

GOLDEN AGE VILLAGE FOR THE ELDERLY (GAVE)

8950 McLaughlin Road South, Brampton

2ND SITE PLAN SUBMISSION



CLIENT

TUOI HAC/ GAVE

Golden Age Village for the Elderly

11088 Pine Valley Drive

Woodbridge, Ontario L3L 0B9

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ISSUES	
NO.	DESCRIPTION
1	2022-08-31 ISSUED FOR SPA SUBMISSION
2	2022-11-18 ISSUED FOR THE MINISTRY OF LONG-TERM CARE HOME PRELIMINARY PLAN SUBMISSION
3	2023-01-23 RE-ISSUED FOR THE MINISTRY OF LONG-TERM CARE HOME PRELIMINARY PLAN SUBMISSION
4	2023-02-07 ISSUED FOR SPA 2ND SUBMISSION

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PRIME CONSULTANT

 **ARCADIS** | **IBI GROUP**

7th Floor - 55 St. Clair Avenue West
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tel +1 416 596 1930 ext 61756

PROJECT

Golden Age Village for the Elderly (GAVE)

8950 McLaughlin Road South, Brampton

PROJECT NO: 126602

DRAWN BY: Author

CHK'D BY: Checker

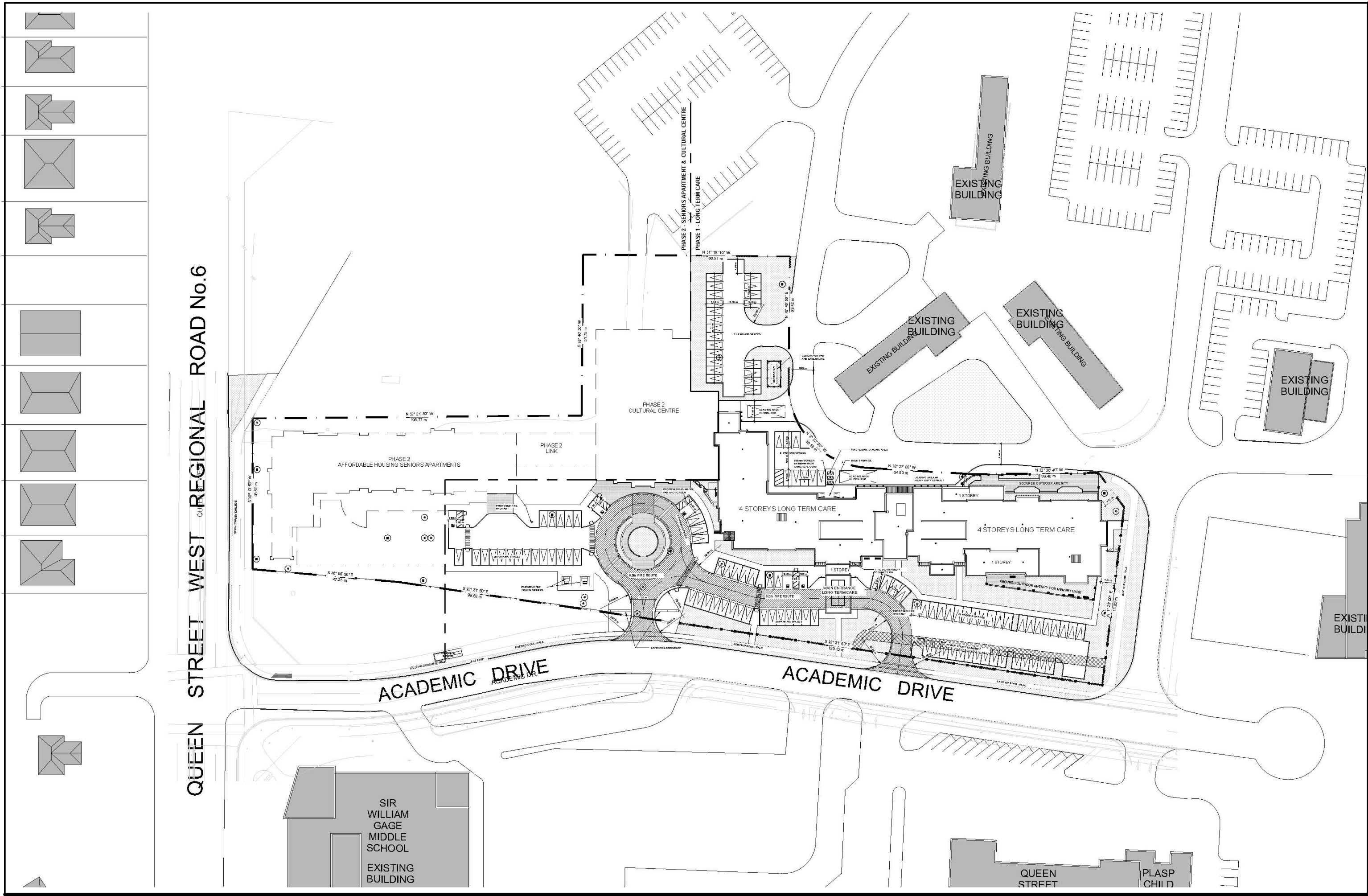
SCALE:

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SHEET TITLE

COVER PAGE

SHEET NUMBER	ISSUE
SPA-000	



Name of Practice:
11088 Pine Valley Drive, Woodbridge, Ontario

Name of Project:
Tuoi Hac Village - Long Term Care Home

Location:
8950 McLaughlin Road South, Brampton, Ontario

Date:

Ontario Building Code Data Matrix Part 3				Building Code Reference ¹
3.00	Building Code Version:	O_Reg_332/12 Last Amendment O_Reg_451/22		
3.01	Project Type:	<input checked="" type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> Change of use <input type="checkbox"/> Addition and renovation <input type="checkbox"/> Renovation <input type="checkbox"/> Addition and renovation		[A] 1.1.2
3.02	Major Occupancy Classification:	Description: Long-term care facility Occupancy Use: Care and Treatment (Long-term care) Group B-2		3.1.2.1(f)
3.03	Superimposed Major Occupancies:	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Description:		3.2.2.7
3.04	Building Area (m ²)	Description: Existing New Total Ground Floor 0 3200 3200 0 0 0 0 0 0 0 0 0 Total 0 0 0		[A] 1.4.1.2
3.16	Importance Category:	<input type="checkbox"/> Low <input type="checkbox"/> Low human occupancy <input type="checkbox"/> Post-disaster shelter <input type="checkbox"/> Normal <input type="checkbox"/> High <input type="checkbox"/> Minor storage building <input type="checkbox"/> Explosive or hazardous substances <input type="checkbox"/> Post-disaster		4.12.1(f) & 7.4.12.1.3
3.17	Seismic Hazard Index:	(i.e. Fa Sa (0.2)) = 0 Seismic design required for Table 4.1.8.18, Items 6 to 21: (i.e. Fa Sa (0.2)) ≥ 0.35 or Post-disaster) <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes		4.12.1(f) & 4.18.18(2)
3.18	Occupant Load	Floor Level/Area Occupancy Type Based On Occupant Load (Persons) Ground Floor LTCB Design 339 2nd - 4th Floor LTCB Design 193 LTC 0 Total 0		3.1.1.7
3.19	Barrier-free Design:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Explanation: Project will conform to Section 3.8		3.8
3.20	Hazardous Substances:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Explanation: Oxygen storage / Commercial cooking		3.3.1.2.4 & 3.3.1.18
3.21	Required Fire Resistance Ratings	Horizontal Assembly Rating Supporting Assembly (R) Noncombustible in lieu of rating? Floors over basement N/A N/A <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A Floors 2 2 <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> N/A Mezzanine N/A N/A <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A Roof 0 0 <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> N/A		3.2.2.20 - 83 & 3.2.1.4

