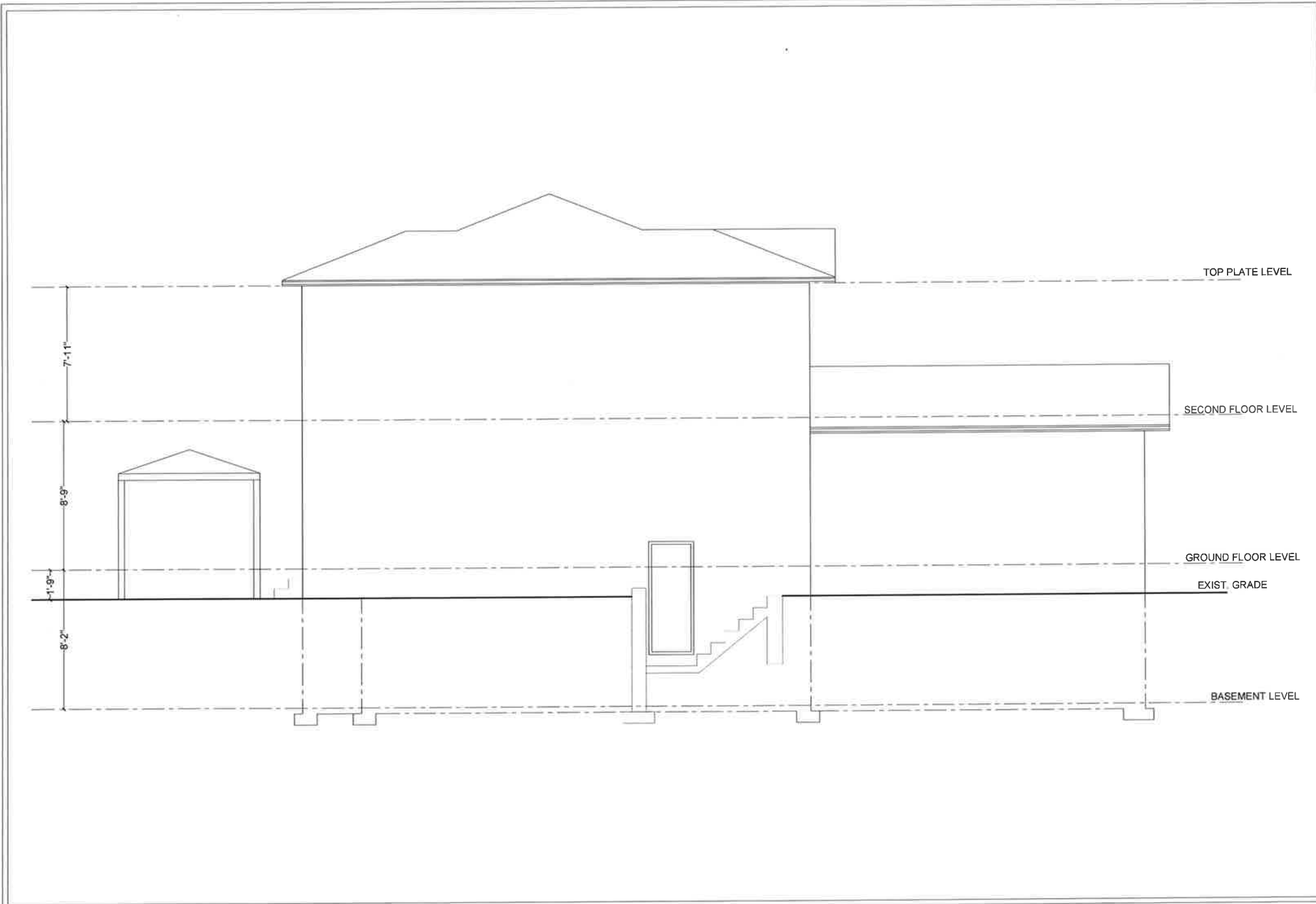
ENGINEER:
Mechways Inc.
 ADDRESS : 2751 THAMESGATE DRIVE
 MISSISSAUGA, ON L4T 1G5
 TEL : 416-627-4100
 EMAIL : INFO@MECHWAYS.COM
 WEBSITE : WWW.MECHWAYS.COM

