

SITE PLAN INFORMATION TAKEN FROM SURVEYOR'S REAL PROPERTY REPORT OF PART OF LOT 7, BLOCK 4 REGISTERED PLAN BR-36, IN THE CITY OF BRAMPTON, PREPARED BY ASHENHURST NOUWENS & ASSOC. INC. ONTARIO LAND SURVEYORS. DATED DEC. 30, 2019

① 43 Chapel St. - Site Plan
1/8" = 1'-0"



ST ENGINEERING
2 BLACK COURT
AURORA, ON L4G 8A1
647-219-7851
st.theodor@bell.net

**INTERIOR ALTERATIONS
GARAGE ADDITION**
43 CHAPEL STREET
BRAMPTON, ON

SITE PLAN

CoA - 1
Scale

Under the authority of the Emergency Management and Civil Protection Act and the Municipal Act, 2001, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

**Electronic/Hybrid Hearing Procedures
How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **March 7, 2023** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

How to Participate in the Hearing:

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, March 2, 2023.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
 1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, March 2, 2023.**
 2. To participate in-person, please email the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, March 2, 2023.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, March 2, 2023.** . City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

AMENDMENT LETTER

February 17, 2023

To: Committee of Adjustment

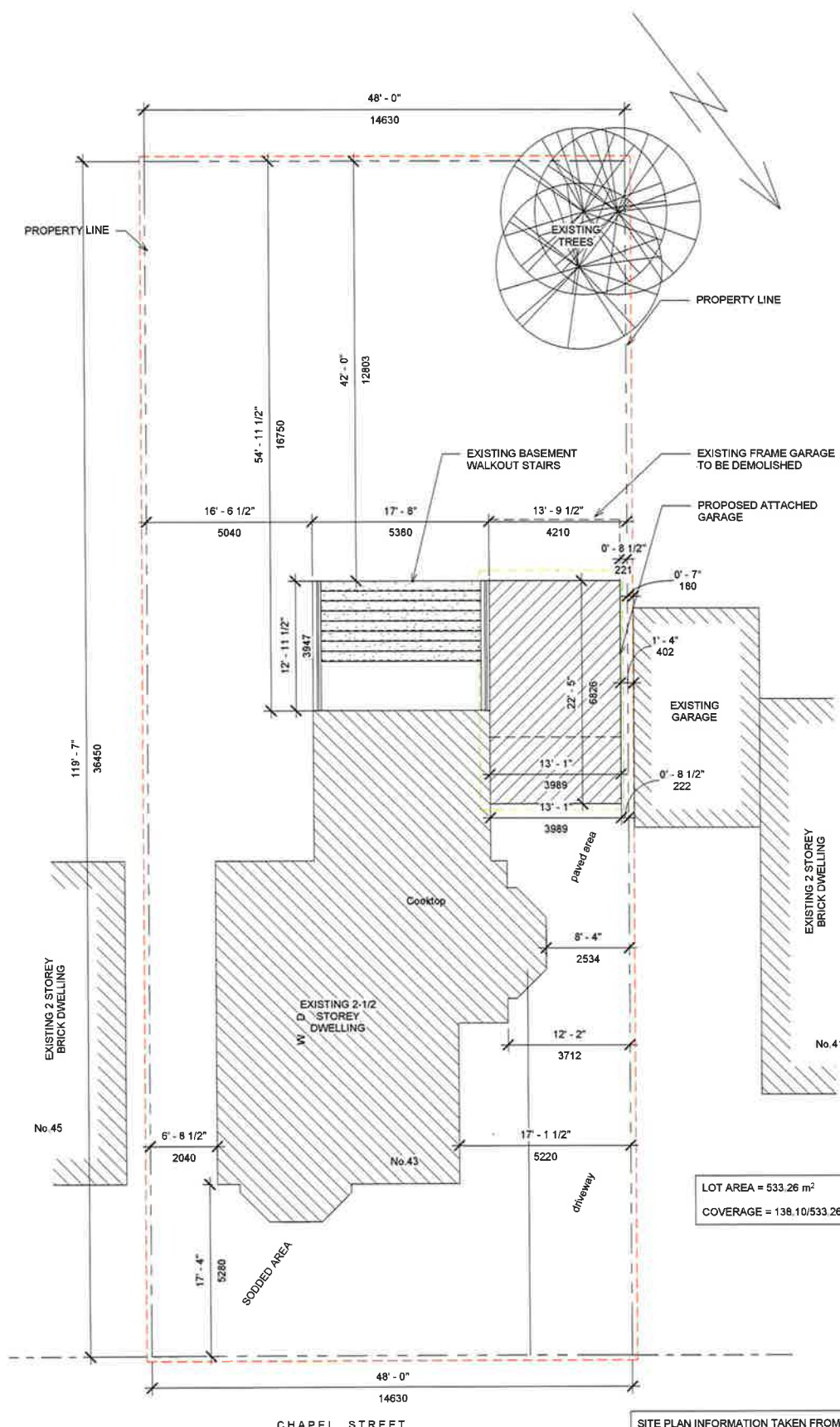
RE: **JOHN TEXIERA**
PART OF LOT 7, PLAN BR-36
A-2023-0040– 43 CHAPEL STREET

Please **amend** application **A-2023-0040** to reflect the following:

1. To permit a side yard setback of 0.22m (0.72 ft.) to an attached garage whereas the by-law requires a minimum side yard setback of 1.2m (3.94 ft.);
2. To permit a driveway width of 2.53m (8.30 ft.) whereas the by-law requires a minimum driveway width of 3.0m (9.84 ft.).



Applicant/Authorized Agent



① 43 Chapel St. - Site Plan
1/8" = 1'-0"



18th FLOOR SUITE 1800
AND WEST TOWER 1800

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GARAGE ADDITION**

43 CHAPEL STREET
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Flower City



brampton.ca

For Office Use Only
(to be inserted by the Secretary-Treasurer
after application is deemed complete)

FILE NUMBER: A-2023-0040

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law 270-2004.

1. **Name of Owner(s)** John Teixeira
Address 43 Chapel Street Brampton, ON L6W 2H5
Phone # 416-835-6504 **Fax #** _____
Email john-teixeira@hotmail.com

2. **Name of Agent** Stavros Theodorakopoulos
Address 2 Black Court Aurora, ON L4G 8A1
Phone # 647-219-7651 **Fax #** _____
Email st.theodor@bell.net

3. **Nature and extent of relief applied for (variances requested):**
The minimum setback required to the garage addition is 1.2m, the proposed garage will have sideyard setback of 0.22m.
The maximum lot coverage is 25%, the proposed lot coverage is 25.9%

4. **Why is it not possible to comply with the provisions of the by-law?**
IT IS NOT POSSIBLE TO COMPLY WITH THE BY-LAW BECAUSE THE 1.2 METRE REQUIREMENT FOR THE SIDE YARD SETBACK

5. **Legal Description of the subject land:**
Lot Number PART OF LOT 7 BLOCK 4
Plan Number/Concession Number BR-36
Municipal Address 43 CHAPEL STREET

6. **Dimension of subject land (in metric units)**
Frontage 14.63m
Depth 36.45m
Area 539.26 SQ.M.