3.05	Gross Area (m ²)	Description:	Existing	New	Total	[A] 1.4.1.2
			0	22259	0	
			0	0	0	
			0	0	0	
			0	0	0	
			0	0	0	
		Total	0	0	0	
3.06	Mezzanine Area (m ²)	Description:	Existing	New	Total	3.2.1.1
		N/A	0	0	0	
			0	0	0	
			0	0	0	
			0	0	0	
		Total	0	0	0	
3.07	Building Height	4 Storeys above grade 11.9 (m) Above grade				[A] 1.4.1.2 & 3.2.1.1
		0 Storeys below grade				
3.08	High Building	<input type="checkbox"/> No <input checked="" type="checkbox"/> Yes				3.2.6
3.09	Number of Streets/Firefighter access	1 street(s)				3.2.2.10 & 3.2.5
3.10	Building Classification	3.2.2.38 Group Div 2 Group B, Division 2				3.2.2.20 - 83
3.11	Sprinkler System	<input checked="" type="checkbox"/> Required <input type="checkbox"/> Not Required Proposed: <input checked="" type="checkbox"/> entire building <input type="checkbox"/> selected compartments <input type="checkbox"/> selected floor areas <input type="checkbox"/> basement <input type="checkbox"/> in lieu of roof rating <input type="checkbox"/> none				3.2.1.5.4 & 3.2.2.17
3.12	Standpipe System	<input type="checkbox"/> Not required <input checked="" type="checkbox"/> Required				3.2.9
3.13	Fire Alarm System	<input checked="" type="checkbox"/> Required <input type="checkbox"/> Not required Proposed: <input type="checkbox"/> Single stage <input checked="" type="checkbox"/> Two stage <input type="checkbox"/> None				3.2.4
3.14	Water Service / Supply is Adequate	<input type="checkbox"/> No <input checked="" type="checkbox"/> Yes				
3.15	Construction Type:	Restriction: <input type="checkbox"/> Combustible permitted <input checked="" type="checkbox"/> Non-combustible required Actual: <input type="checkbox"/> Combustible <input checked="" type="checkbox"/> Non-combustible <input type="checkbox"/> Combination Heavy Timber Construction: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes				3.2.2.20 - 83 & 3.2.1.4

SPA ARCHITECTURAL DRAWING LIST	
SPA-000	COVER PAGE
SPA-001	STATISTICS AND DRAWINGS LIST
SPA-101	SITE PLAN
SPA-201	GROUND FLOOR PLAN
SPA-202	TYPICAL 2ND - 4TH FLOOR PLAN
SPA-203	MECHANICAL PENTHOUSE PLAN
SPA-204	ROOF PLAN
SPA-205	ENLARGED STAGING AREA PLAN
SPA-301	ELEVATIONS
SPA-401	BUILDING SECTIONS

CONTEXT PLAN

ENTRANCE RENDERING WITH DROP-OFF CANOPY



STATISTICS

Existing Zoning By-law Information:
Zoning By-Law reference: City of Brampton Zoning By-Law
Zoning District: -
Property Address: 3 Storeys
Height Limit: LTC, Amenity Building and Affordable Seniors' Housing
Building Use:

Lot Area:	20,226 sq.m	217,711 sq.ft.	5 acres
Lot Coverage (percentage):	34.54%	6,986 sq.m	75,198 sq.ft.
Gross Floor Area	22,259 sq.m	239,589 sq.ft.	

PROPOSED BUILDING HEIGHTS			
Affordable Seniors' Housing	5 Storeys		
Long Term Care	4 Storeys		
Amenity Building	1 Storeys		

PARKING REQUIRED		Quantity	Units	Parking Rate
LTC Vehicle Parking Required:	53 Spaces	160	Beds	0.33 Spaces Per Bed
Phase 2 Parking Required:	TBD Spaces			
TOTAL	53 Spaces			

PARKING PROVIDED ON SITE			
Site Plan			
Long Term Care Surface Parking	53 Spaces		
Phase 2 Surface Parking	86 Spaces		
TOTAL ON SITE PARKING	139 Spaces	(Including 5 Accessible Parking spaces)	
Parking Provided (Phase 1)	125 Spaces	Including 2 Type A + 2 Type B Accessible Parking Spaces	
Parking Provided (Phase 2)	14 Spaces	Including 1 Type B Accessible Parking Spaces	

Accessible Parking Required 2 Type A + 3 Type B
Accessible Parking Provided 2 Type A + 3 Type B
Bicycle Parking Provided 20 Bicycle Parking + 6 Scooters Parking

Long Term Care			
Floor	Gross Floor Area (GFA)		Beds
	sq.m	sq.ft	
GF LTC AMENITY	2,215	23,842	
GF LTC RHA	920	9,903	
2F LTC RHA	2,751	29,611	
3F LTC RHA	2,751	29,611	
4F LTC RHA	2,751	29,611	
MPH	213	2,293	
TOTAL	11,801	124,872	96 beds + 64 beds 160

