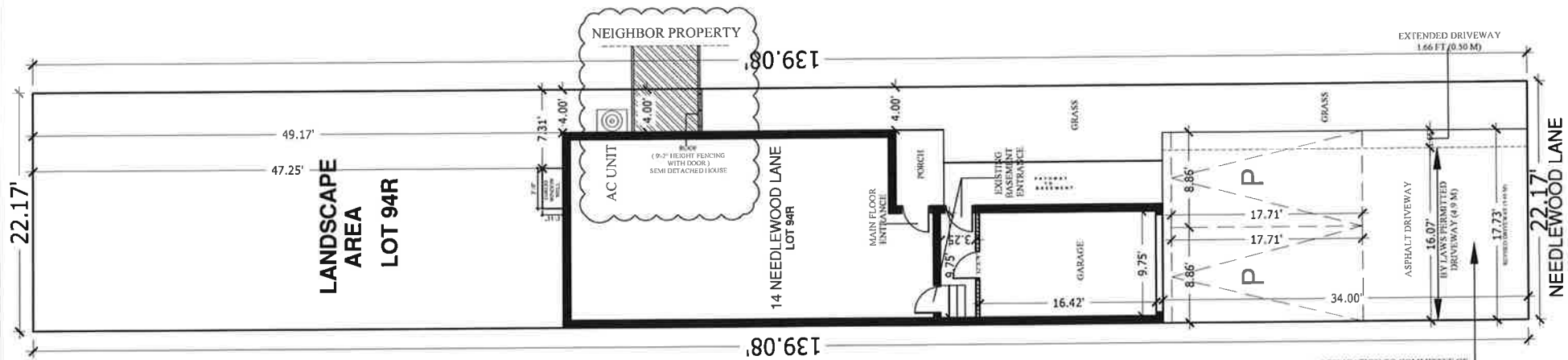


Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca



SITE PLAN **SCALE 3/32"=1'-0"**



PRIME PERMIT

peimepermitdesigns@gmail.com
514-660-7576

SCOPE OF WORK

PROPOSAL TO CONSTRUCT
SECOND UNIT AND EXTEND
DRIVEWAY.

GENERAL NOTES

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PROPERTY RIGHTS RETAINED BY:
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UNDER THE RULES AND BY-LAWS OF THE
CORPORATION IS STRICTLY FORBIDDEN.
ANY REPRODUCTIONS MUST BE
AUTHORIZED BY
ALL DRAWINGS ARE IN METRIC SCALE

NO	REVISION / ISSUE	DATE

SITE PLAN

CITY : BRAMPTON

14 NEEDLEWOOD LANE

EXISTING DWELLING

SHEET

A-1

PROJECT

JAN 2023

SCALE 3/32"=1'-0"

Under the authority of the *Emergency Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

Electronic/Hybrid Hearing Procedures
How to get involved in the Hybrid Hearing

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **March 7, 2023** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

How to Participate in the Hearing:

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, March 2, 2023.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
 1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, March 2, 2023.**
 2. To participate in-person, please email the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, March 2, 2023.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, March 2, 2023.** . City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

AMENDMENT LETTER

February 22, 2023

To: Committee of Adjustment
PRANAVKUMAR SDHAH AND BRINDABEN SHAH
PART OF LOT 94, PLAN 43M-1340
A-2023-0029 – 14 NEEDLEWOOD LANE

Please **amend** application **A-2023-0029** to reflect the following:

1. To permit a driveway width of 5.4m (17.72 ft.) whereas the by-law permits a maximum driveway width of 4.9m (16.08 ft.);
2. To permit an existing fence having a maximum height of 3.2m (10.50 ft.) whereas the by-law permits a maximum fence height of 2.0m (6.56 ft.).



Applicant/Authorized Agent



The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1.

Name of Owner(s)

Pranavkumar Shah and Brindaben Shah

Address

14 Needlewood Lane

Brampton, L6R 2N2

Phone #

647-628-8598

Fax #

Email

pranavs_shah@yahoo.co.in
2.

Name of Agent

Dhrupal Patel

Address

94-6622 Baker Rd.

Delta, BC, V4E 2V1

Phone #

514-660-7576

Fax #

Email

primepermittedesigns@gmail.com
3.

Nature and extent of relief applied for (variances requested):

TO ALLOW A 5.40M DRIVEWAY WIDTH INSTEAD OF 4.9M ALLOWED

(TO ACCOMODATE TWO CARS ON DRIVEWAY)
4.

Why is it not possible to comply with the provisions of the by-law?

PROPOSED DRIVEWAY WIDTH IS 5.40M, AS PER BY LAW ALLOWED TO 4.9M
5.

Legal Description of the subject land:

Lot Number - PART LOT 94

Plan Number/Concession Number - 43M1340

Municipal Address - 14 NEEDLEWOOD LANE, BRAMPTON, ON, L6R 2N2
6.

Dimension of subject land (in metric units)

Frontage

6.8 M

Depth

42.39 M

Area

288.25 M2
7.

Access to the subject land is by:

Provincial Highway

Municipal Road Maintained All Year

Private Right-of-Way

☐

☒

☐

Seasonal Road

Other Public Road

Water

☐

☐

☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

SEMI DETACHED 2 STOREY DWELLING

GROSS FLOOR AREA = 514.76/47.82 SM

PROPOSED BUILDINGS/STRUCTURES on the subject land:

N/A

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback 7.06M

Rear yard setback 12.26M

Side yard setback 1.31M

Side yard setback 0

PROPOSED

Front yard setback 7.06M

Rear yard setback 12.26M

Side yard setback 1.31M

Side yard setback 0

10. Date of Acquisition of subject land: APRIL 25, 2020
11. Existing uses of subject property: SINGLE FAMILY DWELLING UNIT
12. Proposed uses of subject property: 2ND DWELLING UNIT
13. Existing uses of abutting properties: RESIDENTIAL USE
14. Date of construction of all buildings & structures on subject land: 2000-2001
15. Length of time the existing uses of the subject property have been continued: 2-3 YEARS

16. (a) What water supply is existing/proposed?

Municipal

☒

Well

☐

Other (specify)

- (b) What sewage disposal is/will be provided?

Municipal

☒

Septic

☐

Other (specify)

- (c) What storm drainage system is existing/proposed?