7. **Access to the subject land is by:**
Provincial Highway Seasonal Road
Municipal Road Maintained All Year Other Public Road
Private Right-of-Way Water

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

EXISTING 2 STOREY DWELLING
2450 SQ FT

PROPOSED BUILDINGS/STRUCTURES on the subject land:

PROPOSED 1 STOREY SIDEYARD ATTACHED GARAGE ADDITION
220 SQ FT ADDITION

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback	5.28
Rear yard setback	16.75
Side yard setback	2.04
Side yard setback	2.534

PROPOSED

Front yard setback	5.28
Rear yard setback	12.8
Side yard setback	2.04
Side yard setback	0.22

10. Date of Acquisition of subject land: 2018
11. Existing uses of subject property: RESIDENTIAL-SINGLE FAMILY
12. Proposed uses of subject property: RESIDENTIAL -SINGLE FAMILY
13. Existing uses of abutting properties: RESIDENTIAL
14. Date of construction of all buildings & structures on subject land: 18.56
15. Length of time the existing uses of the subject property have been continued: ALWAYS 167 YEARS

16. (a) What water supply is existing/proposed?
Municipal Other (specify) _____
Well
- (b) What sewage disposal is/will be provided?
Municipal Other (specify) _____
Septic
- (c) What storm drainage system is existing/proposed?
Sewers Other (specify) _____
Ditches
Swales

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes No

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes No

19. Has the subject property ever been the subject of an application for minor variance?

Yes No Unknown

If answer is yes, provide details:

File # _____ Decision _____ Relief _____
File # _____ Decision _____ Relief _____
File # _____ Decision _____ Relief _____

SAP

Signature of Applicant(s) or Authorized Agent

DATED AT THE City _____ OF Aurora _____

THIS 2nd DAY OF December, 2022

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

John TEIXEIRA

Stavros Theodoropoulos

OF THE City Brampton OF Aurora

IN THE Province OF Ontario SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

Jean-Claude Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024.

DECLARED BEFORE ME AT THE
City OF Brampton

IN THE Region OF
Peel THIS 7th DAY OF

Feb, 2023

[Signature]

Signature of Applicant or Authorized Agent

Submit by Email

[Signature]
A Commissioner etc.

FOR OFFICE USE ONLY

Present Official Plan Designation: _____
Present Zoning By-law Classification: R1B, MATURE

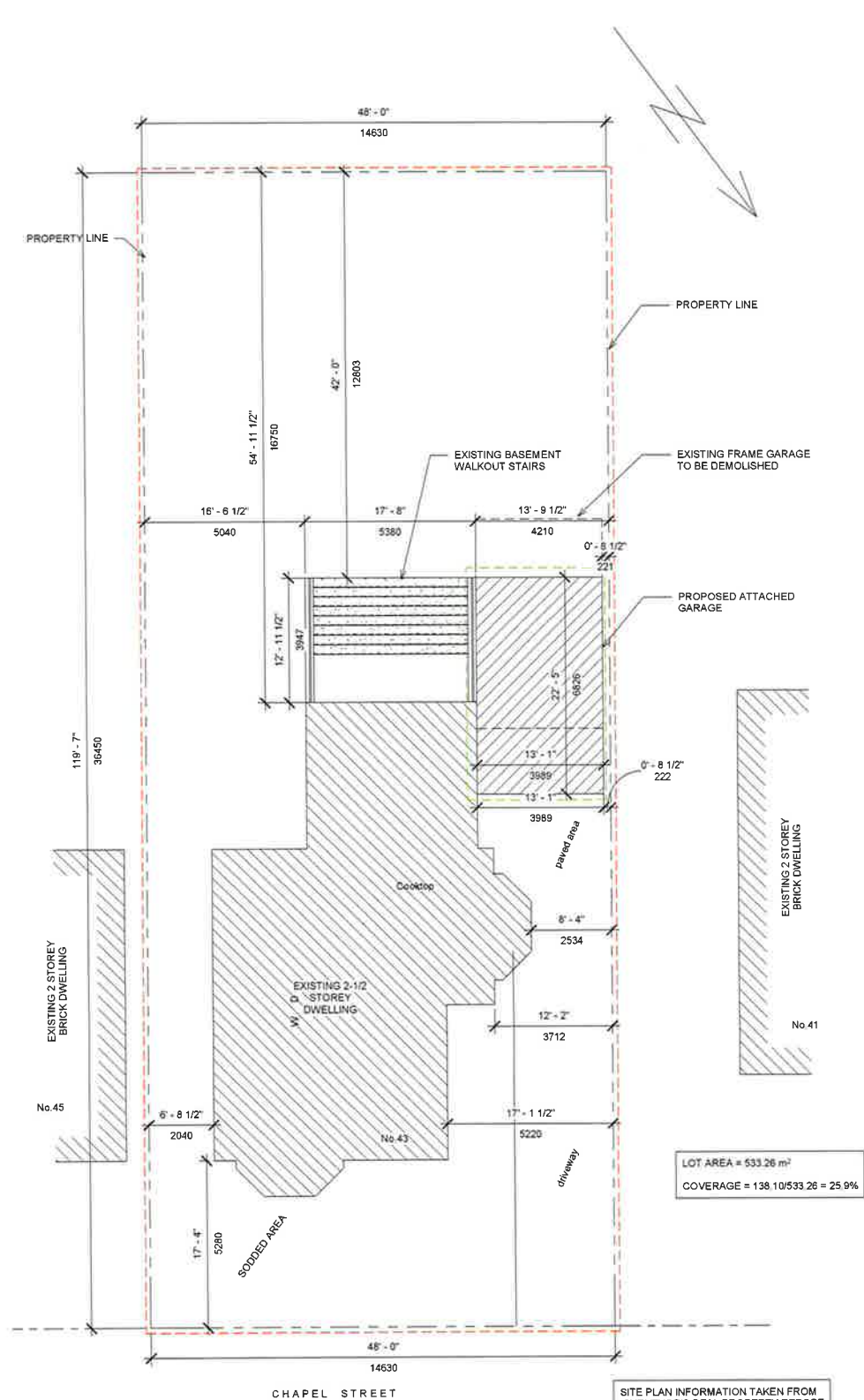
This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

HOTHIS.
Zoning Officer

FEB 07 2023
Date

DATE RECEIVED February 7, 2023

Date Application Deemed Complete by the Municipality _____



① 43 Chapel St. - Site Plan
1/8" = 1'-0"

