



**APPLICATION # A-2023-0070**

**WARD #3**

WHEREAS an application for minor variance has been made by **LUKE QUINN** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the applicants are requesting the following variance(s):

1. To permit an interior side yard setback of 1.25m (4.10 ft) to a second storey addition whereas the by-law requires a minimum interior side yard setback of 1.8m (5.91 ft.) to a second storey;
2. To permit lot coverage of 39.2% whereas the by-law permits a maximum lot coverage of 30%..

The land which is subject of this application is the subject of an application under the Planning Act for:

File Number: \_\_\_\_\_  
File Number: \_\_\_\_\_

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

**IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT.** This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant, the Minister, a specified person or a public body.

**RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING. OTHERWISE THE APPLICATION SHALL BE DEFERRED.**

**PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC**

DATED at Brampton Ontario, this 5th Day of April, 2023.

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

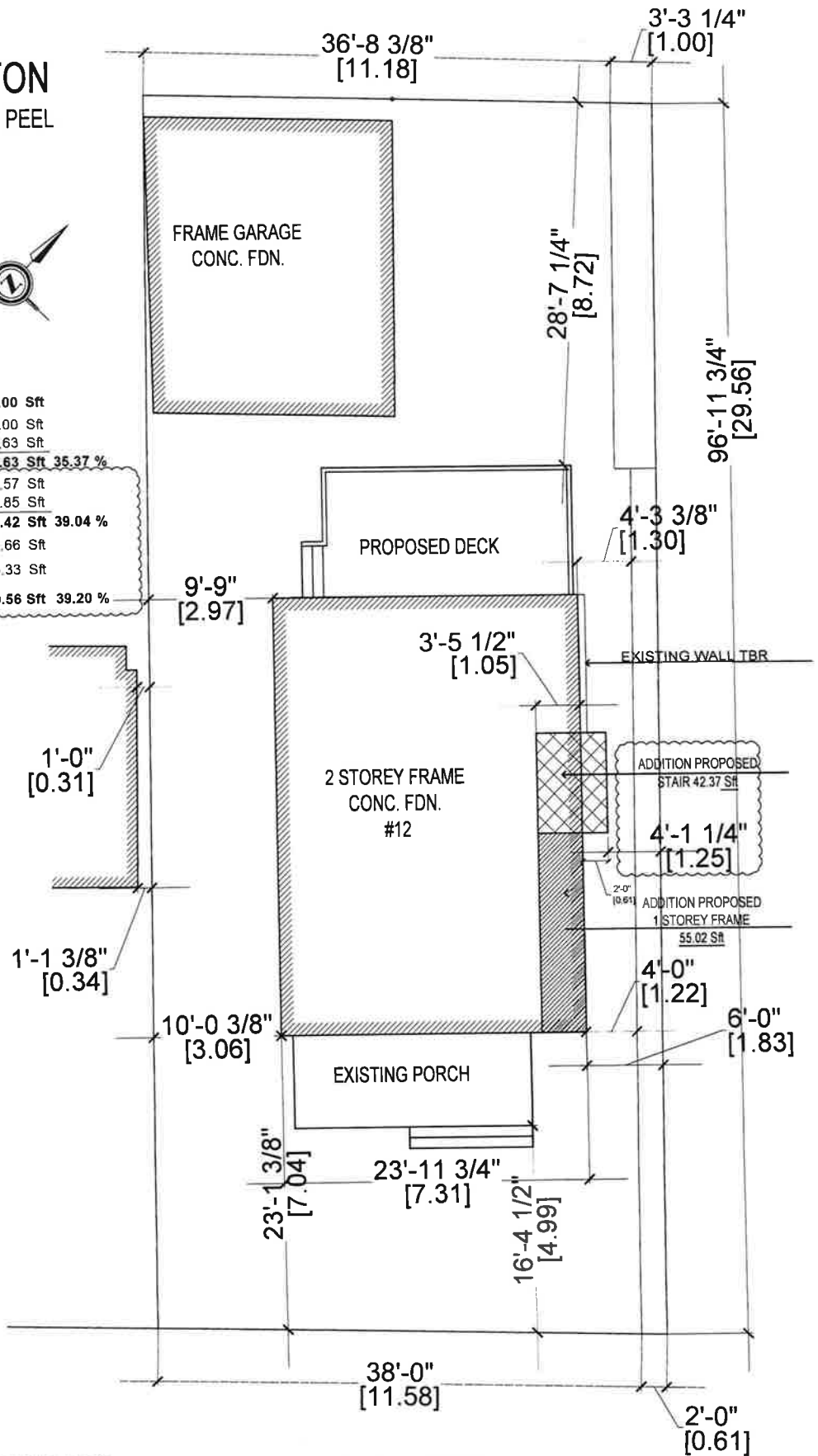
**Jeanie Myers, Secretary-Treasurer**  
Committee of Adjustment, City Clerk's Office,  
Brampton City Hall, 2 Wellington Street West,  
Brampton, Ontario L6Y 4R2  
Phone: (905)874-2117  
Fax: (905)874-2119  
[jeanie.myers@brampton.ca](mailto:jeanie.myers@brampton.ca)

CITY OF BRAMPTON

REGIONAL MUNICIPALITY OF PEEL  
PART OF BLOCK C  
PLANE BR-30  
SITE PLAN



LOT AREA	3649.00 Sft
EXISTING FIRST FLOOR AREA	755.00 Sft
EXISTING SECOND FLOOR AREA	535.63 Sft
TOTAL EXISTING AREA	1290.63 Sft 35.37 %
PROPOSED FIRST FLOOR AREA	846.57 Sft
PROPOSED SECOND FLOOR AREA	577.85 Sft
TOTAL PROPOSED AREA	1424.42 Sft 39.04 %
EXISTING GARAGE	448.66 Sft
EXISTING FRONT PORCH	135.33 Sft
TOTAL PROPOSED COVERAGE	1430.56 Sft 39.20 %



CRAIG STREET

NOTE: - ALL DIMENSIONS AND ELEVATIONS SHALL BE CHECKED AND VERIFIED.

GPF Design Services Inc.  
2572 Eglinton Avenue West  
Toronto, ON M6M 1T4  
Tel. 416-656-0134  
B.C.I.N 28087

6.			
5.			
5.			
4.			
3.			
2.	Corrections	2023.02.08	IF
1.	Issued For Permit Revision	2023.02.03	IF
No.	Description	Date	By

CLIENT:  
  
PROJECT:  
12 CRAIG ST.  
BRAMPTON, ON

SHEET TITLE:  
PROPOSED SITE PLAN  
SCALE:  
NTS  
A1

**Under the authority of the *Emergency Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).**

**Electronic/Hybrid Hearing Procedures  
How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **April 18, 2023** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

**How to Participate in the Hearing:**

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, April 13, 2023.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
  1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at [cityclerksoffice@brampton.ca](mailto:cityclerksoffice@brampton.ca) or [jeanie.myers@brampton.ca](mailto:jeanie.myers@brampton.ca) by **4:30 pm Thursday, April 13, 2023.**
  2. To participate in-person, please email the Secretary-Treasurer at [cityclerksoffice@brampton.ca](mailto:cityclerksoffice@brampton.ca) or [jeanie.myers@brampton.ca](mailto:jeanie.myers@brampton.ca) by **4:30 pm Thursday, April 13, 2023.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, April 13, 2023.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:  
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or  
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to [cityclerksoffice@brampton.ca](mailto:cityclerksoffice@brampton.ca) or [jeanie.myers@brampton.ca](mailto:jeanie.myers@brampton.ca). If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

**NOTE** Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, [www.brampton.ca](http://www.brampton.ca). By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

FILE NUMBER: A-2023-0070

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request. Questions about the collection of personal information should be directed to the Freedom of Information and Privacy Coordinator, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

**NOTE:** It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1.

Name of Owner(s)

Luke Quinn

Address

12 Craig StBrampton, ON L6Y 1H9

Phone #

keithq68@gmail.com

Fax #

Email
2.

Name of Agent

Gabe Faraone, GPF Design Services Inc.

Address

2572 Eglinton Ave W. TORONTO M6M1T4

Phone #

416-656-0134

Fax #

Email

gpfdesign@hotmail.com
3.

Nature and extent of relief applied for (variances requested):

Side yard setback minimum is 1.8m, we are proposing 1.2m setback

A maximum of 30% coverage is allowed, we are proposing 39.2%
4.

Why is it not possible to comply with the provisions of the by-law?

The stairwell is being pushed out beyond the envelope of the house

which is creating the variance.
5.

Legal Description of the subject land:

Lot Number

Plan Number/Concession Number

Plan BR-30 - BLOCK C

Municipal Address

12 Craig StBrampton, ON L6Y 1H9
6.

Dimension of subject land (in metric units)

Frontage

7.04m

Depth

29.56m

Area

339 m.sq
7.

Access to the subject land is by:

Provincial Highway

Municipal Road Maintained All Year

Private Right-of-Way

Seasonal Road

Other Public Road

Water

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

**EXISTING BUILDINGS/STRUCTURES on the subject land:**

Frame Garage (41.7 sq.m.) and 2 storey dwelling (119.9sq.m.)

**PROPOSED BUILDINGS/STRUCTURES on the subject land:**

Two Storey Dwelling (132.2 sq.m.)

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

**EXISTING**

Front yard setback 7.04 m

Rear yard setback 11.75 m

Side yard setback 1.25 m

Side yard setback 2.97 m

**PROPOSED**

Front yard setback 7.04 m

Rear yard setback 11.75 m

Side yard setback 1.83 m

Side yard setback 2.97 m

10. Date of Acquisition of subject land: Pre-2003
11. Existing uses of subject property: Residential
12. Proposed uses of subject property: Residential
13. Existing uses of abutting properties: Residential
14. Date of construction of all buildings & structures on subject land: +/- 70 YEARS
15. Length of time the existing uses of the subject property have been continued: ALWAYS

16. (a) What water supply is existing/proposed?

Municipal

☒

Well

☐

Other (specify)

- (b) What sewage disposal is/will be provided?

Municipal

☒

Septic

☐

Other (specify)

- (c) What storm drainage system is existing/proposed?

Sewers

☒

Ditches

☐

Swales

☐

Other (specify)



17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # \_\_\_\_\_ Status \_\_\_\_\_

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____



Signature of Applicant(s) or Authorized Agent

DATED AT THE \_\_\_\_\_ City \_\_\_\_\_ OF \_\_\_\_\_ Toronto \_\_\_\_\_

THIS 03 DAY OF March, 20 23.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, \_\_\_\_\_ Gabe Faraone \_\_\_\_\_, OF THE \_\_\_\_\_ City \_\_\_\_\_ OF \_\_\_\_\_ Toronto \_\_\_\_\_

IN THE \_\_\_\_\_ Province \_\_\_\_\_ OF \_\_\_\_\_ Ontario \_\_\_\_\_ SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton  
IN THE Region OF \_\_\_\_\_  
Peel THIS 13<sup>th</sup> DAY OF  
March, 20 23

A Commissioner etc.