Sewers

☒

Ditches

☐

Swales

☐

Other (specify)

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

P.S. Sakh
Signature of Applicant(s) or Authorized Agent

DATED AT THE City OF Brampton
THIS 27th DAY OF January, 2023.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Pranav Kumar Steeh, OF THE city OF Brampton
IN THE Region OF Peel SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton
IN THE Region OF Peel
 Peel THIS 27th DAY OF

Jan., 2023

Jeanie Myers
A Commissioner etc.

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024.

P.S. Sakh
Signature of Applicant or Authorized Agent

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

R2C - 879

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

HOTHU S.

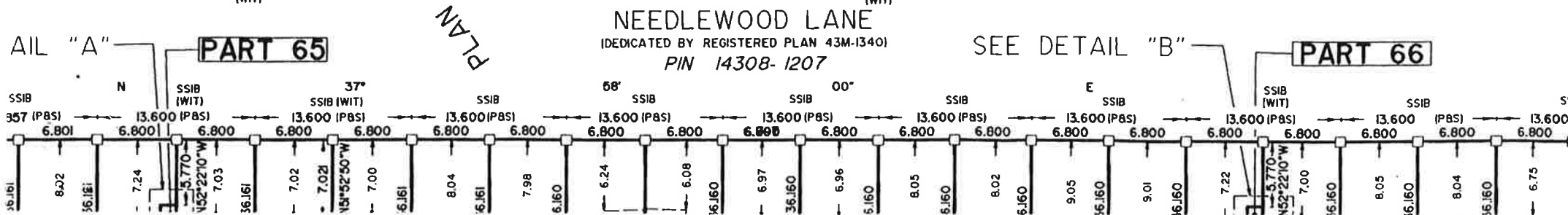
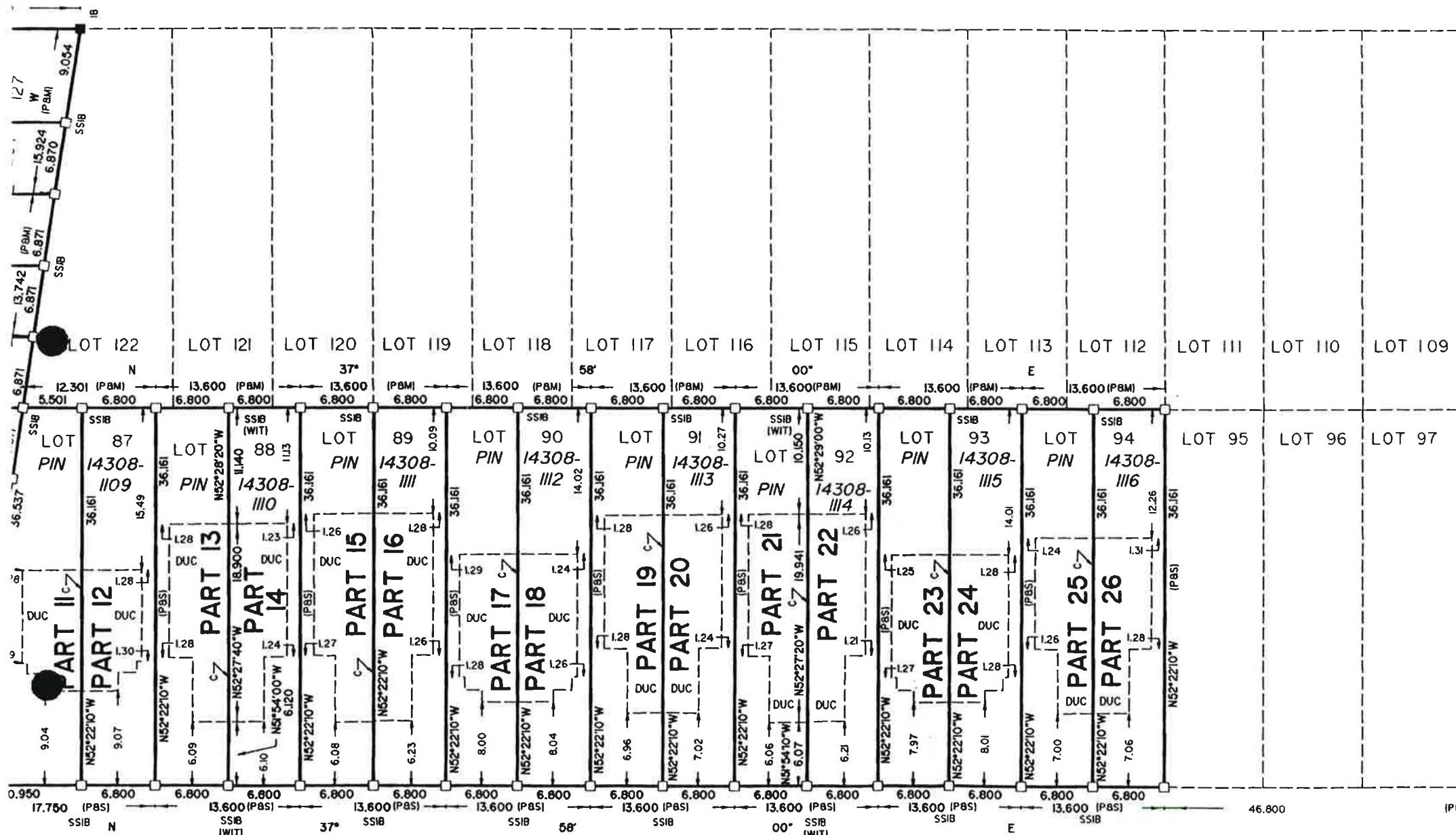
Zoning Officer