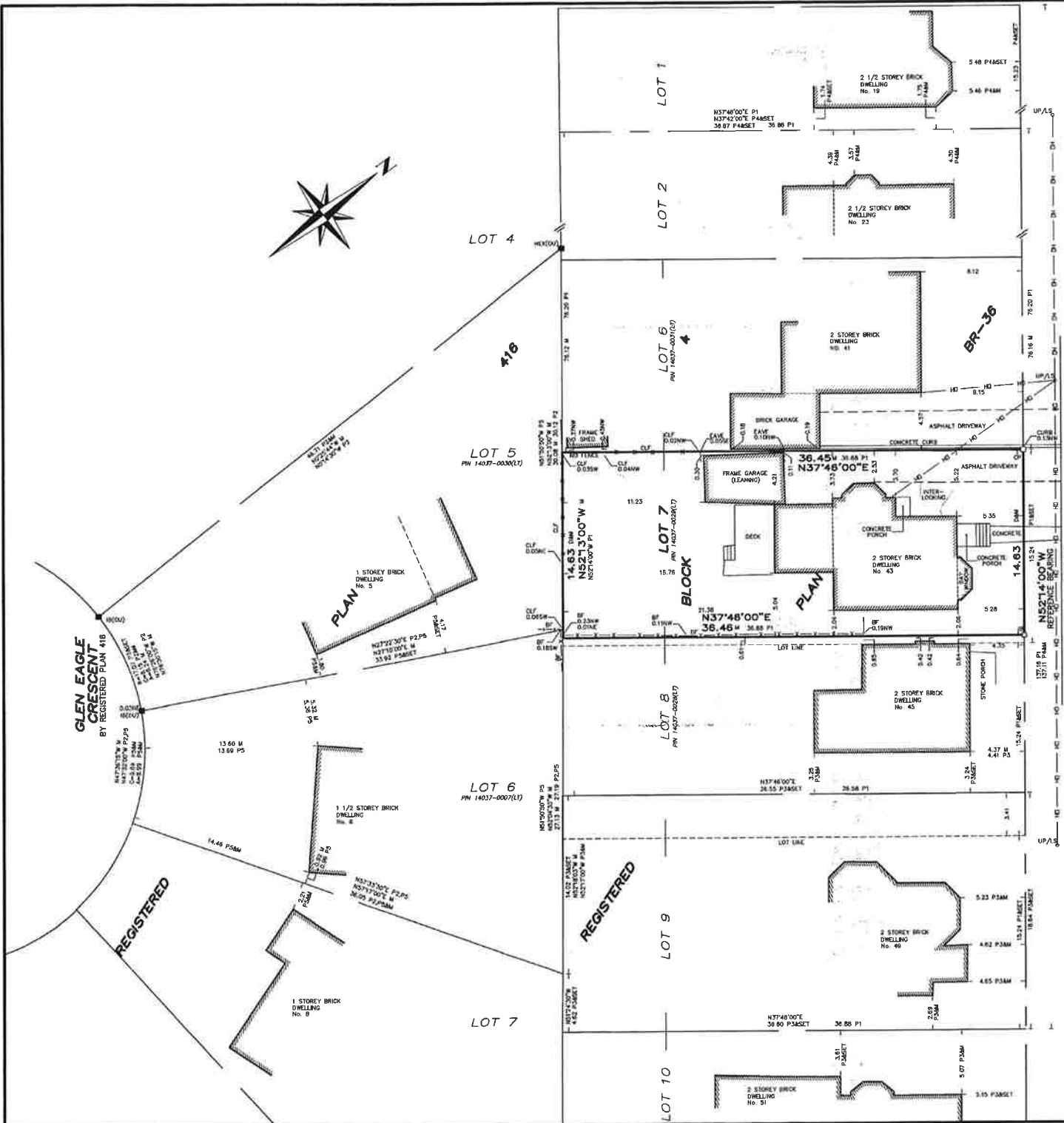


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**INTERIOR ALTERATIONS
GARAGE ADDITION**
43 CHAPEL STREET
BRAMPTON, ON

SITE PLAN

CoA - 1
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SURVEYOR'S REAL PROPERTY REPORT
PART OF LOT 7, BLOCK 4
REGISTERED PLAN BR-36
 IN THE
CITY OF BRAMPTON
 REGIONAL MUNICIPALITY OF PEEL
 SCALE 1:200



ASHENHURST NOUWENS & ASSOCIATES INC.
 COPYRIGHT 2019 ©

METRIC NOTE
 DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE COVERED TO FEET BY DIVIDING BY 0.3048.
REGISTERED EASEMENTS AND/OR RIGHT-OF-WAY.
 NONE.

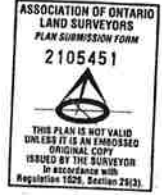
NOTES
 NOTE OF THE LOCATION OF THE OVERHEAD WIRES.
 NOTE THE LOCATION OF THE EAVES ON THE FRAME GARAGE AT THE NORTH WESTERLY LIMIT.
 NOTE THE LOCATION OF THE FENCES AROUND THE LIMITS OF THE PROPERTY.

- LEGEND**
- DENOTES FOUND
 - DENOTES PLANTED
 - IB DENOTES IRON BAR
 - OP DENOTES CONCRETE PIN
 - OU DENOTES ORIGIN UNKNOWN
 - OH DENOTES OVERHEAD WIRE
 - UP DENOTES UTILITY POLE
 - LS DENOTES LIGHT STANDARD
 - BF DENOTES BOARD FENCE
 - CLF DENOTES CHAINLINK FENCE
 - HEX DENOTES HEXAGONAL IRON BAR
 - P1 DENOTES REGISTERED PLAN BR-36
 - P2 DENOTES REGISTERED PLAN 416
 - P3 DENOTES PLAN OF SURVEY BY DUNCAN ASHWORTH SURVEYING LTD, OLS, DATED APRIL 12TH, 1983
 - P4 DENOTES PLAN OF SURVEY BY DUNCAN ASHWORTH SURVEYING LTD, OLS, DATED APRIL 5TH, 1985
 - P5 DENOTES PLAN OF SURVEY BY B.J. STASSEN, OLS, DATED SEPTEMBER 28TH, 1999
 - D DENOTES BR26109

THIS SURVEY WAS PREPARED FOR JOHN TEIXEIRA AND THE UNDERSIGNED ACCEPTS NO RESPONSIBILITY FOR USE BY OTHER PARTIES.

BEARING NOTE
 BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE WESTERLY LIMIT OF CHAPEL STREET AS SHOWN ON REGISTERED PLAN BR-36 HAVING A BEARING OF N52°14'00"W.

