

APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **HERNANI OLIVERIA AND ASHLEY MARISA MACEDO MOREIRA** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Part of Block F and Part of Lots 15 and 16, Plan BR-26 municipally known as **85 WOODWARD AVENUE**, Brampton;

AND WHEREAS the applicants are requesting the following variance(s):

1. To permit a side yard setback of 1.22m (4 ft) to a second storey addition whereas the by-law requires a minimum interior side yard setback of 1.2m (3.94 ft) to the first storey, or part thereof, plus 0.6m (1.97 ft) fro each additional storey;
2. To permit lot coverage of 35% whereas the by-law permits a maximum lot coverage of 30%;
3. To permit a fence in the front yard having a maximum height of 1.83m (6 ft) whereas the by-law permits a maximum height of 1m (3.3 ft) fro a fence in the front yard.

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO
Application for Consent: NO

File Number: _____
File Number: _____

The Committee of Adjustment has appointed **TUESDAY, April 18, 2023 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant, the Minister, a specified person or a public body.

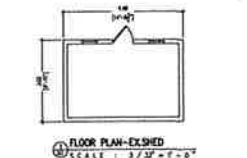
RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

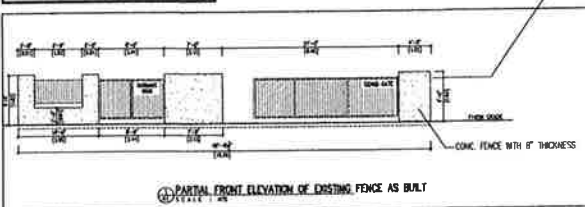
DATED at Brampton Ontario, this 5th Day of April, 2023.

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca



NOTE:
- UTILITY METERS SHALL NOT BE LOCATED ON BUILDING FACADES THAT FACE PUBLIC STREETS & SHALL BE LOCATED BACKWARDS, AWAY FROM PEDESTRIAN TRAVEL ROUTES & SCHEDULED FROM PUBLIC VIEW.
- STONE CLADDING SHOULD APPLIED TO THE FACADE NOT MORE THAN 25% OF EXPOSED CONC. FOUNDATION WALL.



SITE STATISTICS

LOT AREA = 603.42 m² (6495.15 ft²)
-PROP. 1ST FLOOR AREA = 145.72 m² (1568.58 ft²)
-PROP. CONC. PORCH AREA = 9.03 m²
-PROP. CANTILEVER AREA = 56.47 m² (607.88 ft²)

ACTUAL LOT COVERAGE AREA = 211.22/603.42 = 35.00%

EKP DESIGNS INC.

537 ROGERS ROAD
TORONTO, ONTARIO
M6M-1B4
TEL. No. 416-658-6737
CELL No. 416-723-6983
EMAIL : ekpdesigns@outlook.com

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No.	REVISIONS	DATE
1	REVISIONS	2022-05-05
2	REVISIONS	2022-11-25

City's Site Plan Number:
(SPA-2022-0035)

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents.

QUALIFICATION INFORMATION
Required unless design is exempt under 3.2.4.3.(5) Division C of the Ontario Building Code.

DESIGNER'S NAME: HKH SIGNATURE: [Signature] 37296 BCN
REGISTRATION INFORMATION
Required unless design is exempt under 3.2.4.7, DIVISION C of the Ontario Building Code.
38281 BCN
FIRM NAME: EKP DESIGNS INC.

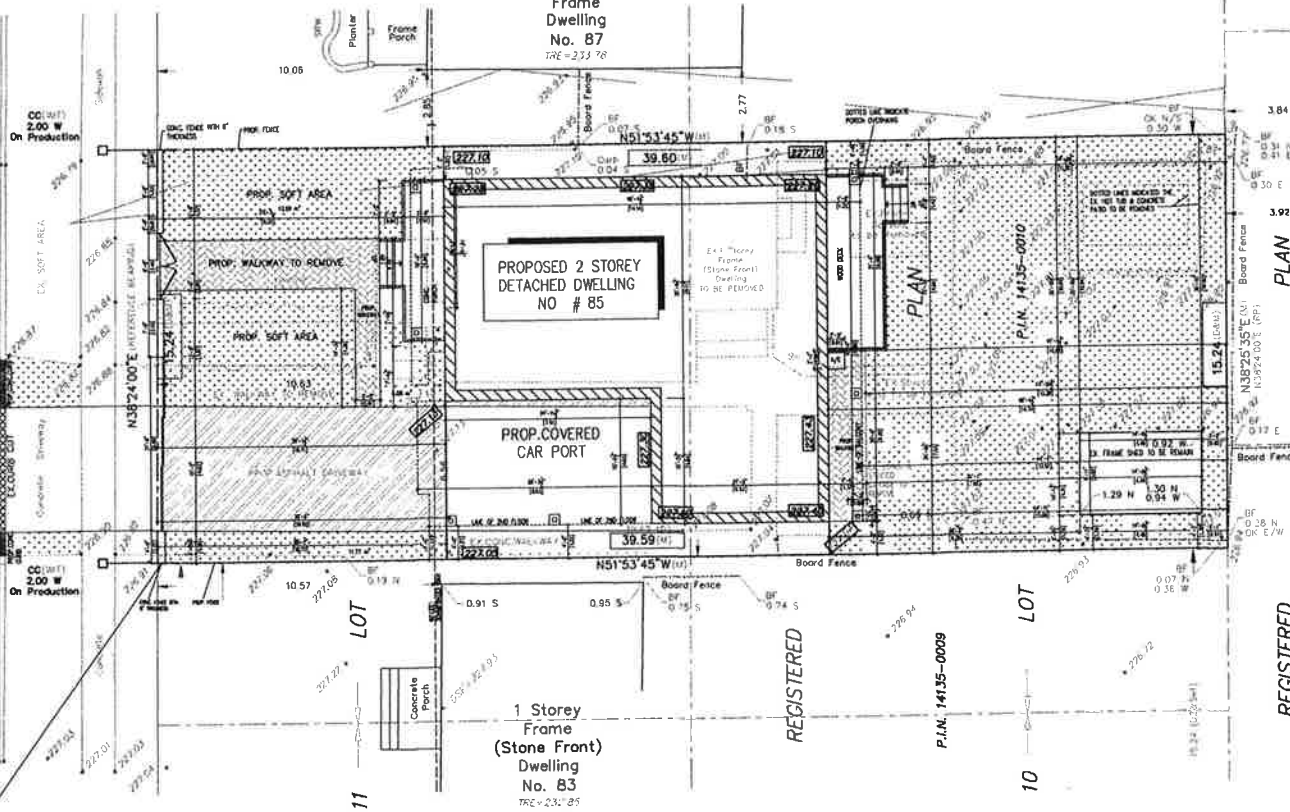
PROJECT
PROPOSED 2 STOREY DETACHED DWELLING
85 WOODWARD AVE
CITY OF BRAMPTON

DRAWING NAME
SITE PLAN

DESIGNED BY HKH	DRAWN BY HKH	APPROVED BY EKP
PROJECT No. 2021-136	DATE NOV-125	SCALE AS SHOWN
FILE 2021		DRAWING NO. A1

(By Registered Plan F19)
P.L.N. 14134-0283

WOODWARD AVENUE



1 SITE PLAN
SCALE : 3 / 32" = 1' - 0"

1ST FLOOR AREA = 115.46 m² (1242.85 ft²) WITHOUT GARAGE
2ND FLOOR AREA = 179.79 m² (1935.33 ft²)
TOTAL G.F.A. = 295.25 m² / 696.77 = 42.37 %