JAN 25 2023

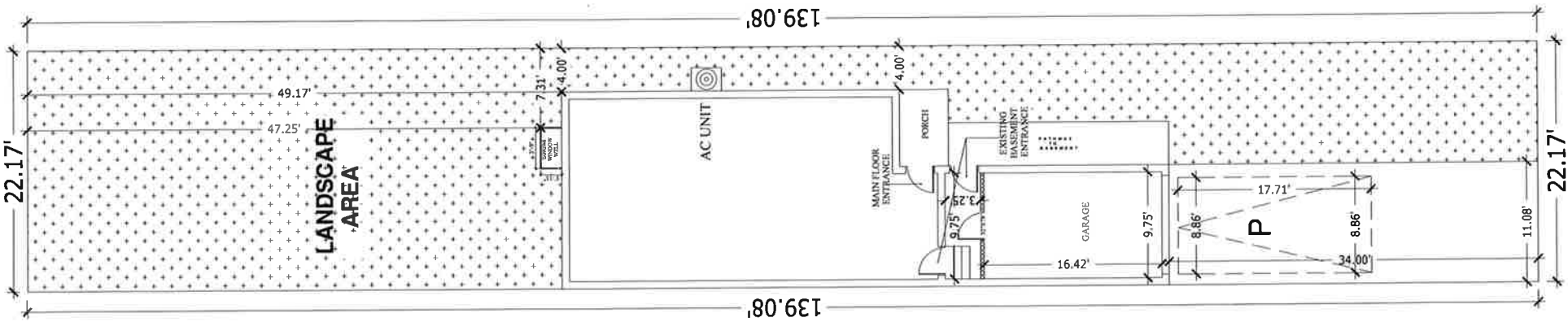
Date

DATE RECEIVED

January 27, 2023



DOCUMENTS RELEASED PURSUANT TO A REQUEST
 UNDER THE
 MUNICIPAL FREEDOM OF INFORMATION AND
 PROTECTION OF PRIVACY ACT R.S.O. 1990c. M56
 COPYRIGHT ACT R.S., 1985, c. C-42 APPLIES TO THE
 USE AND REPRODUCTION OF THESE DOCUMENTS



SITE PLAN

SCALE 3/32"=1'-0"



14 NEEDLEWOOD LANE

PRIME PERMIT

peimepermitdesigns@gmail.com
514-660-7576

SCOPE OF WORK

PROPOSAL TO CONSTRUCT
SECOND UNIT.

GENERAL NOTES

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NO	REVISION / ISSUE	DATE

SITE PLAN

CITY : BRAMPTON

14 NEEDLEWOOD LANE

EXISTING DWELLING

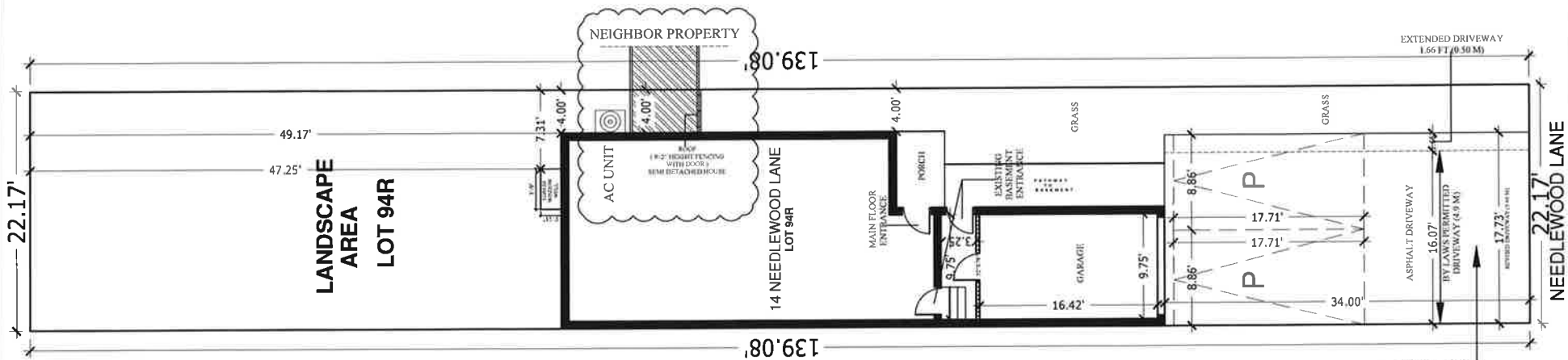
SHEET

A-1

PROJECT

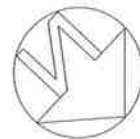
NOV 2022

SCALE 3/32"=1'-0"



SITE PLAN

SCALE 3/32"=1'-0"



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SCOPE OF WORK

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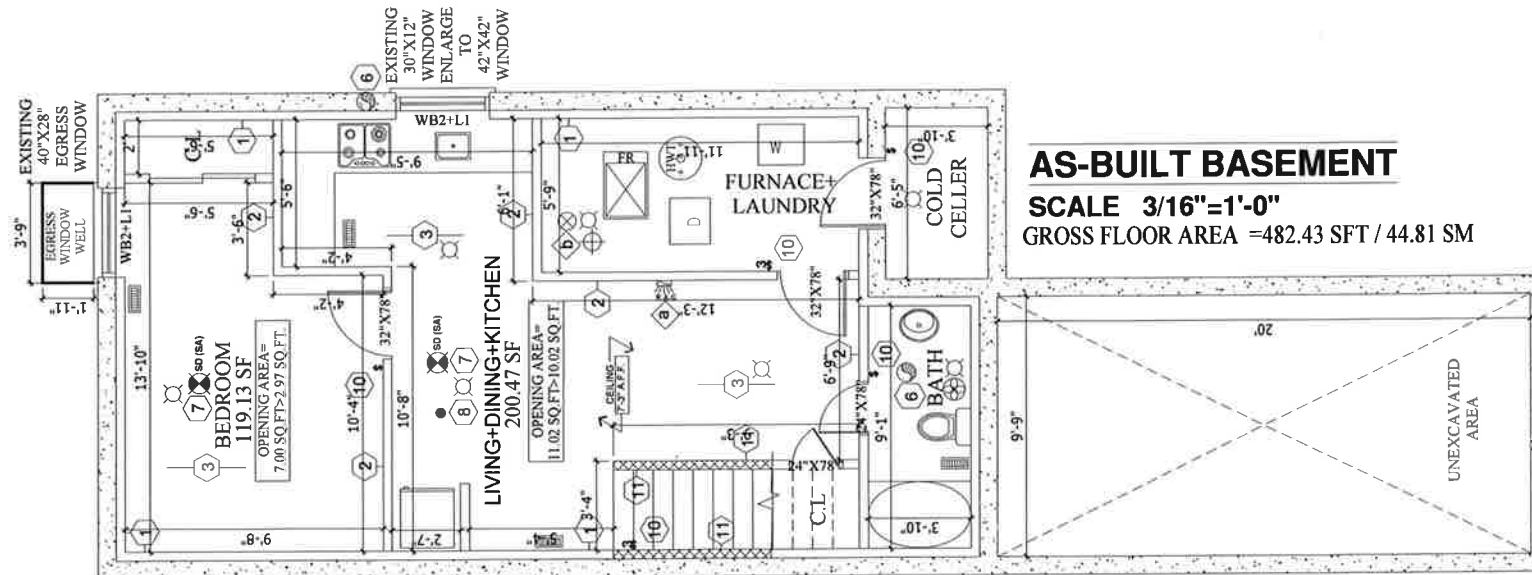
SITE PLAN

