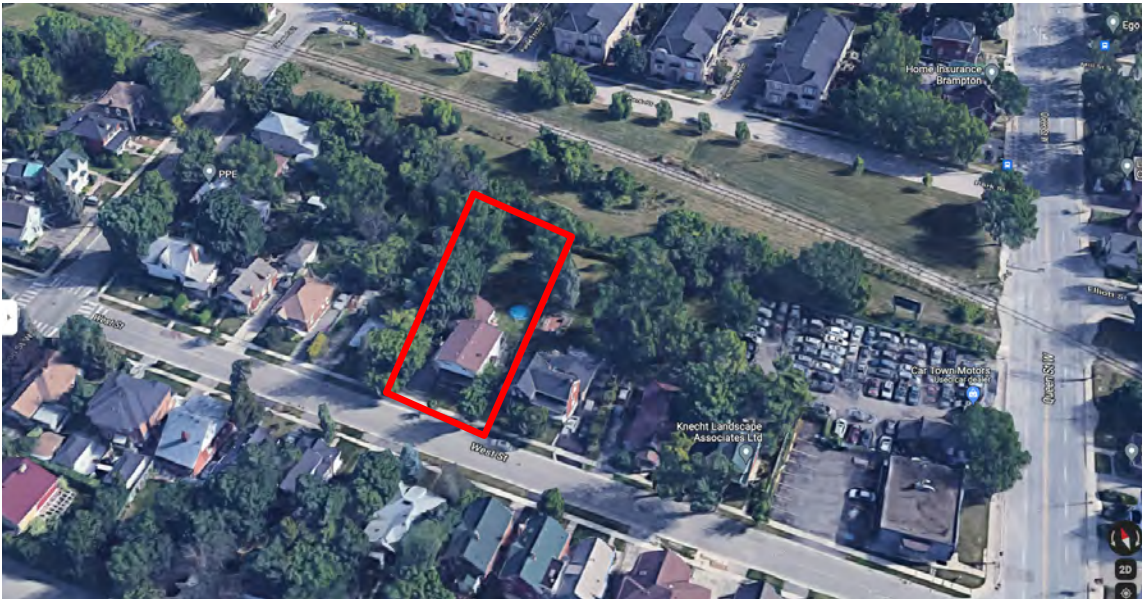


# HERITAGE IMPACT ASSESSMENT



16 WEST STREET, BRAMPTON, ON

28 SEP 2022

**MEGAN HOBSON** CAHP  
M.A. DIPL. HERITAGE CONSERVATION  
Built Heritage Consultant  
[mhobson@bell.net](mailto:mhobson@bell.net)

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## EXECUTIVE SUMMARY

Megan Hobson consulting was retained by Archaeological Consultants Canada to prepare a scoped *Cultural Heritage Impact Assessment (CHIA)* for a proposal to demolish an existing dwelling at 16 West Street and constructed a 2-storey dwelling with four residential units (four-plex). A scoped CHIA was requested by heritage staff because the property is adjacent to 3 cultural heritage resources.

The assessment finds that:

1. the setbacks and skewed orientation of the proposed development are not compatible with adjacent heritage resources
2. the architectural design and proposed cladding materials are not compatible with adjacent heritage resources

It is recommended that design revisions be undertaken so that the development has the same orientation and front setback as adjacent properties and has adequate side and rear setbacks to accommodate a landscape buffer between the subject property and the adjacent heritage property at 14 West Street.

It is recommended that the architectural design be further refined and that design measures be employed to make the design more compatible with adjacent heritage resources, through articulation of the massing and reduction in the amount of glazing on the front elevation. There are new and recent residential buildings across the street that provide good examples of new dwellings that are compatible with adjacent heritage resources and maintain the historic character of the street.

The subject property does not meet criteria for Designation under the *Ontario Heritage Act*, so there are no concerns regarding the proposed demolition of the existing dwelling and garage.

The property has been identified as a property that may have archaeological potential, so archaeological assessment is required prior to any land disturbances.

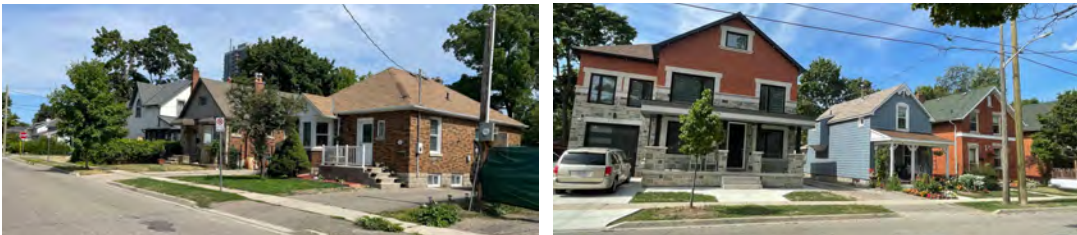
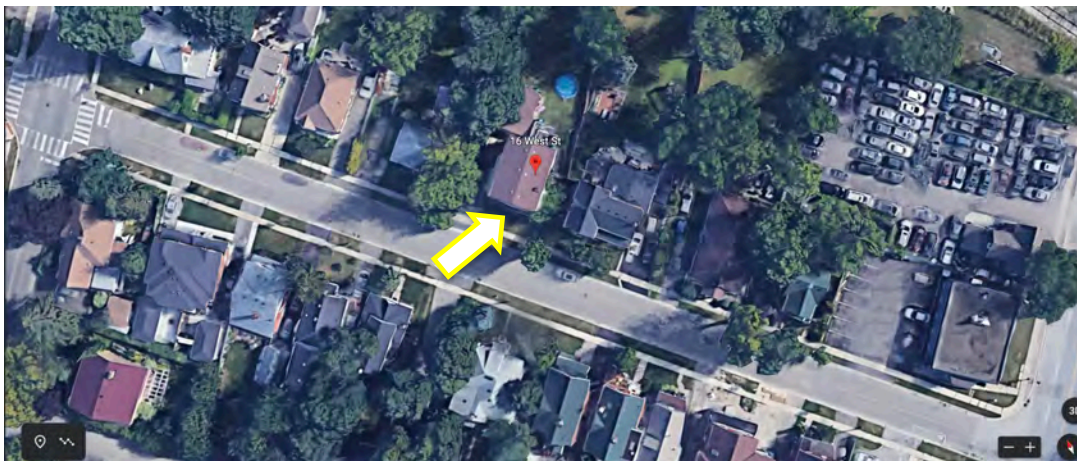
## 1.0 INTRODUCTION

Preparation of this report included a review of relevant heritage policies and legislation, and a review of existing historical information about the subject property and its cultural context. A site visit was conducted on August 15, 2022 and was limited to the exterior of the building and a walkthrough of the rear yard and the immediate neighbourhood. Architectural drawings for the proposed development prepared by Gunha Design Consultants Ltd. were reviewed and are included in the appendix of this report. This report meets requirements of a scoped terms of reference provided by heritage staff at the City of Brampton.