FRONT YARD AREA = 163.37 m²
EX. ASPHALT DRIVEWAY = 49.52 m²
ACTUAL LANDSCAPING = 113.84 m²
50% MIN. SOFT LANDSCAPING = 56.92 m²
-PROP. PORCH & STAIRS = 10.77 m²
-PROP. WALKWAY HARD SURFACE = 11.32 m²
ACTUAL SOFT LANDSCAPING = 90.49 m² / 113.84 = 79.48 % OK

REAR YARD AREA = 224.63 m²
50% MIN. LANDSCAPING AREA = 112.31 m²
PROP. WOOD, DECK & STAIRS AREA = 20.57 m²
WALKWAY AREA = 8.63 m²
EX. FRAME SHADE AREA = 13.55 m² (145.9 ft²)
TOTAL HARD SURFACE AREA = 42.75 m²
ACTUAL SOFT LANDSCAPING AREA
= 181.88 SQ.M / 224.63 = 80.96 % OK

Under the authority of the *Emergency Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

**Electronic/Hybrid Hearing Procedures
How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **April 18, 2023** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

How to Participate in the Hearing:

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, April 13, 2023.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
 1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, April 13, 2023.**
 2. To participate in-person, please email the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, April 13, 2023.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, April 13, 2023.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.



FILE NUMBER: A-2023-0071

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION
Minor Variance or Special Permission
(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. Name of Owner(s) HERNANI EMANUEL MELO OLIVEIRA & ASHLEY MARISA MELO MOREIRA
Address 85 WOODWARD AVE. BRAMPTON ONTARIO CANADA L6V 1K5

Phone # 647 921-9562 Fax # _____
Email oliveirasseasonalmaintenance@gmail.com

2. Name of Agent EDDIE PERES
Address 537 ROGERS ROAD
TORONTO ONTARIO CANADA

M6M 1B4
Phone # 416 723-6983 Fax # _____
Email ekpdesigns@outlook.com

3. Nature and extent of relief applied for (variances requested):
1. PROPOSED LOT COVERAGE IS 35 % (211.22 SQ.M.) WHERE AS 30% (181.03 SQ.M.) IS ALLOWED
2. PROPOSED SECOND FLOOR BOTH SIDEYARDS 1.22 M WHERE AS 1.8 M IS REQUIRED
3. WHERE 1.83 M IS PROPOSED PERMITTED FENCES IN THE FRONT YARD NOT TO EXCEED 1.0 M

4. Why is it not possible to comply with the provisions of the by-law?
GROWING FAMILY ADDITIONAL SPACE IS NEEDED VARIANCE IS MINOR IN NATURE
ADDITIONAL HEIGHT IS NEEDED DO TO PROPERTY BEEN ROBBED ON TWO OCCASIONS

5. Legal Description of the subject land:
Lot Number PART OF LOTS 15 AND 16
Plan Number/Concession Number REGISTERED PLAN BR26
Municipal Address 85 WOODWARD AVENE

6. Dimension of subject land (in metric units)
Frontage 15.24 M
Depth 39.59 M & 39.60 M
Area 603.43 SQ.M.

7. Access to the subject land is by:
Provincial Highway ☐ Seasonal Road ☐
Municipal Road Maintained All Year ☒ Other Public Road ☐
Private Right-of-Way ☐ Water ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

EXISTING ONE STOREY DWELLING PROPOSED TO BE DEMOLISHED

EXISTING SHED 3.02 M X 4.49 M 7.51 SQ.M. HEIGHT 2.79 M TO REMAIN

PROPOSED BUILDINGS/STRUCTURES on the subject land:

PROPOSED TWO STOREY DETACHED DWELLING WITH ATTACHED GARAGE & CARPORT 12.80 M X 15.36 M
IRREGULAR PROPOSED G.F.A. 295.25 SQ.M. PROPOSED HEIGHT 8.70 M

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback 10.63 M HOUSE TO BE DEMOLISHED

Rear yard setback 16.59 M HOUSE TO BE DEMOLISHED

Side yard setback 1.19 M HOUSE TO BE DEMOLISHED

Side yard setback 6.45 M HOUSE TO BE DEMOLISHED

PROPOSED

Front yard setback 10.71 M

Rear yard setback 13.52 M

Side yard setback 1.22 M

Side yard setback 1.22 M

10. Date of Acquisition of subject land: DECEMBER 21 2019
11. Existing uses of subject property: FULLY DETACHED SINGLE FAMILY DWELLING TO BE DEMOLISHED
12. Proposed uses of subject property: FULLY DETACHED SINGLE FAMILY DWELLING
13. Existing uses of abutting properties: FULLY DETACHED SINGLE FAMILY DWELLING
14. Date of construction of all buildings & structures on subject land: 1940 S +/-
15. Length of time the existing uses of the subject property have been continued: SINCE CONSTRUCTION
80 YEARS +/-
16. (a) What water supply is existing/proposed?
Municipal ☒ Other (specify) _____
Well ☐
- (b) What sewage disposal is/will be provided?
Municipal ☒ Other (specify) _____
Septic ☐
- (c) What storm drainage system is existing/proposed?
Sewers ☒ Other (specify) _____
Ditches ☐
Swales ☐

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☒ No ☐

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☒ No ☐

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Eddie Peres Eddie Peres
Signature of Applicant(s) or Authorized Agent

DATED AT THE _____ CITY _____ OF _____ TORONTO
THIS 15 DAY OF MARCH, 2023
30 NOVEMBER 22

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, EDDIE PERES, OF THE CITY OF TORONTO
IN THE REGION OF PEEL SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

CITY OF BRAMPTON

IN THE REGION OF _____

PEEL THIS 15 DAY OF

MARCH 30
NOVEMBER, 2023

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024.

Eddie Peres Eddie Peres
Signature of Applicant or Authorized Agent

Jeanie Myers
A Commissioner etc.