J.M.  
Jeanie Cecilia Myers  
a Commissioner, etc.,  
Province of Ontario  
for the Corporation of the  
City of Brampton  
Expires April 8, 2024.

Signature of Applicant or Authorized Agent

FOR OFFICE USE ONLY

Present Official Plan Designation:

R1B, MATURE

Present Zoning By-law Classification:

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Hothi, Satwant

Zoning Officer

MAR 06 2023

Date

DATE RECEIVED

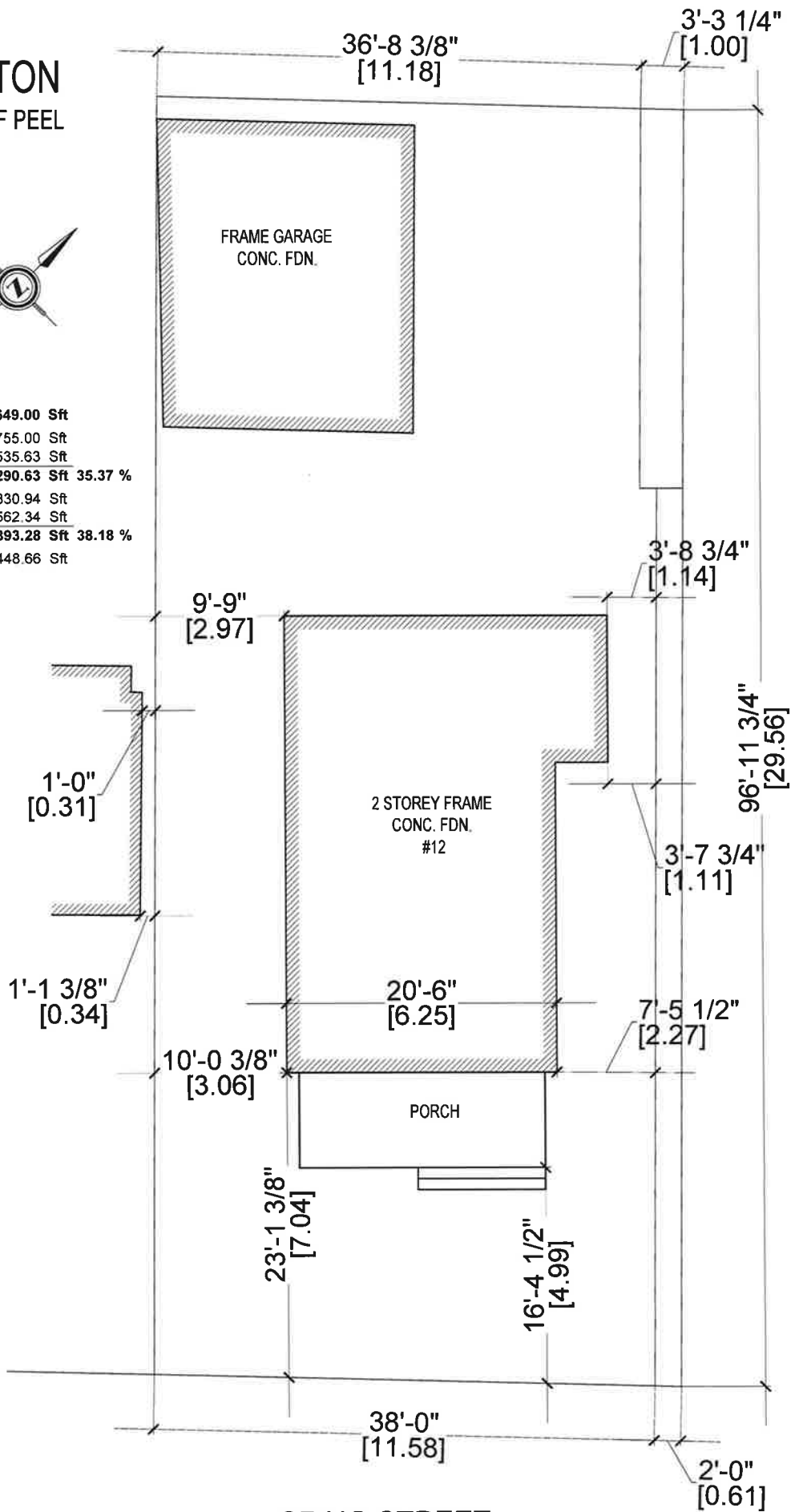
March 13, 2023

CITY OF BRAMPTON

REGIONAL MUNICIPALITY OF PEEL  
PART OF BLOCK C  
PLANE BR-30  
SITE PLAN



LOT AREA	3649.00 Sft
EXISTING FIRST FLOOR AREA	755.00 Sft
EXISTING SECOND FLOOR AREA	535.63 Sft
TOTAL EXISTING AREA	1290.63 Sft 35.37 %
PROPOSED FIRST FLOOR AREA	830.94 Sft
PROPOSED SECOND FLOOR AREA	562.34 Sft
TOTAL PROPOSED AREA	1393.28 Sft 38.18 %
EXISTING GARAGE	448.66 Sft

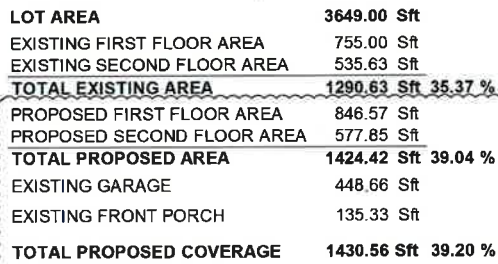


CRAIG STREET

NOTE: - ALL DIMENSIONS AND ELEVATIONS SHALL BE CHECKED AND VERIFIED.

GPF Design Services Inc. 2572 Eglinton Avenue West Toronto, ON M6M 1T4 Tel. 416-656-0134 B.C.I.N 28087	6.				CLIENT:  PROJECT: 12 CRAIG ST. BRAMPTON, ON	SHEET TITLE: EXISTING SITE PLAN  SCALE: NTS  A1
	5.					
	5.					
	4.					
	3.					
	2.	Corrections	2023.02.08	IF		
	1.	Issued For Permit Revision	2023.02.03	IF		
	No.	Description	Date	By		

REGIONAL MUNICIPALITY OF PEEL  
PART OF BLOCK C  
PLANE BR-30  
SITE PLAN



CRAIG STREET

GPF Design Services Inc.  
2572 Eglinton Avenue West  
Toronto, ON M6M 1T4  
Tel. 416-656-0134  
B.C.I.N 28087

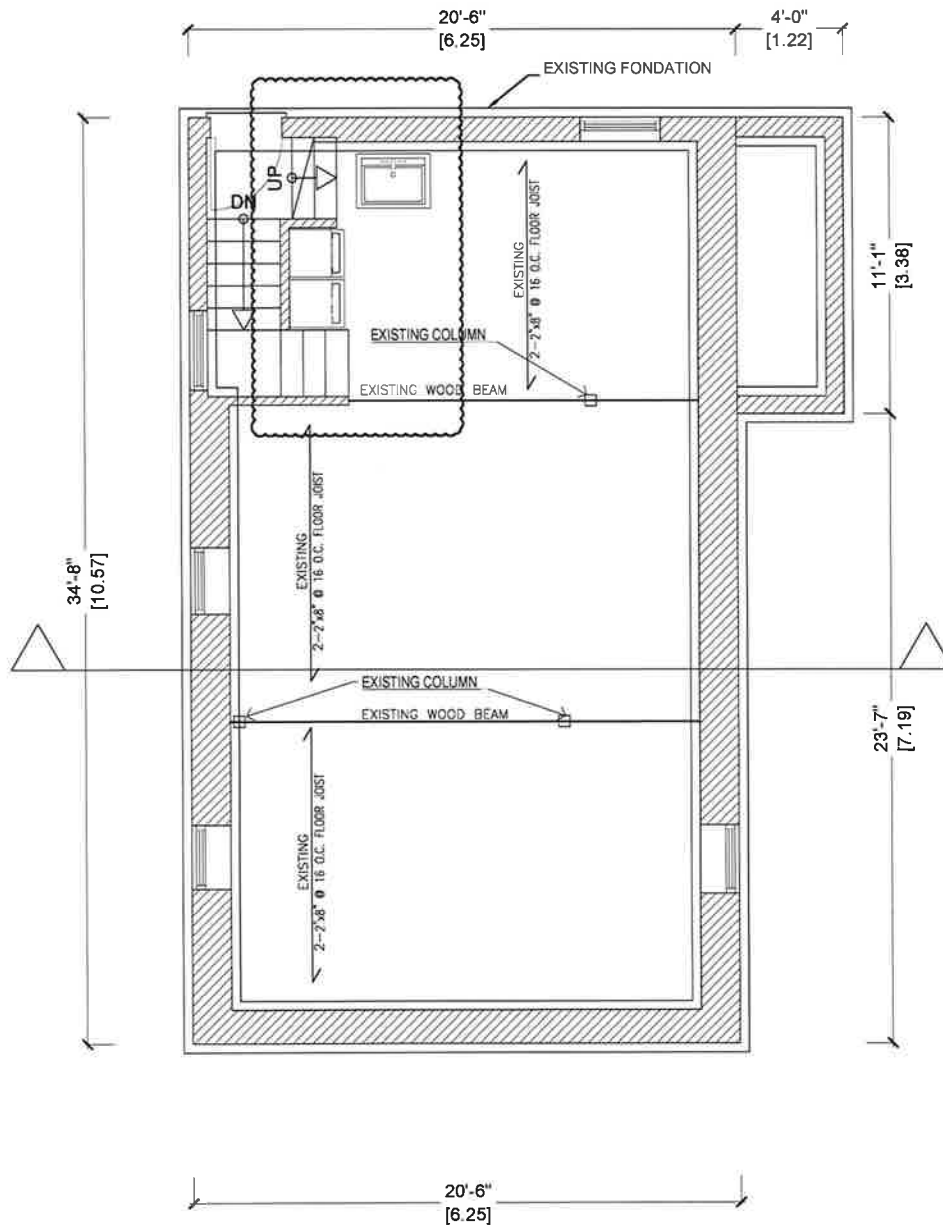
6.			
5.			
5.			
4.			
3.			
2.	Corrections	2023 02 08	IF
1.	Issued For Permit Revision	2023 02 03	IF
No.	Description	Date	By