## 2.0 LOCATION & SITE DESCRIPTION

The subject property is a rectangular lot on the east side of West Street between Queen Street West and Nelson Street West. It currently contains a 2-storey dwelling with a side driveway and small detached garage. The property has a large rear yard that is fenced and edge with mature vegetation and contains some large trees.

West Street is a residential side street that primarily contains 19<sup>th</sup> and early 20<sup>th</sup> century dwellings with some recent infill in the form of single-detached and duplex housing. Typical features along the street edge are landscaping in front of the houses, a footpath to the front entrances, and front porches or covered stoops are a common feature. Roof forms include hipped and gable roofs and the most common cladding materials are brick, stucco or wood cladding. There are sidewalks with a grassed boulevard and trees on both sides of the street. Building heights and setbacks from the street are fairly consistent.



STREETSCAPE CHARACTER – building heights and setbacks are consistent

The subject property contains a 2-storey dwelling and a small-detached garage. The 2<sup>nd</sup> floor of the dwelling appears to be a modern addition and the raised foundation visible on the exterior is a c.1920s concrete block foundation. The exterior has been covered with a modern stucco on the ground floor with vinyl cladding on the 2<sup>nd</sup> floor. Vinyl windows of various sizes have been installed. There is a covered concrete stoop across the front elevation with modern iron railings and posts. The dwelling therefore appears to be a c.1920s bungalow that has been extensively and irreversibly altered. Given the extent of the modifications, further evaluation according to *Ontario Regulation 09/06* is not warranted.

### 3.0 HERITAGE PLANNING CONTEXT

The subject property is in close proximity to 3 previously identified cultural heritage resources:

- 0 Park Street LISTED Canadian Pacific Railway Station Site
- 4 West Street LISTED Early 20<sup>th</sup> century Craftsman style house
- 77 Nelson Street West LISTED 19<sup>th</sup> century Gothic Revival style house

The subject property is adjacent to one built heritage resource that has not been previously identified but was identified during field review as a property of architectural and historical interest as a good example of a 19<sup>th</sup> century Ontario farmhouse:

- 12 West Street POTENTIAL 19<sup>th</sup> century Ontario Farmhouse



CITY OF BRAMPTON HERITAGE MAPPING

Listed properties are shaded red



4 WEST STREET



77 NELSON STREET WEST



14 WEST STREET

## 4.0 PROPOSED DEVELOPMENT

The proposed development includes demolition of the existing 2-storey dwelling and construction of a new 2-storey dwelling. A preliminary site plan and elevations were provided to the consultant for a box-like structure with a hipped roof. The main elevation has a single entrance on the ground floor in the centre with a large window above to light the stairwell. The remainder of the front elevation has large areas of glazing on both floors. The primary cladding material appears to be stucco with the windows framed in another material and there is stone cladding around the front entrance. The side and rear elevations appear to be stucco with stone on the foundation.

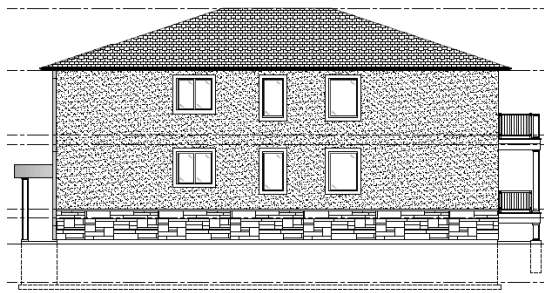
The proposed dwelling is skewed in relation to the street edge. The front setback is 6.14 m at one corner and 7.74 m at the other corner. The side setback that includes the driveway is just over 3 m but the other side setback is only 1.22 m from the adjacent property at 14 West Street.

There is on-site parking for vehicles provided at the rear of the property. This area is currently grass with mature vegetation along the property line. Permeable pavers are proposed. There does not appear to be a landscape buffer provided along the rear property line.

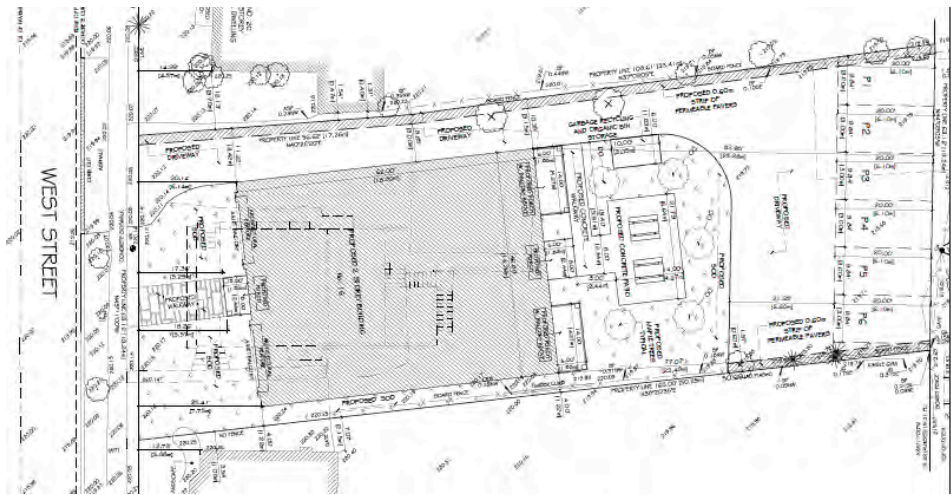
The site plan indicates removal of 3 trees and some shrubbery in the side yards to accommodate the proposed driveway and parking area. There is a paved patio directly behind the building where 5 new trees are proposed.



PROPOSED FRONT & SIDE ELEVATIONS



[CUNHA DESIGN CONSULTANTS LTD.]



PROPOSED SITE PLAN

[CUNHA DESIGN CONSULTANTS LTD.]

## 5.0 HERITAGE IMPACT ASSESSMENT

The proposed development will have no direct impact on cultural heritage resources.

Potential impacts to cultural heritage resources are limited to indirect impacts including the following:

- *Impacts on significant view or vistas* within, from, or of built and natural features
- *Land disturbances* such as a change in grade that alters soils, and drainage patterns that may affect a cultural heritage resource

### 5.1 IMPACTS ON SIGNIFICANT VIEW OR VISTAS

The proposed development is 2-storeys in height with a raised basement. The drawings indicate that the height from grade to the ridge of the roof will be approximately 10 m (approximately 30 ft). This is slightly higher than adjacent heritage resources but is not considered to be excessive. Negative impacts on significant views or vistas are not a concern.

### 5.2 LAND DISTURBANCES

The proposed development will result in land disturbances including excavation in close proximity to the rubblestone foundation of the heritage building located at 14 West Street. A change in orientation and an increased side yard in this area is recommended to minimize the potential impacts of vibrations on the foundation of the heritage building. It is also recommended that the existing grade in this area be maintained to ensure proper drainage of water away from the rubble stone foundation of the heritage building.