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

R1B, Mature Neighbourhood

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

L Barbuto
Zoning Officer

March 15, 2023
Date

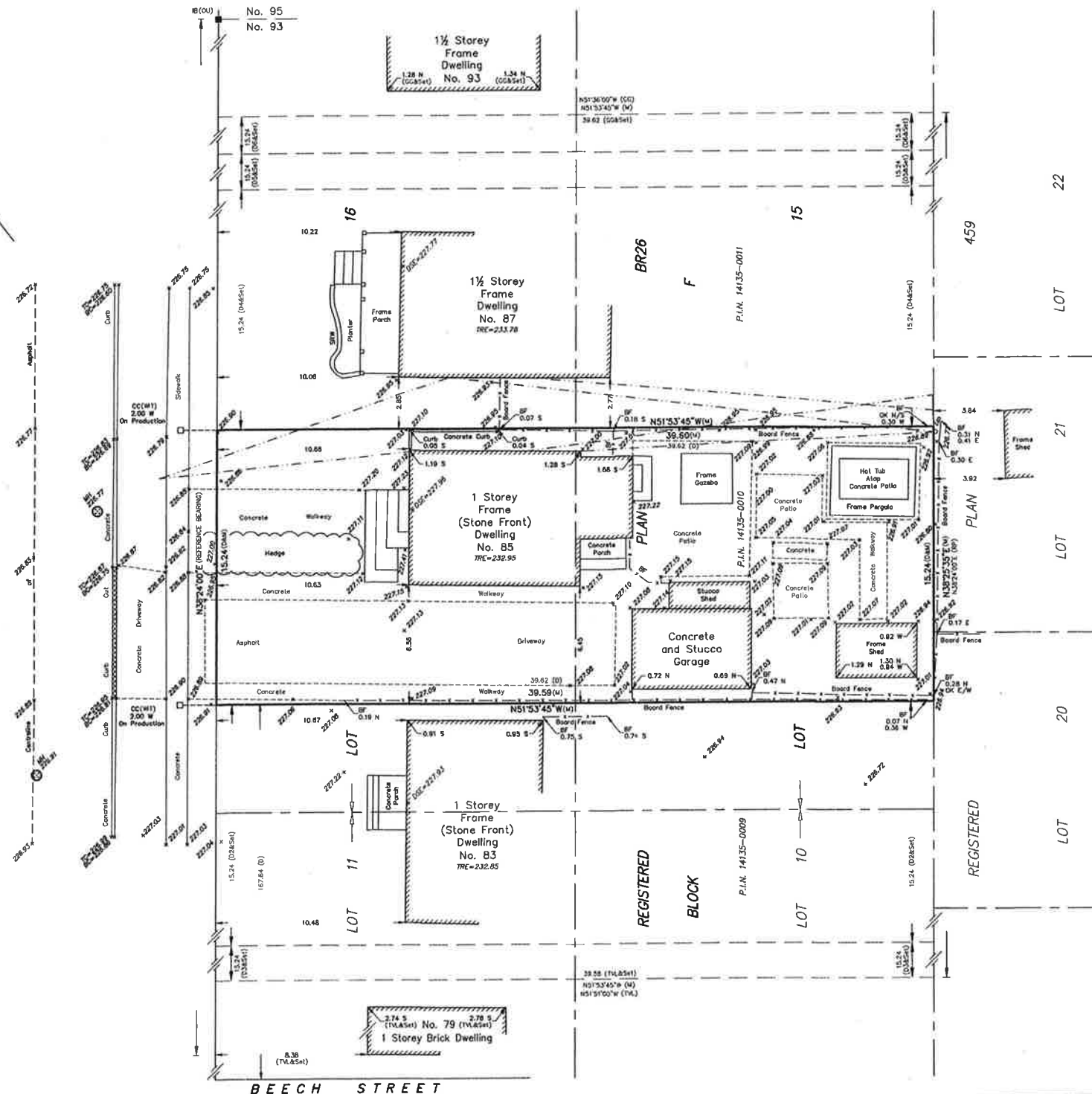
DATE RECEIVED

March 15, 2023



WOODWARD AVENUE

(By Registered Plan F19)
P.L.N. 14134-0283



SURVEYOR'S REAL PROPERTY REPORT - PART I
PLAN OF
Part of LOTS 15 and 16
In BLOCK F
REGISTERED PLAN BR26
CITY of BRAMPTON
Regional Municipality of Peel
SCALE 1 : 150
AVANTI SURVEYING INC.
© COPYRIGHT 2021

METRIC
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND
CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

BEARING NOTE
BEARINGS ARE ASTROMONOMIC AND ARE REFERRED TO THE
EAST LIMIT OF WOODWARD AVENUE, HAVING A BEARING OF
N38°24'00"E ACCORDING TO REGISTERED PLAN F19

ELEVATION NOTE
ELEVATIONS ARE GEODETIC AND ARE REFERRED TO THE
CITY OF BRAMPTON BENCHMARK NO. 202 HAVING A
PUBLISHED ELEVATION OF 228.73 METRES.

LEGEND
□ DENOTES SURVEY MONUMENT SET
RP SURVEY MONUMENT FOUND
N.S.E.W. REGISTERED PLAN 459
M. NORTH, SOUTH, EAST, WEST
M. MEASURED
CC CUT CROSS
IB CUT CROSS
IB IRON BAR
WT WITNESS
OU ORIGIN UNKNOWN
P.I.N. PROPERTY IDENTIFIER NUMBER
UP OVERHEAD WIRE
BF UTILITY POLE
SRW BOARD FENCE
MH STONE RETAINING WALL
TC MANHOLE
TC TOP OF CURB
OC BOTTOM OF CURB
DSE DOORSTEP ELEVATION
TRE TOP OF ROOF ELEVATION
D INSTRUMENT NO. BR25485
D2 INSTRUMENT NO. R0567852
D3 INSTRUMENT NO. R01127552
D4 INSTRUMENT NO. V5335910
D5 INSTRUMENT NO. R01031746
D6 INSTRUMENT NO. R0101113
GC PLAN BY GORDON S. GOODE, O.L.S.
DATED DECEMBER 15, 1984
TVL PLAN BY TED VAN LANKVELD, O.L.S.
DATED MAY 3, 1989



SURVEYOR'S CERTIFICATE

I CERTIFY THAT:
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE
WITH THE SURVEYS ACT, THE SURVEYORS ACT
AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON THE 30TH DAY OF
JULY, 2021.