CITY : BRAMPTON

14 NEEDLEWOOD LANE

EXISTING DWELLING

SHEET	PROJECT
A-1	JAN 2023
	SCALE 3/32"=1'-0"



AS-BUILT BASEMENT

SCALE 3/16"=1'-0"

GROSS FLOOR AREA =482.43 SFT / 44.81 SM

- INTERNAL WALLS
NEW WOOD FRAMED WALL CONSISTING OF 2 BY 4 WOOD STUDS @ 16" O.C. WITH 1/2" DRY WALL ON BOTH SIDES, JOINTS TAPED AND SEALED. WATER RESISTANT GWB ON BATHROOMS WALLS.
- ALL CEILING 1/2" GYPSUM BOARD
PROVIDE MINIMUM 15 MIN. HORIZONTAL FIRE SEPARATION
ENSURE MINIMUM 15 MINUTES FIRE SEPARATION AROUND ALL STRUCTURE COLUMNS AND BEAMS

LINTEL	OPENINGS	SIZE
WB1	UPTO 42" OPENINGS	2-2"X6"
WB2	UPTO 66" OPENINGS	2-2"X8"
WB3	UPTO 78" OPENINGS	3-2"X10"
WB4	UPTO 80" OPENINGS	3-2"X12"
LINTEL	OPENINGS	SIZE
L1	UPTO 54" OPENINGS	L 3 5" X 3 5" X 0.3125"
L2	UPTO 66" OPENINGS	L 4 0" X 3 5" X 0.3125"

- R12 INSULATION REMAINS
FOUNDATION WALL INSULATION
FOUNDATION WALL, MOISTURE BARRIER, R12 INSULATION, 2 BY 4 STUDS @ 16" O.C., 6 MIL POLYETHYLENE V.B., 1/2" GYPSUM DRYWALL JOINTS TAPED AND SEALED

PRIME PERMIT

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SCOPE OF WORK

PROPOSAL TO CONSTRUCT
SECOND UNIT AND EXTEND
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BASEMENT PLAN

CITY : BRAMPTON

14 NEEDLEWOOD LANE

EXISTING DWELLING

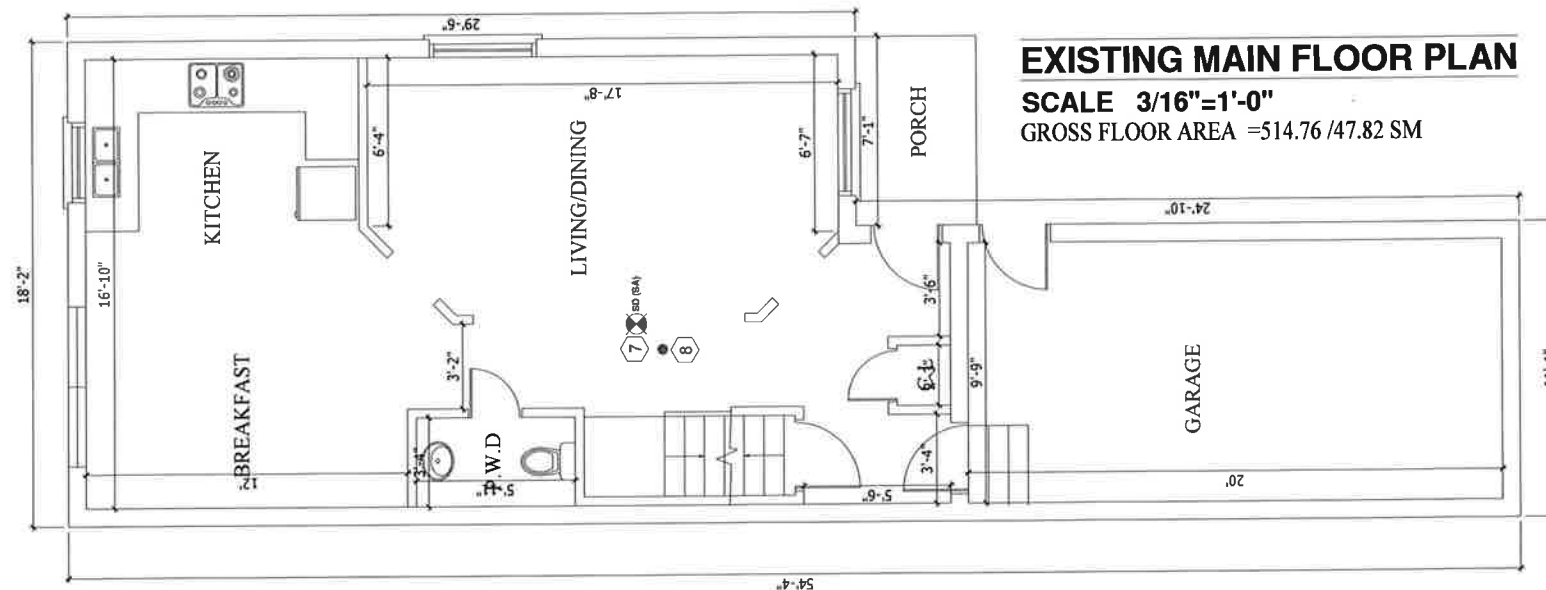
SHEET

A-2

PROJECT

NOV 2022

SCALE 3/16"=1'-0"



EXISTING MAIN FLOOR PLAN

SCALE 3/16"=1'-0"

GROSS FLOOR AREA =514.76 /47.82 SM

PRIME PERMIT

peimeperitdesigns@gmail.com
514-660-7576

SCOPE OF WORK

PROPOSAL TO CONSTRUCT
SECOND UNIT AND EXTEND
DRIVEWAY.

