



APPLICATION # A-2023-0041
WARD #1

WHEREAS an application for minor variance has been made by **ANDREW ENOFE** under Section 45 of the Planning Act. (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the applicant is requesting the following variance(s):

- ### OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO
Application for Consent: NO

File Number: _____
File Number: _____

The Committee of Adjustment has appointed **TUESDAY, March 7, 2023 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant, the Minister, a specified person or a public body.

RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING. OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this this 23rd Day of February, 2023.

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca

Under the authority of the Emergency Management and Civil Protection Act and the Municipal Act, 2001, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

**Electronic/Hybrid Hearing Procedures
How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **March 7, 2023** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

How to Participate in the Hearing:

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, March 2, 2023.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
 1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, March 2, 2023.**
 2. To participate in-person, please email the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, March 2, 2023.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, March 2, 2023.** . City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

AMENDMENT LETTER

February 21, 2023

To: Committee of Adjustment

RE: **ANDREW ENOFE**
PART OF LOT 7, PLAN BR-24
A-2023-0041 – 5 WILLIAM STREET

Please **amend** application **A-2023-0041** to reflect the following:

1. To permit the expansion of the existing legal non-conforming semi-detached dwelling whereas the by-law does not permit the use;

To permit a fence in the rear yard with a height of 2.26m (7.41 ft.) whereas the by-law permits a maximum fence height of 2.0m (6.56 ft.);

3. To permit a side yard setback of 0.0m to the second storey whereas the by-law requires a minimum side yard setback of 1.8m (5.90 ft.) to the second storey.



Applicant/Authorized Agent



The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** Andrew Enofe
Address 5 William St. Brampton, ON L6V 1L3

Phone # 416-833-8909 **Fax #** _____
Email andrew@andrewenofe.com

2. **Name of Agent** Israel Ufomadu
Address 129 Darren Ave. Whitby ON L1R 0E7

Phone # 647-218-4779 **Fax #** _____
Email israel.ufomadu@yahoo.ca

3. **Nature and extent of relief applied for (variances requested):**
To allow the expansion of a legal non-conforming 2 unit, semi-detached dwelling for a second storey extension and a rear yard addition whereas the by-law does not permit the proposed use;

To allow a shared interior side yard setback of 0.0m to a second storey extension & addition whereas the by-law requires a minimum interior side yard setback of 1.8m (5.90 ft).

4. **Why is it not possible to comply with the provisions of the by-law?**
Semi-detached dwelling is considered legal non-conforming.

5. **Legal Description of the subject land:**
Lot Number PT LOT 8
Plan Number/Concession Number BR-24
Municipal Address 5 William St, Brampton, ON L6V 1L3

6. **Dimension of subject land (in metric units)**
Frontage 8.22
Depth 29.29
Area 369.52

7. **Access to the subject land is by:**
Provincial Highway ☐ **Seasonal Road** ☐
Municipal Road Maintained All Year ☒ **Other Public Road** ☐
Private Right-of-Way ☐ **Water** ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

MAIN BUILDING

Ground floor area – 93.52 sm, Gross floor area – 150.33 sm, Number of storeys – 2
Width – 6.77, Length – 13.82, Height – 7.09

PROPOSED BUILDINGS/STRUCTURES on the subject land:

MAIN BUILDING

Ground floor area – 98.41sm, Gross floor area – 295.23 sm, Number of storeys – 2
Width – 6.77, Length – 14.43, Height – 7.09

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback	0.97
Rear yard setback	14.50
Side yard setback	0.0
Side yard setback	1.53

PROPOSED

Front yard setback	0.97
Rear yard setback	13.89
Side yard setback	0.0
Side yard setback	1.53

10. Date of Acquisition of subject land: 2018
11. Existing uses of subject property: 2 Unit Residential
12. Proposed uses of subject property: 2 Unit Residential
13. Existing uses of abutting properties: Residential
14. Date of construction of all buildings & structures on subject land: Before 1965
15. Length of time the existing uses of the subject property have been continued: Over 10 years
16. (a) What water supply is existing/proposed?
Municipal ☒ Other (specify) _____
Well ☐
- (b) What sewage disposal is/will be provided?
Municipal ☒ Other (specify) _____
Septic ☐
- (c) What storm drainage system is existing/proposed?
Sewers ☒ Other (specify) _____
Ditches ☐
Swales ☐

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Signature of Applicant(s) or Authorized Agent

DATED AT THE Town OF Whitby

THIS 23rd DAY OF January, 2023

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, ISRAEL UFO MADU, OF THE TOWN OF WHITBY
IN THE REGION OF DURHAM SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

Town OF Whitby

IN THE Region OF

Durham THIS 23 DAY OF

January, 2023

A Commissioner etc.