12 CRAIG ST.  
BRAMPTON, ON

NTS

# A1



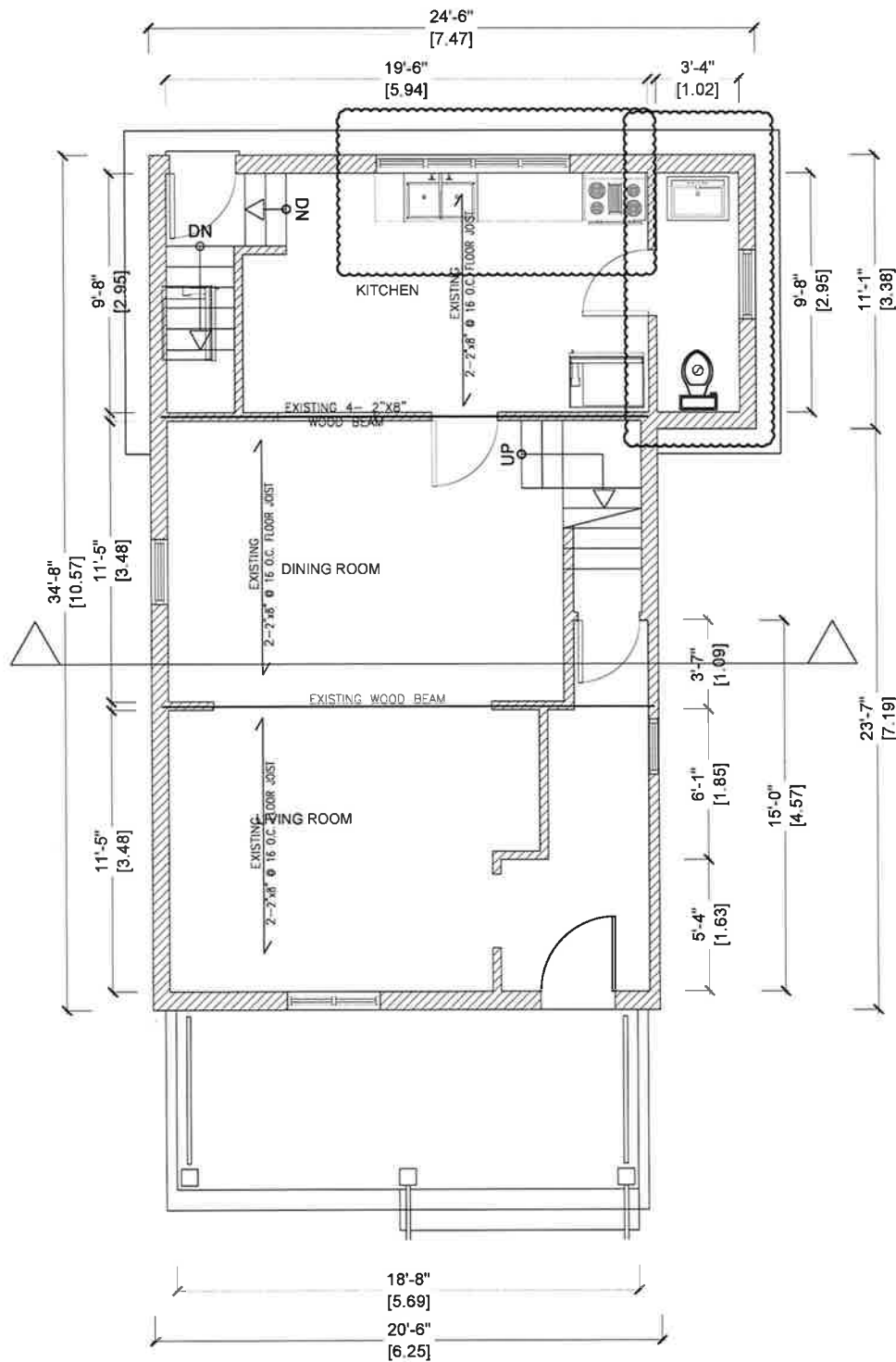


EXISTING BASEMENT FLOOR



NOTE: - ALL DIMENSIONS AND ELEVATIONS SHALL BE CHECKED AND VERIFIED.

<div>GPF Design Services Inc. 2572 Eglinton Avenue West Toronto, ON M6M 1T4 Tel. 416-656-0134 B.C.I.N 28087</div>	CLIENT:		SHEET TITLE:	
	PROJECT:		EXISTING BASEMENT FLOOR	
	12 CRAIG ST. BRAMPTON, ON		SCALE:	
			3/16" = 1'-0"	
			A2	
6.				
5.				
5.				
4.				
3.				
2.	Corrections	2023.02.08	IF	
1.	Issued For Permit Revision	2023.02.03	IF	
No.	Description	Date	By	



EXISTING FIRST FLOOR



NOTE: - ALL DIMENSIONS AND ELEVATIONS SHALL BE CHECKED AND VERIFIED.

GPF Design Services Inc.  
2572 Eglinton Avenue West  
Toronto, ON M6M 1T4  
Tel. 416-656-0134  
B.C.I.N 28087

6.				
5.				
5.				
4.				
3.				
2.	Corrections	2023.02.08	IF	
1.	Issued For Permit Revision	2023.02.03	IF	
No.	Description	Date	By	

CLIENT:

PROJECT:

12 CRAIG ST.  
BRAMPTON, ON

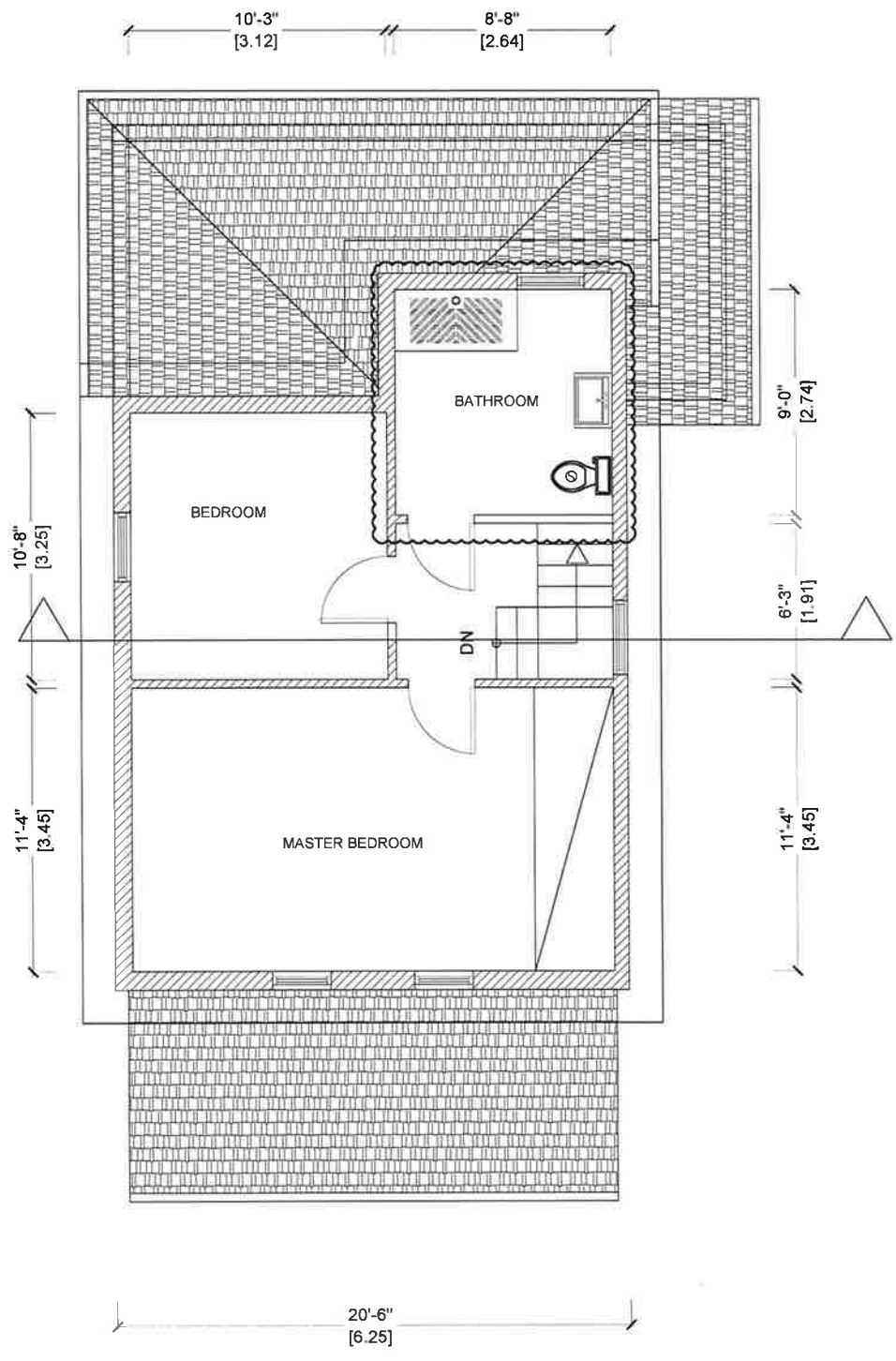
SHEET TITLE:

EXISTING FIRST FLOOR

SCALE:

3/16" = 1'-0"

A3

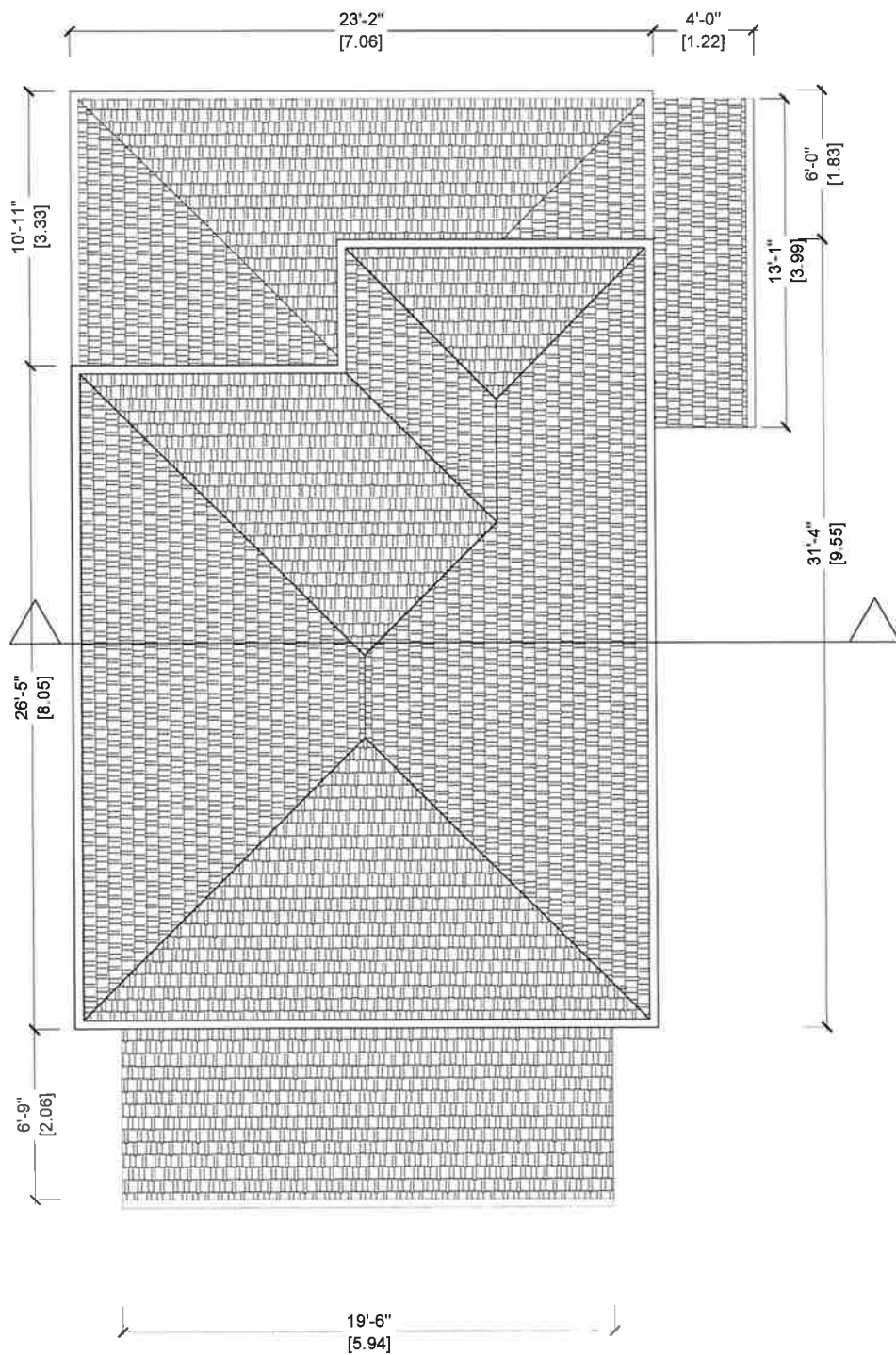


EXISTING SECOND FLOOR



NOTE: - ALL DIMENSIONS AND ELEVATIONS SHALL BE CHECKED AND VERIFIED.