CHAPEL STREET
 BY REGISTERED PLAN BR-36
 PW 14037-0007(LT)

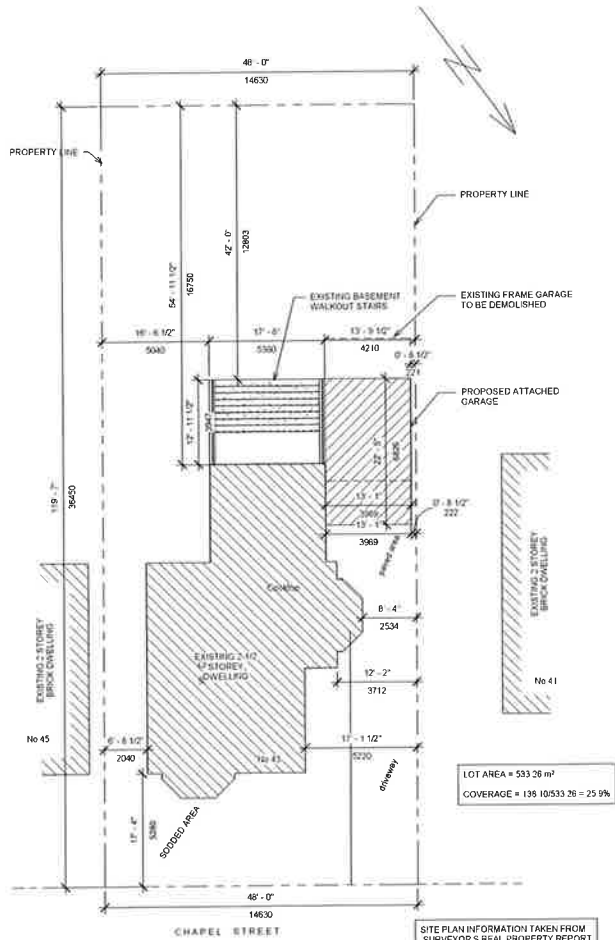


SURVEYOR'S CERTIFICATE
 I CERTIFY THAT:
 1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT, THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
 2. THE SURVEY WAS COMPLETED ON THE 30TH DAY OF DECEMBER, 2019.

Sec. 30, 2019
 DATE: *30 Dec 2019*
 HARRY KONANTZANDIS
 CHARTERED LAND SURVEYOR

ASHENHURST NOUWENS & ASSOCIATES INC.
 PROFESSIONAL ENGINEERS & ONTARIO LAND SURVEYORS
 225 KING WILLIAM STREET, SUITE 204, HAMILTON, ONTARIO L8R 1B1
 TELEPHONE: (905) 529-6316
 (905) 529-4314
 FAX: (905) 529-6651
 e-mail: an@AshenhurstNouwens.ca

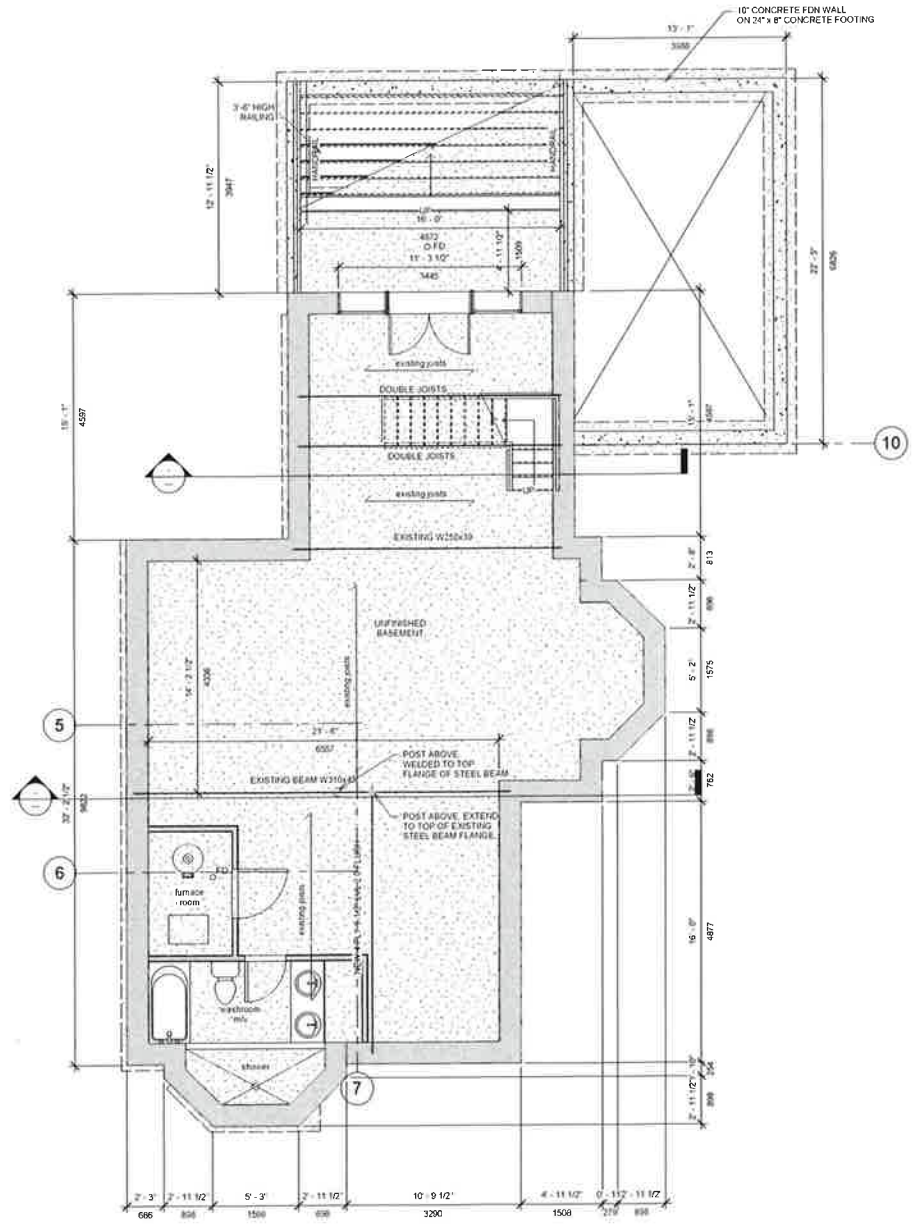
DRAWN BY: N.R. CAL'D BY: N.R. CHECK BY: H.K. FILE NO.: 19186 SRPR



LOT AREA = 533.28 m²
 COVERAGE = 135 10533.28 = 25.9%

SITE PLAN INFORMATION TAKEN FROM SURVEYOR'S REAL PROPERTY REPORT OF PART OF LOT 7, BLOCK 4 REGISTERED PLAN BR-36 IN THE CITY OF BRAMPTON, PREPARED BY ASHENBURST MOWENS & ASSOC. INC. ONTARIO LAND SURVEYORS DATED DEC. 30, 2019.