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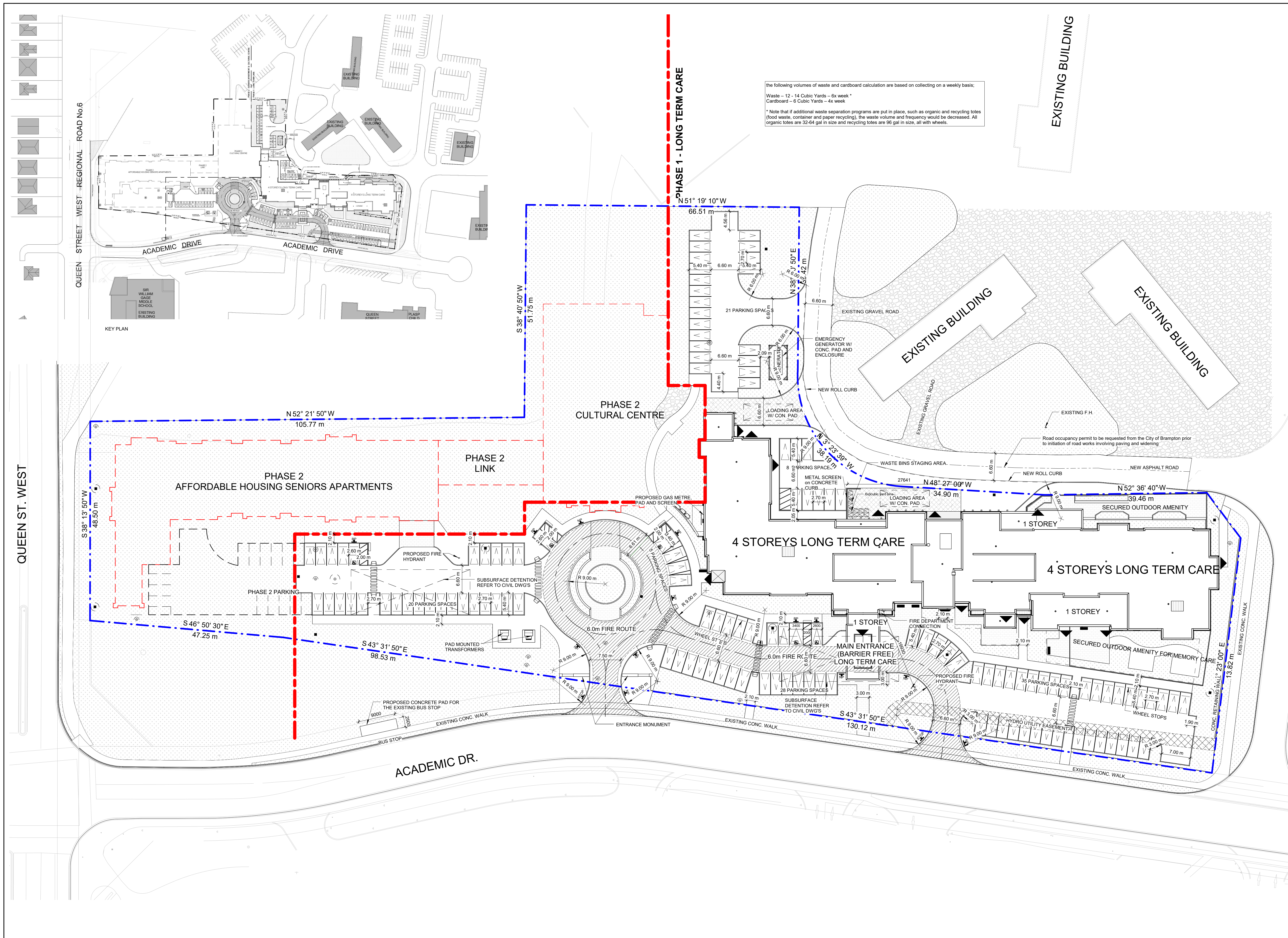
SHEET TITLE

STATISTICS AND DRAWINGS LIST

SHEET NUMBER


SPA-001

ISSUE



The following volumes of waste and cardboard calculation are based on collecting on a weekly basis:
Waste – 12 - 14 Cubic Yards – 6x week *
Cardboard – 6 Cubic Yards – 4x week

* Note that if additional waste separation programs are put in place, such as organic and recycling totes (food waste, container and paper recycling), the waste volume and frequency would be decreased. All organic totes are 32-64 gal in size and recycling totes are 96 gal in size, all with wheels.



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LEGEND

- FIRE HYDRANT
- FIRE ROUTE
- NO PARKING/FIRE ROUTE SIGN
- BARRIER-FREE PARKING SIGN
- STOP SIGN
- DEPRESSED CURB
- TACTILE WARNING SURFACE

SEAL

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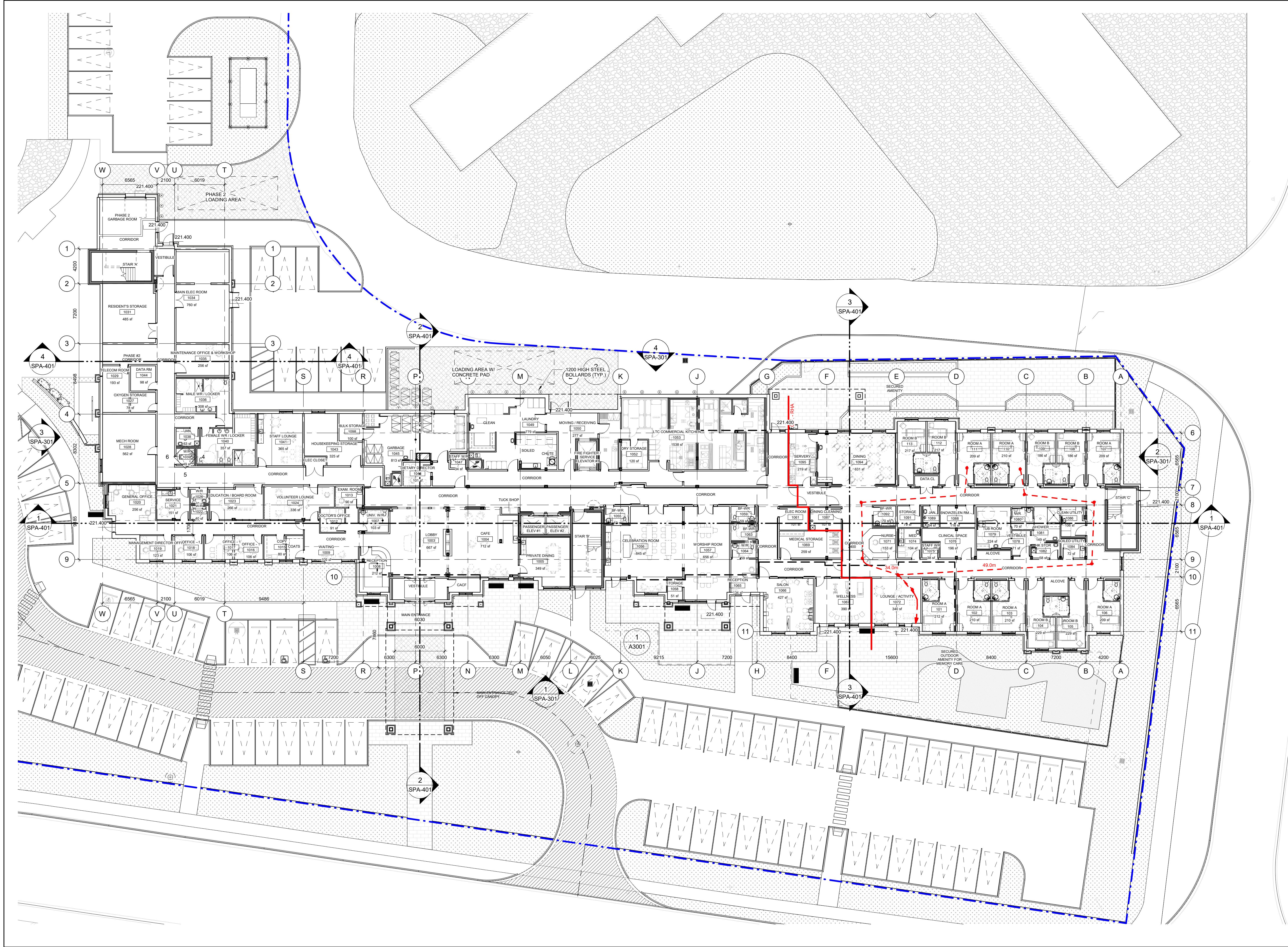
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SHEET TITLE
SITE PLAN