CONSULTANT:
 PROJECT:
 PROPOSED UNHEATED STORAGE AT 37 VALONIA

SHEET TITLE:
RIGHT ELEVATION PLAN

CHECKED: MSS
 DRAWN: AW
 SCALE: 3/16" = 1'
 DATE: FEB/06/ 2023

DRAWING:
A 2.2



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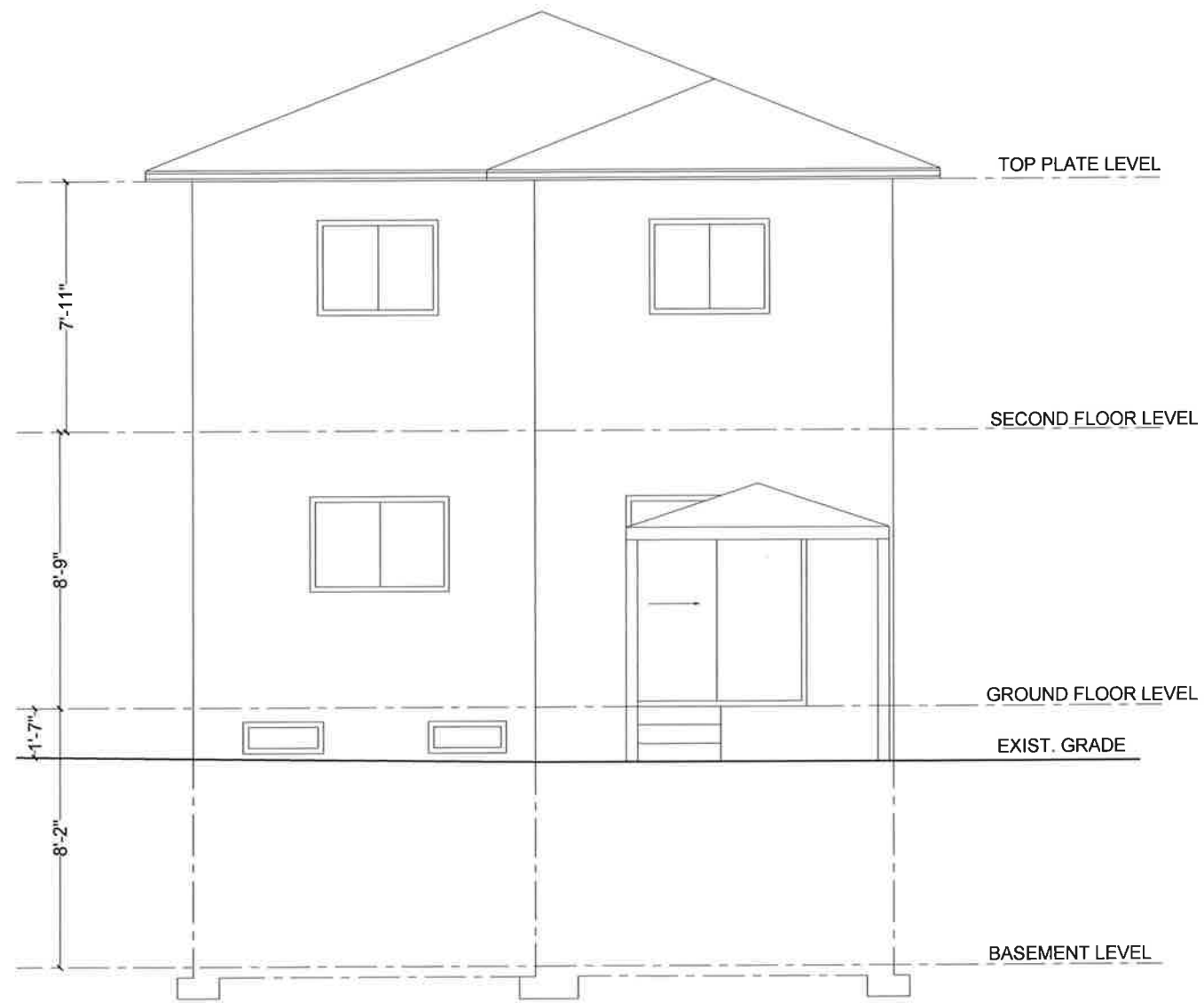
CONSULTANT:

PROJECT:
 PROPOSED UNHEATED
 STORAGE
 AT 37 VALONIA

SHEET TITLE:
 LEFT ELEVATION
 PLAN

CHECKED: MBS
 DRAWN: AW
 SCALE: 3/16" = 1'
 DATE: FEB/06/ 2023

DRAWING:
A 2.3



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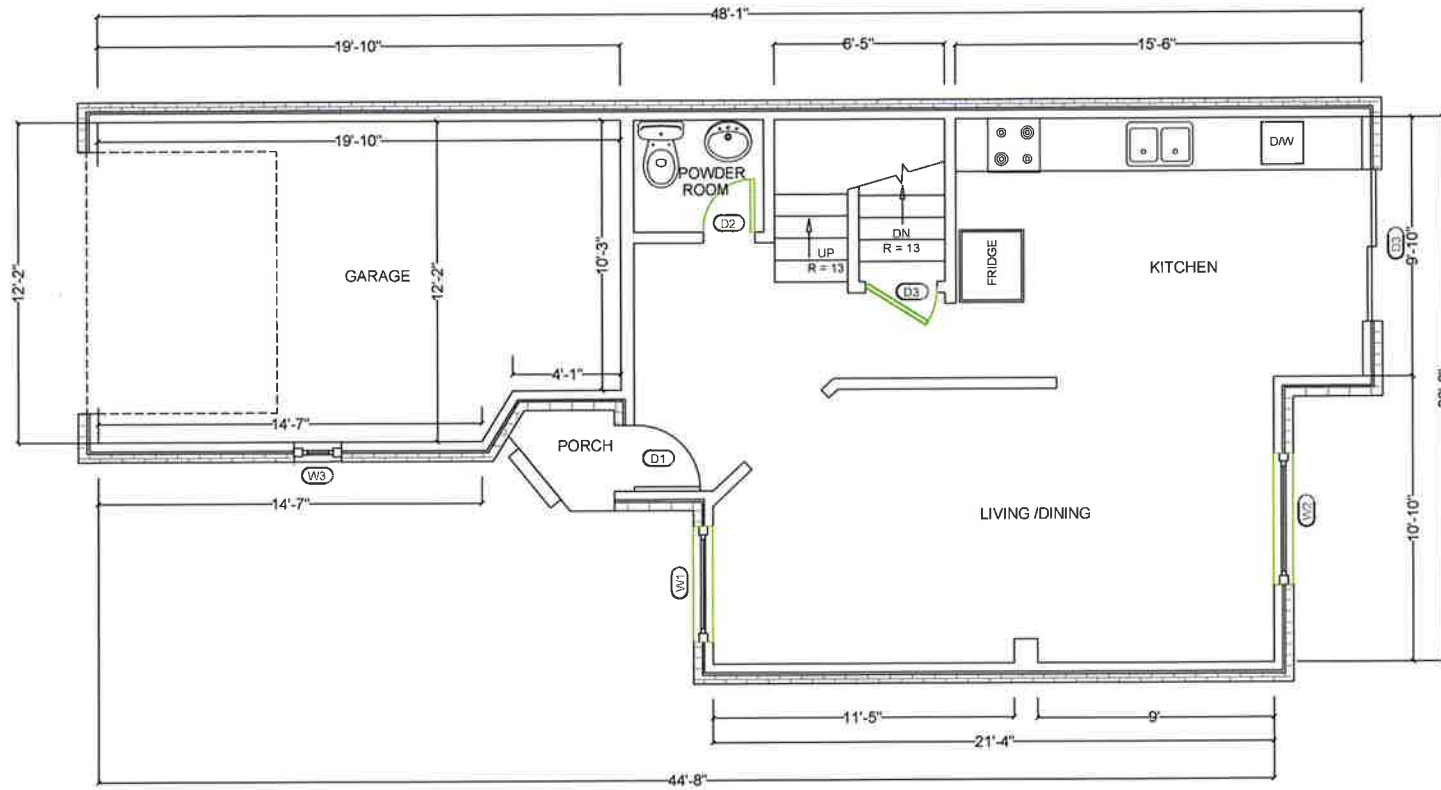
CONSULTANT:

PROJECT:
 PROPOSED UNHEATED STORAGE
 AT 37 VALDNIA

SHEET TITLE:
 REAR
 ELEVATION PLAN

CHECKED: MSS
 DRAWN: AW
 SCALE: 3/16" = 1'
 DATE: FEB/06/ 2023

DRAWING:
A 2.4



EXIST. MAIN FLOOR PLAN

GROUND FLOOR G.F.A = 586 ft² / 54.51 m²
 FIN. CEILING HEIGHT = 7'-11"

WINDOW SCHEDULE	
WINDOW	SIZE
EXIST. W1	46" X 60"
EXIST. W2	53" X 37"
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NO.	DESCRIPTION	DATE
1	ISSUED FOR BUILDING PERMIT	NOV 17, 2022


ENGINEER:
Mechways Inc.
 ADDRESS : 2751 THAMESGATE DRIVE, MISSISSAUGA, ON, L4T 1G5
 TEL : 416.627.4100
 EMAIL : INFO@MECHWAYS.COM
 WEBSITE : WWW.MECHWAYS.COM

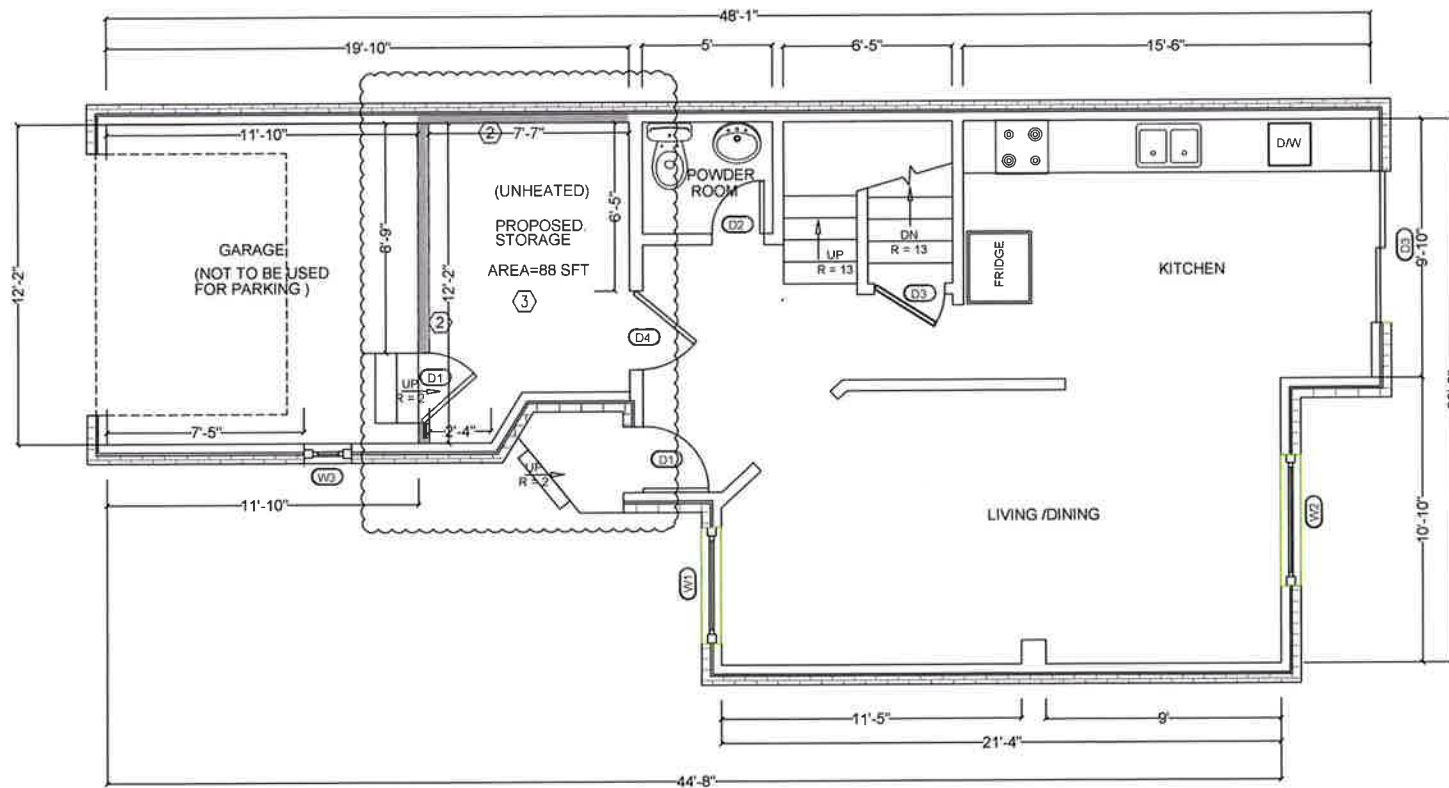
CONSULTANT:

PROJECT:
 PROPOSED UNHEATED STORAGE AT 37 VALONIA

SHEET TITLE: EXIST. MAIN FLOOR PLAN

CHECKED: MSS
 DRAWN: AW
 SCALE: 3/16" = 1'
 DATE: NOV/02/ 2022

DRAWING:

A 1.1



PROP. MAIN FLOOR PLAN	
EXIST. GROUND FLOOR G.F.A	= 586 ft ² / 54.51 m ²
FIN. CEILING HEIGHT	= 7'-11"
PROP. UNHEATED STORAGE	= 88 ft ² / 8.18 m ²

WINDOW SCHEDULE	
WINDOW	SIZE
EXIST. W1	46" X 60"
EXIST. W2	53" X 37"
EXIST. W3	22" X 57"

DOOR SCHEDULE	
DOOR	SIZE
EXIST. D1	32" X 80"
EXIST. D2	24" X 80"
EXIST. D3	69" X 80"
PROP. D4	36" X 80"

GENERAL NOTES:
 DRAWINGS ARE TO BE READ NOT SCALED.
 CONTRACTOR MUST VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR THE SAME.
 REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE COMMENCING THE WORK.
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NO.	DESCRIPTION	DATE
1	ISSUED FOR BUILDING PERMIT	NOV 17, 2022