The subject property has been identified as a property that may have archaeological potential. Therefore an archaeological assessment is required prior to any land disturbances.



1. Match setback and orientation of adjacent properties 2. increase side yard adjacent to avoid negative impacts to the rubblestone foundation of 14 West Street 3. Articulate the massing on the front elevation 4. Include a landscape buffer around the parking area for vegetative screening and privacy fence

## 6.0 RECOMMENDATIONS

The assessment finds that:

1. the setbacks and skewed orientation of the proposed development are not compatible with adjacent heritage resources on West Street
2. the architectural design and proposed cladding materials are not compatible with adjacent heritage resources

It is recommended that designed revisions be undertaken so that the development has the same orientation and front setback as adjacent properties and has adequate side and rear setbacks to accommodate a landscape buffer between the subject property and adjacent heritage property at 14 West Street.

It is recommended that the architectural design be further refined and that design measures be employed to make the design more compatible with adjacent heritage resources, through articulation of the massing and reduction in the amount of glazing on the front elevation. There are new and recent residential buildings across the street that provide good examples of new dwellings that are compatible with adjacent heritage resources and maintain the historic character of the street.

The subject dwelling does not meet criteria for Designation under the *Ontario Heritage Act*, so there are no concerns regarding the proposed demolition of the existing dwelling and garage.

The property has been identified as a property that may have archaeological potential, so archaeological assessment is required prior to any land disturbances.



14 WEST STREET



TWO EXAMPLES OF COMPATIBLE INFILL ON WEST STREET



## 7.0 SOURCES

Ministry of Tourism, Culture & Sport (MTCS), *Ontario Heritage Toolkit (2006)*

Parks Canada, *Standards & Guidelines for the Conservation of Historic Places in Canada (2010)*

## 8.0 QUALIFICATIONS OF THE AUTHOR

The author of this report is a professional member of the *Canadian Association of Heritage Professionals*. Formal education includes a Master of Arts in Architectural History from the University of Toronto and a diploma in Heritage Conservation from the Willowbank School of Restoration Arts. Professional experience includes an internship at the Ontario Heritage Trust, three years as Architectural Historian and Conservation Specialist at Taylor Hazell Architects in Toronto, and 10 years in private practice in Ontario as a heritage consultant. Other relevant experience includes teaching architectural history at the University of Toronto and McMaster University and Research Methods and Conservation Planning at the Willowbank School for Restoration Arts in Queenston. In addition to numerous heritage reports, the author has published work in academic journals such as the *Journal of the Society for the Study of Architecture in Canada* and the *Canadian Historical Review*.

## APPENDIX A: PHOTO DOCUMENTATION



VIEW FROM WEST STREET – 2-STORY DWELLING WITH A SIDE DRIVEWAY & SMALL DETACHED GARAGE



1920s 'QUARRY FACED' CONCRETE BLOCK FOUNDATION – WITH LATER STUCCO AND VINYL CLADDING ABOVE (2<sup>ND</sup> FLOOR IS LIKELY AN ADDITION) – VINYL WINDOWS OF VARIOUS SIZES – MODERN CONCRETE STOOP AND PORCH WITH IRON RAILING & POSTS



VIEW FROM WEST STREET – BAY WINDOW ADDITION ON SIDE ELEVATION



LARGE BACK YARD – MATURE TREES AND VEGETATION AT THE EDGES



LARGE BACK YARD WITH MATURE VEGETATION AROUND THE PERIMETER – RAILWAY STATION BEYOND IS HIDDEN FROM VIEW BY VEGETATION



SIDE YARD – NO FENCE IN THE FRONT YARD



19<sup>TH</sup> CENTURY GOTHIC REVIVAL DWELLING



1920s WAR-TIME BUNGALOWS – ROCK-FACED CONCRETE BLOCK FOUNDATIONS SIMILAR TO THE SUBJECT DWELLING



19<sup>TH</sup> CENTURY FARMHOUSE & 19<sup>TH</sup> CENTURY WORKER'S COTTAGE (WITH NEWER STUCCO)