SHEET NUMBER	ISSUE
SPA-101	





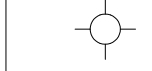




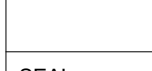

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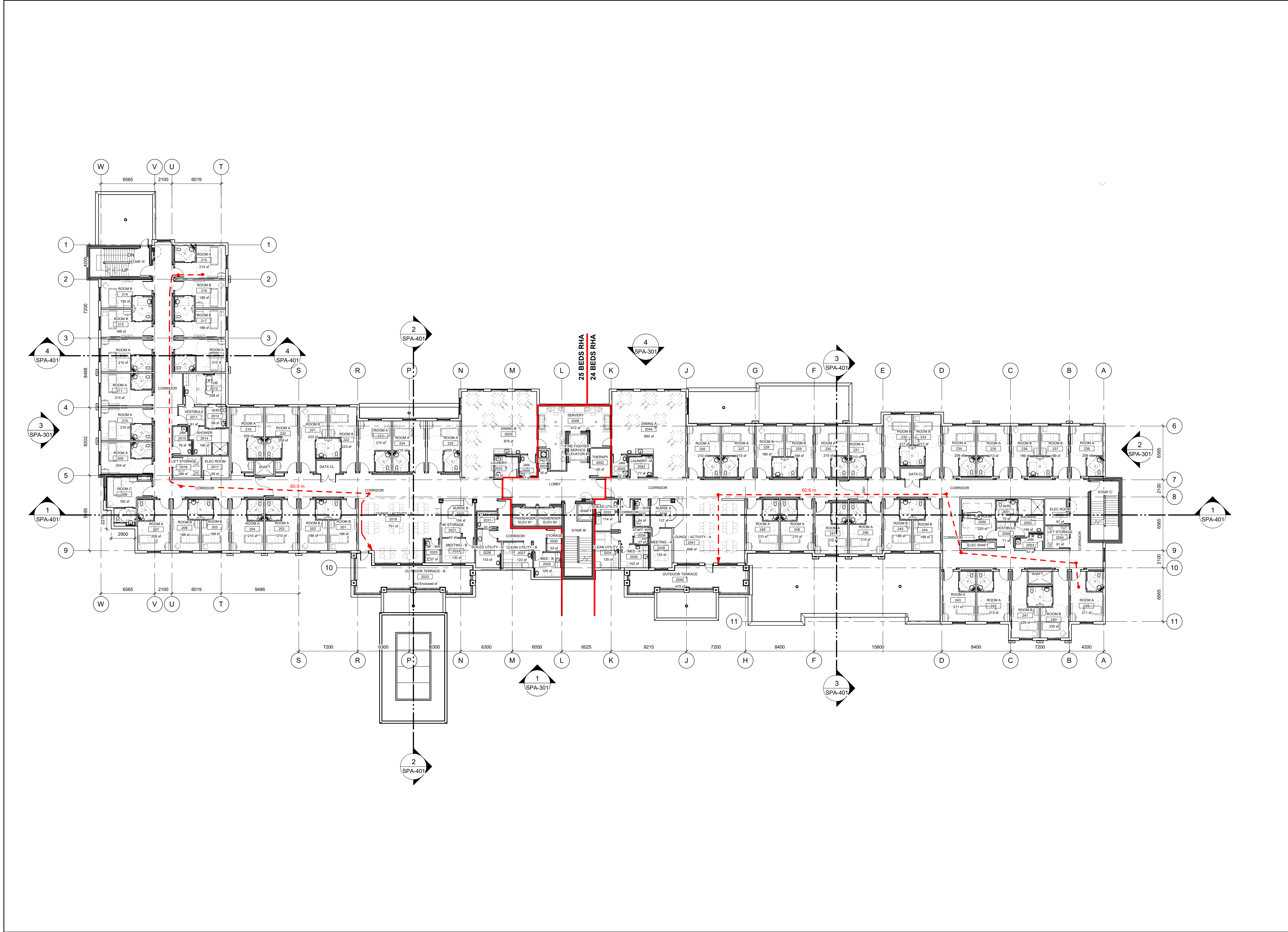
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SHEET TITLE
GROUND FLOOR PLAN