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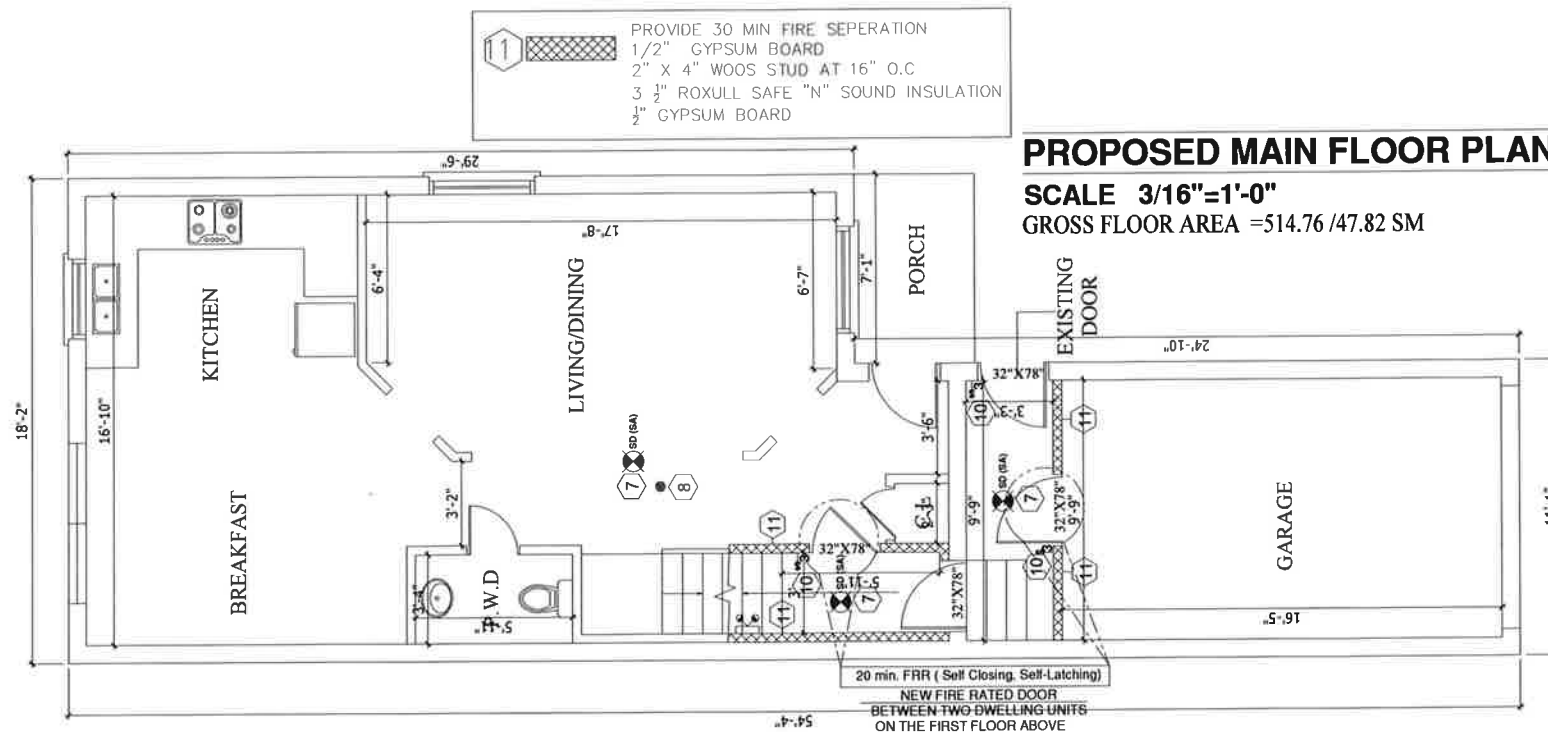
MAIN FLOOR PLAN

CITY : BRAMPTON

14 NEEDLEWOOD LANE

EXISTING DWELLING

SHEET	PROJECT
A-3	NOV 2022
	SCALE 3/16"=1'-0"