Andria Louca, a Commissioner, etc.,
Province of Ontario
For the Corporation of the Town of Whitby.
Expires March 22, 2024

Signature of Applicant or Authorized Agent

Submit by Email

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

R1B, Mature Neighbourhood

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checkiist.

L Barbuto
Zoning Officer

February 7, 2023
Date

DATE RECEIVED

February 7, 2023.




THE UNDERSIGNED HAS REVIEWED & TAKES RESPONSIBILITY FOR THIS DOCUMENT AND HAS THE AUTHORITY TO SIGN IT OUT IN THE ENTRANCE BUILDING CODE TO BE A RECORDER.	REQUIREMENT VERIFICATION REQUIRED: WALKS THROUGH IS EXEMPT UNDER ITC, C - 11.1.1.1. OF THE BUILDING CODE	41452 ROR
ISRAEL UFGOMADY	<i>[Signature]</i>	
SIGNATURE	REQUIREMENT VERIFICATION REQUIRED: WALKS THROUGH IS EXEMPT UNDER ITC, C - 11.1.1.1. OF THE BUILDING CODE	44448 ROR
DEFINITE DETAIL		

DRAWING TITLE:
BASEMENT PLAN

PROJECT:
PROP. SECOND FLOOR
ADDITION

5 WILLIAM STREET
BRAMPTON, ON.

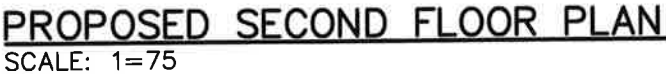
DATE	REVISION	DRAWN	NORTH	
		SCALE 1=75	DATE 01/20/23	
		COMM. # ---	DRG. # A-2	