1 SITE PLAN
 1" = 10'-0"



4 Basement Level
 1/4" = 1'-0"

No.	Description	Date
1	ISSUED FOR BUILDING PERMIT	APR 5/22

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 647-219-7651
 st.theodor@bell.net



INTERIOR ALTERATIONS GARAGE ADDITION

43 CHAPEL STREET
 BRAMPTON, ON

SITE PLAN BASEMENT PLAN

Project number	20-037
Date	MARCH 2022
Drawn by	ST
Checked by	ST

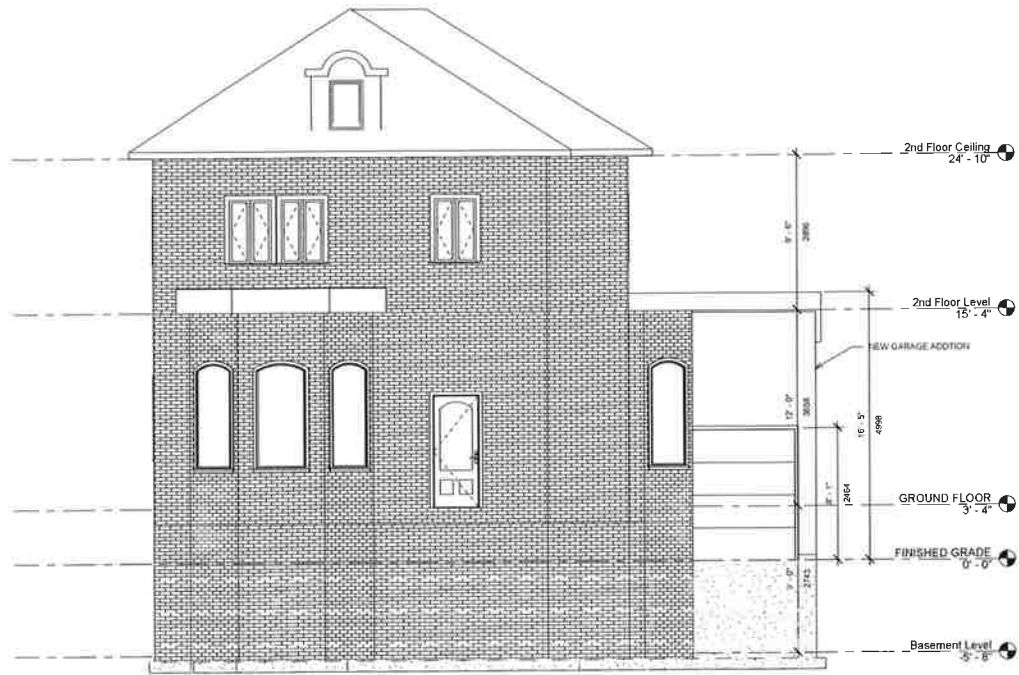
A1

Scale AS NOTED

APR 2022 2:48:23 PM



① Loft Level
1/4" = 1'-0"



② Front Elevation
1/4" = 1'-0"



③ Rear Elevation
1/4" = 1'-0"

No.	Description	Date
1	ISSUED FOR BUILDING PERMIT	APR 5/22

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**INTERIOR
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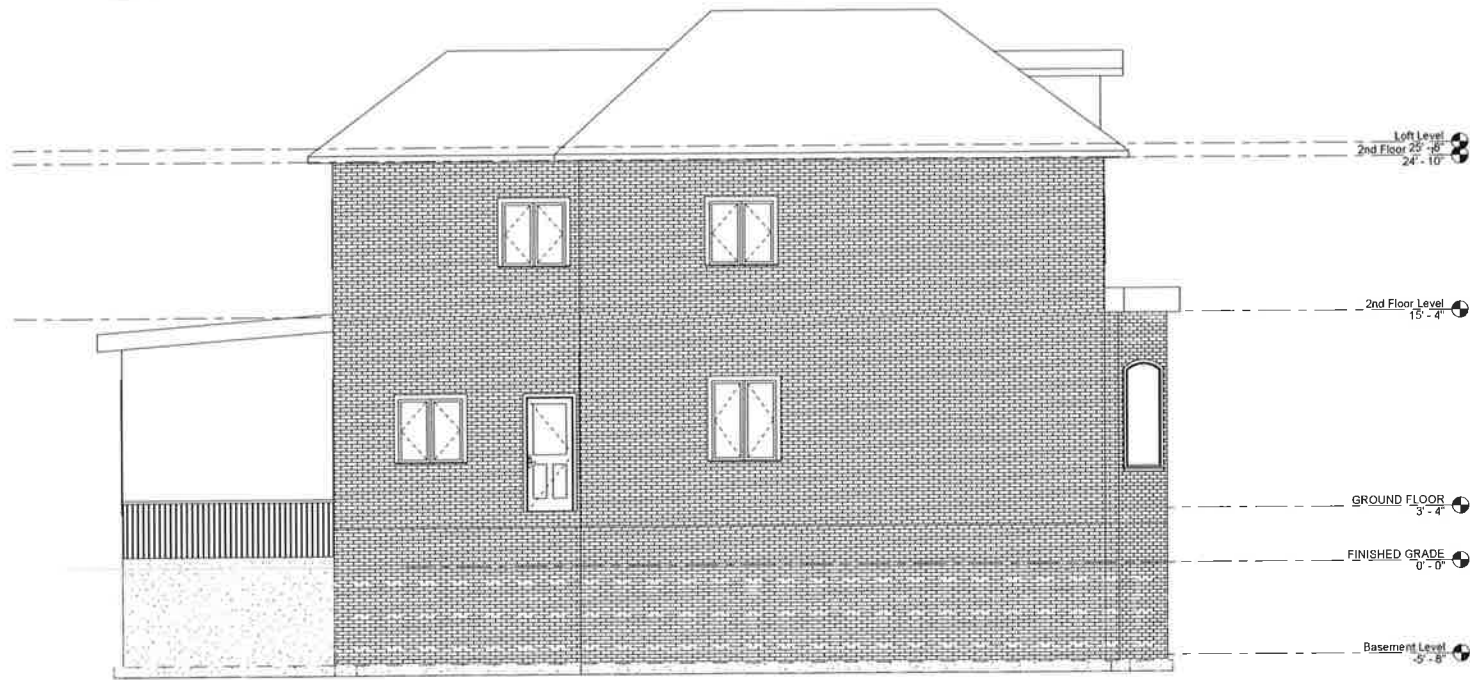
43 CHAPEL STREET
BRAMPTON, ON

**LOFT LEVEL
ELEVATIONS**

Project number	20-037
Date	MARCH 2022
Drawn by	Author
Checked by	Checker

A3

Scale



① Side (East) Elevation
1/4" = 1'-0"



② Side (West) Elevation
1/4" = 1'-0"

No.	Description	Date
1	ISSUED FOR BUILDING PERMIT	APR 5/22

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**INTERIOR
ALTERATIONS
GARAGE ADDITION**