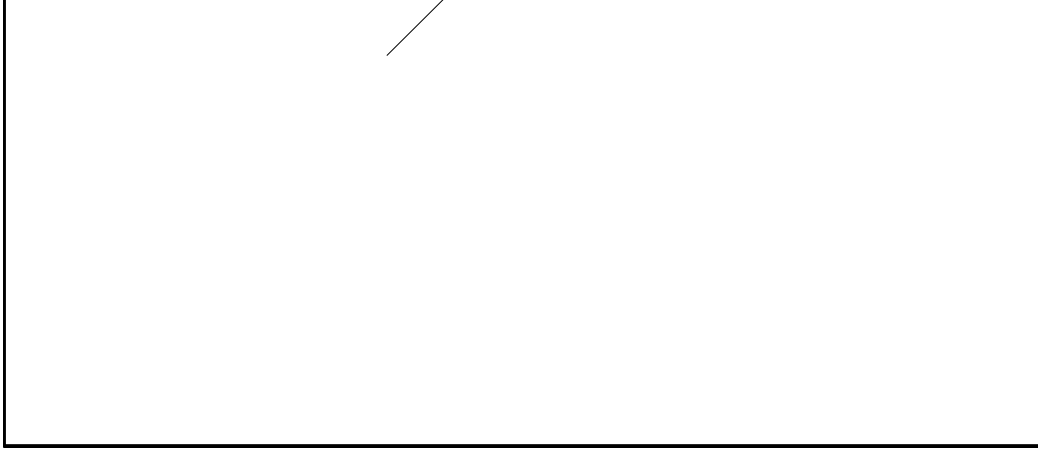
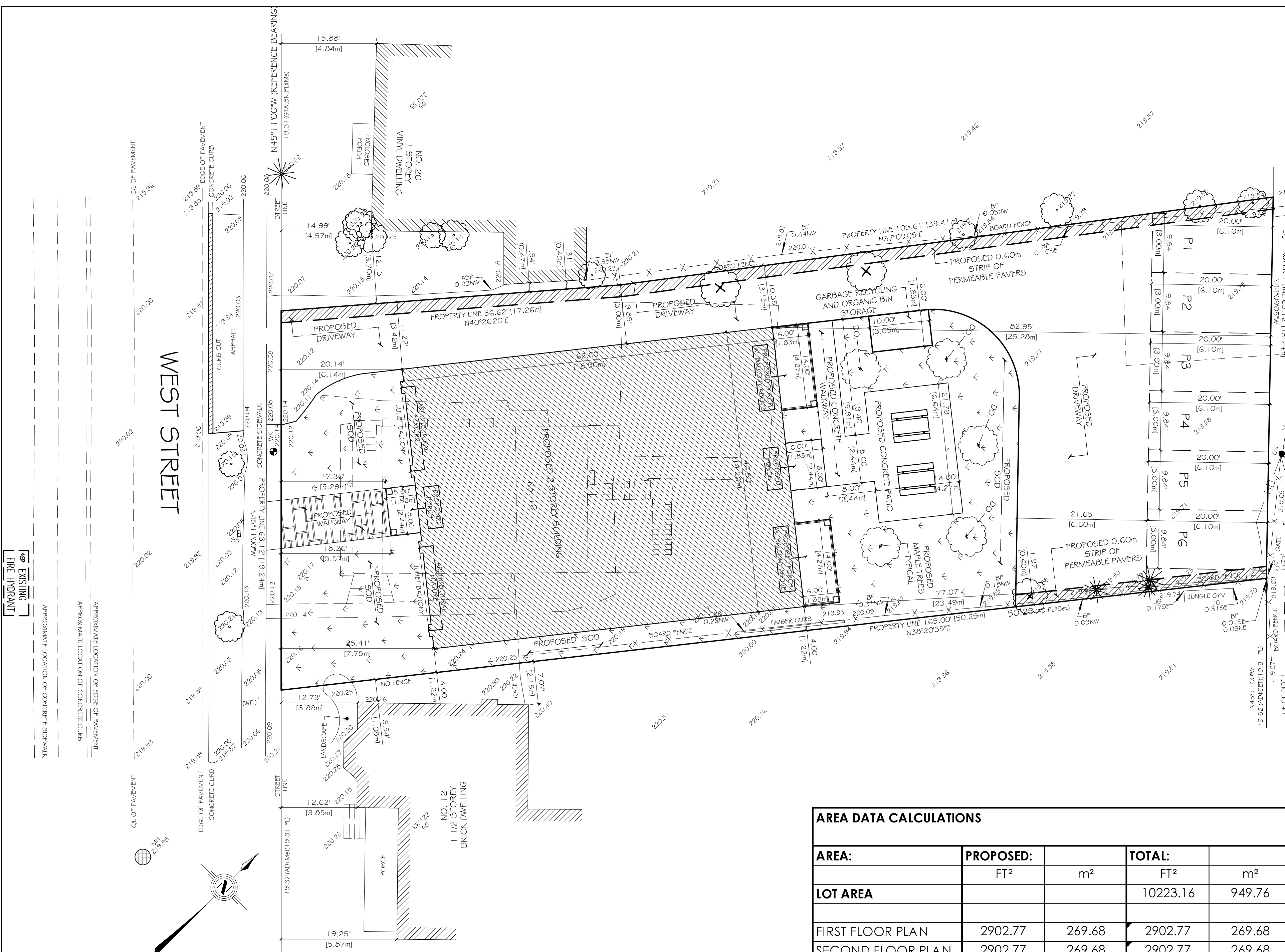
19<sup>TH</sup> CENTURY BRICK FARMHOUSE NEXT DOOR



NEW SINGLE DETACHED DWELLING & EARLY 20<sup>TH</sup> CENTURY WORKER'S HOUSING ACROSS THE STREET



NEW DUPLEX ACROSS THE STREET



16 WEST STREET - FRONT LANDSCAPING CALCULATIONS		
	FT <sup>2</sup>	m <sup>2</sup>
TOTAL FRONT LOT AREA:	1402.78	130.32
DRIVEWAY + WALKWAY + PORCH	450.11	41.82
TOTAL LANDSCAPE AREA:	952.67	88.51
LANDSCAPE AREA INDEX OF TOTAL LOT		67.91%

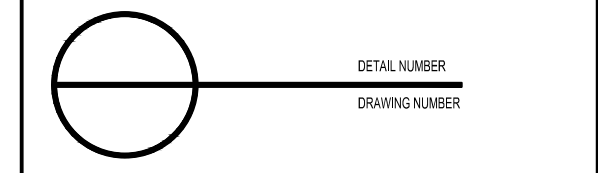
**AREA DATA CALCULATIONS**

AREA:	PROPOSED:		TOTAL:	
	FT <sup>2</sup>	m <sup>2</sup>	FT <sup>2</sup>	m <sup>2</sup>
<b>LOT AREA</b>			10223.16	949.76
FIRST FLOOR PLAN	2902.77	269.68	2902.77	269.68
SECOND FLOOR PLAN	2902.77	269.68	2902.77	269.68
<b>GROSS FLOOR AREA</b>	5805.54	539.35	5805.54	539.35
<b>FLOOR SPACE INDEX</b>		56.79%		56.79%
PORCHES	208.00	19.32	208.00	19.32
<b>LOT COVERAGE</b>	3110.77	289.00	3110.77	289.00
<b>LOT COVERAGE INDEX</b>		30.43%		30.43%

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The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents.

**Qualification Information:** Required unless design is exempt under Div. C - 3.2.5.1. of the building code.

Name: Ian Cunha, Signature: 28005 BCIN

**Registration Information:** Required unless design is exempt under Div. C - 3.2.4.1. of the building code.

Firm Name: Cunha Design Consultants Ltd, 29902 BCIN

**MECHANICAL NOTES**

- MECHANICAL EXHAUST VENT
- SMOKE ALARM
- CARBON MONOXIDE ALARM

No.	Date	Revision	Int.

Consultant:

**CUNHA DESIGN CONSULTANTS LTD.**  
 10 Northampton Drive Etobicoke, ON M9B 4S6  
 Telephone/Fax: (416)-626-9511  
 Email: cunhadesign@rogers.com  
 Firm BCIN: 29902

Owner:

Gobbato Group Inc.  
 15318 Hurontario St.  
 Caledon, ON L7C 2C3

Project:

Prop. 2 Sty Building  
 16 West Street  
 Brampton, Ontario

Drawing Title:

Site Plan



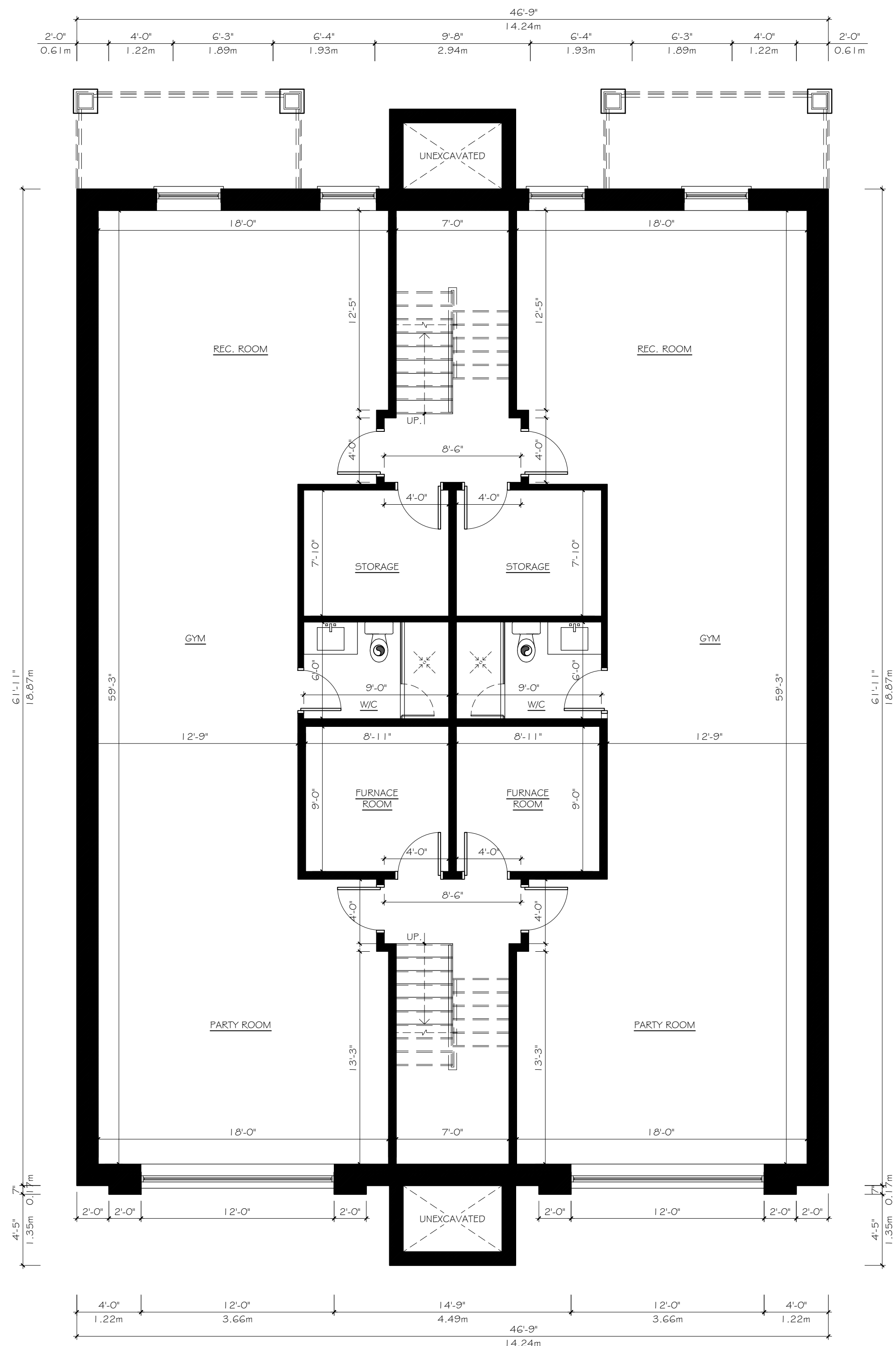
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File No: Drawing No:

Project No: AI



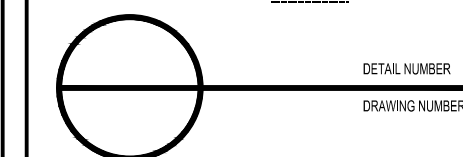


**BASEMENT PLAN**  
SCALE: 3/16" = 1'-0"

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Ian Cunha 28005  
Name Signature BCIN

**Registration Information:** Required unless design is exempt under Div. C - 3.2.4.1. of the building code.

Cunha Design Consultants Ltd 29902  
Firm Name BCIN

**MECHANICAL NOTES**

- MECHANICAL EXHAUST VENT
- SMOKE ALARM
- CARBON MONOXIDE ALARM

No.	Date	Revision	Init.

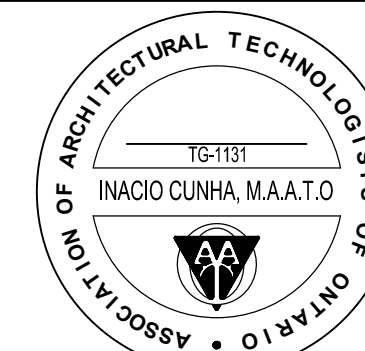
Consultant:

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Email: cunhadesign@rogers.com  
Firm BCIN: 29902

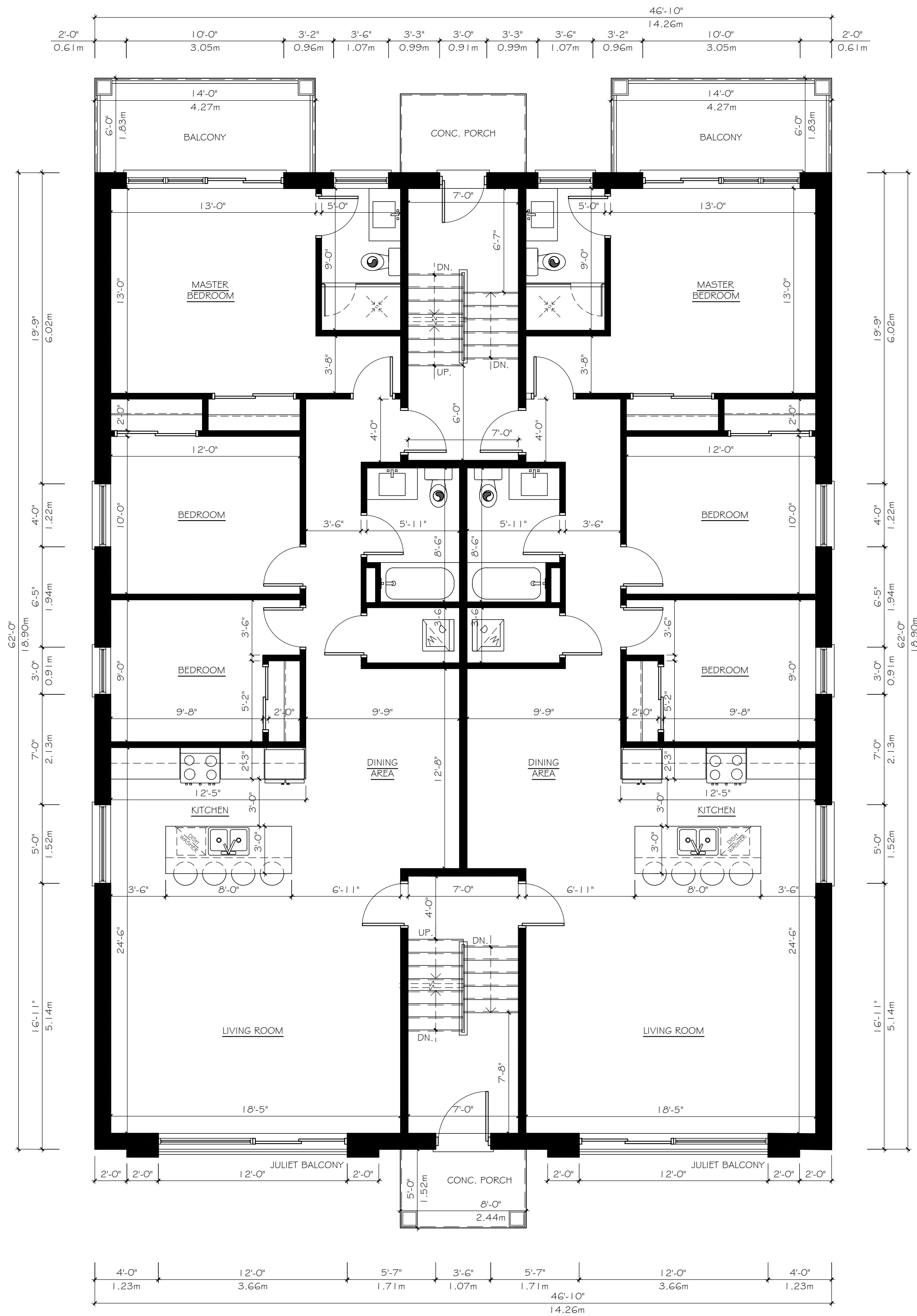
Owner:  
Gobbato Group Inc.  
15318 Hurontario St.  
Caledon, ON L7C 2C3