PRIME PERMIT

peimepermitrdesigns@gmail.com
 514-660-7576

SCOPE OF WORK

**PROPOSAL TO CONSTRUCT
 SECOND UNIT AND EXTEND
 DRIVEWAY.**

GENERAL NOTES

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NO	REVISION / ISSUE	DATE

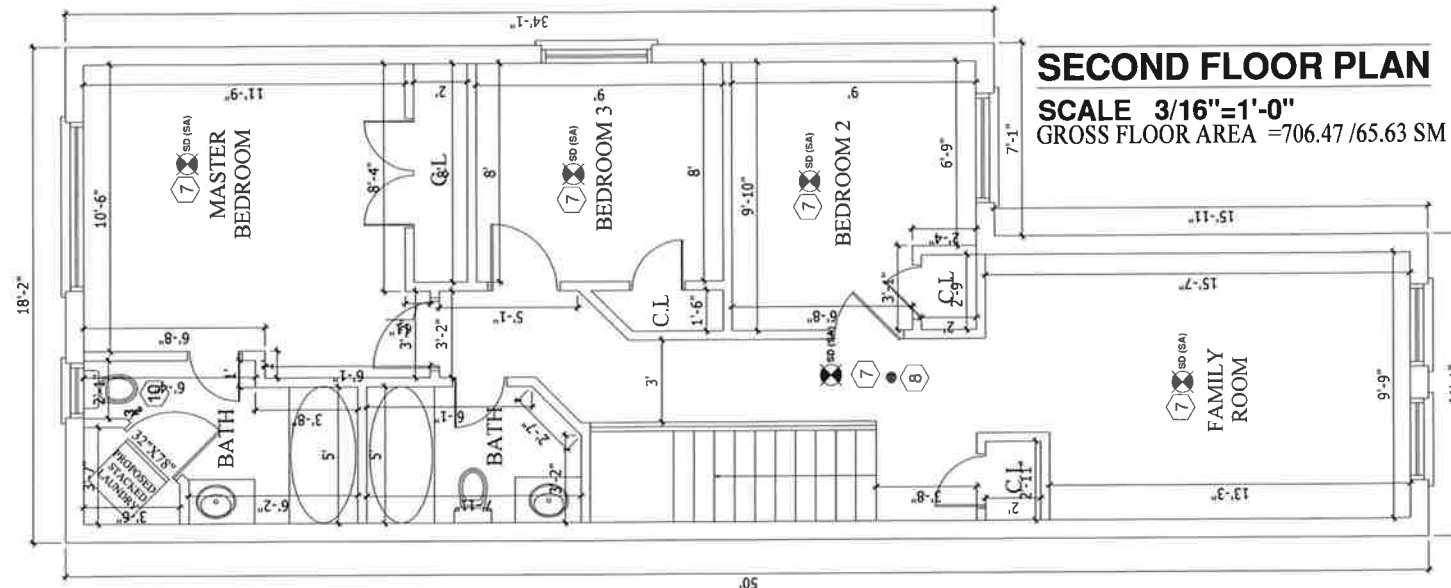
MAIN FLOOR PLAN

CITY : BRAMPTON

14 NEEDLEWOOD LANE

EXISTING DWELLING

SHEET	PROJECT
A-4	NOV 2022
	SCALE 3/16"=1'-0"



SECOND FLOOR PLAN
SCALE 3/16"=1'-0"
GROSS FLOOR AREA =706.47 /65.63 SM

PRIME PERMIT

peimepermitrdesigns@gmail.com
514-660-7576

SCOPE OF WORK

**PROPOSAL TO CONSTRUCT
SECOND UNIT AND EXTEND
DRIVEWAY.**

GENERAL NOTES

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SECOND FLOOR PLAN

CITY : BRAMPTON

14 NEEDLEWOOD LANE

EXISTING DWELLING

SHEET	PROJECT
A-5	NOV 2022
	SCALE 3/16"=1'-0"

DOOR SCHEDULE

1- ALL INTERIOR DOORS ARE SLAB DOOR 1-3/8 TH. HOLLOW CORE. THE SIZES ARE MENTIONED ON THE FLOOR PLAN. THE HEIGHT OF ALL DOORS ARE 80"

2- EGRESS DOOR - EXISTING AT GRADE EXTERIOR TYPE STEEL DOOR PROVIDES ACCESS TO THE OUTSIDE

WINDOW SCHEDULE

ONE WINDOW PER FLOOR TO HAVE AN UNOBSTRUCTED OPEN PORTION W/A MIN. AREA OF 0.35m2 W/ NO DIMENSION LESS THAN 380mm & MAXIMUM SILL HEIGHT OF 1 M ABOVE FLOOR WINDOW SIZES HAVE BEEN PROVIDED ON THE FLOOR PLANS SEE NOTE-1 ON BASEMENT FLOOR PLAN

1 FOUNDATION WALL INSULATION FOUNDATION WALL, MOISTURE BARRIER, R12+10ci INSULATION, 2 BY 4 STUDS @ 16" O.C., 6 MIL POLYETHYLENE V.B., 1/2" GYPSUM DRYWALL JOINTS TAPED AND SEALED

2 INTERNAL WALLS NEW WOOD FRAMED WALL CONSISTING OF 2 BY 4 WOOD STUDS @ 16" O.C. WITH 1/2" DRY WALL ON BOTH SIDES, JOINTS TAPED AND SEALED. WATER RESISTANT GWB ON BATHROOMS WALLS.

3 ALL CEILING 1/2 GYPSUM BOARD PROVIDE MINIMUM 15 MIN. HORIZONTAL FIRE SEPARATION * ENSURE MINIMUM 15 MINUTES FIRE SEPARATION AROUND ALL STRUCTURE COLUMNS AND BEAMS

4 20 MIN. RATED DOOR BETWEEN BASEMENT APARTMENT AND PRINCIPAL RESIDENCE

5 EXISTING DUCT WORK LOCATED IN THE CEILING SHALL BE RELOCATED SO THAT THE DIRECTION OF THE HEAT FLOW IS TOWARDS THE FLOOR

6 INSTALL MECHANICAL VENTILATION PER OBC DIV B 9.32.1.3(3) REQ'S. EXHAUST FAN SHALL DISCHARGE DIRECTLY TO OUTSIDE. SEPARATE ANY INTAKE FROM BUILDING ENVELOP PENETRATIONS THAT ARE POTENTIAL SOURCES OF CONTAMINANTS(GAS VENTS, OIL FILL PIPES, ETC, BY MIN 900MM (2FT 11 IN)

7 IN COMPLIANCE WITH C152(b) SMOKE ALARMS TO BE INSTALLED IN EVERY DWELLING UNIT AND COMMON AREAS IN CONFORMANCE WITH OBC 9.10.19. SMOKE ALARM SHALL BE WIRED AND INTERCONNECTED FOR THE ENTIRE BUILDING

8 HARD WIRE CONNECTED CARBON MONOXIDE DETECTOR AS PER CAN/CSA-6.19

9 FOR ALL ELECTRICAL WORK AND PERMIT CONTACT ELECTRICAL SAFETY AUTHORITY

10 LIGHT CONTROLLED BY A SWITCH IS REQUIRED IN EVERY KITCHEN, BEDROOM, LIVING ROOM, UTILITY ROOM, LAUNDRY ROOM, DINING ROOM BATHROOM, VESTIBULE, HALLWAY, GARAGE AND CARPORT. A SWITCH RECEPTACLE MAY BE PROVIDED INSTEAD OF LIGHT IN BEDROOMS AND LIVING ROOMS.