RG. #
A-2

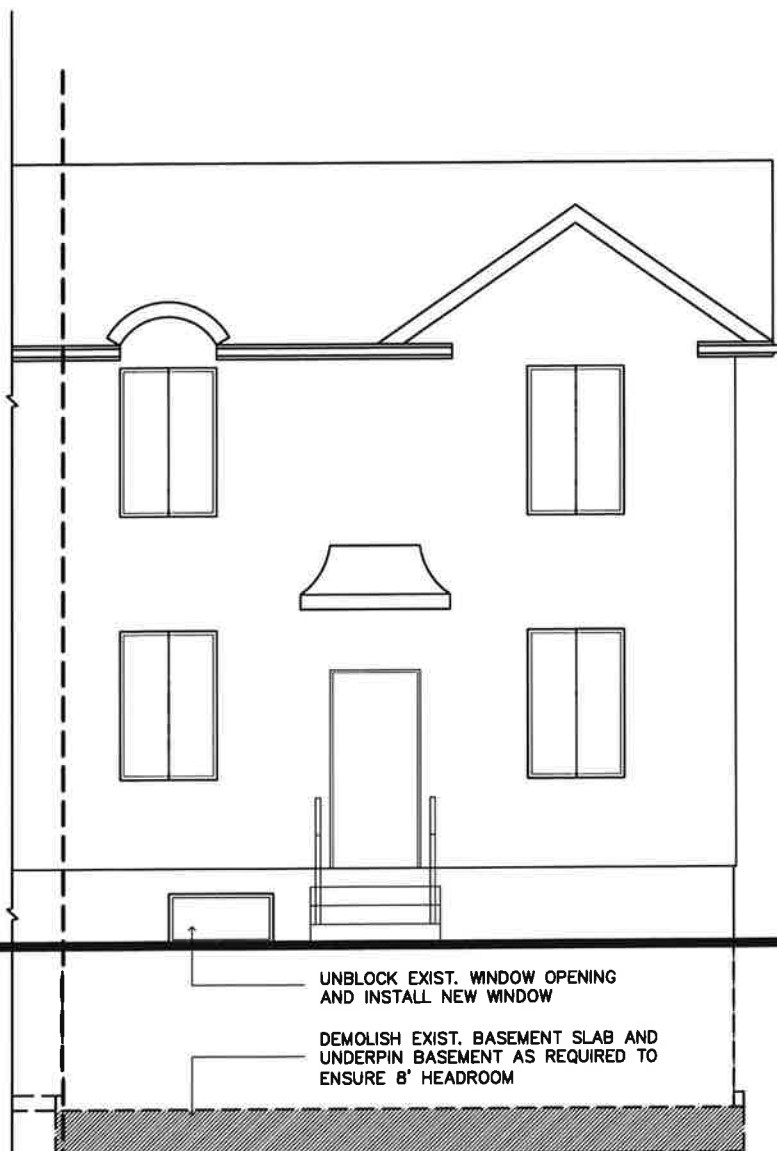


definite detail

Design | Construction | Project Management
1129 Darren Ave. Whitby ON L3R 0E7
Phone: 647.218.0773 Fax: 905.655.2346



 definite detail Design Construction Project Management 129 Darren Ave. Whitby ON L3R 0E7 Phone: (905) 218-4772 Fax: (905) 665-2366	THE UNDERSIGNED HAS ASSUMED A MOST RESPONSIBILITY FOR THIS SECOND FLOOR PLAN AND HAS THE QUALIFICATIONS AND METS REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER		DRAWING TITLE: SECOND FLOOR PLAN		DATE	REVISION	DRAWN	NORTH 
	REQUIRED UNLESS DESIGN IS DEPART UNDER DIV. C - 3.3.1.1. OF THE BUILDING CODE		PROJECT: PROP. SECOND FLOOR ADDITION				SCALE 1=75	DATE 01/20/23
	SIGNATURE 		PROFESSIONAL DESIGNATION					DRG. # A-4
	REQUIRED UNLESS DESIGN IS DEPART UNDER DIV. C - 3.3.1.1. OF THE BUILDING CODE		DEFINITE DETAIL				COMM. # ---	
	REQUIRED UNLESS DESIGN IS DEPART UNDER DIV. C - 3.3.1.1. OF THE BUILDING CODE		DEFINITE DETAIL					