Project:  
Prop. 2 Sty Building  
16 West Street  
Brampton, Ontario

Drawing Title:  
Basement Plan



Drawn: CCW	Date: May-2021
Checked: IC	Scale: 3/16" = 1'-0"
File No:	Drawing No: A2
Project No:	



**FIRST FLOOR PLAN**  
SCALE: 3/16" = 1'-0"

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Name Signature BCIN

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Cunha Design Consultants Ltd 29902  
Firm Name BCIN

**MECHANICAL NOTES**

- MECHANICAL EXHAUST VENT
- SMOKE ALARM
- CARBON MONOXIDE ALARM

No.	Date	Revision	Int.

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Owner:

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Project:

Prop. 2 Sty Building  
16 West Street  
Brampton, Ontario

Drawing Title:

First Floor Plan

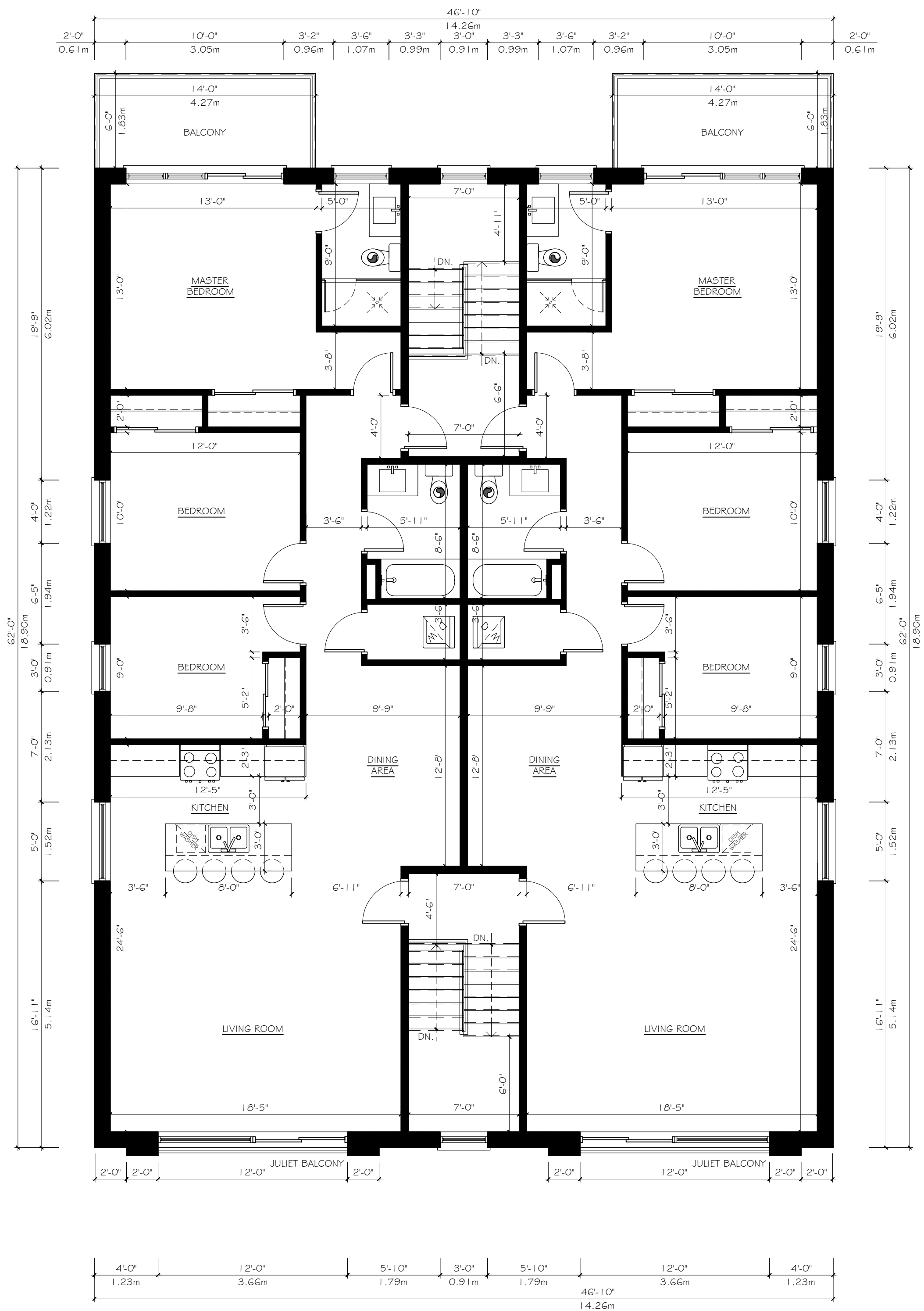


Drawn: CCW Date: May-2021

Checked: IC Scale: 3/16" = 1'-0"

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Project No: **A3**

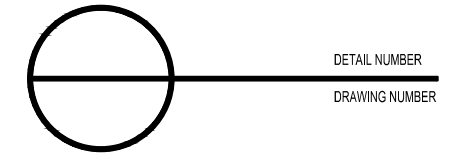


**SECOND FLOOR PLAN**  
SCALE: 3/16" = 1'-0"

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Ian Cunha 28005  
Name Signature BCIN

**Registration Information:** Required unless design is exempt under Div. C - 3.2.4.1. of the building code.

Cunha Design Consultants Ltd 29902  
Firm Name BCIN

**MECHANICAL NOTES**

- MECHANICAL EXHAUST VENT
- SMOKE ALARM
- CARBON MONOXIDE ALARM

No.	Date	Revision	Int.