11 PROVIDE 30 MIN FIRE SEPERATION 1/2" GYPSUM BOARD 2" X 4" WOOD STUD AT 16" O.C 3" FIBERGLASS SAFE "N" SOUND INSULATION 1/2" GYPSUM BOARD

NEW WALL

EXISTING WALL

3 OR 4 WAY SWITCH 3 DENOTES 3-WAY SWITCH SPECIFICATION GRADE WHITE, WITH WHITE COVER PLATE 4 DENOTES 4-WAY SWITCH SHALL BE INSTALLED AT THE ENDS OF EACH STAIRWAYS

LINTEL SCHEDULES:-

LINTEL NO.	HEADER	STEEL ANGLE FOR BRICK/STONE VENEER SUPPORT
1	2'-2" X 8"	3 1/2" X 3 1/2" X 1/4" STEEL ANGLE
2	3'-2" X 8"	3 1/2" X 3 1/2" X 3/8" STEEL ANGLE

NOTE: PROVIDE MIN 6" BEARING OF LINTEL AT E/S OF WALL

GENERAL NOTES

- ALL WORK ACCORDING TO ONTARIO BUILDING CODE 2012
- ALL DIMENSIONS AND LOCATIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION.
- ALL WOOD USED IN THE CONSTRUCTION SHALL BE SPF NO.1 OR NO.2
- MINIMUM BEARING OF STEEL LINTELS 150 MM.
- MINIMUM BEARING OF WOOD BEAM / LINTELS 90 MM
- MINIMUM BEARING OF WOOD JOISTS 40MM
- VERIFY EXISTING SUPPORT SYSTEM, INCLUDING FOUNDATIONS, FOR LOADS IMPOSED BY THE PROPOSED CONSTRUCTION
- PROVIDE ALL BRACING, SHORING AND NEEDLING NECESSARY FOR THE SAFE EXECUTION OF THIS WORK
- INFORM CITY OF ALL INSPECTION AHEAD OF TIME AND AT EACH STAGE OF CONSTRUCTION

WOOD MEMBERS TO BE IN CONTACT WITH CONCRETE TO BE PROTECTED FROM DECAY AND DAMPNESS WITH MIN. 0.05 MM POLYETHYLENE FILM OR TYPE "S" ROLL ROOFING AS PER OBC DIV "B" 9.23.2.2 AND 9.23.2.3

THE RETURN AIR GRILL SHALL BE INSTALLED NEAR THE FLOOR LEVEL (HRAI REQ'S). UNDERCUT BY 1" THE DOOR TO ANY ROOM WITH OUT RETURN GRILL

ENSURE ADEQUATE VENTILATION AND COMBUSTION AIR FOR THE OPTIMUM OPERATION OF THE FURNACE, PER MANUFACTURER'S RECOMMENDATIONS.

PROVIDE MINIMUM 30 MINUTE FIRE RATED, 1/2" THICK DRYWALL OR TYPE X DRY WALL UNDER THE STAIR SOFFIT/CEILING AND ON THE WALLS ENCLOSING STAIRWAYS CONNECTING BASEMENT TO MAIN FLOOR

DUCT-TYPE SMOKE DETECTOR TO BE INSTALLED IN THE SUPPLY OR RETURN AIR DUCT SYSTEM SERVING THE ENTIRE BUILDING THAT MUST TURN OFF THE FUEL SUPPLY AND ELECTRICAL POWER TO THE HEATING SYSTEM UPON ACTIVATION

15A, 120V DUPLEX RECEPTACLE SPECIFICATION GRADE, WHITE C/W WHITE COVER PLATE GF1- GROUND FAULT TYPE WP- WEATHERPROOF COVER C - ABOVE COUNTER

SMOKE ALARM

CARBON MONO OXIDE DETECTOR

ELECTRICAL PANEL

SWITCH

RECEPTACLE 50A, 208V, STOVE OR DRIER OUTLET.

EXHAUST FAN

FD: FLOOR DRAIN

SPRINKLER

SUPPLY AIR REGISTER

EMERGENCY LIGHT WITH BATTERY BACK UP 4 HRS

DRY EXHAUST FAN

SD: SMOKE DETECTOR

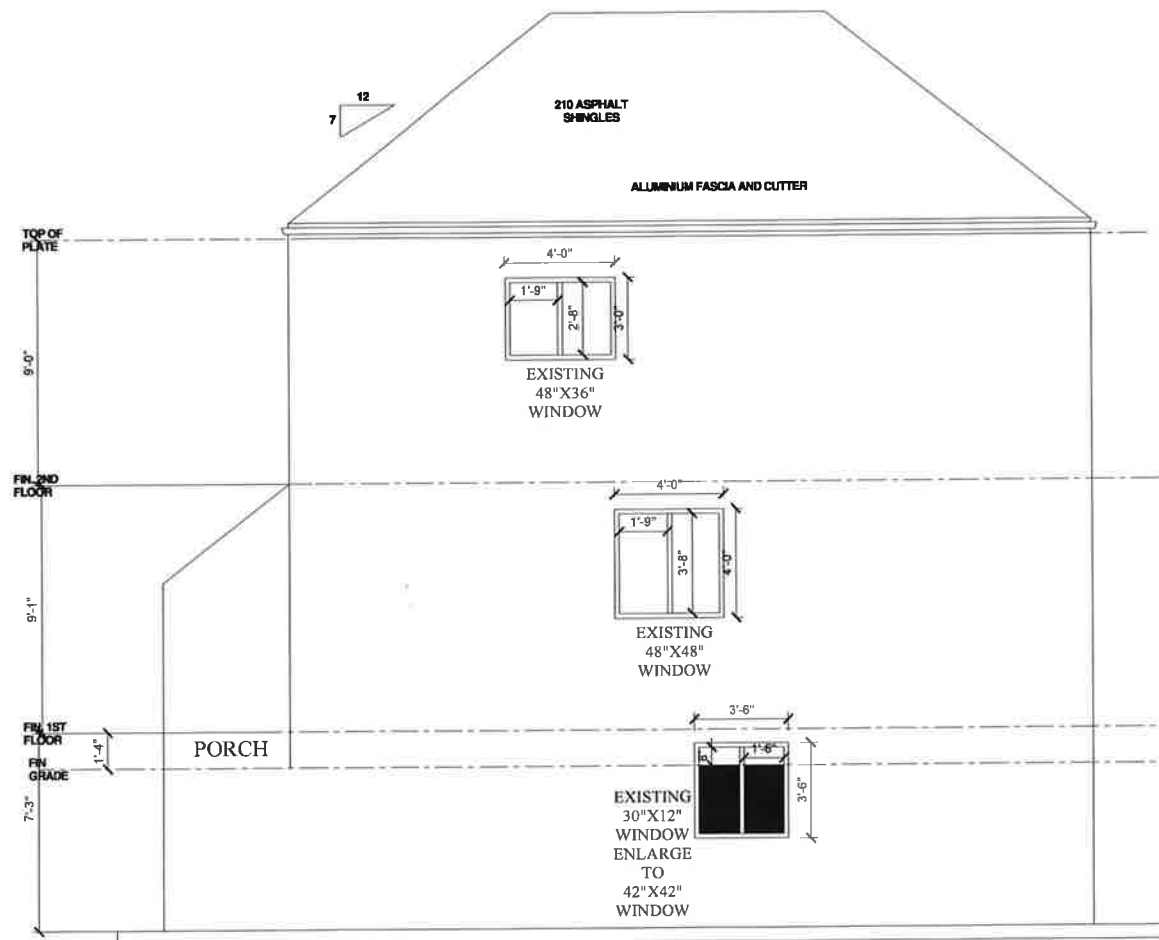
CO: CARBON MONOXIDE DETECTOR

LIGHT

SPOT LIGHT

RETURN AIR REGISTER

ELECTRICAL PANEL



RIGHT SIDE ELEVATION

ALLOWABLE UNPROTECTED OPENINGS
(EXPOSED BUILDING)