AUGUST 31, 2021
DATE

CHRIS BERESNEWICZ
ONTARIO LAND SURVEYOR

THIS PLAN WAS PREPARED FOR ASHLEY MOREIRA

PART 2 - SURVEY REPORT

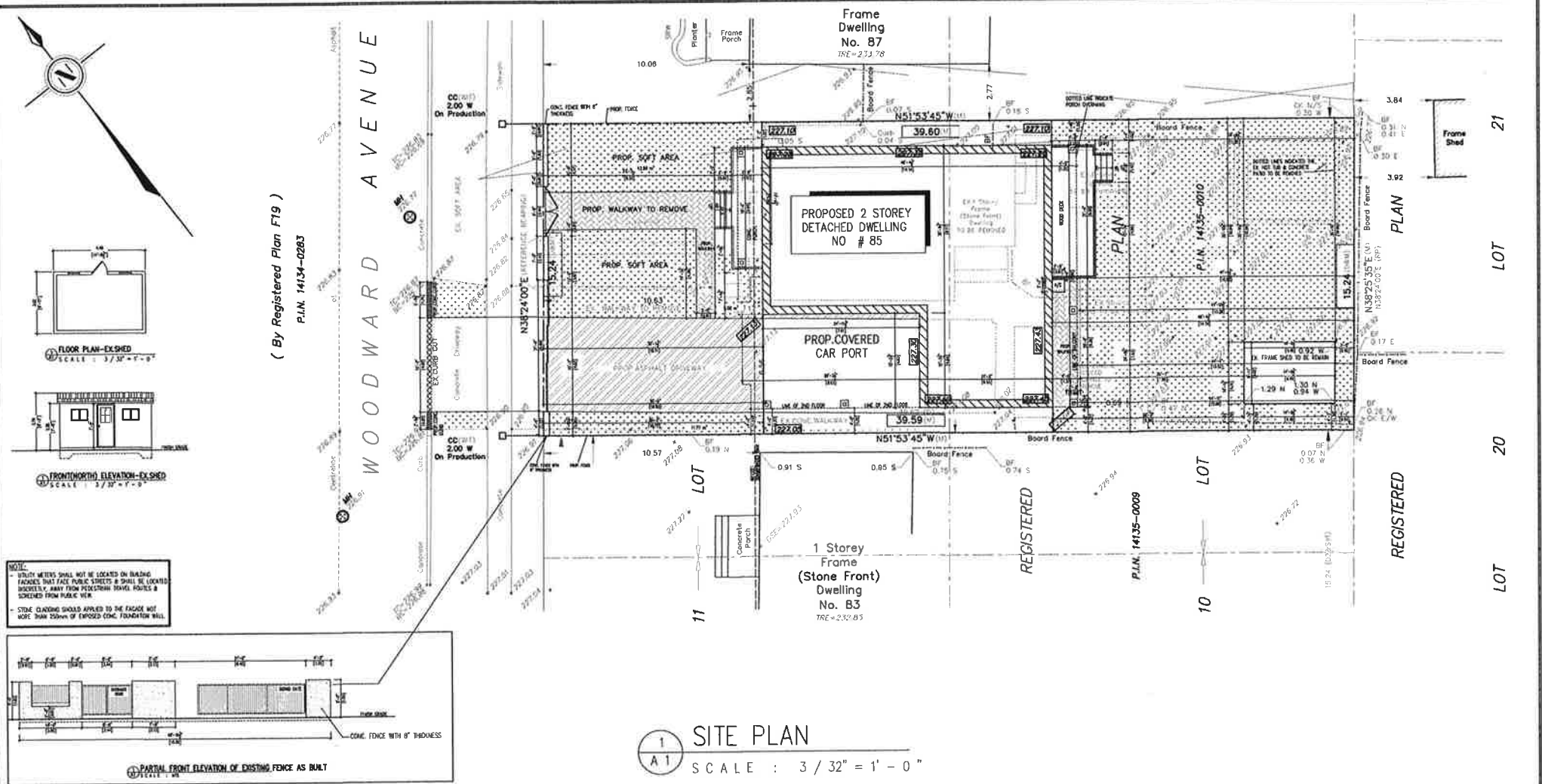
1) PLEASE NOTE LOCATION OF FENCES AND OVERHEAD WIRES
2) REGISTERED EASEMENTS AND/OR RIGHTS-OF-WAY: NONE
3) THIS PLAN DOES NOT CERTIFY COMPLIANCE WITH ZONING
BY-LAWS



AVANTI
SURVEYING INC.

310 North Queen St., Unit 102, Toronto ON M5C 6K4
Tel: (416) 231-1174 • Fax: (416) 581-3390
E-MAIL: info@avantisurveying.com

DRAWN: J.C. CHECKED: C.B./J.L. PROJECT 21-276



SITE STATISTICS

LOT AREA = 603.42 m² (6495.15 ft²)
-PROP.1ST FLOOR AREA = 145.72 m² (1568.58 ft²)
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FRONT YARD AREA = 163.37 m²
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(SPA-2022-0035)

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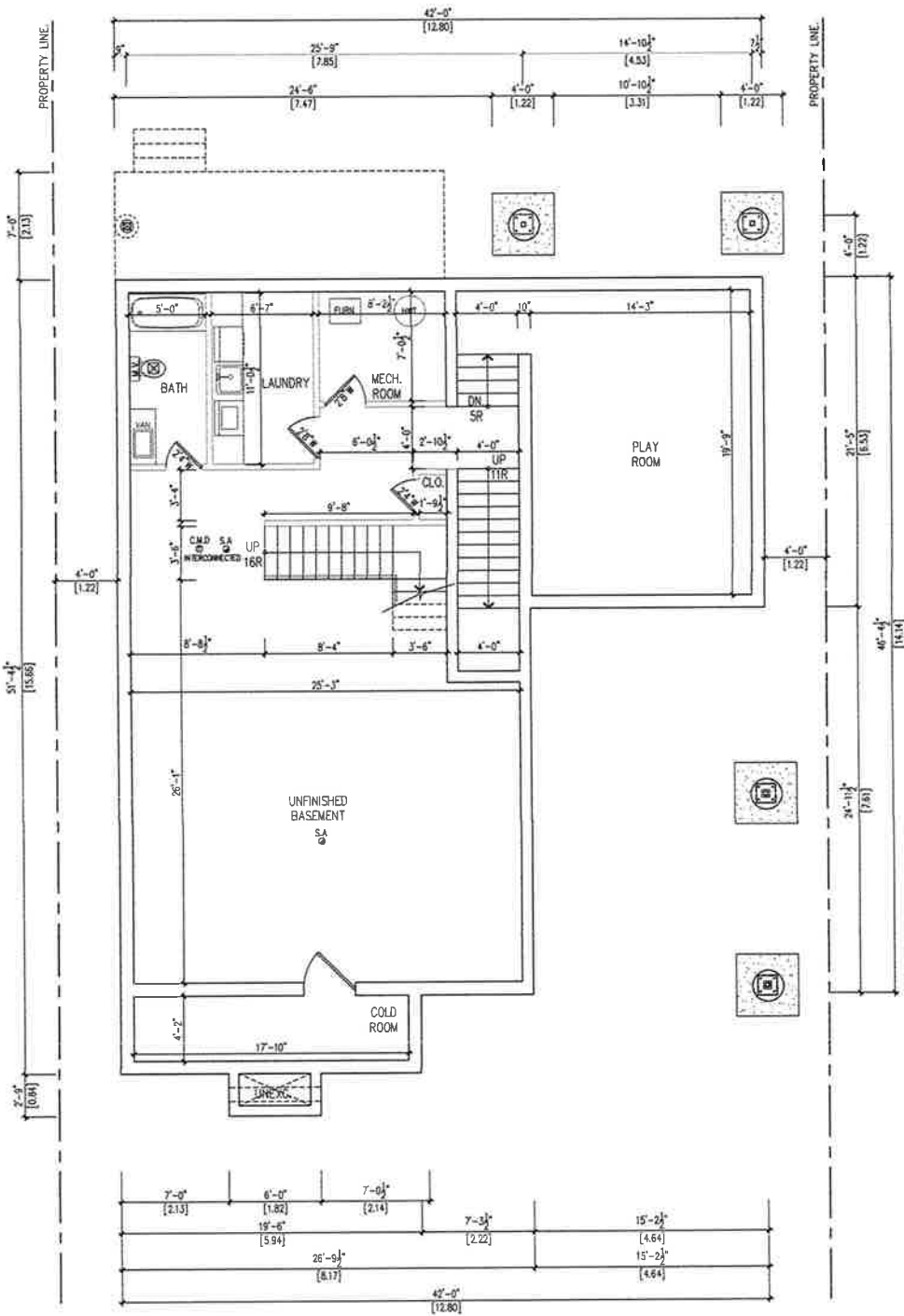
EDDIE PERES
NAME
SIGNATURE
37296
BCN
REGISTRATION INFORMATION
Required unless design is exempt under 3.2.4.7, DIVISION C of the Ontario Building Code.
EKP DESIGNS INC.
FIRM NAME
38281
BCN