SHEET NUMBER	ISSUE
SPA-201	





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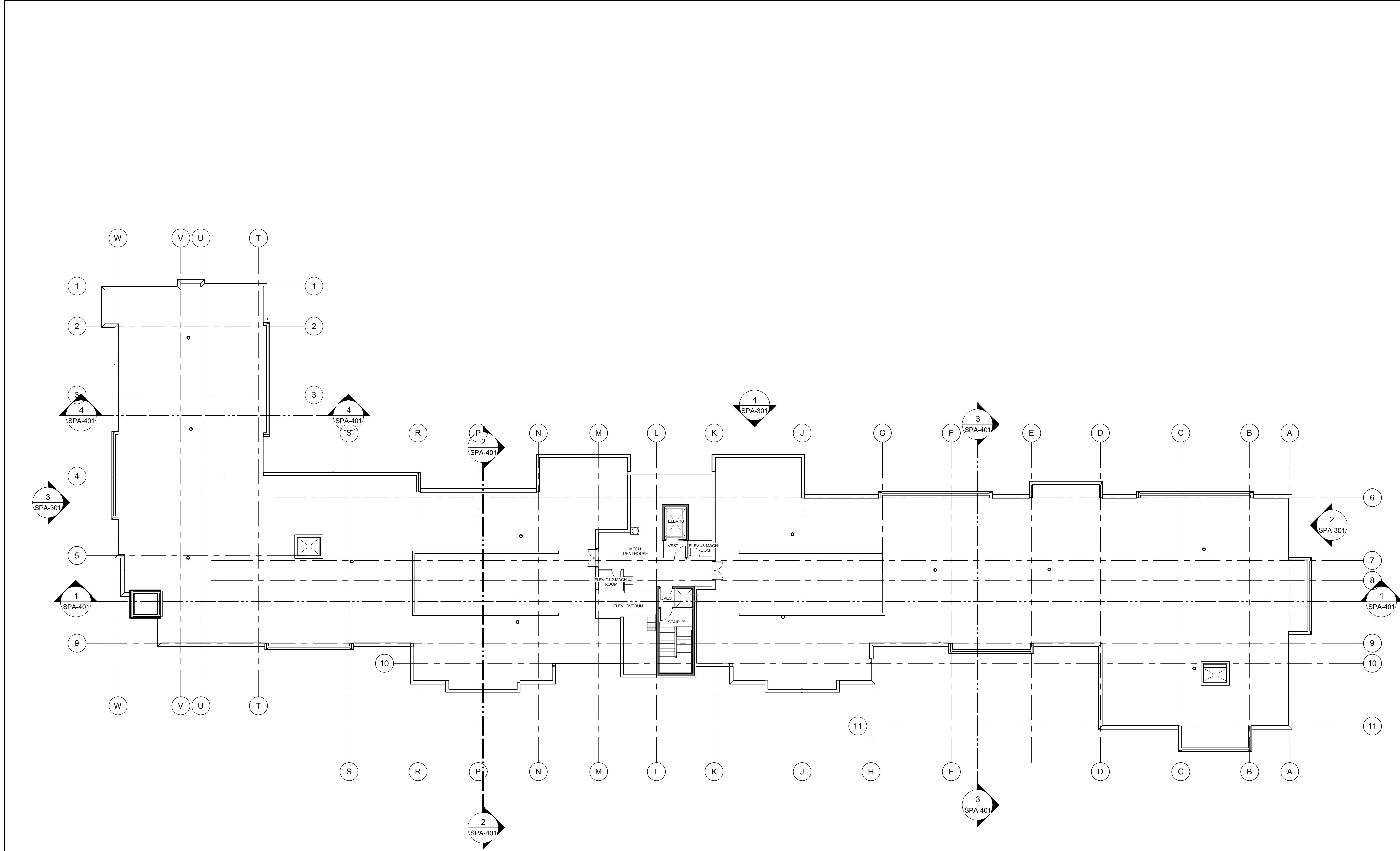
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SHEET TITLE

TYPICAL 2ND - 4TH FLOOR PLAN

SHEET NUMBER	ISSUE
SPA-202	





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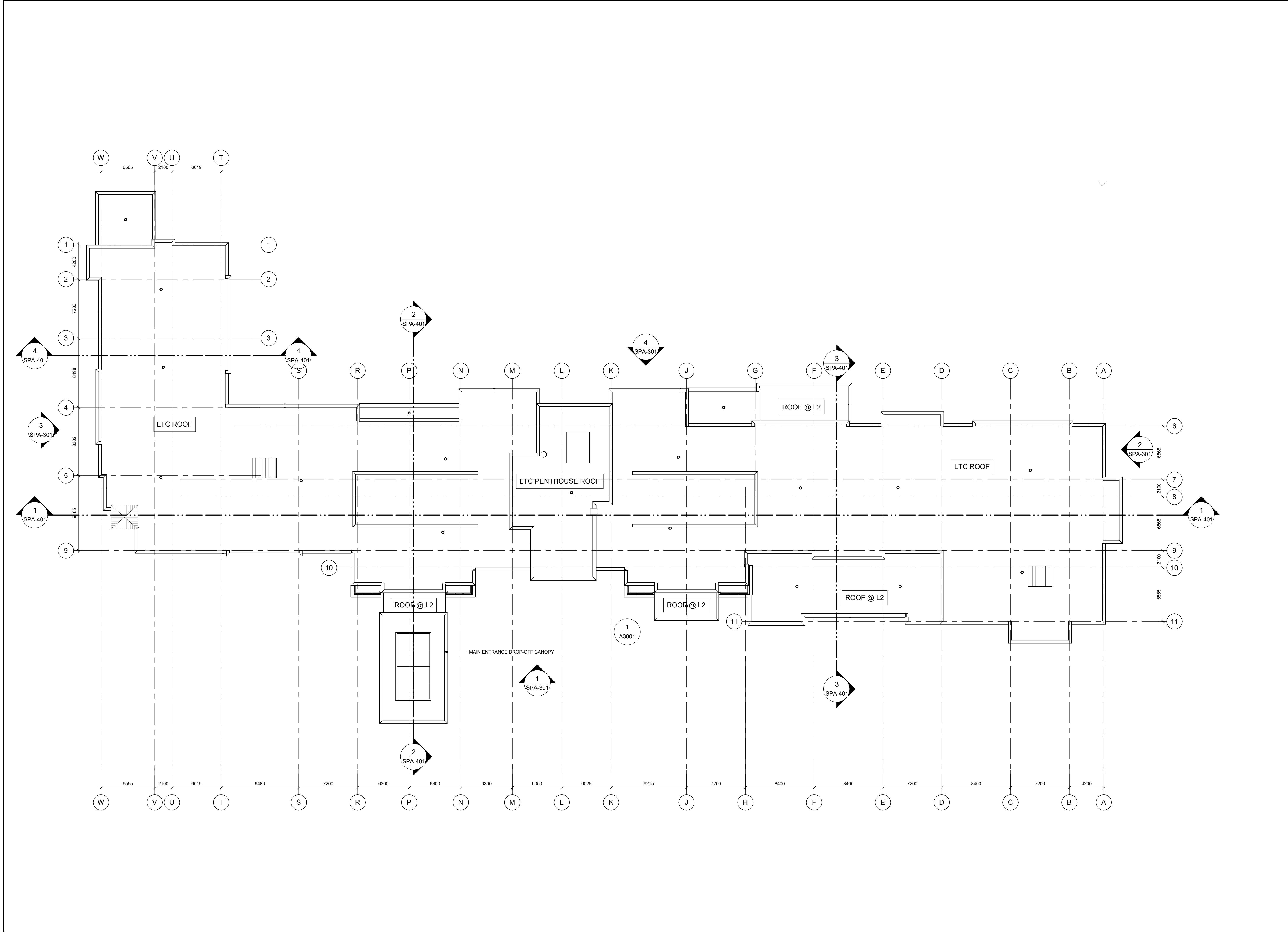
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DATE: Issue Date