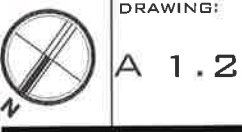
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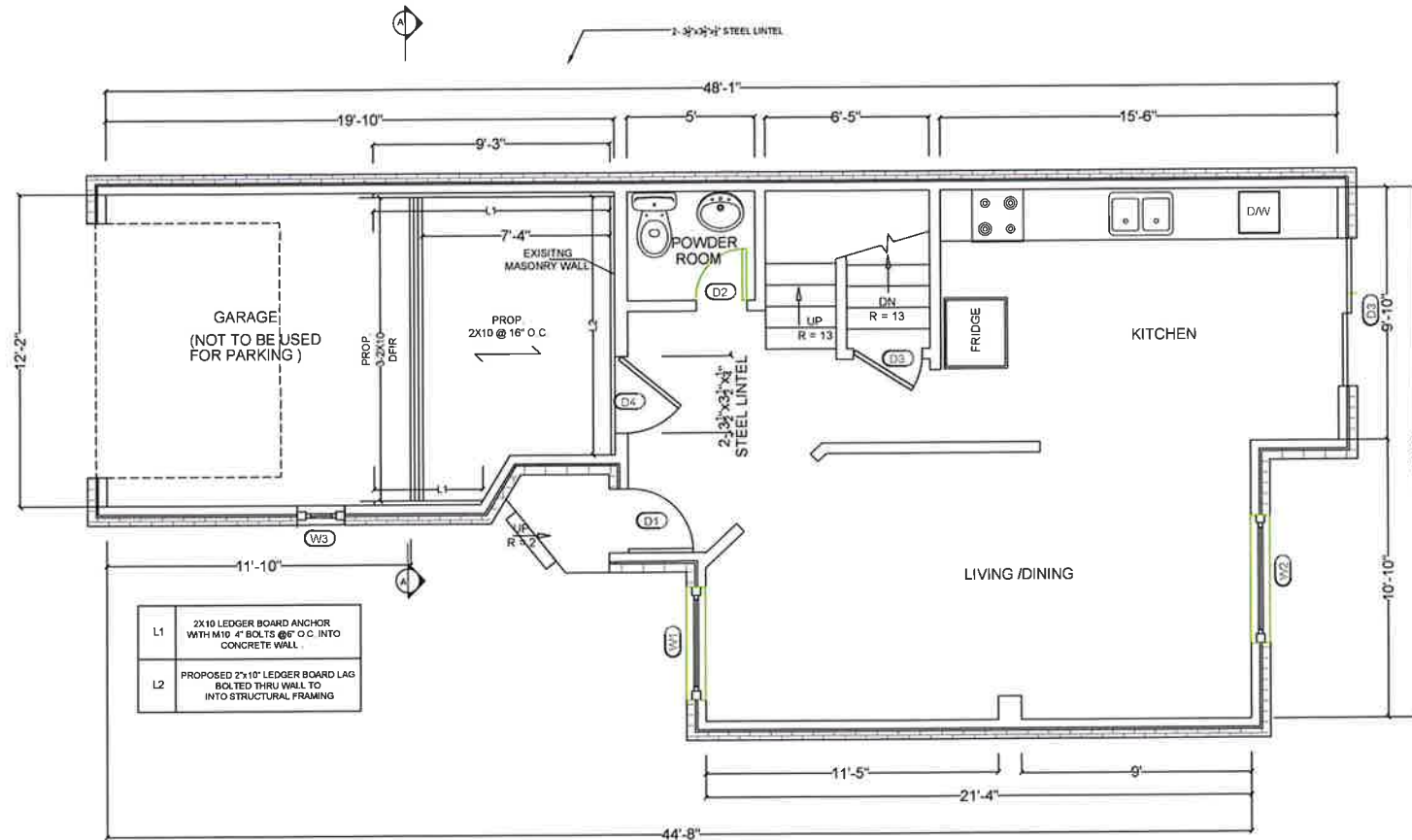
CONSULTANT:

PROJECT:
 PROPOSED UNHEATED STORAGE AT 37 VALONIA

SHEET TITLE: PROP. MAIN FLOOR PLAN

CHECKED: MBS
 DRAWN: AW
 SCALE: 3/16" = 1'
 DATE: NOV/02/ 2022





L1	2X10 LEDGER BOARD ANCHOR WITH M10 4" BOLTS @ 6" O.C. INTO CONCRETE WALL.
L2	PROPOSED 2X10 LEDGER BOARD LAG BOLTED THRU WALL TO INTO STRUCTURAL FRAMING

PROP. MAIN FLOOR PLAN (STRUCTURAL LAYOUT)	
EXIST. GROUND FLOOR G.F.A	= 586 ft ² / 54.51 m ²
PROP. UNHEATED STORAGE	= 88 ft ² / 8.18 m ²
FIN. CEILING HEIGHT	= 7'-11"

WINDOW SCHEDULE	
WINDOW	SIZE
EXIST.W1	46" X 60"
EXIST.W2	53" X 37"
EXIST.W3	22" X 57"

DOOR SCHEDULE	
DOOR	SIZE
EXIST.D1	32" X 80"
EXIST.D2	24" X 80"
EXIST.D3	69" X 80"
PROP.D4	36" X 80"

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 ADDRESS : 2751 THAMESGATE DRIVE, MISSISSAUGA, ON, L4T 1G5
 TEL : 416 627 4100
 EMAIL : INFO@MECHWAYS.COM
 WEBSITE : WWW.MECHWAYS.COM

CONSULTANT:

YAZI SAFETY SYSTEM INC
 Civil/Structural design

PROJECT:
PROPOSED UNHEATED STORAGE AT 37 VALONIA

SHEET TITLE:
STRUCTURAL LAYOUT

CHECKED: MSS
 DRAWN: AW
 SCALE: 3/16" = 1'
 DATE: NOV/02/ 2022

DRAWING:
S 1.1

GENERAL NOTES:

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SEAL:



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ENGINEER:

Mechways Inc.