PROJECT
PROPOSED 2 STOREY DETACHED DWELLING
85 WOODWARD AVE
CITY OF BRAMPTON

DRAWING NAME
SITE PLAN

DESIGNED BY HKH	DRAWN BY HKH	APPROVED BY EKP
PROJECT No. 2021-138	DATE NOV-125	SCALE AS SHOWN
FILE 2021		DRAWING NO. A1

- LEGEND
- MECHANICAL VENTILATION:
ROOM TO BE MECHANICALLY VENTED
DIRECTLY TO EXTERIOR IN ORDER TO
PROVIDE AT LEAST ONE AIR CHANGE PER HOUR
 - SA SMOKE ALARM (INTERCONNECTED)
(STROBE-VISUAL SIGNALING)
CARBON MONOXIDE DETECTOR
 - CMD SOLID WOOD BEARING
MIN. WIDTH OF BEAM



1 BASEMENT FLOOR PLAN
A2 SCALE: 3/16" = 1'-0"

NOTE:
- UTILITY METERS SHALL NOT BE LOCATED ON BUILDING
FACADES THAT FACE PUBLIC STREETS & SHALL BE LOCATED
DISCREETLY AWAY FROM PEDESTRIAN TRAVEL ROUTES &
SCREENED FROM PUBLIC VIEW.
- EDDC CLASSING SHOULD APPLIED TO THE FACADE NOT
MORE THAN 250mm OF EXPOSED CONC. FOUNDATION WALL.

EKP DESIGNS INC.
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TORONTO, ONTARIO
M6M-1B4
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EMAIL : ekpdesigns@outlook.com

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THE SUPPLIED INFORMATION. THE DRAWING
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FOR THE ACCURACY OF SURVEY, STRUCTURAL, MECHANICAL,
ELECTRICAL, ETC. VERIFY INFORMATION SHOWN ON THE
DRAWINGS BEFORE PROCEEDING WITH WORK.
CONSTRUCTION MUST CONFORM TO ALL APPLICABLE
CODES AND REQUIREMENTS OF AUTHORITIES.
HAVING JURISDICTION. THE CONTRACTOR WORKING
FROM DRAWINGS MUST SPECIFICALLY WARNED
FOR CONSTRUCTION MUST ASSUME FULL RESPONSIBILITY
AND BEAR COSTS FOR ANY CORRECTIONS OR DAMAGES
RESULTING FROM MISLAYER WORK.

No.	REVISIONS	DATE

City's Site Plan Number:
(SPA-2022-0035)

The undersigned has reviewed and takes responsibility for this
design, and has the qualifications and meets the requirements set
out in the Ontario Building Code to design the work shown on the
attached documents.

QUALIFICATION INFORMATION
Required unless design is exempt under 3.2.4.1(5) Division C
of the Ontario Building Code.

NAME: BOB SIGNATURE: 17258

REGISTRATION INFORMATION
Required unless design is exempt under 3.2.4.7, DIVISION C
of the Ontario Building Code.

EKP DESIGNS INC. 3828
FIRM NAME: BOB

PROJECT
PROPR. 2 STY FULLY DETACHED
85 WOODWARD AVE
CITY OF BRAMPTON

DRAWING NAME
BASEMENT FLOOR PLAN

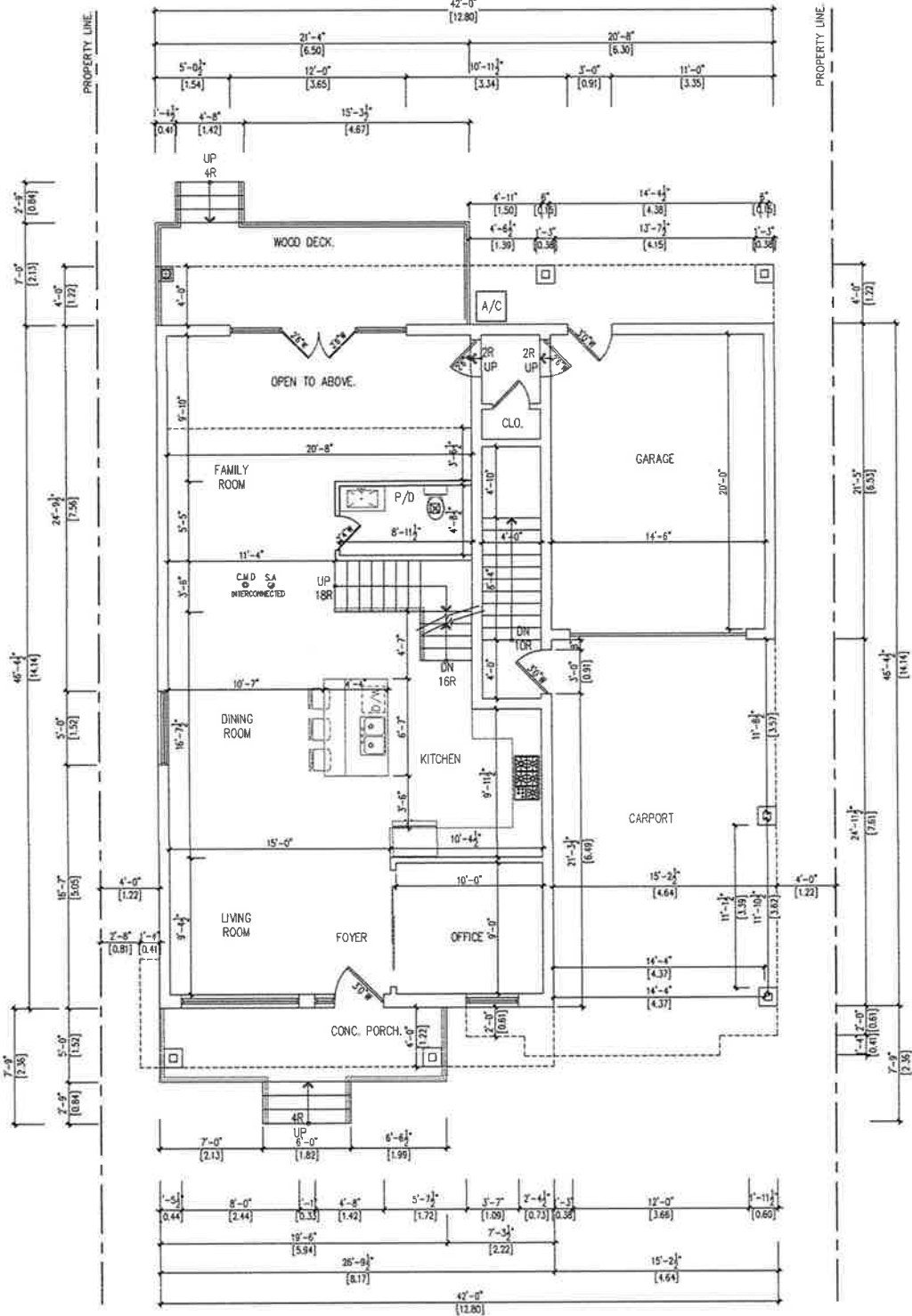
DESIGNED BY: 1901 DRAWN BY: 1901 APPROVED BY: 1901