SHEET TITLE

**MECHANICAL
PENTHOUSE PLAN**

SHEET NUMBER	ISSUE
SPA-203	





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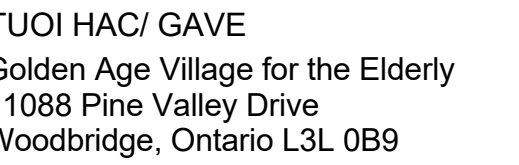
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SHEET TITLE

ROOF PLAN

SHEET NUMBER	ISSUE
SPA-204	



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SCALE:	1 : 100
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ATC:	Issue Date:
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ISSUE DATE

GENERAL

ENLARGED STAGING AREA PLAN

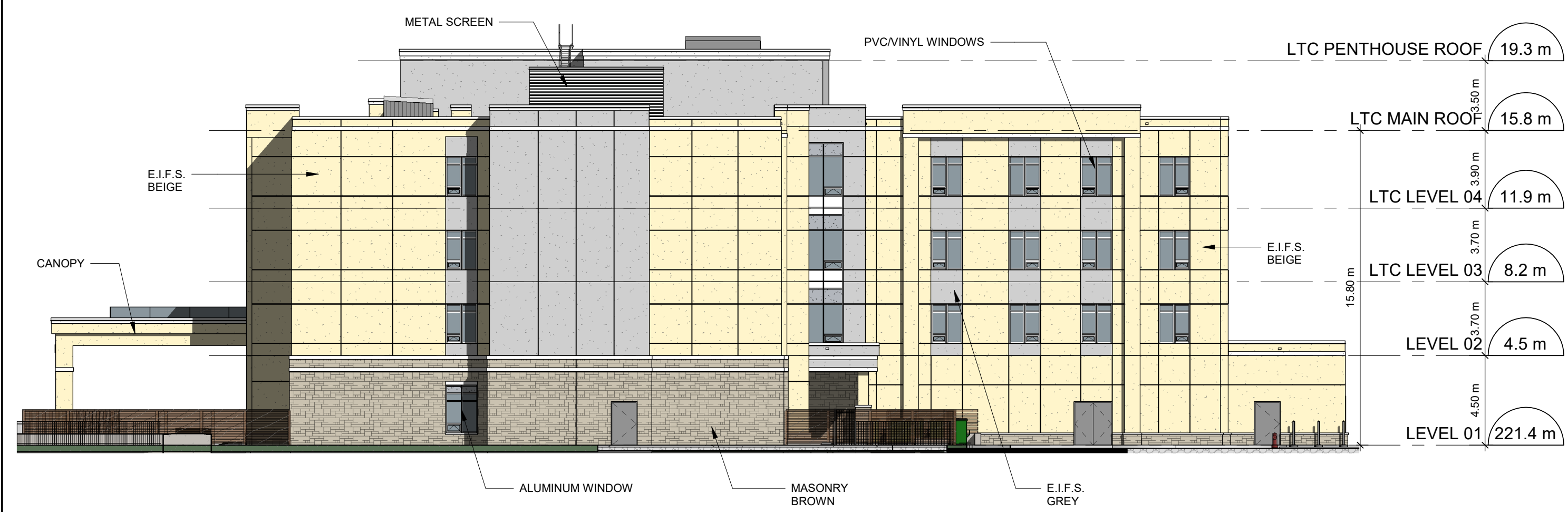
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NUMBER

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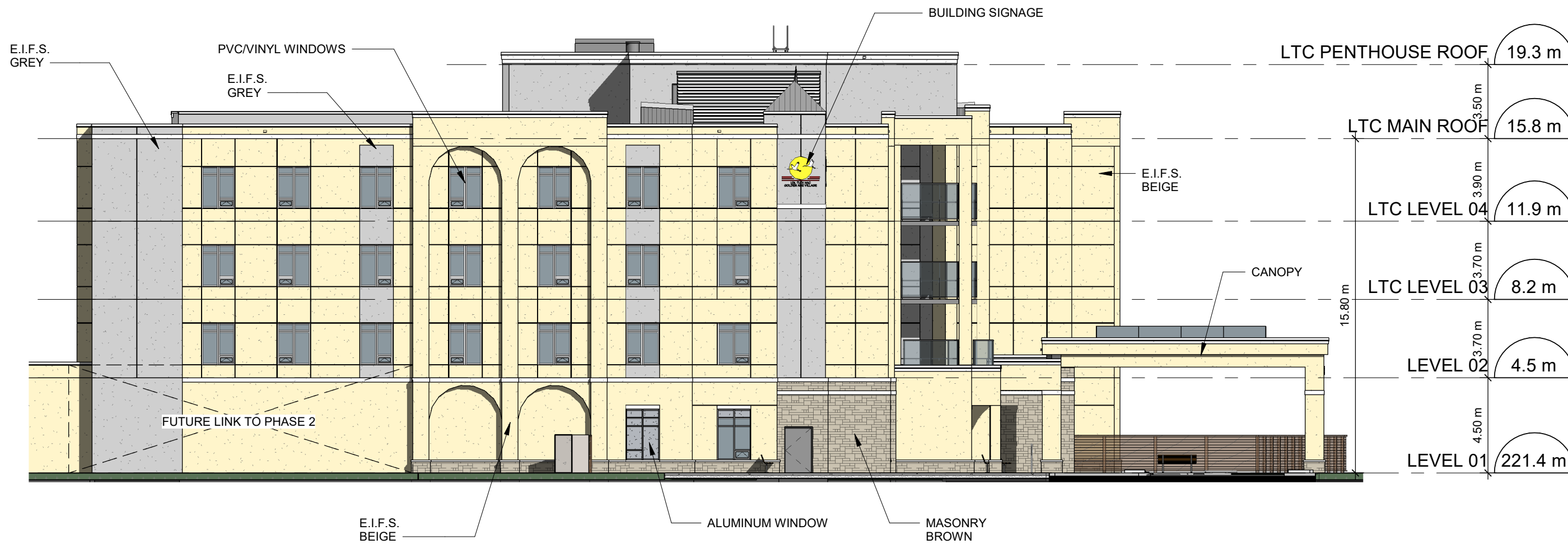
SPA-205