ADDRESS : 2751 THAMERGATE DRIVE MISSISSAUGA, ON, L4T 1G5
 TEL : 416 627-4100
 EMAIL : INFO@MECHWAYS.COM
 WEBSITE : WWW.MECHWAYS.COM

CONSULTANT:



YAZI SAFETY SYSTEM INC
 Civil/Structural design

PROJECT:

PROPOSED UNHEATED STORAGE AT 37 VALONIA

SHEET TITLE:

SECTION A-A

CHECKED: MSS

DRAWN: AW

SCALE: 3/16" = 1'

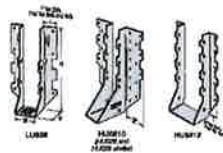
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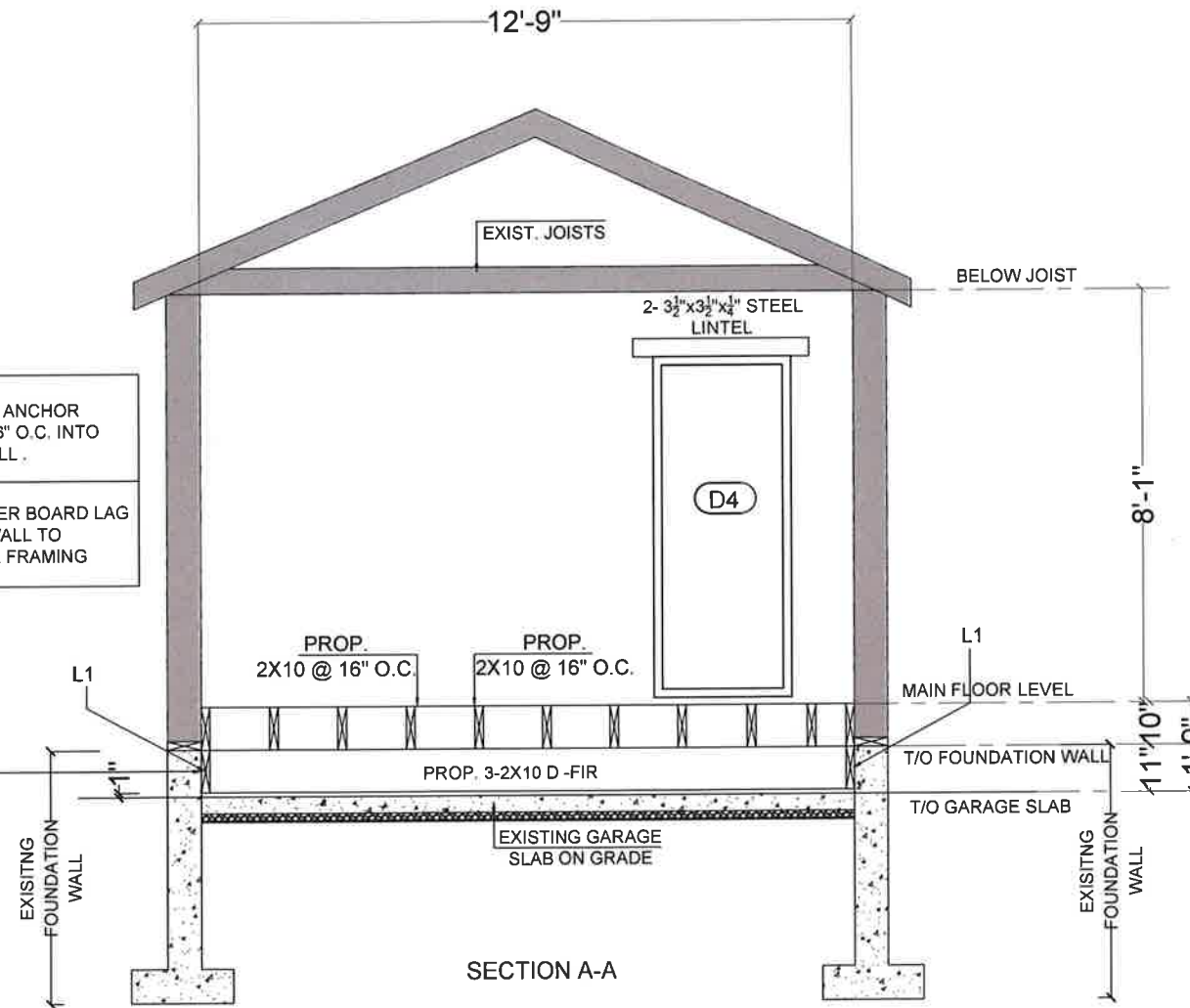
DRAWING:

S 1.2

L1	2X10 LEDGER BOARD ANCHOR WITH M10 4" BOLTS @6" O.C. INTO CONCRETE WALL.
L2	PROPOSED 2"x10" LEDGER BOARD LAG BOLTED THRU WALL TO INTO STRUCTURAL FRAMING



SIMPSON JOIST HANGERS OR EQUIVALENT
 SIMPSON LUS28 OR HUS210 OR HUS 412 OR EQUIVALENT



SECTION A-A

ROOM FINISHED SCHEDULE - BASEMENT								
ROOM NAME	FLOOR		WALL		CEILING		HEIGHT	REMARKS
	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH		
LIVING, DINING, & KITCHEN	WOOD		DRYWALL	PAINT	GYPSUM BD.	PAINT		
BEDROOMS	WOOD		DRYWALL	PAINT	GYPSUM BD.	PAINT		
WASHROOMS	CERAMIC		DRYWALL	PAINT	GYPSUM BD.	PAINT		
UTILITY ROOM	CONCRETE		DRYWALL		GYPSUM BD.			