43 CHAPEL STREET
BRAMPTON, ON

ELEVATIONS

Project Number	20-037
Date	MARCH 2022
Drawn by	ST
Checked by	ST

A4

Scale

Excavation

1. THE TOPSOIL AND VEGETABLE MATTER IN ALL UNEXCAVATED AREAS UNDER A BUILDING SHALL BE REMOVED.
2. IN LOCALITIES WHERE TERMITES ARE KNOWN TO OCCUR, ALL STUMPS, ROOTS AND OTHER WOOD DEBRIS SHALL BE REMOVED FROM THE SOIL TO A MINIMUM DEPTH OF NOT LESS THAN 300mm (11 3/4") IN UNEXCAVATED AREAS UNDER THE BUILDING.
3. THE BOTTOM OF EVERY EXCAVATION SHALL BE FREE OF ALL ORGANIC MATERIAL.
4. EXCAVATIONS SHALL BE KEPT FREE OF STANDING WATER. THE BOTTOM OF EXCAVATIONS SHALL BE KEPT FROM FREEZING THROUGHOUT THE ENTIRE CONSTRUCTION PERIOD.
5. EVERY EXCAVATION SHALL BE UNDERTAKEN IN SUCH A MANNER TO PREVENT DAMAGE TO ADJACENT PROPERTY, EXISTING STRUCTURES, UTILITIES, ROADS AND SIDEWALKS AT ALL STAGES OF CONSTRUCTION.
6. MATERIAL SHALL NOT BE PLACED NOR SHALL EQUIPMENT BE OPERATED OR PLACED IN OR ADJACENT TO AN EXCAVATION IN A MANNER THAT MAY ENDANGER THE INTEGRITY OF THE EXCAVATION OR ITS SUPPORTS.
7. BACKFILL SHALL BE PLACED TO AVOID DAMAGING THE FOUNDATION WALL, THE DRAINAGE TILE, EXTERNALLY APPLIED THERMAL INSULATION, WATER PROOFING AND DAMPPROOFING OF THE WALL.
8. BACKFILL SHALL BE GRADED TO PREVENT DRAINAGE TOWARDS THE FOUNDATION AFTER SETTLING.
9. BACKFILL WITH 60mm (2 3/8") OF THE FOUNDATION SHALL BE FREE OF DELETERIOUS DEBRIS AND BOULDERS LARGER THAN 250mm (9 7/8") IN DIAMETER.
10. WHERE THE HEIGHT OF FOUNDATION WALL IS SUCH THAT LATERAL SUPPORT IS REQUIRED, OR WHERE THE REQUIRED CONCRETE STRENGTH OF THE WALL HAS NOT BEEN REACHED, THE WALL SHALL BE BRACED OR LATERALLY SUPPORTED BEFORE BACKFILLING.

Materials

1. CONCRETE: CONFORM TO THE REQUIREMENTS OF CAN/CSA A23.1.
2. REINFORCEMENT: CONFORM TO CSA G30 SERIES, fy=400MPa FOR ALL CONCRETE REINFORCEMENT EXCEPT THAT fy=386MPa FOR WELDED WIRE FABRIC.
3. STRUCTURAL STEEL FRAMING: CONFORM TO CAN/CSA G40 20 AND G40 21, GRADE 350W EXCEPT THAT HIS MEMBERS ARE TO BE GRADE 350W, CLASS H, UNLESS OTHERWISE NOTED.
4. ANCHOR BOLTS: CONFORM TO ASTM A307 UNLESS OTHERWISE NOTED OR SHOWN.
5. STRUCTURAL BOLTS, NUTS AND WASHERS: CONFORM TO ASTM A325M.
6. CONCRETE MASONRY UNITS: CONFORM TO CAN3-A165 SERIES, 15MPa MINIMUM COMPRESSIVE STRENGTH BASED ON NET AREA.
7. MORTAR: CONFORM TO CSA A179, TYPE 'S' TYPICALLY AND TYPE 'M' BELOW GRADE.
8. MASONRY GROUT: CONFORM TO CSA A179, 20MPa MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS, 250mm SLUMP, MAXIMUM AGGREGATE SIZE: 10mm.
9. NON-SHRINK GROUT: 35MPa MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS.
10. SAWN LUMBER: CONFORM TO CSA D14.
11. PLYWOOD: CONFORM TO CSA 0121-M.
12. FOUNDATION INSULATION: EXTRUDED POLYSTYRENE WITH A MINIMUM COMPRESSIVE STRENGTH OF 0.24MPa UNLESS OTHERWISE NOTED.

Foundations

1. FOUND ALL FOOTINGS ON NATURALLY CONSOLIDATED UNDISTURBED SOIL CAPABLE OF SAFELY SUSTAINING AN UNFACTORED BEARING PRESSURE OF 200kPa. IF THESE CONDITIONS DO NOT PREVAIL AT THE ELEVATIONS SHOWN, ADVISE THE ENGINEER BEFORE PROCEEDING WITH THE WORK.
2. FOUND EXTERIOR FOOTINGS AND OTHER FOOTINGS SUSCEPTIBLE TO DAMAGE RESULTING FROM FROST ACTION A MINIMUM OF 4'-0" BELOW FINISHED GRADE IF NOT NOTED TO BE FOUNDED LOWER.
3. THE LINE OF SLOPE BETWEEN ADJACENT FOOTINGS OR EXCAVATIONS OR ALONG STEPPED FOOTINGS SHALL NOT EXCEED A RISE OF 7 IN A RUN OF 10.
4. DO NOT PLACE BACKFILL AGAINST WALLS RETAINING EARTH (OTHER THAN CANTILEVER WALLS) UNTIL THE WALLS AND THE FLOOR CONSTRUCTIONS AT TOP AND BOTTOM OF THE WALLS HAVE BEEN CAST AND ATTAINED 100% OF THEIR DESIGN STRENGTH.
5. WHERE THE SLAB ON GRADE IS USED TO TIE THE TOPOF A WALL RETAINING EARTH, THAT WALL SHALL BE ADEQUATELY SHORED UNTIL THE SLAB HAS BEEN CAST AND ATTAINED 100% OF ITS DESIGN STRENGTH.
6. CARRY OUT BACKFILLING AGAINST FOUNDATION WALLS WHERE THERE IS GRADE ON BOTH SIDES IN SUCH A MANNER THAT THE LEVEL OF BACKFILLING ON ONE SIDE OF THE WALL IS NEVER MORE THAN 500mm (2') DIFFERENT FROM THE LEVEL ON THE OTHER SIDE OF THE WALL.
7. PROVIDE FOOTINGS FOR ALL MASONRY WALLS 240mm(10") OR THICKER. 190mm (8") MASONRY WALLS SHALL REST ON A THICKENED SLAB ON GRADE, AS SHOWN IN TYPICAL DETAIL. ALL WALLS 140mm(6") OR LESS SHALL REST ON THE SLAB ON GRADE UNLESS OTHERWISE NOTED OR SHOWN.