GPF Design Services Inc. 2572 Eglinton Avenue West Toronto, ON M6M 1T4 Tel. 416-656-0134 B.C.I.N 28087	6.				CLIENT:  PROJECT:  12 CRAIG ST. BRAMPTON, ON	SHEET TITLE:  EXISTING SECOND FLOOR  SCALE:  3/16" = 1'-0"	A4
	5.						
	5.						
	4.						
	3.						
	2.	Corrections	2023.02.08	IF			
	1.	Issued For Permit Revision	2023.02.03	IF			
	No.	Description	Date	By			



EXISTING ROOF FLOOR



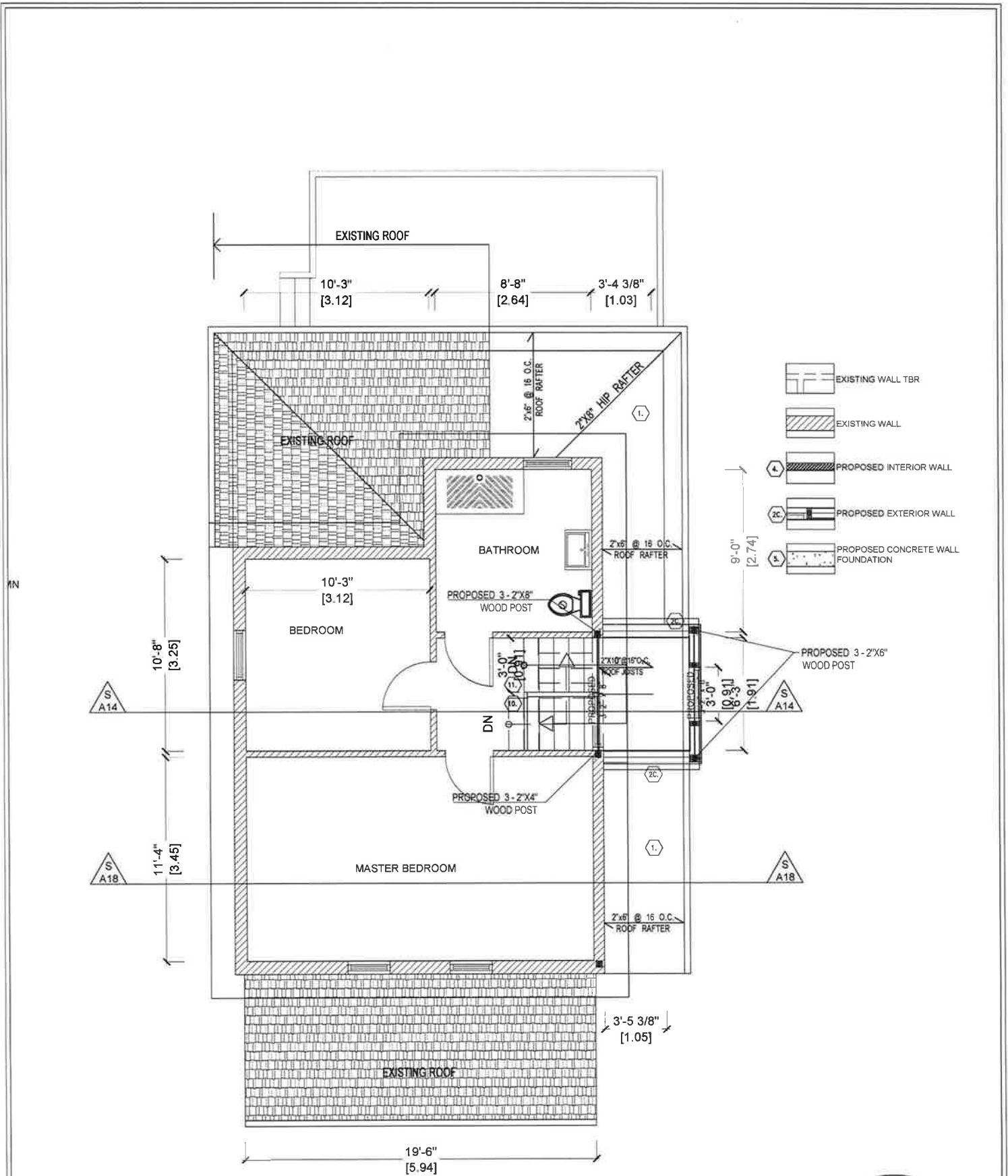
NOTE: - ALL DIMENSIONS AND ELEVATIONS SHALL BE CHECKED AND VERIFIED.

<div>GPF Design Services Inc. 2572 Eglinton Avenue West Toronto, ON M6M 1T4 Tel. 416-656-0134 B.C.I.N 28087</div>				<div>CLIENT:  PROJECT: <div>12 CRAIG ST. BRAMPTON, ON</div></div>				<div>SHEET TITLE: <div>EXISTING ROOF FLOOR</div><div>SCALE: 3/16"= 1'-0"</div></div> <div>A5</div>			
6.											
5.											
5.											
4.											
3.											
2.	Corrections	2023.02.08	IF								
1.	Issued For Permit Revision	2023.02.03	IF								
No.	Description	Date	By								









PROPOSED SECOND FLOOR



NOTE: - ALL DIMENSIONS AND ELEVATIONS SHALL BE CHECKED AND VERIFIED.

GPF Design Services Inc.  
2572 Eglinton Avenue West  
Toronto, ON M6M 1T4  
Tel. 416-656-0134  
B.C.I.N 28087

6.			
5.			
5.			
4.			
3.			
2.	Corrections	2023.02.08	IF
1.	Issued For Permit Revision	2023.02.03	IF
No.	Description	Date	By

CLIENT:

PROJECT:

12 CRAIG ST.  
BRAMPTON, ON

SHEET TITLE:

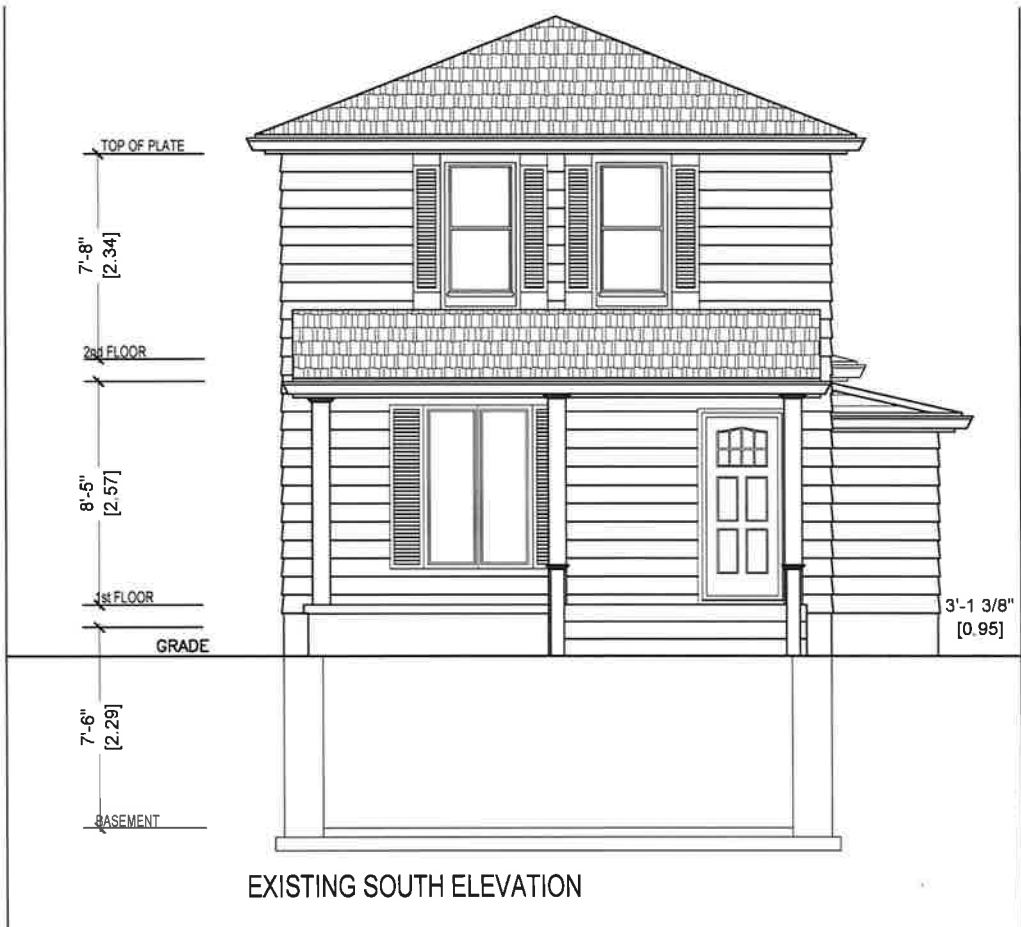
PROPOSED SECOND FLOOR

SCALE:

3/16" = 1'-0"