LIMITING DISTANCE	4.29 FT(1.31 M)
MAX PERCENTAGE	7.30 %
TOTAL WALL AREA	572.78 SF (53.213 SM)
ALLOWABLE OPENINGS	41.81 SF (3.88 SM)
ACTUAL OPENINGS	23.16 SF (2.15 SM)
	4.04%

RIGHT SIDE ELEVATION

SCALE 3/16"=1'-0"

PRIME PERMIT

peimepermitdesigns@gmail.com
514-660-7576

SCOPE OF WORK

**PROPOSAL TO CONSTRUCT
SECOND UNIT AND EXTEND
DRIVEWAY.**

GENERAL NOTES

DO NOT SCALE DRAWINGS
PROPERTY RIGHTS RETAINED BY:
BG CONSTRUCTION DESIGN
ANY REPRODUCTION IN WHOLE OR IN PART
UNDER THE RULES AND BY-LAWS OF THE
CORPORATION IS STRICTLY FORBIDDEN.
ANY REPRODUCTIONS MUST BE
AUTHORIZED BY
ALL DRAWINGS ARE IN METRIC SCALE

NO	REVISION / ISSUE	DATE

RIGHT SIDE ELEVATION

CITY : BRAMPTON

14 NEEDLEWOOD LANE

EXISTING DWELLING

SHEET	PROJECT
A-7	NOV 2022
	SCALE 3/16"=1'-0"

a

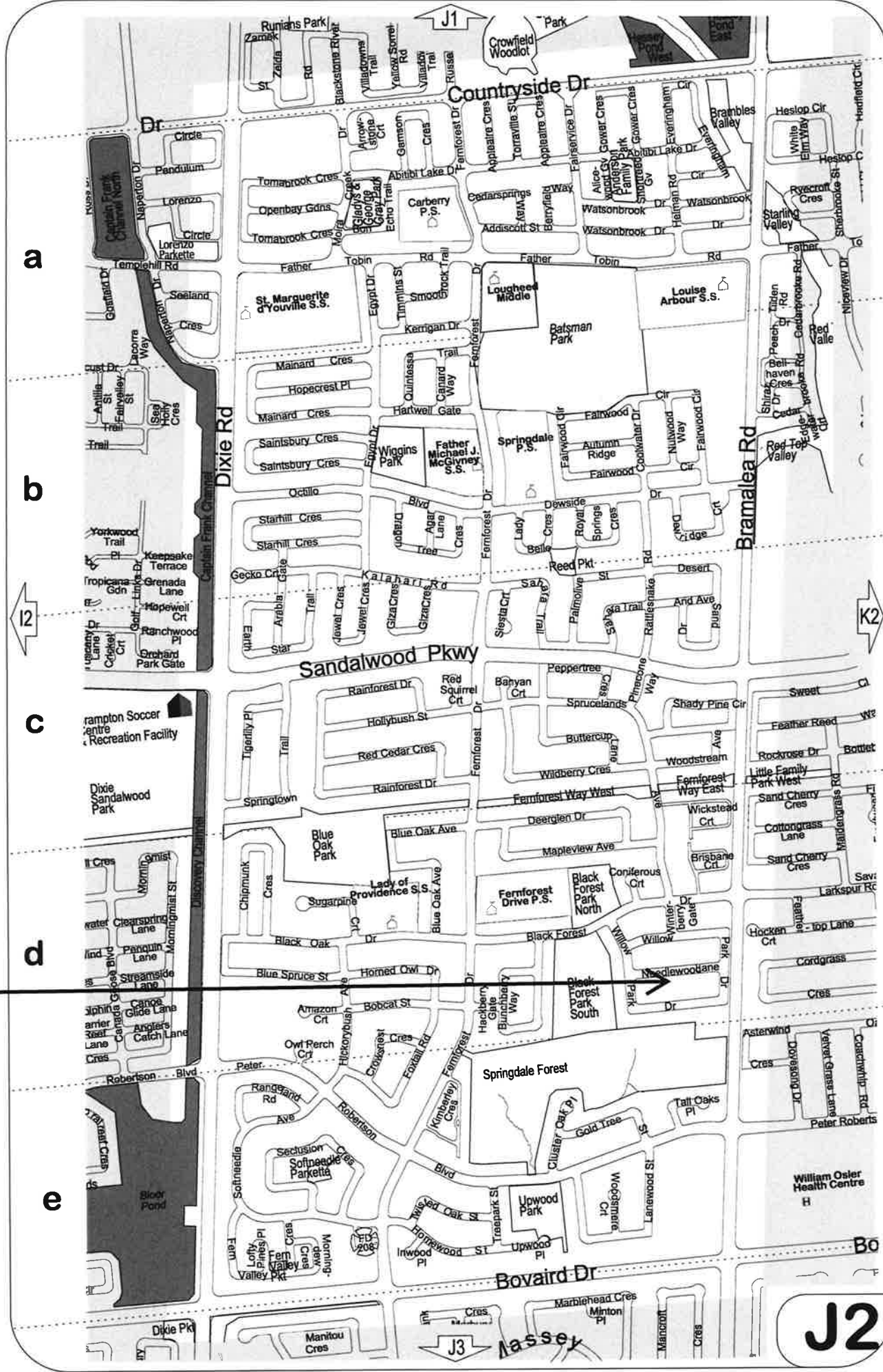
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