Consultant:

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Firm BCIN: 29902

Owner:

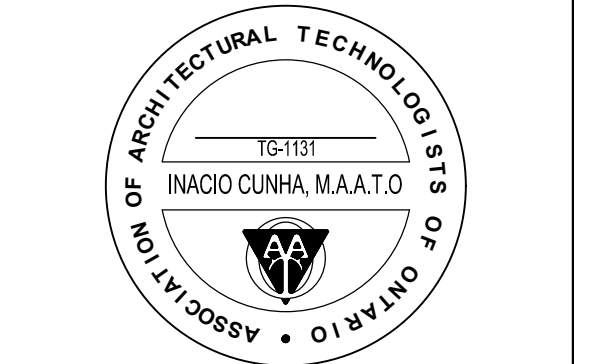
Gobbato Group Inc.  
15318 Hurontario St.  
Caledon, ON L7C 2C3

Project:

Prop. 2 Sty Building  
16 West Street  
Brampton, Ontario

Drawing Title:

Second Floor Plan

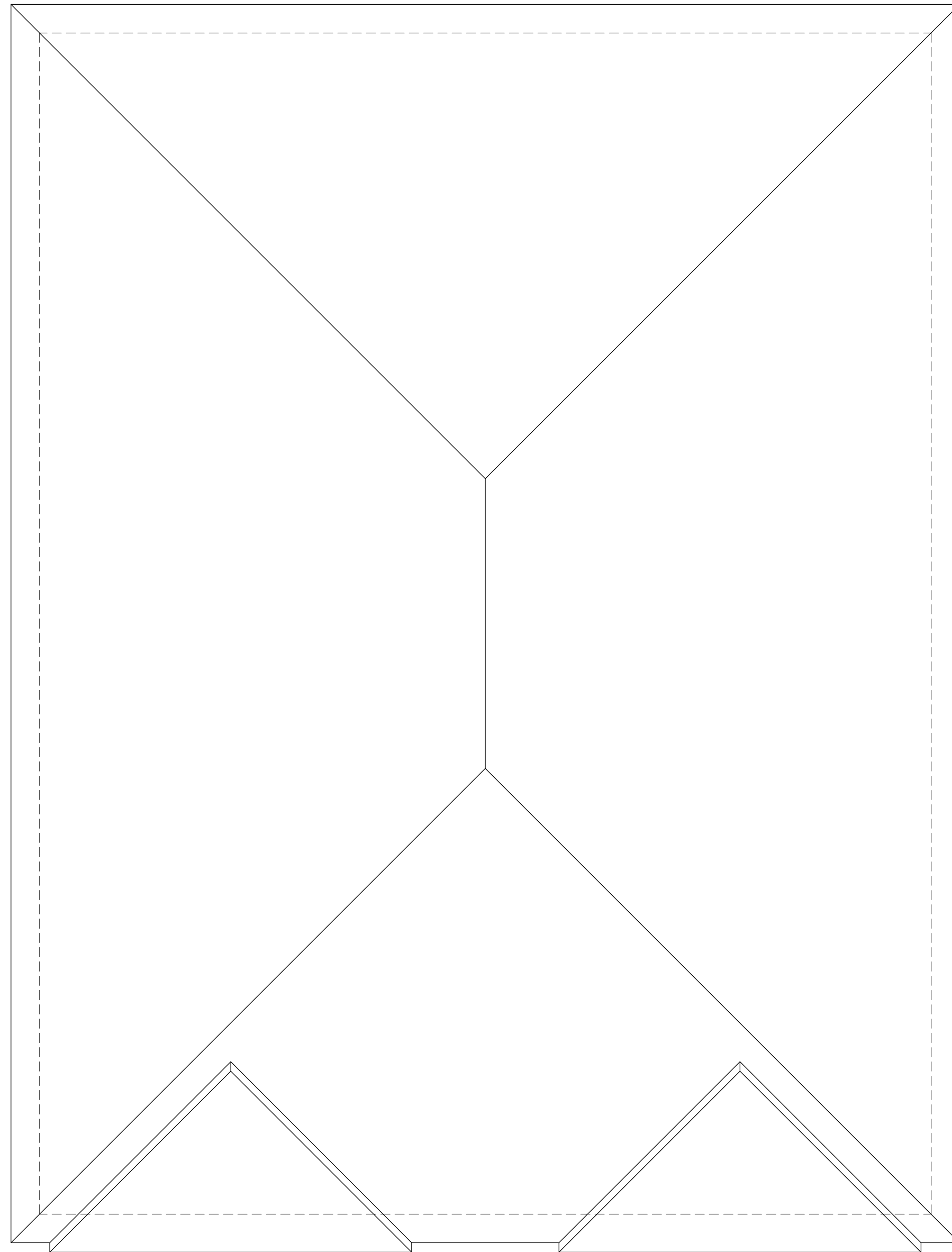


Drawn: CCW Date: May-2021

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Project No: **A4**

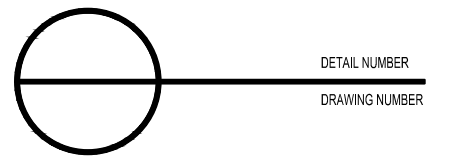


ROOF PLAN  
SCALE: 3/16" = 1'-0"

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Ian Cunha 28005  
Name Signature BCIN

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Firm Name BCIN

MECHANICAL NOTES

-  MECHANICAL EXHAUST VENT
-  SMOKE ALARM
-  CARBON MONOXIDE ALARM

No.	Date	Revision	Int.

Consultant:

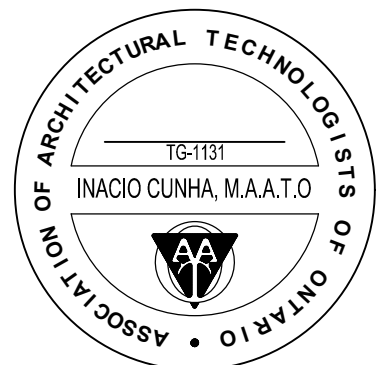


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Gobbato Group Inc.  
15318 Hurontario St.  
Caledon, ON L7C 2C3

Project:  
Prop. 2 Sty Building  
16 West Street  
Brampton, Ontario

Drawing Title:  
Roof Floor Plan



Drawn:	CCW	Date:	May-2021
Checked:	IC	Scale:	3/16" = 1'-0"
File No:		Drawing No:	A5
Project No:			



WEST ELEVATION  
SCALE: 3/16" = 1'-0"

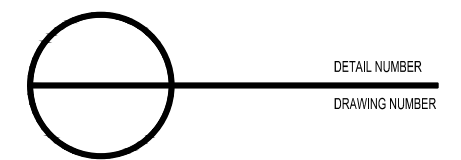


SOUTH ELEVATION  
SCALE: 3/16" = 1'-0"

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Ian Cunha 28005  
Name Signature BCIN

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Cunha Design Consultants Ltd. 29902  
Firm Name BCIN

MECHANICAL NOTES

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- SMOKE ALARM
- CARBON MONOXIDE ALARM

No.	Date	Revision	Int.