EXIST. WEST ELEVATION
SCALE: 1=75

T/O WALL PLATE

2.46

FIN. 2ND. FLOOR

2.95

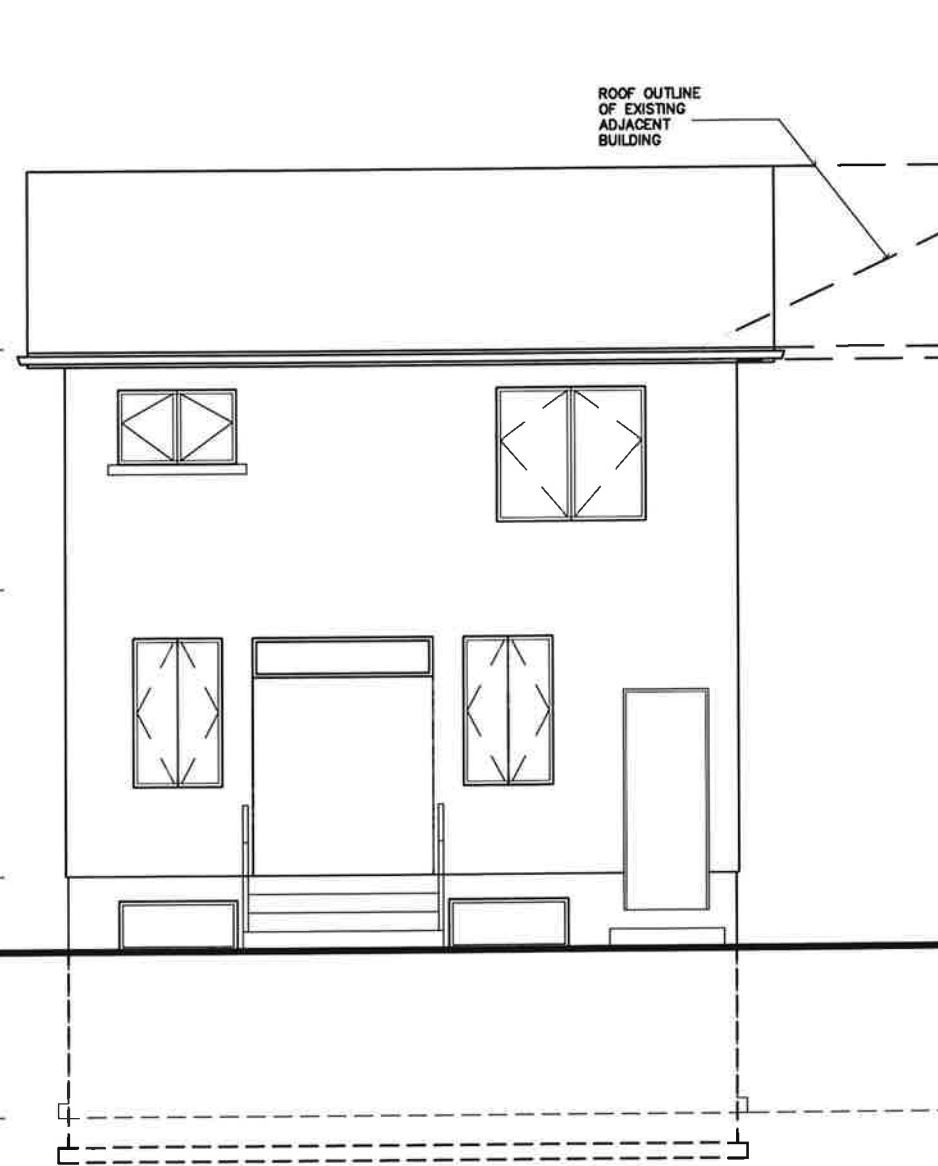
FIN. 1ST. FLOOR

0.81



EXIST. GRADE

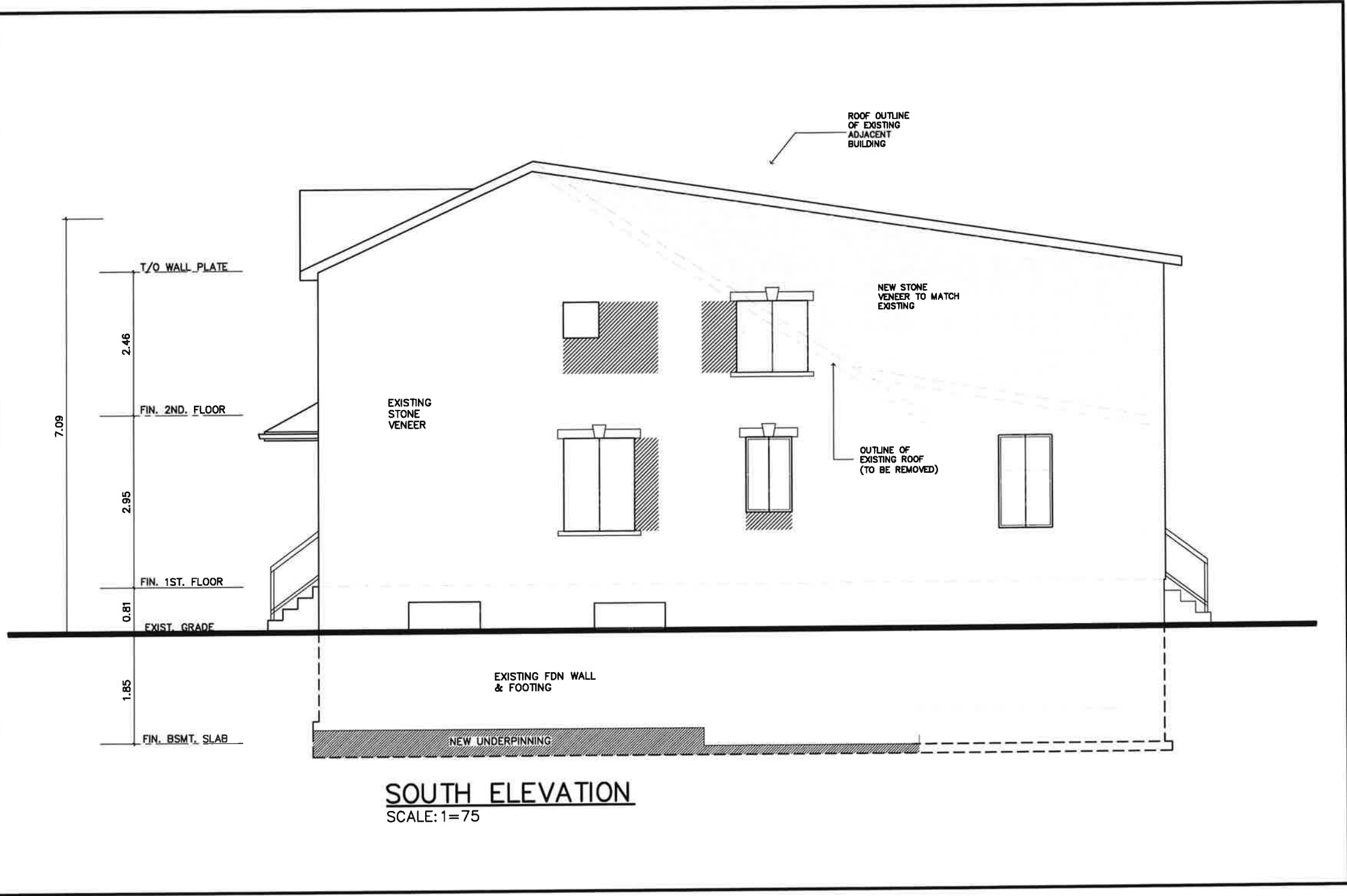
1.85


FIN. BSMT. SLAB



EAST ELEVATION
SCALE: 1=75

 Design Construction Project Management 129 Darren Ave. Whitby ON L3R 0E7 Phone: (416) 315 4773 Fax: (905) 665 1766		DRAWING TITLE: ELEVATIONS		DATE	REVISION	DRAWN	NORTH 
		PROJECT: PROP. SECOND FLOOR ADDITION				SCALE 1=75	DATE 01/20/23
THE UNDERSIGNED HAS REVIEWED & TAKES RESPONSIBILITY FOR THE DESIGN AND FOR THE ACCURACY OF THE INFORMATION SET OUT IN THE DRAWING. THIS DRAWING IS NOT TO BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF THE DESIGNER.		PROJECT: PROP. SECOND FLOOR ADDITION				COMM. # ---	DRG. # A-5
REQUIRED UNLESS DESIGN IS EXEMPT UNDER REG. C - 3.1.1.1. OF THE BUILDING CODE		PROJECT: PROP. SECOND FLOOR ADDITION					
ISRAEL UPMANU 41452 PROJ. NAME		PROJECT: PROP. SECOND FLOOR ADDITION					
SIGNATURE 44448 PROJ. NAME		PROJECT: PROP. SECOND FLOOR ADDITION					
DEFINITE DETAIL		PROJECT: PROP. SECOND FLOOR ADDITION					






Design (Construction) | Project Management
129 Darren Ave. Whitby ON L3R 0E7
Phone: 647.718.4777 Fax: 905.665.2846

DRAWING TITLE:
ELEVATION

PROJECT:
PROP. SECOND FLOOR
ADDITION

**5 WILLIAM STREET
BRAMPTON, ON.**

DATE	REVISION	DRAWN	NORTH
			
		SCALE	DATE
		1=75	01/20/23
		COMM. #	DRG. #
			A-6

THE UNDERSIGNED HAVE REVIEWED & TRUSTED THE ACCURACY OF THE WORK AND THAT THE SAME COMPLY WITH THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER

QUALIFICATION INFORMATION

REQUIRED UNLESS DESIGN IS DESIGNED UNDER REG. C - 3.1.1.1. OF THE BUILDING CODE

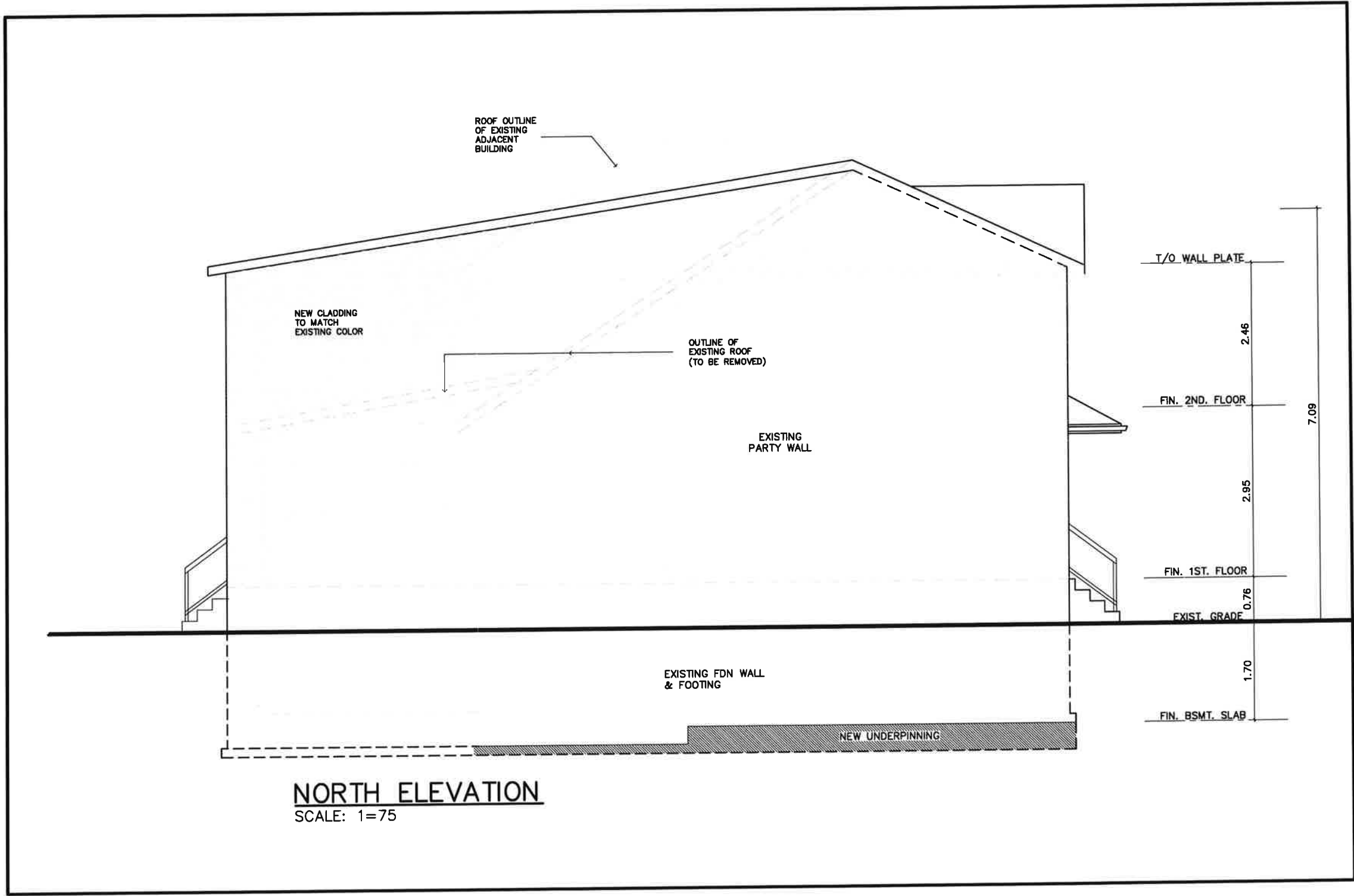
ISRAEL UFTOMUCH **41452** **DESIGNER**

SIGNATURE *Israel Uftomuch* RECORDATION INFORMATION


REQUIRED UNLESS DESIGN IS DESIGNED UNDER REG. C - 3.1.1.1. OF THE BUILDING CODE

DEFINITE DETAIL **44448** **DESIGNER**

PRINT NAME



NORTH ELEVATION
SCALE: 1=75



Design | Construction | Project Management
129 Darcen Ave. Whitby ON L3R 0E7
Phone: (416) 216-4772 Fax: (905) 665-1266

THE UNDERSIGNED HAS REVIEWED & TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION
REQUIRED (UNLESS DESIGN IS EXEMPT UNDER DIV. 6 - 3.2.1.1. OF THE BUILDING CODE)

ISRAEL LIFSHAN
41452
DESIGNER

SIGNATURE
[Signature]


REQUIRED (UNLESS DESIGN IS EXEMPT UNDER DIV. 6 - 3.2.1.1. OF THE BUILDING CODE)

DEFINITE DETAIL
44448
FIRM NAME

DRAWING TITLE:
ELEVATION

PROJECT:
PROP. SECOND FLOOR
ADDITION

**5 WILLIAM STREET
BRAMPTON, ON.**

DATE	REVISION	DRAWN	NORTH
			
		SCALE 1=75	DATE 01/20/23
		COMM. # ---	DRG. # A-7

A-2023-0041