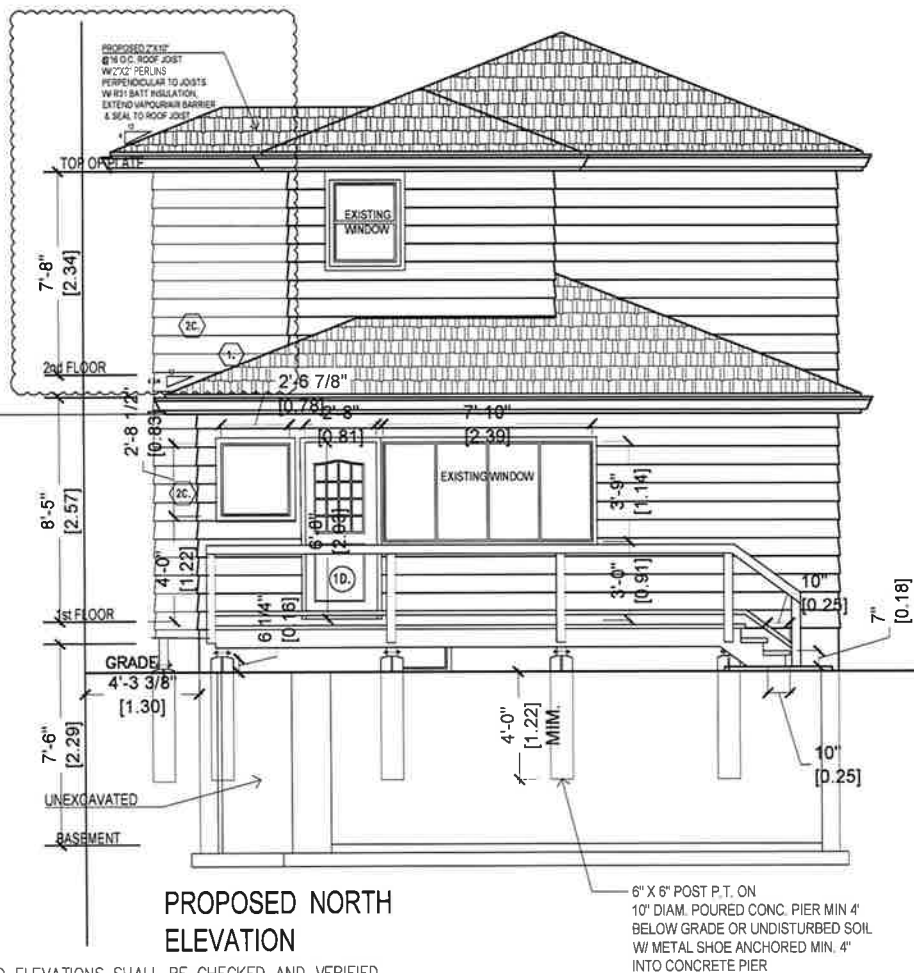
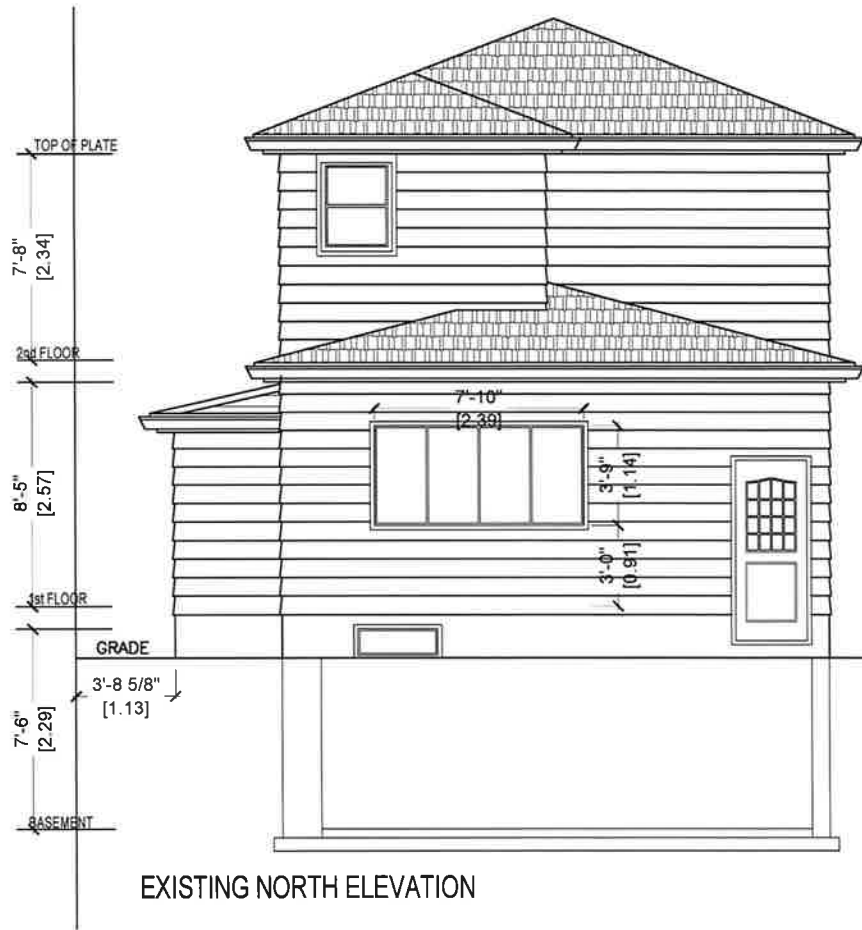
A8





NOTE: - ALL DIMENSIONS AND ELEVATIONS SHALL BE CHECKED AND VERIFIED.

GPF Design Services Inc. 2572 Eglinton Avenue West Toronto, ON M6M 1T4 Tel. 416-656-0134 B.C.I.N 28087		<table><tr><td>6.</td><td></td><td></td><td></td></tr><tr><td>5.</td><td></td><td></td><td></td></tr><tr><td>5.</td><td></td><td></td><td></td></tr><tr><td>4.</td><td></td><td></td><td></td></tr><tr><td>3.</td><td></td><td></td><td></td></tr><tr><td>2.</td><td>Corrections</td><td>2023.02.06</td><td>IF</td></tr><tr><td>1.</td><td>Issued For Permit Revision</td><td>2023.02.03</td><td>IF</td></tr><tr><td>No.</td><td>Description</td><td>Date</td><td>By</td></tr></table>	6.				5.				5.				4.				3.				2.	Corrections	2023.02.06	IF	1.	Issued For Permit Revision	2023.02.03	IF	No.	Description	Date	By	CLIENT:  PROJECT: <b>12 CRAIG ST. BRAMPTON, ON</b>	SHEET TITLE: <b>SOUTH ELEVATION</b> SCALE: <b>3/16" = 1'-0"</b> <b>A10</b>
6.																																				
5.																																				
5.																																				
4.																																				
3.																																				
2.	Corrections	2023.02.06	IF																																	
1.	Issued For Permit Revision	2023.02.03	IF																																	
No.	Description	Date	By																																	



NOTE: - ALL DIMENSIONS AND ELEVATIONS SHALL BE CHECKED AND VERIFIED.

GPF Design Services Inc. 2572 Eglinton Avenue West Toronto, ON M6M 1T4 Tel. 416-656-0134 B.C.I.N 28087	6.				
	5.				
	5.				
	4.				
	3.				
	2.	Corrections	2023.02.08	IF	
1.	Issued For Permit Revision	2023.02.03	IF		
No.	Description	Date	By		

CLIENT:	
PROJECT:	12 CRAIG ST. BRAMPTON, ON

SHEET TITLE:	NORTH ELEVATION
SCALE:	3/16" = 1'-0"

A11





EXISTING WEST ELEVATION

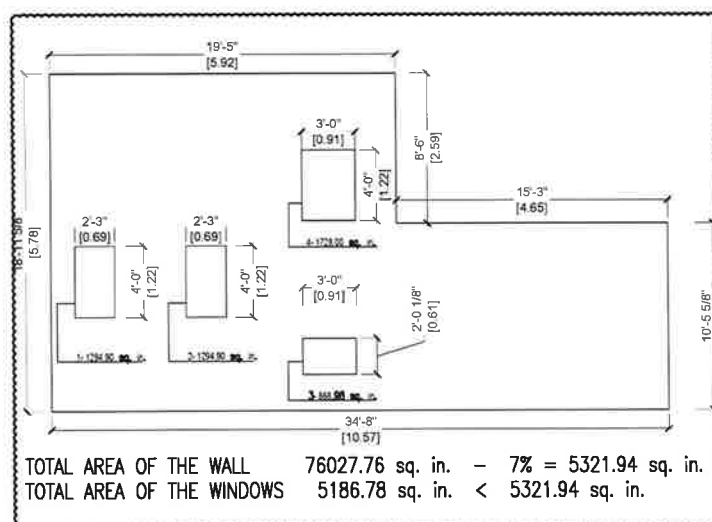


PROPOSED WEST ELEVATION



NOTE: - ALL DIMENSIONS AND ELEVATIONS SHALL BE CHECKED AND VERIFIED.

GPF Design Services Inc. 2572 Eglinton Avenue West Toronto, ON M6M 1T4 Tel. 416-656-0134 B.C.I.N 28087	6.				CLIENT:  PROJECT: <b>12 CRAIG ST. BRAMPTON, ON</b>	SHEET TITLE: <b>WEST ELEVATION</b>  SCALE: <b>1/8" = 1'-0"</b>	<b>A12</b>
	5.						
	5.						
	4.						
	3.						
	2.	Corrections	2023.02.08	IF			
	1.	Issued For Permit Revision	2023.02.03	IF			
No.	Description	Date	By				



NOTE:- ALL DIMENSIONS AND ELEVATIONS SHALL BE CHECKED AND VERIFIED.

GPF Design Services Inc.  
2572 Eglinton Avenue West  
Toronto, ON M6M 1T4  
Tel. 416-656-0134  
B.C.I.N 28087

6.			
5.			
5.			
4.			
3.			
2.	Corrections	2023.02.08	IF
1.	Issued For Permit Revision	2023.02.03	IF
No.	Description	Date	By

CUENT

PROJECT:

12 CRAIG ST.  
BRAMPTON, ON

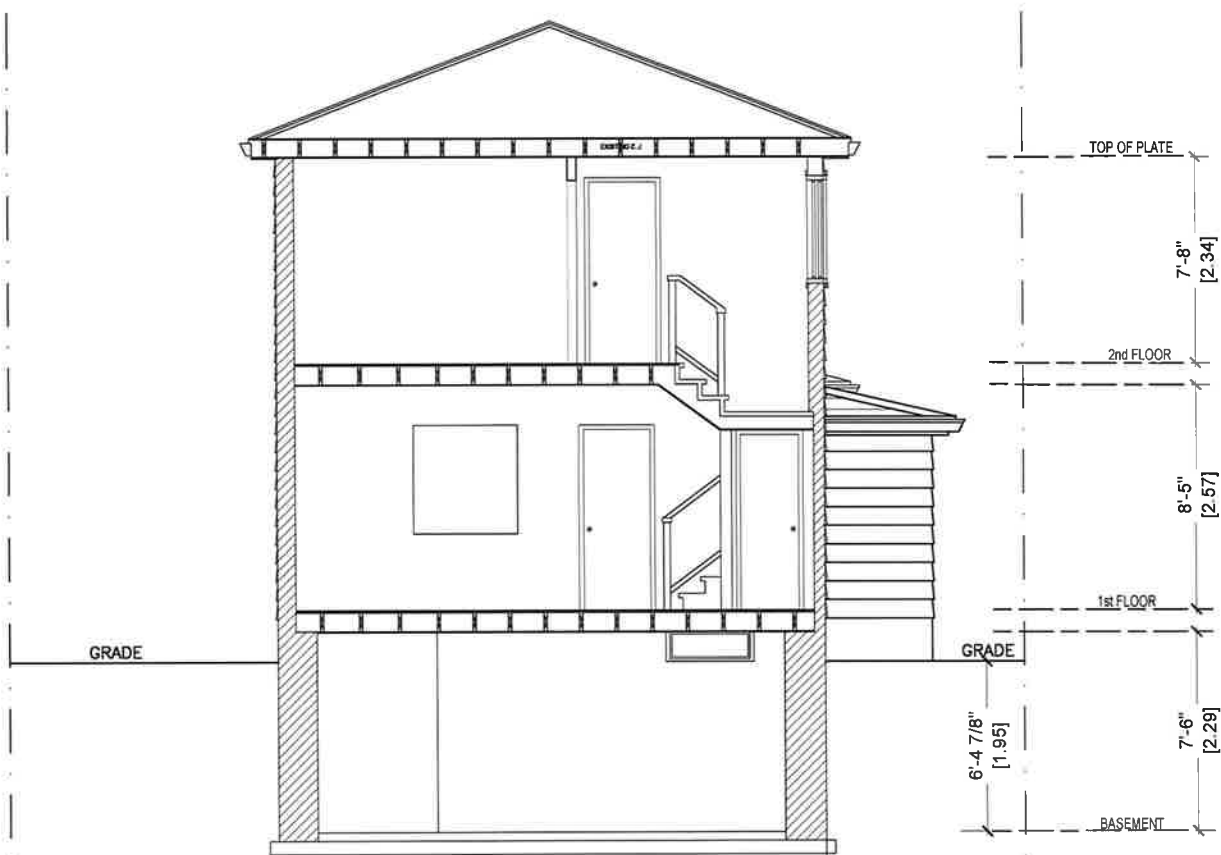
SHEET TITLE:

EAST ELEVATION

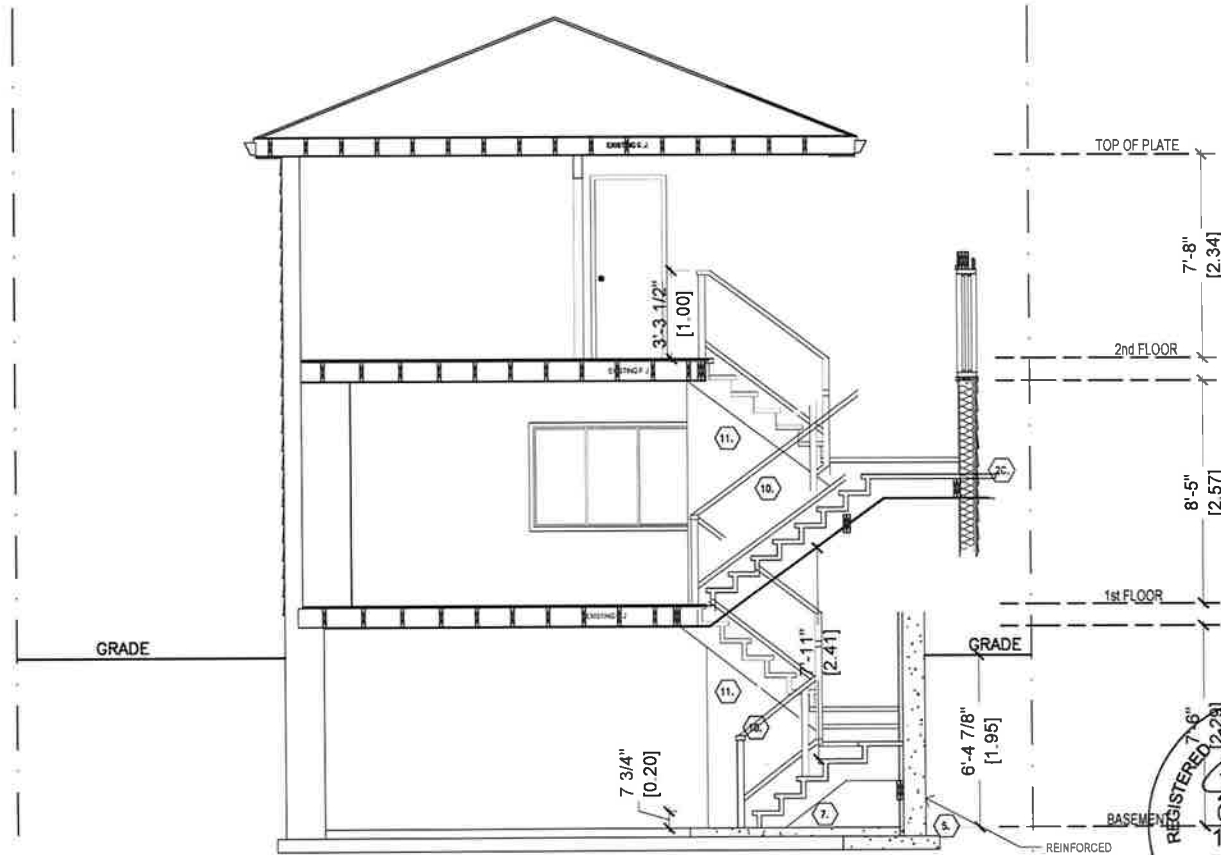
SCALE:

$$1/8'' = 1'-0''$$

A13



EXISTING SECTION CUT



PROPOSED SECTION CUT

NOTE: ALL DIMENSIONS AND ELEVATIONS SHALL BE CHECKED AND VERIFIED.



<div>GPF Design Services Inc. 2572 Eglinton Avenue West Toronto, ON M6M 1T4 Tel. 416-656-0134 B.C.I.N 28087</div>				CLIENT:		SHEET TITLE:																																	
				PROJECT:  12 CRAIG ST. BRAMPTON, ON		SECTION CUT																																	
						SCALE:																																	
						3/16" = 1'-0"																																	
						A14																																	
<table><tr><td>6.</td><td></td><td></td><td></td></tr><tr><td>5.</td><td></td><td></td><td></td></tr><tr><td>5.</td><td></td><td></td><td></td></tr><tr><td>4.</td><td></td><td></td><td></td></tr><tr><td>3.</td><td></td><td></td><td></td></tr><tr><td>2.</td><td>Corrections</td><td>2023.02.06</td><td>IF</td></tr><tr><td>1.</td><td>Issued For Permit Revision</td><td>2023.02.03</td><td>IF</td></tr><tr><td>No.</td><td>Description</td><td>Date</td><td>By</td></tr></table>				6.				5.				5.				4.				3.				2.	Corrections	2023.02.06	IF	1.	Issued For Permit Revision	2023.02.03	IF	No.	Description	Date	By				
6.																																							
5.																																							
5.																																							
4.																																							
3.																																							
2.	Corrections	2023.02.06	IF																																				
1.	Issued For Permit Revision	2023.02.03	IF																																				
No.	Description	Date	By																																				

FRAME WALL CONSTRUCTION:  
FINISH AS PER ELEVATIONS  
SHEATHING PAPER, LAYERS  
TO OVERLAP EACH OTHER  
EXTERIOR TYPE SHEATHING  
2X6 WOOD STUDS @ 16" O.C.  
R24 BATT INSULATION IN  
CONTINUOUS CONTACT W/  
SHEATHING & CONTINUOUS  
VAPOUR/AIR BARRIER  
DOUBLE PLATE @ TOP  
SOLE PLATE @ BOTTOM  
INTERIOR WALL FINISH

WOOD SILL PLATE FASTENED TO  
FOUNDATION WALL W/ MINIMUM  
1/2" DIAMETER ANCHOR BOLTS  
EMBEDDED MIN. 4" IN CONCRETE  
@ 7'-10" O.C. MAX. & PROVIDE  
CAULKING OR GASKET BETWEEN  
PLATE & FOUNDATION WALL

TOP BLOCK COURSE FILLED  
W/ MORTAR OR CONCRETE

SLOPE GRADE AWAY  
FROM BUILDING FACE

BITUMINOUS DAMPPROOFING  
ON MINIMUM 1/4" FARGING ON  
CONCRETE BLOCK FDN. WALL  
R8 RIGID INSULATION MIN. 24"  
BELOW EXTERIOR GRADE  
PROTECT INSULATION W/  
INTERIOR FINISH

16"x6" DEEP POURED  
CONC. FTG. (TYPICAL)  
FOOTING TO BEAR ON  
UNDISTURBED SOIL

4" DIA. WEEPING TILE W/  
6" CRUSHED STONE COVER

FLOOR FINISH  
5/8" T&G PLYWOOD SUBFLOOR  
OR APPROVED EQUAL ON WOOD  
FLOOR JOISTS BRIDGED W/  
CONTINUOUS 1"x3" STRAPPING  
OR 2"x2" CROSS BRIDGING OR  
SOLID BLOCKING @ 6'-11" O.C.

ACOUSTIC  
SEALANT

CONTINUOUS HEADER JOIST W/  
R17 BATT INSULATION, EXTEND  
VAPOUR/AIR BARRIER & SEAL  
TO JOIST & SUBFLOOR

HEATED CRAWL SPACE  
PROVIDE 20"x28" ACCESS TO CRAWL SPACE

ACOUSTIC  
SEALANT

SEMI-SOLID BLOCK COURSE  
AT OR BELOW GRADE LEVEL

CRAWL SPACE CLEARANCE MINIMUM  
1'-6" CLEAR TO U/S OF STRUCTURE  
PROVIDE 6 MIL POLY GROUND COVER  
MIN. 12" OVERLAP, SEALED AT JOINTS  
& FOUNDATION WALL & WEIGHTED DOWN

GRADE

4'-0" MIN.

U/S OF FOOTING

FRAME WALL DETAILS



NOTE: - ALL DIMENSIONS AND ELEVATIONS SHALL BE CHECKED AND VERIFIED.