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Firm BCIN: 29902

Owner:

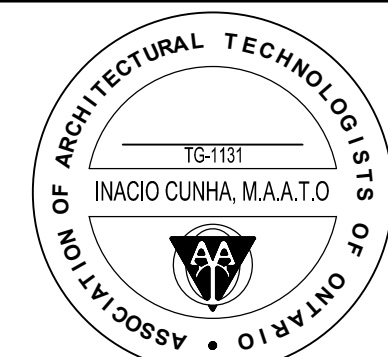
Gobbato Group Inc.  
15318 Hurontario St.  
Caledon, ON L7C 2C3

Project:

Prop. 2 Sty Building  
16 West Street  
Brampton, Ontario

Drawing Title:

Elevations



Drawn: CCW Date: May-2021

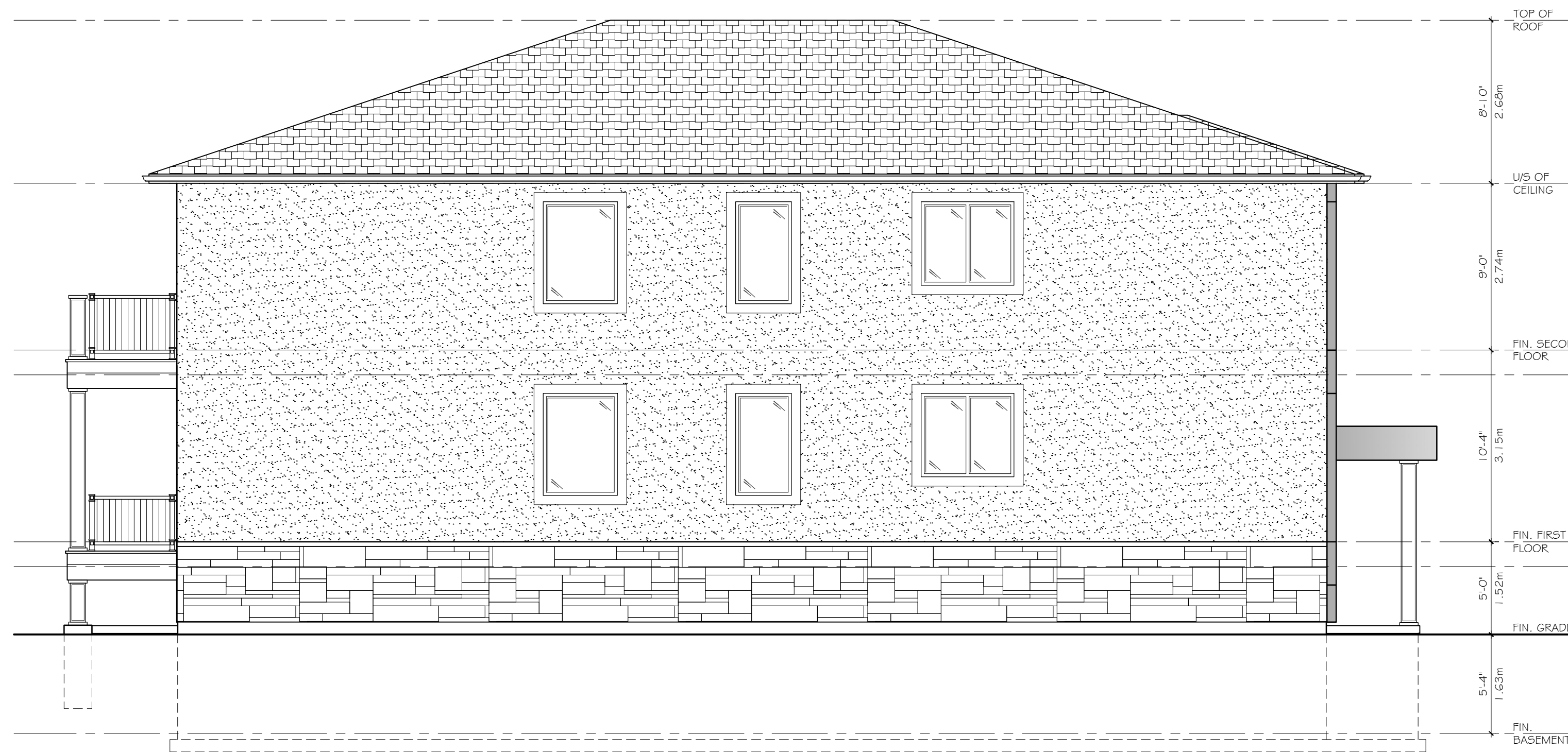
Checked: IC Scale: 3/16" = 1'-0"

File No: Drawing No:

Project No: **A6**



EAST ELEVATION  
SCALE: 3/16" = 1'-0"

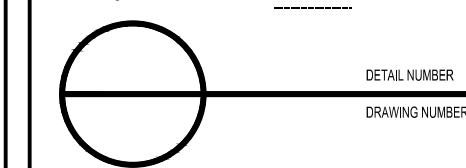


NORTH ELEVATION  
SCALE: 3/16" = 1'-0"

All prints and specifications are the sole property of the Architectural Technologist and must be returned at the completion of the project.

Prints and specifications shall not be reproduced without the permission of the Architectural Technologist.

The contractor shall check and verify all dimensions on the work and report any discrepancies to the Architectural Technologist before proceeding. Drawings are not to be scaled. Drawings are not to be used for construction purposes unless signed by the architectural Technologist.



DETAIL NUMBER  
DRAWING NUMBER

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents.

**Qualification Information:** Required unless design is exempt under Div. C - 3.2.5.1. of the building code.

Ian Cunha 28005  
Name Signature BCIN

**Registration Information:** Required unless design is exempt under Div. C - 3.2.4.1. of the building code.

Cunha Design Consultants Ltd. 29902  
Firm Name BCIN

**MECHANICAL NOTES**

- MECHANICAL EXHAUST VENT
- SMOKE ALARM
- CARBON MONOXIDE ALARM

No.	Date	Revision	Init.

Consultant:

**CUNHA DESIGN CONSULTANTS LTD.**  
10 Northampton Drive Etobicoke, ON M9B 4S6  
Telephone/Fax: (416)-626-9511  
Email: cunhadesign@rogers.com  
Firm BCIN: 29902

Owner:

Gobbato Group Inc.  
15318 Hurontario St.  
Caledon, ON L7C 2C3

Project:

Prop. 2 Sty Building  
16 West Street  
Brampton, Ontario

Drawing Title:

Elevations



Drawn: CCW	Date: May-2021
Checked: IC	Scale: 3/16" = 1'-0"
File No:	Drawing No: A7
Project No:	