DOOR SCHEDULE

- ALL INTERIOR DOORS ARE SLAB DOOR 1-3/8 TH. HOLLOW CORE. THE SIZES ARE MENTIONED ON THE FLOOR PLAN. THE HEIGHT OF ALL DOORS ARE 80"
- EGRESS DOOR - EXISTING ABOVE GRADE EXTERIOR TYPE STEEL DOOR PROVIDES ACCESS TO THE OUTSIDE

WINDOW SCHEDULE

ONE WINDOW PER FLOOR TO HAVE AN UNOBSTRUCTED OPEN PORTION W/A MIN. AREA OF 0.35m² W/ NO DIMENSION LESS THAN 380mm & MAXIMUM SILL HEIGHT OF 1m ABOVE FLOOR. WINDOW SIZES HAVE BEEN PROVIDED ON THE FLOOR PLANS

CONSTRUCTION NOTES

- FOUNDATION WALL INSULATION
8" THICK CONCRETE WALL, MOISTURE BARRIER, 2x4 STUDS @ 16" O.C., EXISTING INSULATION, 1/2" GYPSUM DRYWALL JOINTS TAPED AND SEALED AND PAINTED
- INTERNAL WALLS
WOOD FRAMED WALL CONSISTING OF 2x4 WOOD STUDS @ 16" O.C. WITH 1/2" DRY WALL ON BOTH SIDES, JOINTS TAPED AND SEALED. WATER RESISTANT GWB ON BATHROOMS WALLS.
- EXISTING / PROPOSED CEILING
EXISTING CEILING ATTACHED TO BOTTOM OF FLOOR JOISTS OF GROUND FLOOR ASSEMBLY SHALL SATISFIES THE HORIZONTAL FIRE SEPARATION REQUIREMENT 15 MINUTE F.R.R (1/2" GYPSUM BOARD). REMOVE 24"x48" CEILING TILE IF EXIST AND REPLACE WITH 1/2" GYPSUM BOARD CEILING
- 20 MIN. FIRE RESISTANCE RATED DOOR FOR COMMON AREA AND BETWEEN BASEMENT APARTMENT AND PRINCIPAL RESIDENCE WITH SELF CLOSING DEVICE
- EXISTING DUCT WORK LOCATED IN THE CEILING AND WALL HAS THE DIRECTION OF THE HEAT FLOW TOWARDS THE FLOOR
- MECHANICAL VENTILATION
100 CFM EXHAUST FANS IN KITCHEN AND 50 CFM IN WASHROOM
- IN COMPLIANCE WITH C152(b) SMOKE ALARMS ARE INSTALLED IN EVERY DWELLING UNIT AND COMMON AREAS IN CONFORMANCE WITH OBC 9.10.19. SMOKE ALARM SHALL BE WIRED AND INTERCONNECTED FOR THE ENTIRE BUILDING
- PROVIDE CARBON MONOXIDE ALARM CONFIRMING TO CAN/CSA-6.19 "RESIDENTIAL CARBON MONOXIDE ALARMING DEVICES" ADJACENT TO EACH SLEEPING AREA WITHIN EACH DWELLING UNIT. CARBON MONOXIDE ALARMS MAY BE HARDWIRED, BATTERY OPERATED OR THE TYPE THAT CAN BE PLUGGED INTO ELECTRICAL OUTLET
- FOR ALL ELECTRICAL WORK AND PERMIT CONTACT ELECTRICAL SAFETY AUTHORITY

GENERAL NOTES

- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, SITE CONDITIONS AND ELEVATIONS WITH ARCHITECTURAL DRAWINGS AND RESOLVE ANY DISCREPANCIES WITH THE ENGINEER PRIOR TO START OF WORK
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH PART 9 AND 4 OF ONTARIO BUILDING CODE 2012 AND CITY BY-LAWS AND STANDARDS
- IT IS ASSUMED THAT THE WORK DEPICTED WILL BE PERFORMED BY AN EXPERIENCED CONTRACTOR AND/OR WORKMEN HAVING WORKING KNOWLEDGE OF THE APPLICABLE CODE, STANDARDS, INSURANCES AND REQUIREMENTS OF INDUSTRY ACCEPTED STANDARD, AS NOT EVERY CONDITION OR ELEMENT IS (OR CAN BE) EXPLICITLY SHOWN ON THESE DRAWINGS.
- BY COMMENCING CONSTRUCTION OF A BUILDING FROM THESE DRAWINGS, THE OWNER AND/OR BUILDER ACKNOWLEDGES THAT THE GENERAL NOTES HAVE BEEN READ AND UNDERSTOOD
- THE DRAWINGS PREPARED BY THE DESIGNER IS FOR THE PERMIT IN COMPLIANCE WITH OBC AND CITY BY-LAWS.
- THE DESIGNER IS NOT LIABLE FOR COST INCURRED FOR RE-WORK, ALTERATION, DISCREPANCIES OR ANY KIND OF CONSTRUCTION RELATED WORK
- ALL WOOD USED IN THE CONSTRUCTION SHALL BE SPF NO.1 OR NO.2
- MINIMUM BEARING OF STEEL LINTELS 150 MM.
- MINIMUM BEARING OF WOOD BEAM / LINTELS 90 MM
- MINIMUM BEARING OF WOOD JOISTS 40MM
- VERIFY EXISTING SUPPORT SYSTEM, INCLUDING FOUNDATIONS, FOR LOADS IMPOSED BY THE PROPOSED CONSTRUCTION
- PROVIDE ALL BRACING, SHORING AND NEEDLING NECESSARY FOR THE SAFE EXECUTION OF THIS WORK
- INFORM CITY OF ALL INSPECTION AHEAD OF TIME AND AT EACH STAGE OF CONSTRUCTION
- ANY DISCREPANCIES SHALL BE BROUGHT TO THE NOTICE OF ENGINEER PRIOR TO START OF WORK
- CONTRACTOR TO PROVIDE THE DESIGNED WINDOW / DOOR OR ANY EQUIVALENT STANDARD SIZE AVAILABLE IN MARKET

- \$ SWITCH
- \$3 3 WAY SWITCH
INSTALL AT 3'-3" AFF
3 DENOTES 3-WAY SWITCH
SPECIFICATION GRADE WHITE,
WITH WHITE COVER PLATE
SHALL BE INSTALLED AT THE
ENDS OF EACH STAIRWAYS
- 15A, 120V DUPLEX RECEPTACLE
SPECIFICATION GRADE WHITE,
C/W WHITE COVER PLATE
GFI - GROUND FAULT TYPE
WP -WEATHERPROOF COVER
C - ABOVE COUNTER
- RECEPTACLE 50A, 208V,
STOVE OR DRIER OUTLET.
- RECEPTACLE
- LIGHT
- SPOT LIGHT
- EMERGENCY LIGHT
- FD: FLOOR DRAIN
- SPRINKLER
- DUCT TYPE SMOKE DETECTOR
- SMOKE ALARM
- CARBON MONOXIDE DETECTOR
- EXHAUST FAN