Masonry

1. ALL MASONRY CONSTRUCTION SHALL CONFORM TO CAN3-A371 MASONRY CONSTRUCTION FOR BUILDINGS.
2. WHERE DOWELS, ANCHOR BOLTS, ETC. ARE SHOWN PROJECTING INTO MASONRY, BUILD THESE TIGHTLY INTO MASONRY VOIDS WITH MASONRY GROUT OR TYPE "M" MORTAR.
3. BENEATH STEEL AND CONCRETE BEAMS, JOISTS AND TRUSSES PROVIDE A MINIMUM DEPTH OF 46" 100% SOLID MASONRY UNITS PROJECTING A MINIMUM OF 8" BEYOND THE EDGES OF BEARING PLATES, UNLESS OTHERWISE NOTED OR SHOWN.
4. PROVIDE A MINIMUM LENGTH OF 8" AND MINIMUM DEPTH OF 8" OF 100% SOLID MASONRY UNITS FOR STEEL, CONCRETE OR REINFORCED MASONRY LINTELS.
5. PROVIDE A MINIMUM DEPTH OF 8" OF 100% SOLID MASONRY UNITS FOR SLABS OR STEEL DECK BEARING ON MASONRY.
6. BUILD MASONRY TIGHTLY INTO WEBS OF ALL WALL BEARING STEEL BEAMS AT THEIR POINTS OF BEARING.
7. REINFORCED MASONRY:
 - 7.a CELLS TO BE REINFORCED SHALL BE KEPT CLEAN OF MORTAR.
 - 7.b GROUT FOR REINFORCED CELLS, BOND BEAMS, LINTELS, AND CELLS CONTAINING DOWELS, ANCHOR BOLTS AND INSERTS SHALL CONFORM TO SPECIFICATION UNDER B. MATERIALS.
- 7.c PROVIDE 2-15M VERTICALS FULL HEIGHT AT ALL WALL ENDS, CORNERS, INTERSECTIONS, AND OPENINGS UNLESS OTHERWISE NOTED ON DRAWINGS.
- 7.d DOWELS FROM FOUNDATIONS TO MATCH VERTICAL REINFORCEMENT IN WALL.
- 7.e PROVIDE CLEANOUTS AT THE BASE OF THE WALL TO VERIFY PROPER PLACEMENT OF GROUT. PLACE GROUT IN MAXIMUM 8'-0" LIFTS. IF NO CLEANOUT PROVIDED, POUR HEIGHT LIMITED TO 4'-0"

Mortar

1. CEMENTITIOUS MATERIALS AND AGGREGATES FOR MORTAR SHALL COMPLY WITH:
 - 1.a CAN/CSA-A5 "PORTLAND CEMENT"
 - 1.b CAN3-A8 "MASONRY CEMENT"
 - 1.c CSA A 82-22 "GYPSUM PLASTERS"
 - 1.d CSA A 82-56 "AGGREGATE FOR MASONRY MORTAR"
 - 1.e ASTM C207 "HYDRATED LIME FOR MASONRY PURPOSES"
 - 1.f ASTM C "QUICKLIME FOR STRUCTURAL PURPOSES" OR ASTM C207 "HYDRATED LIME FOR MASONRY PURPOSES"
2. WATER AND AGGREGATE SHALL BE CLEAN AND FREE OF SIGNIFICANT AMOUNTS OF DELETERIOUS MATERIALS.
3. MORTAR CONTAINING PORTLAND CEMENT SHALL NOT BE USED LATER THAN 2.5 HRS AFTER MIXING.
4. MORTAR FOR SAND-LIME BRICK AND CONCRETE BRICK MAY CONSIST OF 1 PART MASONRY CEMENT TO NOT LESS THAN 2.5 OR NOT MORE THAN 3 PARTS OF AGGREGATE BY VOLUME IN ADDITION TO THOSE MIXES PERMITTED IN OBC TABLE 9.20.3.A.
5. MORTAR FOR GLASS BLOCK SHALL CONSIST OF 1 PART PORTLAND CEMENT, 1 PART HYDRATED LIME TO NOT MORE THAN 4 PARTS AGGREGATE BY VOLUME.

Mortar Joints

1. MAXIMUM AVERAGE JOINT THICKNESS SHALL BE 12mm (1/2")
2. MAXIMUM THICKNESS OF AN INDIVIDUAL JOINT SHALL BE 20mm (13/16")
3. SOLID MASONRY UNITS SHALL BE LAID WITH FULL HEAD AND BED JOINTS.
4. HOLLOW MASONRY UNITS SHALL BE LAID WITH MORTAR APPLIED TO HEAD AND BED JOINTS OF BOTH INNER AND OUTER FACE SHELLS.

Slab On Grade

1. PLACE SLABS-ON-GRADE ON MATERIAL CAPABLE OF SUSTAINING 25kPa WITHOUT SETTLEMENT RELATIVE TO THE BUILDING FOOTINGS.

Structural Steel

1. PROVIDE MINIMUM LENGTH OF BEARING OF 200mm (8") FOR ALL STEEL BEAMS BEARING ON MASONRY AND CONCRETE AND MINIMUM OF 100mm (4") ON STRUCTURAL STEEL, UNLESS OTHERWISE NOTED OR SHOWN.
2. CENTRE BEARING PLATES UNDER BEAMS UNLESS OTHERWISE NOTED OR SHOWN.
3. BEARING PLATE DIMENSION GIVEN FIRST INDICATED SIDE PARALLEL TO BEAM WEB.
4. NO STRUCTURAL STEEL SHALL BE CUT IN THE FIELD UNLESS REVIEWED AND APPROVED BY THE ENGINEER.
5. PROVIDED WELDED STIFFENER PLATES ON BOTH SIDES OF THE WEB OF BEAMS AT POINTS OF CONCENTRATED LOAD INCLUDING BEAMS SUPPORTING COLUMNS OR RUNNING OVER TOPS OF COLUMNS.
6. PROVIDE ALL ANCHOR BOLTS, CAST IN PLATES WITH ANCHORS, AND ANCHORS REQUIRED TO CONNECT STRUCTURAL STEEL TO CAST-IN-PLACE CONCRETE.
7. LENGTH OF ANCHOR BOLTS, STRAP ANCHORS AND SIMILAR DEVICES IS GIVEN FOR THE STRAIGHT LENGTH WITHOUT HOOK.