GPF Design Services Inc. 2572 Eglinton Avenue West Toronto, ON M6M 1T4 Tel. 416-656-0134 B.C.I.N 28087	6.					CLIENT:  PROJECT:  12 CRAIG ST. BRAMPTON, ON	SHEET TITLE:  GENERAL NOTE DETAIL  SCALE:  NTS	A15
	5.							
	5.							
	4.							
	3.							
	2.	Corrections	2023.02.08	IF				
	1.	Issued For Permit Revision	2023.02.03	IF				
	No.	Description	Date	By				

GPF Design Services Inc.  
2572 Eglinton Avenue West  
Toronto, ON M6M 1T4  
Tel: 416-656-0134  
B.C.I.N 28087

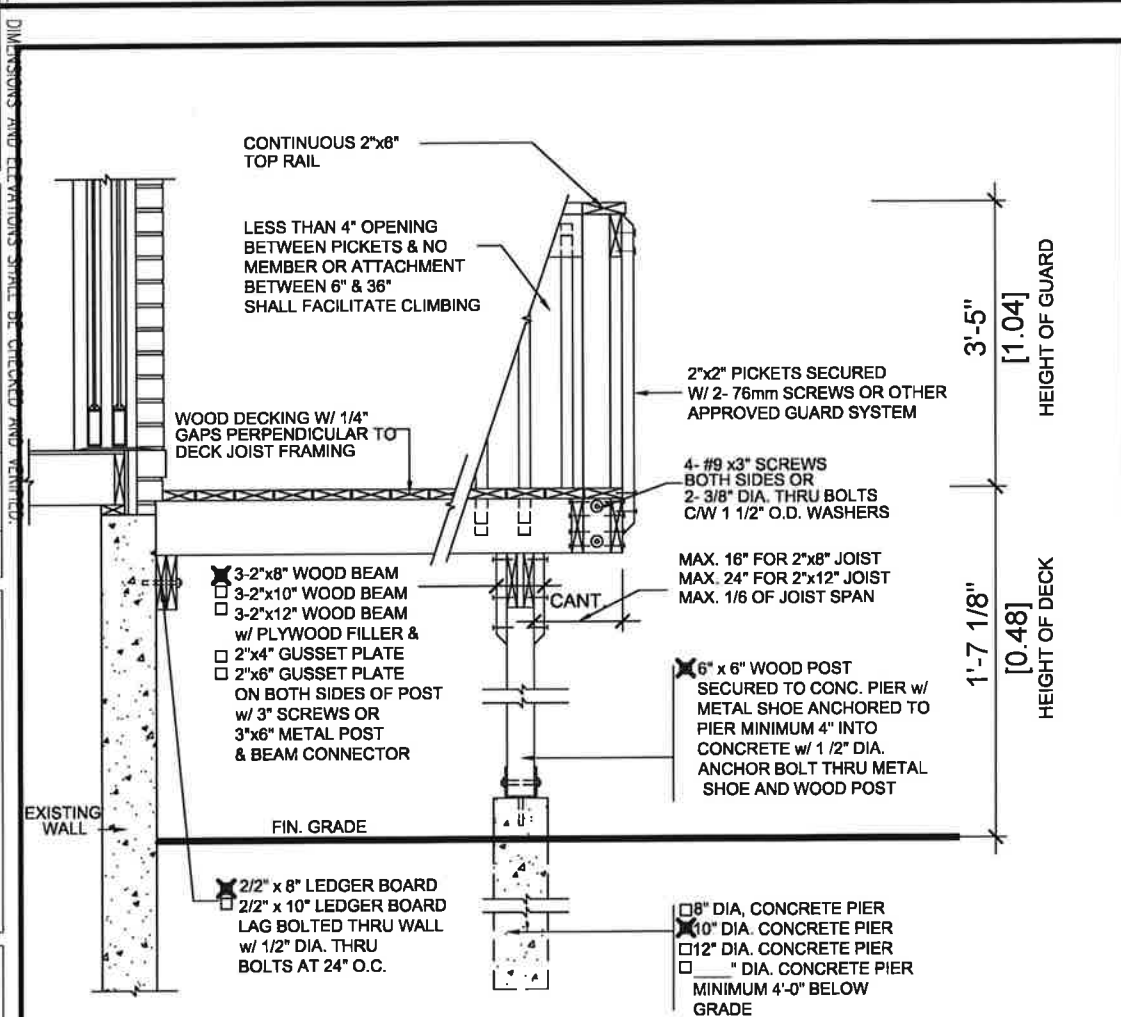
No.	Description	Date	By
1.	Issued For Permit Revision	2023 02 03	JF
2.	Corrections	2023 02 08	JF
3.			
4.			
5.			
6.			

CLIENT:  
PROJECT:  
12 CRAIG ST.  
BRAMPTON, ON

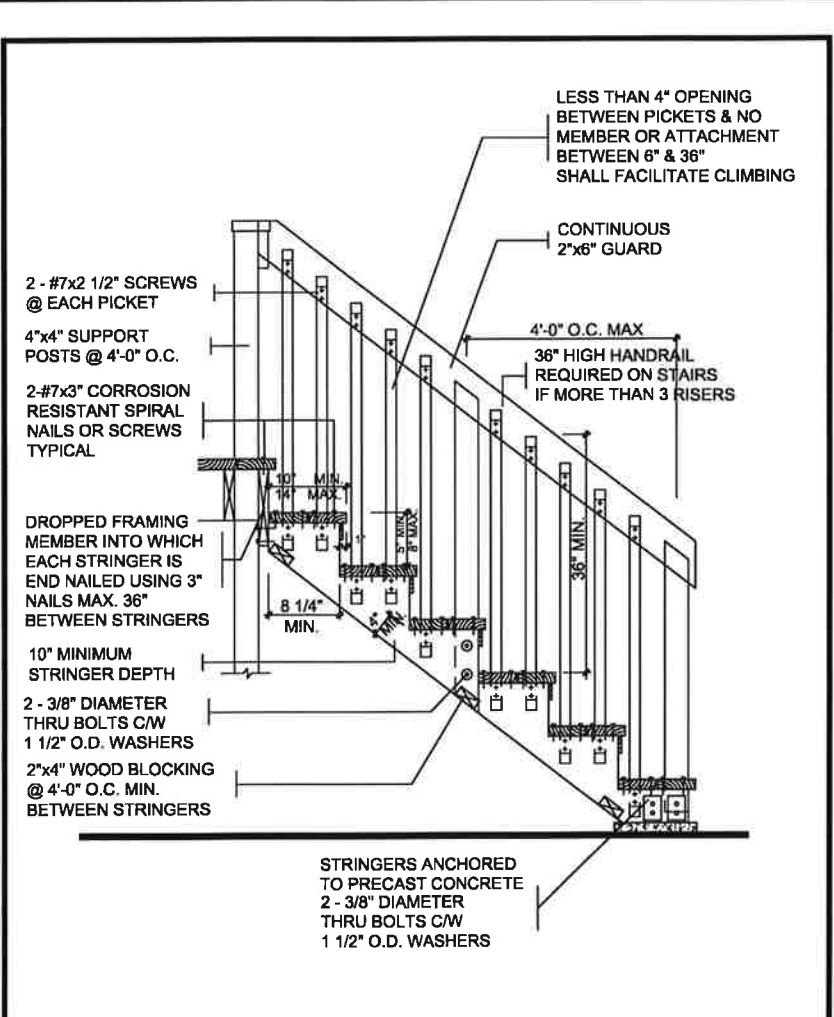
SHEET TITLE:  
DETAILS DECK AND STAIR  
SCALE:  
NTS

A16

NOTE: - ALL DIMENSIONS AND ELEVATIONS SHALL BE CHECKED AND VERIFIED.



DECK SECTION for FOUNDATION WALLS

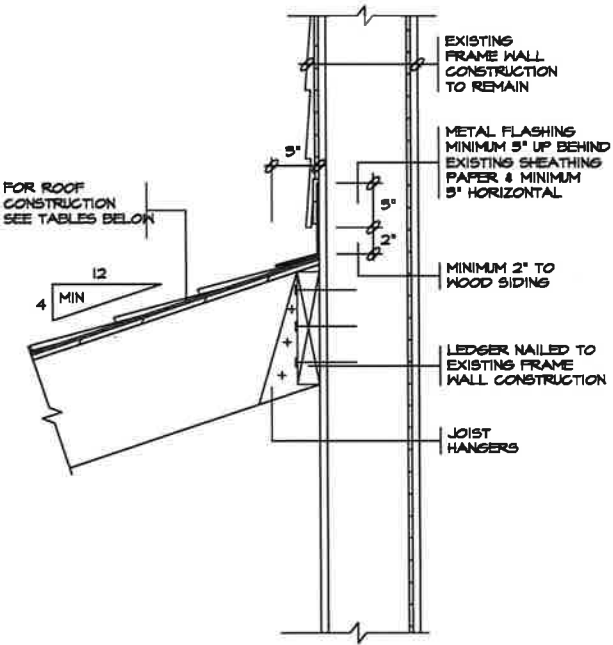
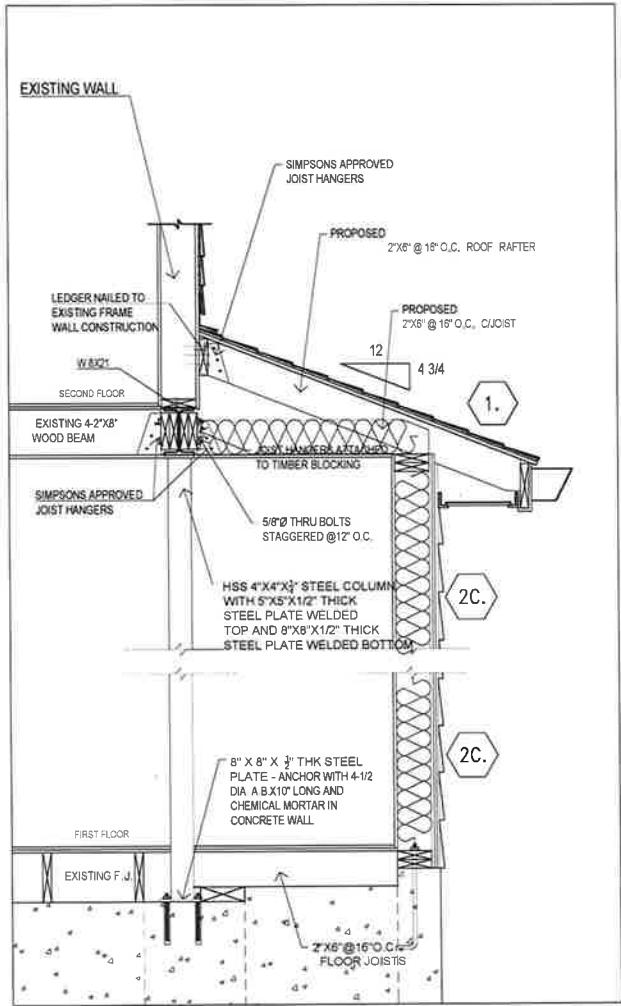
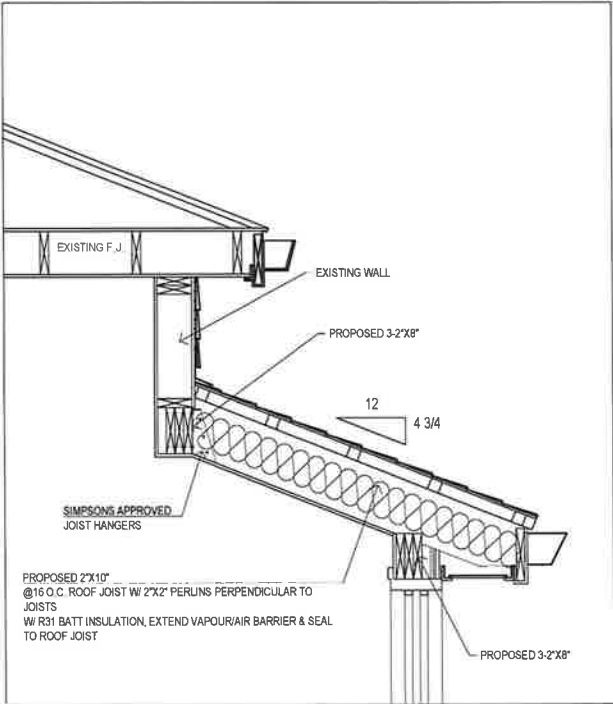