GENERAL NOTES:

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ENGINEER:

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MISSISSAUGA, ON, L4T 1G5
TEL : 416-627-4100
EMAIL : INFO@MECHWAYS.COM
WEBSITE : WWW.MECHWAYS.COM

CONSULTANT:



YAZL SAFETY SYSTEM INC
Civil/Structural design

PROJECT:

PROPOSED UNHEATED
STORAGE
AT 37 VALONIA

SHEET TITLE:

GENERAL
NOTES

CHECKED: MSS
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SCALE: 3/16" = 1'
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DRAWING:

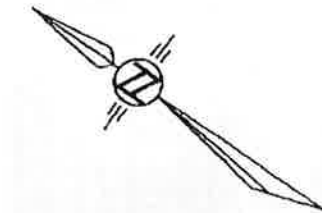
S 1.3

SURVEYOR'S REAL PROPERTY REPORT
 PART 1) PLAN OF
 LOTS 73 TO 81 INCLUSIVE
 PLAN 43M-1048
 CITY OF BRAMPTON
 REGIONAL MUNICIPALITY OF PEEL
 SCALE 1:400

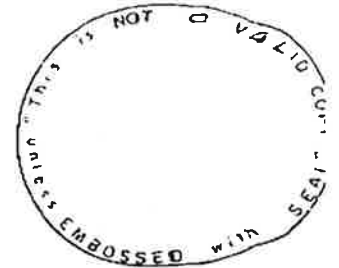
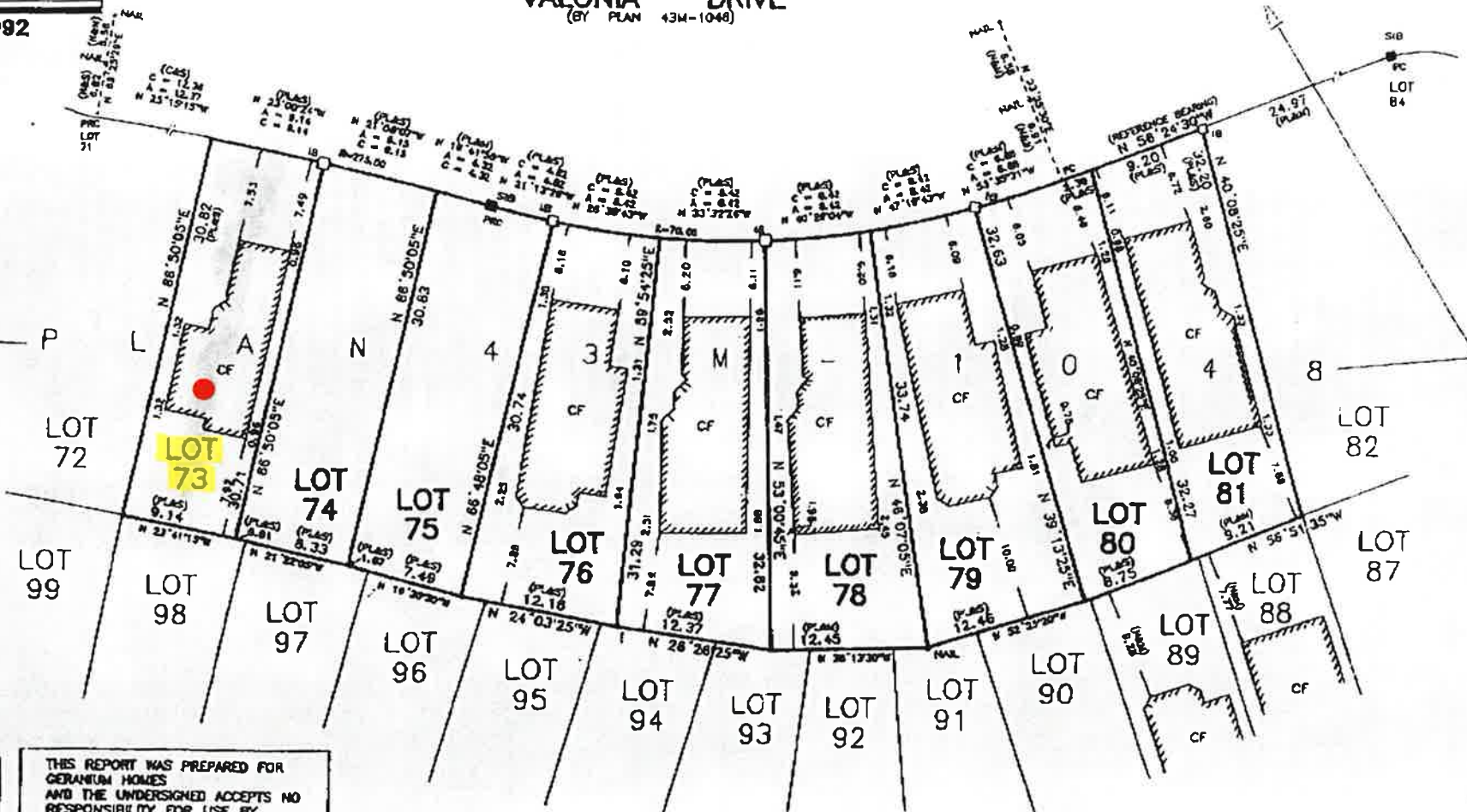
R.P. SALNA O.L.S. 1992

DOCUMENTS RELEASED PURSUANT TO A REQUEST
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 PROTECTION OF PRIVACY ACT R.S.O. 1990c. M56
 COPYRIGHT ACT R.S., 1985, c. C-42 APPLIES TO THE
 USE AND REPRODUCTION OF THESE DOCUMENTS

METRIC
 DISTANCES SHOWN ON THIS PLAN
 ARE IN METRES AND CAN BE
 CONVERTED TO FEET BY
 DIVIDING BY 0.3048



VALONIA DRIVE
 (BY PLAN 43M-1048)



NOTE:
 ALL FOUND MONUMENTS ARE BY
 A.S. SALMA SURVEYING LTD. O.L.S.
 UNLESS OTHERWISE SHOWN

PART 2
 THIS PLAN MUST BE READ IN
 CONJUNCTION WITH SURVEY REPORT
 DATED JULY 17, 1992

THIS REPORT WAS PREPARED FOR
 GERANIUM HOMES
 AND THE UNDERSIGNED ACCEPTS NO
 RESPONSIBILITY FOR USE BY
 OTHER PARTIES

NOTE:
 LOTS 73, 77 AND 78 ARE
 REVISOR'S HOUSE
 AND TIES ON AUGUST 26, 1992.
R. Salna
 R. SALNA O.L.S.