PROJECT No. 2021-138 DATE: NOV. 2021 SCALE: AS SHOWN

FILE: 2021 UNIVERSAL No. 2
A2

LEGEND

- MECHANICAL VENTILATION:
WINDOW TO BE MECHANICALLY VENTED
DIRECTLY TO EXTERIOR IN ORDER TO
PROVIDE AT LEAST ONE AIR CHANGE PER HOUR
- SA SMOKE ALARM (INTERCONNECTED)
(STROBE-VISUAL SIGNALING)
CARBON MONOXIDE DETECTOR
- C.M.D. SOLID WOOD BEARING
MIN. WIDTH OF BEAM



1 FIRST FLOOR PLAN
SCALE : 3/16" = 1' - 0"

NOTE:
- VENTILATION SHALL NOT BE LOCATED ON BUILDING
FACADES THAT FACE PUBLIC STREETS & SHALL BE LOCATED
DISCREETLY AWAY FROM PEDESTRIAN TRAVEL ROUTES &
SHOULDER FROM PUBLIC VIEW.
- STONE GLASSING SHOULD APPLIED TO THE FACADE NOT
MORE THAN 25mm OF EXPOSED CONC. FOUNDATION WALL.

EKP DESIGNS INC.

537 ROGERS ROAD
TORONTO, ONTARIO
M6M-1B4
TEL. No. 416-658-6737
CELL No. 416-723-6983
EMAIL : ekpdesigns@outlook.com

THIS DRAWING AS AN INSTRUMENT OF SERVICE IS
PROVIDED BY AND IS THE PROPERTY OF
EKP DESIGNS INC. THE CONTRACTOR MUST VERIFY
AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS
AND CONDITIONS ON SITE AND MUST NOTIFY
EKP DESIGNS INC. OF ANY VARIATIONS FROM
THE SUPPLIED INFORMATION. THE DRAWING
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ELECTRICAL, ETC. VERIFY INFORMATION SHOWN ON THE
DRAWINGS BEFORE PROCEEDING WITH WORK.
CONSTRUCTION MUST CONFORM TO ALL APPLICABLE
CODES AND REQUIREMENTS OF AUTHORITIES
HAVING JURISDICTION. THE CONTRACTOR WORKING
FROM DRAWINGS NOT SPECIFICALLY MARKED
FOR CONSTRUCTION MUST ASSUME FULL RESPONSIBILITY
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RESULTING FROM HIS/HER WORK.

No.	REVISIONS	DATE
1	REVISIONS	2022-05-03

City's Site Plan Number:
(SPA-2022-0035)

The undersigned has reviewed and takes responsibility for this
design, and has the qualifications and meets the requirements set
out in the Ontario Building Code to design the work shown on the
attached documents.

QUALIFICATION INFORMATION
Required unless design is exempt under 3.2.4.3.(5) Division C
of the Ontario Building Code.

NAME: EKP DESIGNS INC. SIGNATURE: [Signature] 12/06/2022

REGISTRATION INFORMATION
Required unless design is exempt under 3.2.4.7. DIVISION C
of the Ontario Building Code.

EKP DESIGNS INC. 30/06/2022 FIRM NAME

PROJECT
PROP. 2 STY FULLY DETACHED
80 WOODWARD AVE
CITY OF BRAMPTON

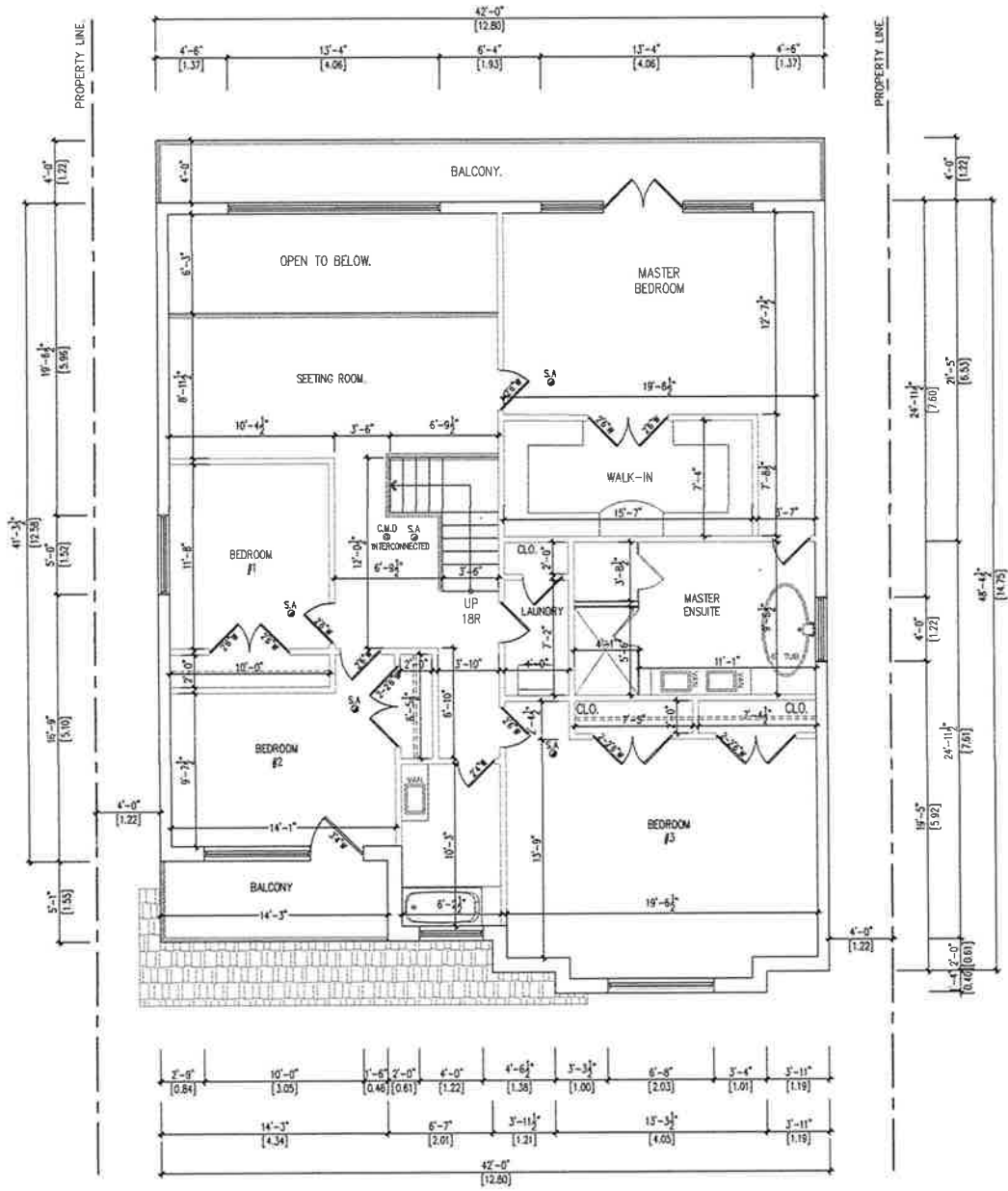
DRAWING NAME
FIRST FLOOR PLAN

DESIGNED BY: [Signature] DRAWN BY: [Signature] APPROVED BY: [Signature]