1 LTC WEST ELEVATION
SPA-301/ Scale: 1 : 200




2 LTC SOUTH ELEVATION
SPA-301/ Scale: 1 : 200



3 LTC NORTH ELEVATION
SPA-301/ Scale: 1 : 200



4 LTC EAST ELEVATION
SPA-301/ Scale: 1 : 200



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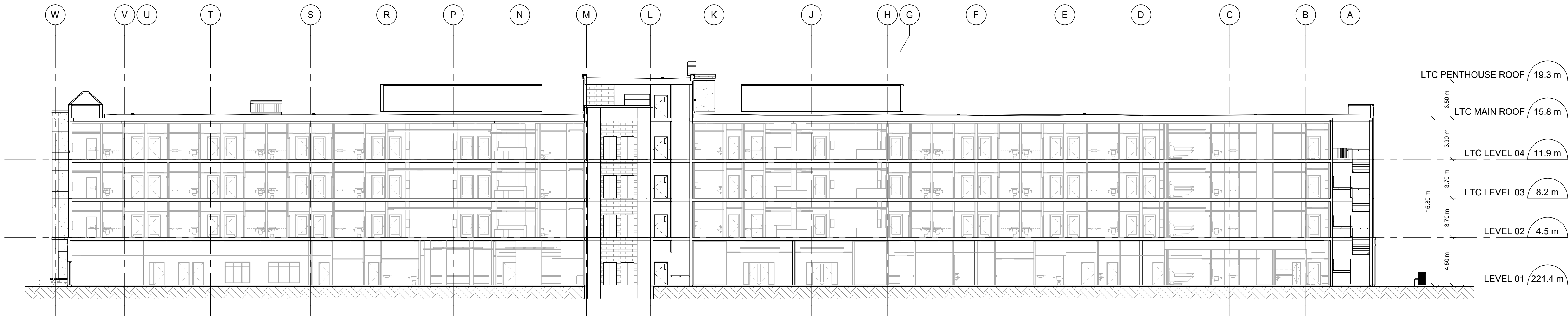
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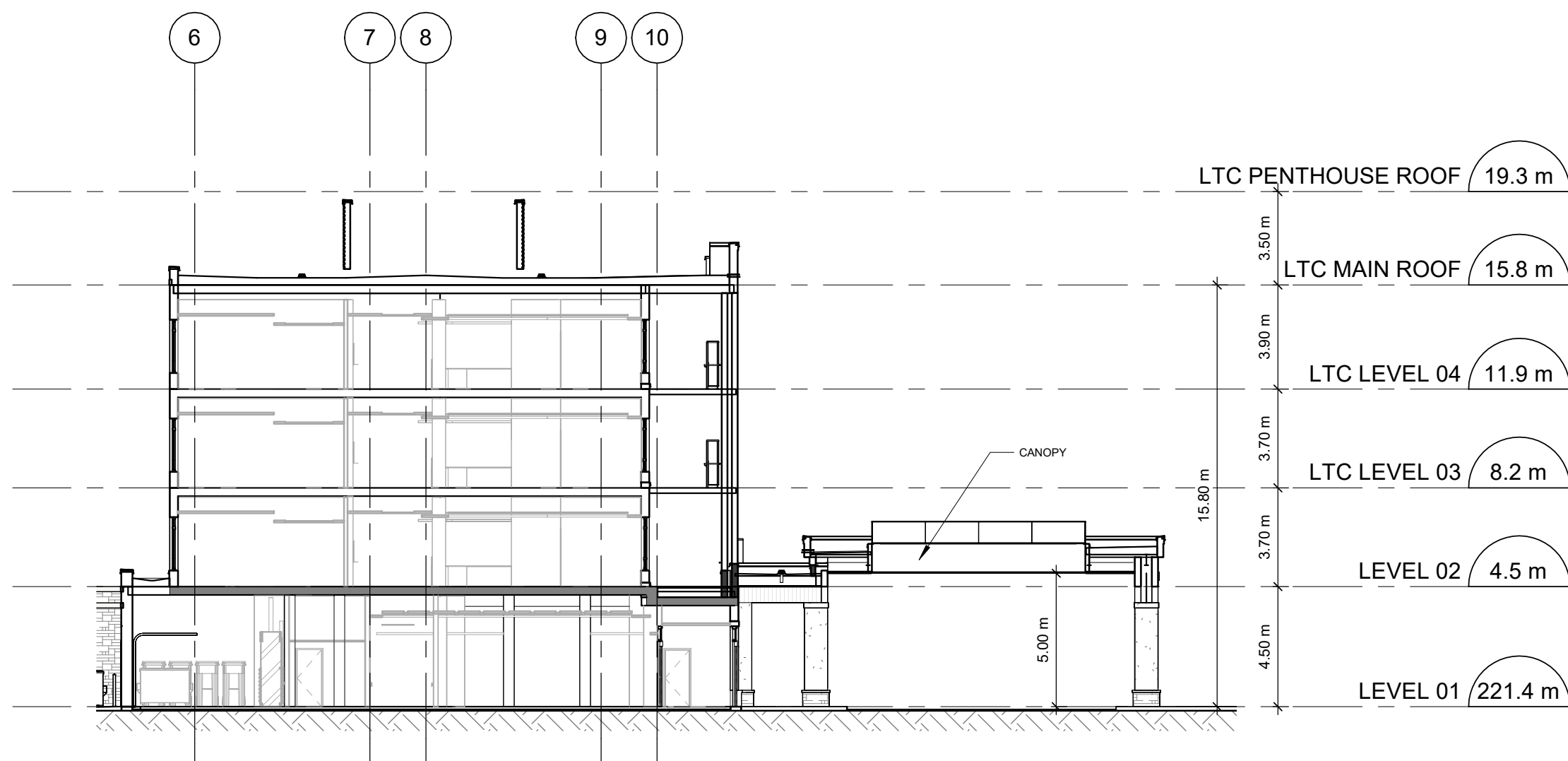
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ELEVATIONS