SECTION THRU STAIRS





CONNECTIONS DETAIL



1 FRAME WALL

ROOF RAFTERS (WHERE NO CEILING IS INSTALLED)

RAFTER SIZE	MAXIMUM CLEAR SPAN					
	ROOF SNOW LOAD 21 PSF			ROOF SNOW LOAD 31 PSF		
	RAFTER SPACING			RAFTER SPACING		
	12" O.C.	16" O.C.	24" O.C.	12" O.C.	16" O.C.	24" O.C.
2X4	10'-2"	4'-5"	3'-1"	8'-1"	5'-1"	7'-1"
2X6	16'-0"	14'-7"	12'-4"	14'-0"	12'-4"	11'-1"
2X8	21'-4"	19'-2"	16'-4"	18'-5"	16'-4"	14'-5"
2X10	27'-0"	24'-6"	20'-11"	23'-6"	21'-4"	17'-8"

ROOF JOISTS (WHERE CEILING IS INSTALLED)

JOIST SIZE	MAXIMUM CLEAR SPAN					
	ROOF SNOW LOAD 21 PSF			ROOF SNOW LOAD 31 PSF		
	JOIST SPACING			JOIST SPACING		
	12" O.C.	16" O.C.	24" O.C.	12" O.C.	16" O.C.	24" O.C.
2X6	12'-4"	11'-6"	10'-1"	11'-4"	10'-4"	8'-4"
2X8	16'-4"	15'-2"	13'-5"	14'-7"	13'-5"	11'-7"
2X10	21'-4"	19'-5"	17'-0"	18'-6"	17'-0"	14'-9"



NOTE: - ALL DIMENSIONS AND ELEVATIONS SHALL BE CHECKED AND VERIFIED.

GPF Design Services Inc.  
2572 Eglinton Avenue West  
Toronto, ON M6M 1T4  
Tel. 416-656-0134  
B.C.I.N 28087

6.			
5.			
5.			
4.			
3.			
2.	Corrections	2023.02.08	IF
1.	Issued For Permit Revision	2023.02.03	IF
No.	Description	Date	By

CLIENT:

PROJECT:

12 CRAIG ST.  
BRAMPTON, ON

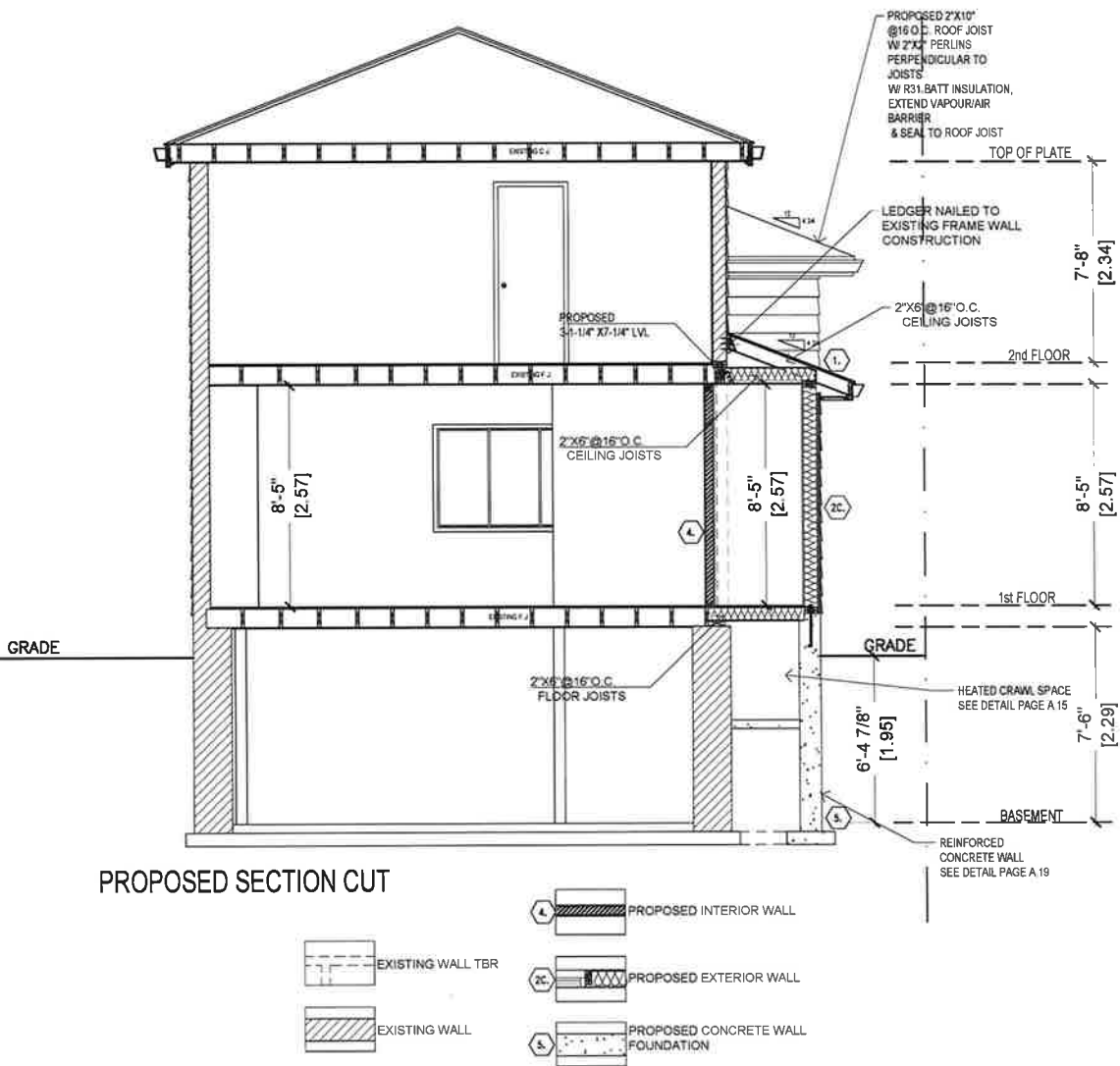
SHEET TITLE:

CONNECTIONS DETAIL

SCALE:

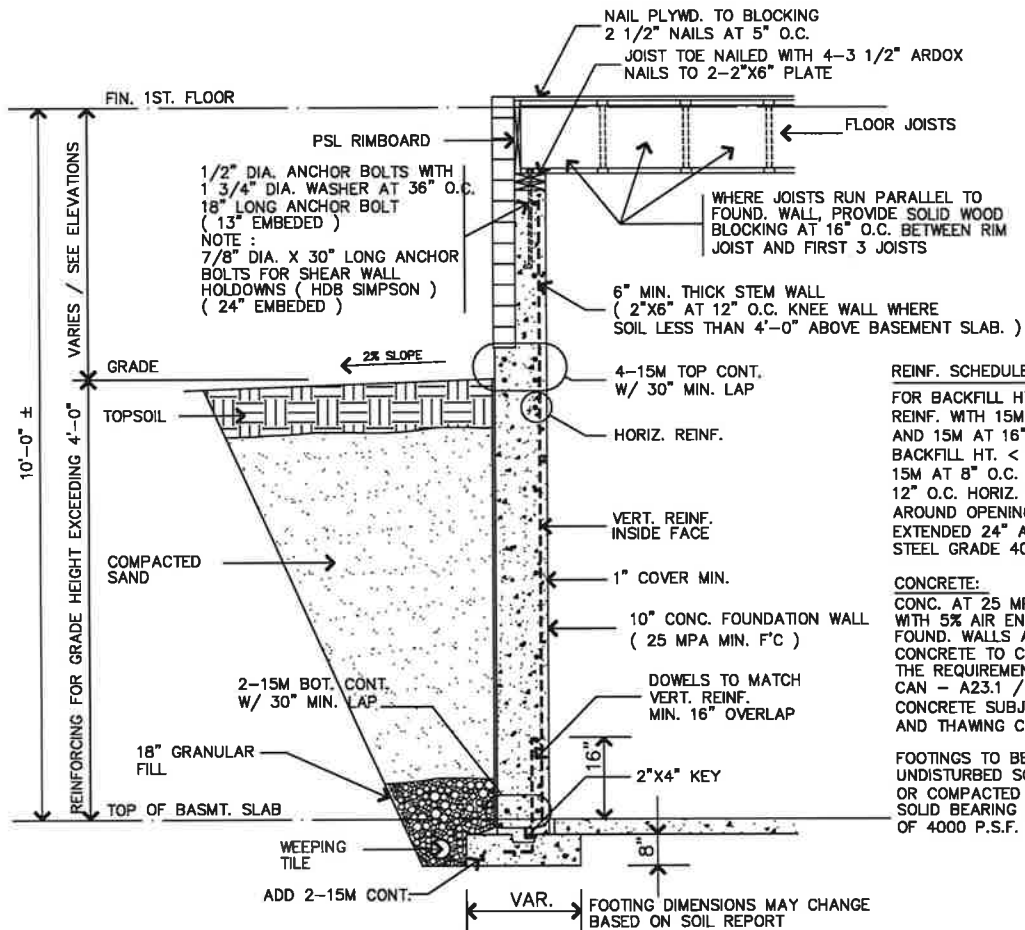
NTS

A17



NOTE:- ALL DIMENSIONS AND ELEVATIONS SHALL BE CHECKED AND VERIFIED.

GPF Design Services Inc. 2572 Eglinton Avenue West Toronto, ON M6M 1T4 Tel. 416-656-0134 B.C.I.N 28087	6.				CLIENT:		SHEET TITLE:	SECTION CUT
	5.				PROJECT:	12 CRAIG ST. BRAMPTON, ON	SCALE:	3/16" = 1'-0"
	5.							A18
	4.							
	3.							
	2.	Corrections	2023.02.08	IF				
	1.	Issued For Permit Revision	2023.02.03	IF				
	No.	Description	Date	By				



## REINFORCING FOR TYPICAL CONCRETE FOUNDATION WALL

( SEE BASEMENT/FOUNDATION PLAN FOR ACTUAL  
WALL AND FOOTING SIZES ) ( ALL REBARS 60 KSI )  
N.T.S.



NOTE: - ALL DIMENSIONS AND ELEVATIONS SHALL BE CHECKED AND VERIFIED.

GPF Design Services Inc. 2572 Eglinton Avenue West Toronto, ON M6M 1T4 Tel. 416-656-0134 B.C.I.N 28087	6.			
	5.			
	5.			
	4.			
	3.			
	2.	Corrections	2023.02.08	IF
	1.	Issued For Permit Revision	2023.02.03	IF
No.	Description	Date	By	

CLIENT:

PROJECT:

12 CRAIG ST.  
BRAMPTON, ON

SHEET TITLE:

GENERAL NOTE DETAIL

SCALE:

NTS

A19



A-2023-0070