PROJECT No. 2021-136 DATE NOV. 2021 SCALE AS SHOWN

FILE: 2021 DRAWING No. A3

- LEGEND
- MV MECHANICAL VENTILATION
WASHROOM TO BE MECHANICALLY VENTED
DIRECTLY TO EXTERIOR IN ORDER TO
PROVIDE AT LEAST ONE AIR CHANGE PER HOUR
- SA SMOKE ALARM (INTERCONNECTED)
(STROBE-VISUAL SIGNALING)
CARBON MONOXIDE DETECTOR
- C.M.D. SOLID WOOD BEARING
MIN. WIDTH OF BEAM



1 SECOND FLOOR PLAN
A4 SCALE : 3/16" = 1' - 0"

NOTE:
- UTILITY METERS SHALL NOT BE LOCATED ON BUILDING
- FAUCETS THAT FACE PUBLIC STREETS & SHALL BE LOCATED
- SECURELY, AWAY FROM PEDESTRIAN TRAVEL ROUTES &
- SCREENED FROM PUBLIC VIEW
- STONE CLADDING SHALL BE APPLIED TO THE FACADE NOT
MORE THAN 250mm OF EXPOSED CONCRETE FOUNDATION WALL

EKP DESIGNS INC.
537 ROGERS ROAD
TORONTO, ONTARIO
M6M-1B4
TEL. No. 416-658-6737
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ELECTRICAL ETC. WORK INFORMATION SHOWN ON THE
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CONSTRUCTION MUST CONFORM TO ALL APPLICABLE
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FOR CONSTRUCTION MUST ASSUME FULL RESPONSIBILITY
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No.	REVISIONS	DATE
1	REVISIONS	2022-05-05

City's Site Plan Number:
(SPA-2022-0035)

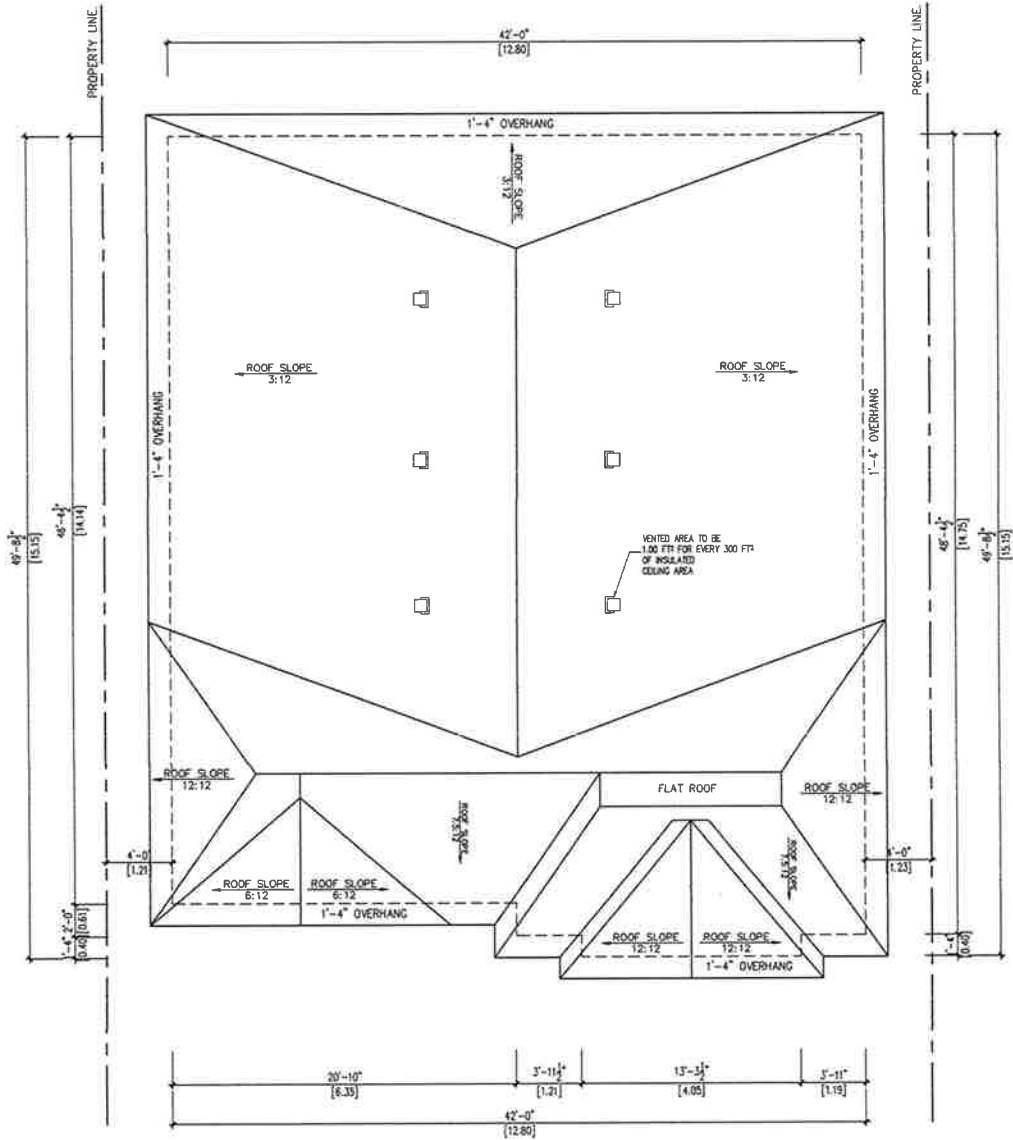
The undersigned has reviewed and taken responsibility for this
design, and has the qualifications and meets the requirements set
out in the Ontario Building Code to design the work shown on the
attached documents.

QUALIFICATION INFORMATION
Required unless design is exempt under 12.4.3 (5) Division C
of the Ontario Building Code.