LEGEND
 DENOTES FOUND TEMPORARY WITNESS MONUMENT BY P. SALNA Co. LTD., O.L.S.
 DENOTES STANDARD IRON BAR
 DENOTES IRON BAR
 DENOTES SURVEY MONUMENT SET
 DENOTES SURVEY MONUMENT FOUND
 DENOTES NOTES BY P. SALNA Co. LTD., O.L.S.
 DENOTES CONCRETE FOUNDATION WALLS
 DENOTES REGISTERED PLAN 43M-1048
 DENOTES MEASURED
 DENOTES SET

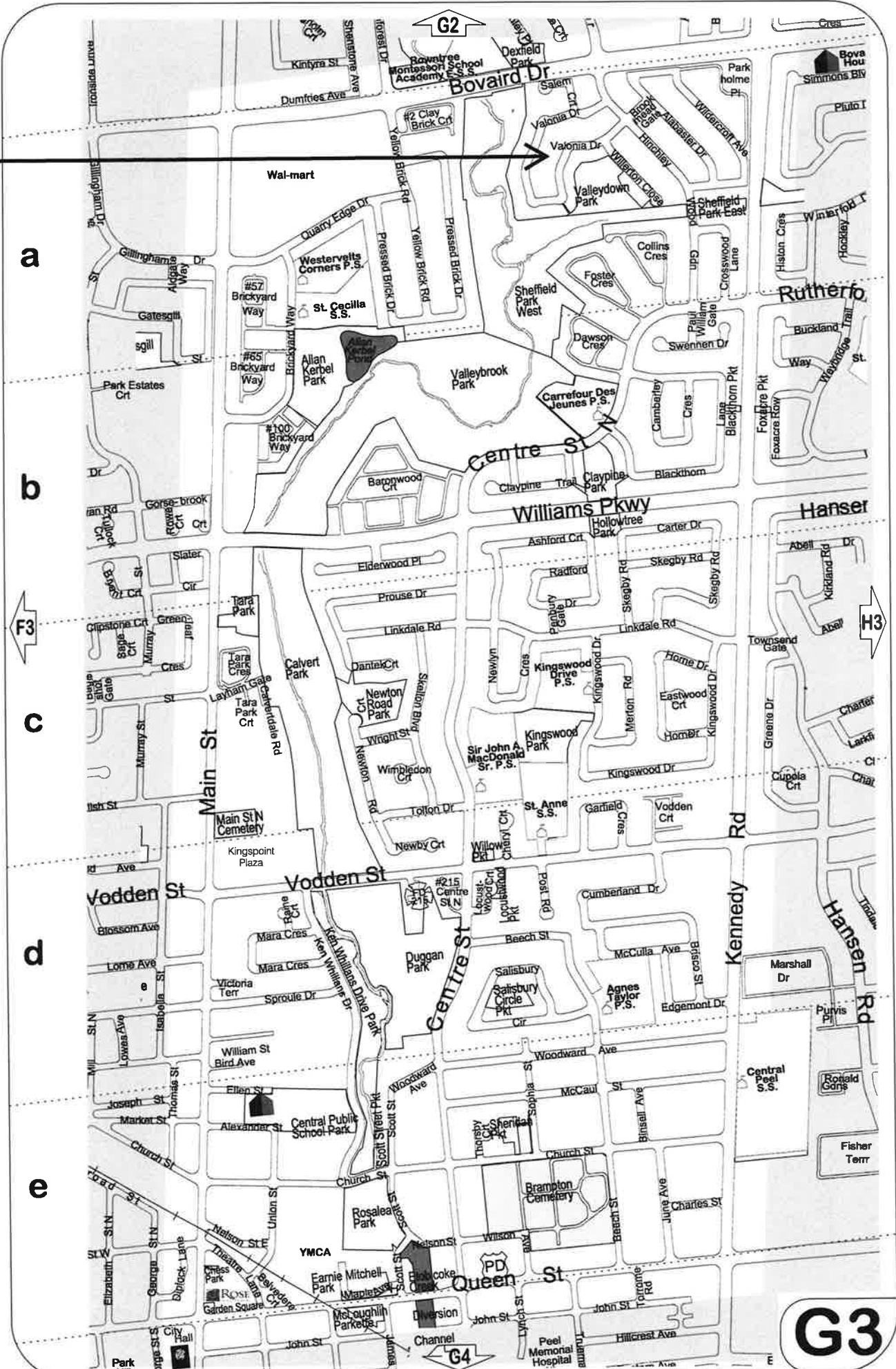
NOTES
 NO PERSON MAY COPY, REPRODUCE, DISTRIBUTE OR ALTER THIS
 PLAN IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION
 OF R. SALNA O.L.S.
 BEARINGS ARE ASTRONOMIC AND ARE
 DERIVED FROM THE SOUTH WESTERLY
 LIMIT OF VALONIA DRIVE
 AS SHOWN ON PLAN 43M-1048
 HAVING A BEARING OF N 56°24'30" W

SURVEYOR'S CERTIFICATE
 I HEREBY CERTIFY THAT
 THE FIELD SURVEY REPRESENTED ON
 THIS PLAN WAS COMPLETED ON THE
 30th DAY OF JUNE, 1992.
 AUG. 5, 1992
 DATE
R. Salna
 R. SALNA
 ONTARIO LAND SURVEYOR

P. SALNA COMPANY LTD.
 ONTARIO LAND SURVEYORS
 10225 YONGE STREET
 RICHMOND HILL, ONTARIO L4C 3B2
 Phone: 884-3988 Fax: 737-7516
 Drawn by: MZ
 FILE No. 9-2-17

SENT BY: AGRO, ZAFFIRO : 12-10-96 : 15:39 : AGRO, ZAFFIRO : 9057128559 : # 3 / 3

A-2023-003



a

b

c

d

e

G2

G3

G4

F3

H3