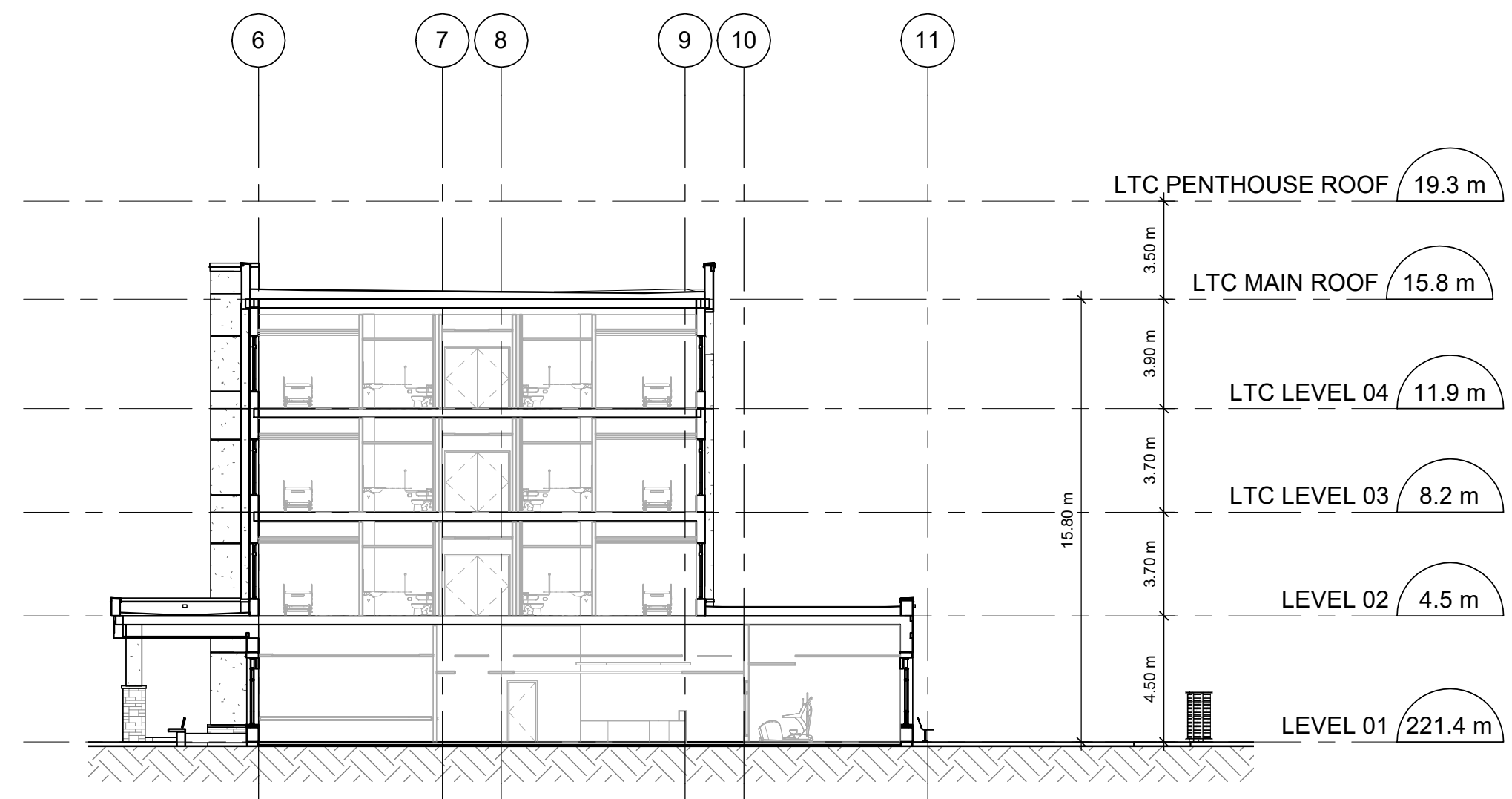
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SPA-301	



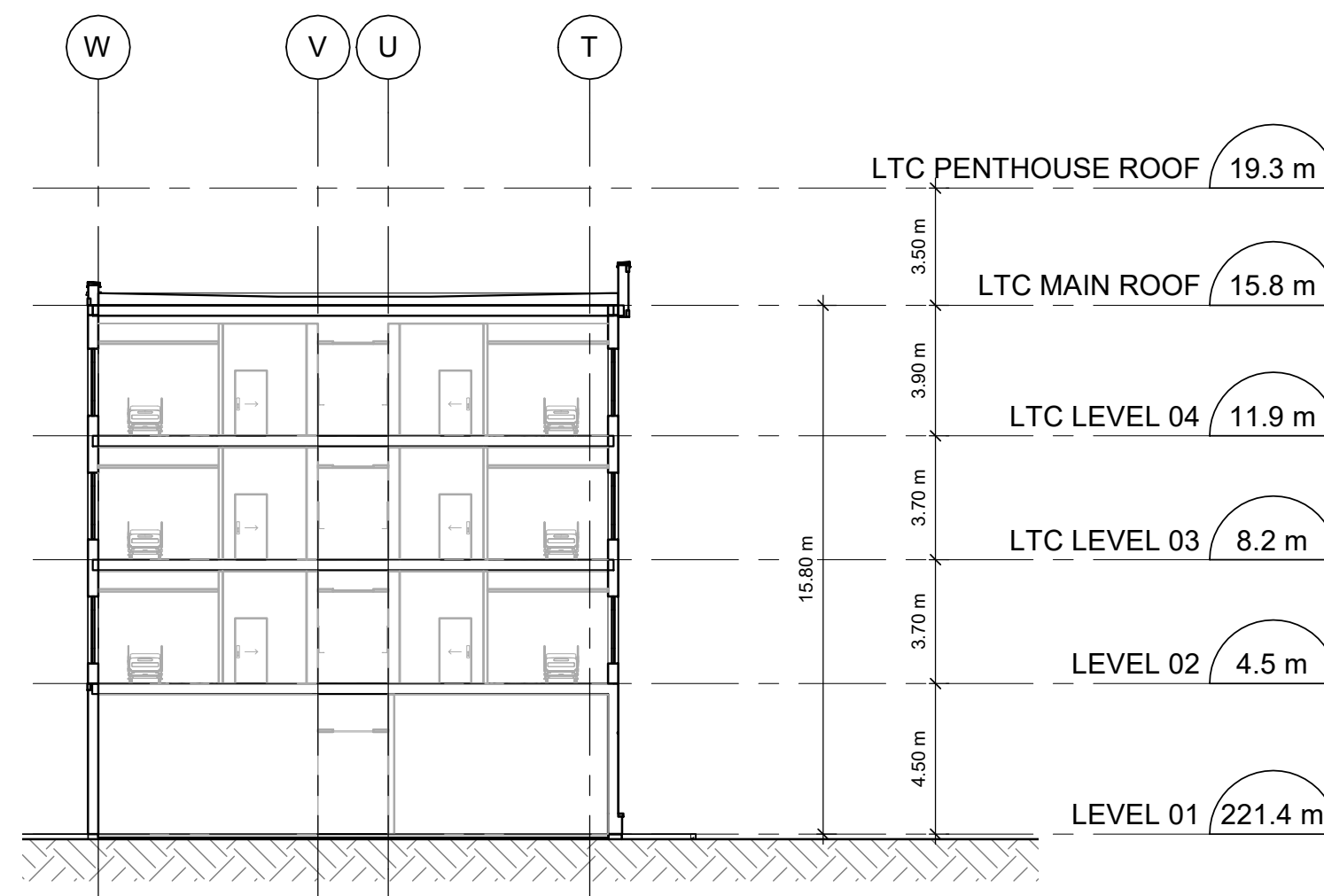
1 LTC BUILDING SECTION - N/S #1
SPA-401/ Scale: 1 : 200



2 LTC BUILDING SECTION - E/W #1
SPA-401/ Scale: 1 : 200



3 LTC BUILDING SECTION - E/W #2
SPA-401/ Scale: 1 : 200



4 LTC BUILDING SECTION - N/S #2
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PROJECT NO: 126602

DRAWN BY: Author

CHK'D BY: Checker

SCALE: 1 : 200

DATE: Issue Date

SHEET TITLE

BUILDING
SECTIONS

SHEET
NUMBER

SPA-401

ISSUE