Timber Framing

1. ALL FRAMING, BRIDGING, NAILING, PROTECTION, HARDWARE AND OTHER FRAMING DETAILS ARE TO BE IN ACCORDANCE WITH PART 9 OF THE ONTARIO BUILDING CODE, LATEST EDITION.
2. EXTERIOR WALL SHEATHING TO BE PLYWOOD OR STRAND BOARD NAILED AT 150mm (6") c/c ALONG EDGES AND 300mm (12") c/c ON INTERMEDIATE FRAMING MEMBERS. SHEATHING PROVIDES LATERAL SUPPORT FOR FRAMING AND MUST BE NAILED TO EACH STUD.
3. ALL GYPSUM (DRYWALL) IS CONTRIBUTING TO THE LATERAL RESISTANCE OF THE STRUCTURE. NAILING OF GYPSUM (DRYWALL) SHALL BE ACHIEVED BY USING 4mm (1") NAILS WITH AN 11.1mm HEAD SPACED AT 180mm (7") c/c ALONG STUDS AND PLATES.
4. FLOOR SHEATHING TO BE PLYWOOD SUB FLOOR GLUED AND NAILED SECURELY TO ALL JOISTS.
5. ROOF SHEATHING TO BE PLYWOOD NAILED AT 150mm (6") c/c ALONG EDGES AND 300mm (12") c/c ON INTERMEDIATE FRAMING MEMBERS.
6. UNLESS SPECIFICALLY NOTED ON THE DRAWINGS, THE CONTRACTOR SHALL PROVIDE STANDARD SIMPSON STRONG-TIE HARDWARE OR APPROVED EQUIVALENT FOR ALL JOIST HANGERS, BEAM HANGERS, BEAM SEATS, POST ANCHORS, ETC.
7. MEMBERS SHALL BE ALIGNED LEVEL AND PLUMB, WITHIN A TOLERANCE OF 1 IN 500.
8. MAKE ADEQUATE PROVISIONS FOR ERECTION STRESSES AND FOR SUFFICIENT TEMPORARY BRACING TO KEEP THE STRUCTURAL FRAME PLUMB AND IN TRUE ALIGNMENT UNTIL THE COMPLETION OF THE ENTIRE FRAMING INCLUDING INSTALLATION OF THE DECK.
9. FRAME AROUND ALL OPENINGS WITH DOUBLE HEADERS AND TRIMMERS NAILED TOGETHER WITH TWO ROWS OF 89mm (3 1/2") SPIRAL NAILS AT 200mm c/c (8") STAGGERED UNLESS NOTED OTHERWISE. DO NOT SPLICE MEMBERS BETWEEN SUPPORTS.
10. FOR ALL BUILT UP BEAMS SUPPORTED ON TIMBER WALLS ARE TO BEAR ON BUILT UP POSTS OR BE CONNECTED TO OTHER BEAMS WITH METAL BEAM HANGERS. PRESSURE NAILING PLATES WILL NOT BE ACCEPTED.
11. ALL BEAMS SUPPORTED ON TIMBER WALLS ARE TO BEAR ON BUILT UP POSTS OR BE CONNECTED TO OTHER BEAMS WITH METAL BEAM HANGERS. PRESSURE NAILING PLATES WILL NOT BE ACCEPTED.
12. ALL BUILT UP POSTS ARE TO BE CONSTRUCTED CONTINUOUSLY TO THE FOUNDATION WITH TRANSFER BLOCKING AT EACH FLOOR FRAMING. POSTS ARE TO CONTINUE TO FOUNDATIONS EVEN IF SUPPORTED ON LOADBEARING STUD WALLS, UNLESS NOTED OTHERWISE ON THE DRAWINGS.
13. BUILT UP POSTS OF 2 OR 3 PLY SHALL BE NAILED TOGETHER AT 150mm (6") c/c STAGGERED UNLESS NOTED OTHERWISE.
14. PROVIDE DOUBLE FLOOR JOISTS AT ALL NON-LOADBEARING AND LOADBEARING PARTITION WALLS SPANNING PARALLEL TO THE FLOOR FRAMING UNLESS OTHERWISE NOTED.
15. PROVIDE SOLID BLOCKING, MATCHING JOIST MEMBER SIZE, UNDER ALL LOADBEARING WALLS OFFSET FROM THE SUPPORTS BELOW FOR FLOOR JOISTS SPANNING PERPENDICULAR TO THE WALL.
16. PROVIDE SOLID BLOCKING, BETWEEN JOISTS OVER SUPPORT AT ALL CANTILEVERED CONDITIONS.
17. PROVIDE THE FOLLOWING HEADERS UNLESS NOTED OTHERWISE ON THE DRAWINGS: WINDOW AND DOOR OPENINGS < 2100mm (7'-0"): 2-2"x10" WINDOW AND DOOR OPENINGS < 3000mm (10'-0"): 3-2"x10"
18. PROVIDE 2"x2" DIAGONAL CROSS BRIDGING AT MAXIMUM 8'-0" c/c UNLESS NOTED OTHERWISE.
19. PROVIDE MINIMUM BEARING OF 2" FOR ALL JOISTS.
20. PROVIDE MINIMUM BEARING OF 4" FOR ALL BEAMS.

Roof Spaces

1. EVERY ROOF SPACE OR ATTIC ABOVE AN INSULATED CEILING SHALL BE VENTILATED WITH AN OPENING TO THE EXTERIOR TO PROVIDE UNOBSTRUCTED VENT AREA OF NOT LESS THAN 1/300 OF THE INSULATED CEILING AREA.
2. VENTS REQUIRED MAY BE ROOF TYPE, EAVE TYPE, GABLE-END TYPE OF ANY COMBINATION THEREOF AND SHALL BE UNIFORMLY DISTRIBUTED ON OPPOSITE SIDES OF THE BUILDING.
3. VENTS TO BE DESIGNED TO PREVENT THE ENTRY OF RAIN, SNOW AND INSECTS.
4. THE UNOBSTRUCTED VENT AREA SHALL BE DETERMINED IN CONFORMANCE WITH CAN3-A33, "NATURAL AIRFLOW VENTILATORS FOR BUILDINGS".
5. WHERE INSULATION IS PLACED BELOW THE ROOF SHEATHING IN ROOFS HAVING A SLOPE OF LESS THAN 1 IN 6 OR ROOFS THAT ARE CONSTRUCTED WITH ROOF JOISTS, THE UNOBSTRUCTED VENT AREA SHALL BE NOT LESS THAN 1/150 OF THE INSULATED CEILING AREA.

Access To Attic Space

1. EVERY ATTIC SPACE SHALL BE PROVIDED WITH AN ACCESS STAIR OR SHALL HAVE A HATCHWAY IF THE AREA OF THE SPACE IS MORE THAN 10 SQ M (108 SQ FT).
2. THE OPENING OF THE HATCHWAY SHALL BE NOT LESS THAN 500mm (19 3/4") BY 700mm (2'-4"), AND SHALL BE FITTED WITH A DOOR OR COVER.

No.	Description	Date
2	ISSUED FOR BUILDING PERMIT	OCT 7/17

ST ENGINEERING

2 BLACK COURT
AURORA, ON L4G 8A1
647-219-7651
st.theodor@bell.net



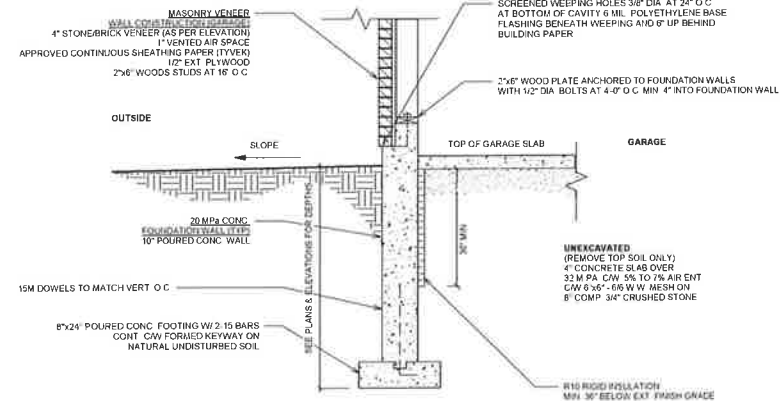
INTERIOR ALTERATIONS GARAGE ADDITION

43 CHAPEL STREET
BRAMPTON, ON

GENERAL NOTES

Project Number	20-037
Date	MARCH 2022
Drawn by	ST
Checked by	ST

A5



FOUNDATION WALL AT GARAGE

a

b

c

d

e



G4

G5