DATE: 2022-05-05
SIGNATURE: [Signature]
REGISTRATION INFORMATION
Required unless design is exempt under 12.4.7, DIVISION C
of the Ontario Building Code.
EKP DESIGNS INC.
FROM NAME

PROJECT PROP. 2 STY FULLY DETACHED 85 WOODBINE AVE. CITY OF BRAMPTON		
DRAWING NAME SECOND FLOOR PLAN		
DESIGNED BY HRH	DRAWN BY HRH	APPROVED BY EXP
PROJECT No. 2021-138	DATE NOV. 2021	SCALE AS SHOWN
FILE 2021	DRAWING NO. A4	

- LEGEND
- MECHANICAL VENTILATION:
WINDOW TO BE MECHANICALLY VENTED
DIRECTLY TO EXTERIOR IN ORDER TO
PROVIDE AT LEAST ONE AIR CHANGE PER HOUR
 - SA SMOKE ALARM (INTERCONNECTED)
(STROBE-VISUAL SIGNALING)
CARBON MONOXIDE DETECTOR
 - CMD SOLID WOOD BEARING
MIN. WIDTH OF BEAM



FLOOR PLAN
SCALE : 3/16" = 1' - 0"

EKP DESIGNS INC.
537 ROGERS ROAD
TORONTO, ONTARIO
M6M-1B4
TEL: No. 416-658-6737
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EMAIL : ekpdesigns@outlook.com

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No.	REVISIONS	DATE

City's Site Plan Number:
(SPA-2022-0035)

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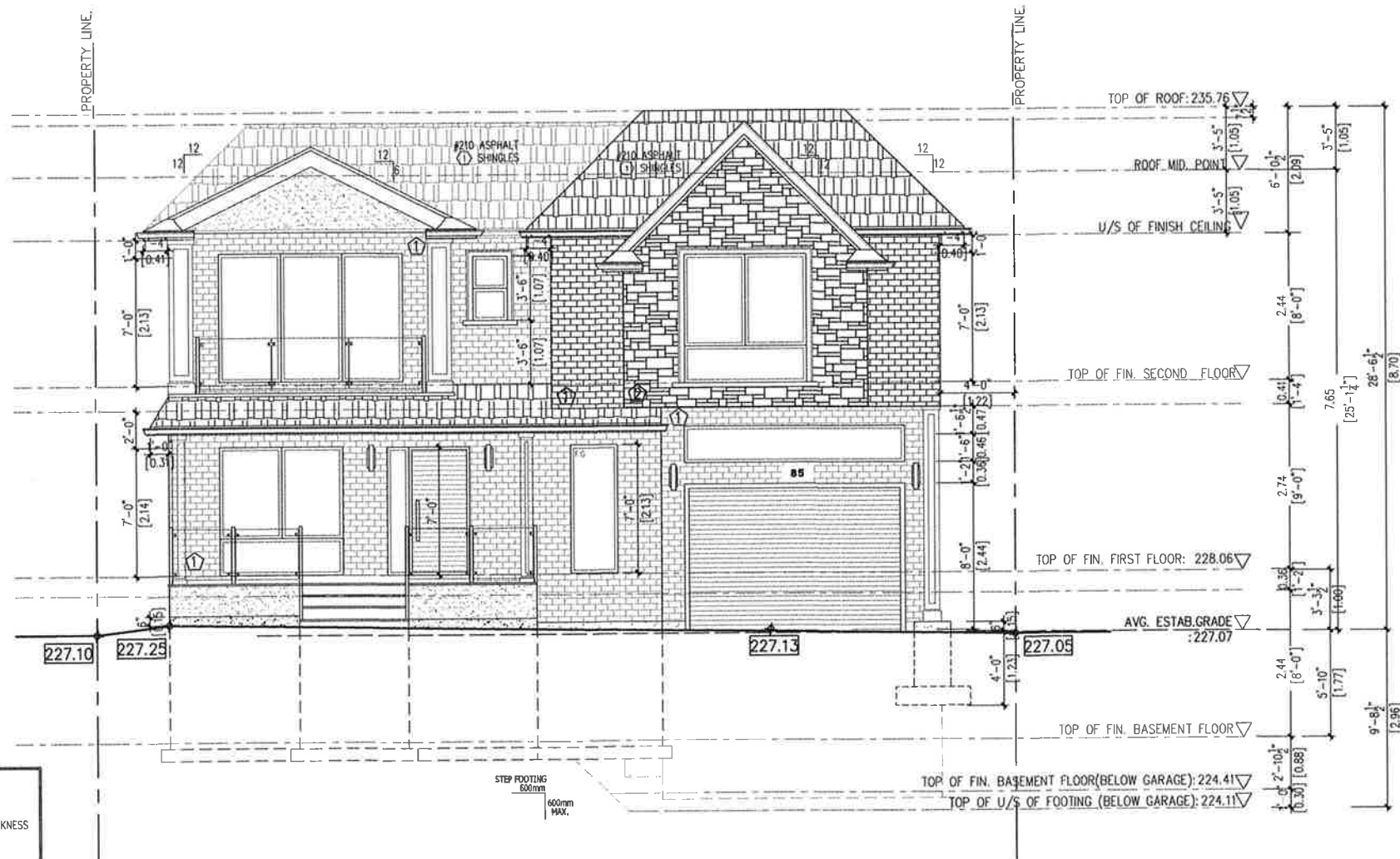
QUALIFICATION INFORMATION
Required unless design is exempt under 3.2.4.3(5) Division C of the Ontario Building Code.

DATE PERKS: 17/09/2021
NAME: BOB
SIGNATURE: BOB

REGISTRATION INFORMATION
Required unless design is exempt under 3.2.4.7, DIVISION C of the Ontario Building Code.

EKP DESIGNS INC. 3026
FROM NAME: BOB

PROJECT PROP. 2 STY FULLY DETACHED 85 WOODWARD AVE CITY OF BRAMPTON		
DRAWING NAME BASEMENT FLOOR PLAN		
DESIGNED BY EKP	DRAWN BY EKP	APPROVED BY EKP
PROJECT No. 2021-130	DATE NOV. 2021	SCALE AS SHOWN
FILE 2021	DRAWING NO. A5	



1 FRONT ELEVATION
SCALE: 1/4" = 1'-0"

- 1 BRICK DETAIL:
COLOR TYPE: CLAYLAND
COMPANY BRAND: KING KLINKER
SIZE: KING STOCKED 14MM (5/8") THICKNESS
- 2 STICK ON STONE DETAIL:
COLOR TYPE: BUCK HIDE
COMPANY BRAND: ACRYTEC

NOTE:
- UTILITY METERS SHALL NOT BE LOCATED ON BUILDING FACADES THAT FACE PUBLIC STREETS & SHALL BE LOCATED DISCREETLY, AWAY FROM PEDESTRIAN TRAVEL ROUTES & SCREENED FROM PUBLIC VIEW.
- STONE GLAZING SHOULD APPLIED TO THE FACADE NOT MORE THAN 250mm OF EXPOSED CONC. FOUNDATION WALL.

EKP DESIGNS INC.

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No.	REVISIONS	DATE
1	REVISIONS	2022-05-05

City's Site Plan Number:
(SPA-2022-0035)

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QUALIFICATION INFORMATION
Required unless design is exempt under 32.4.3(5) Division C of the Ontario Building Code.

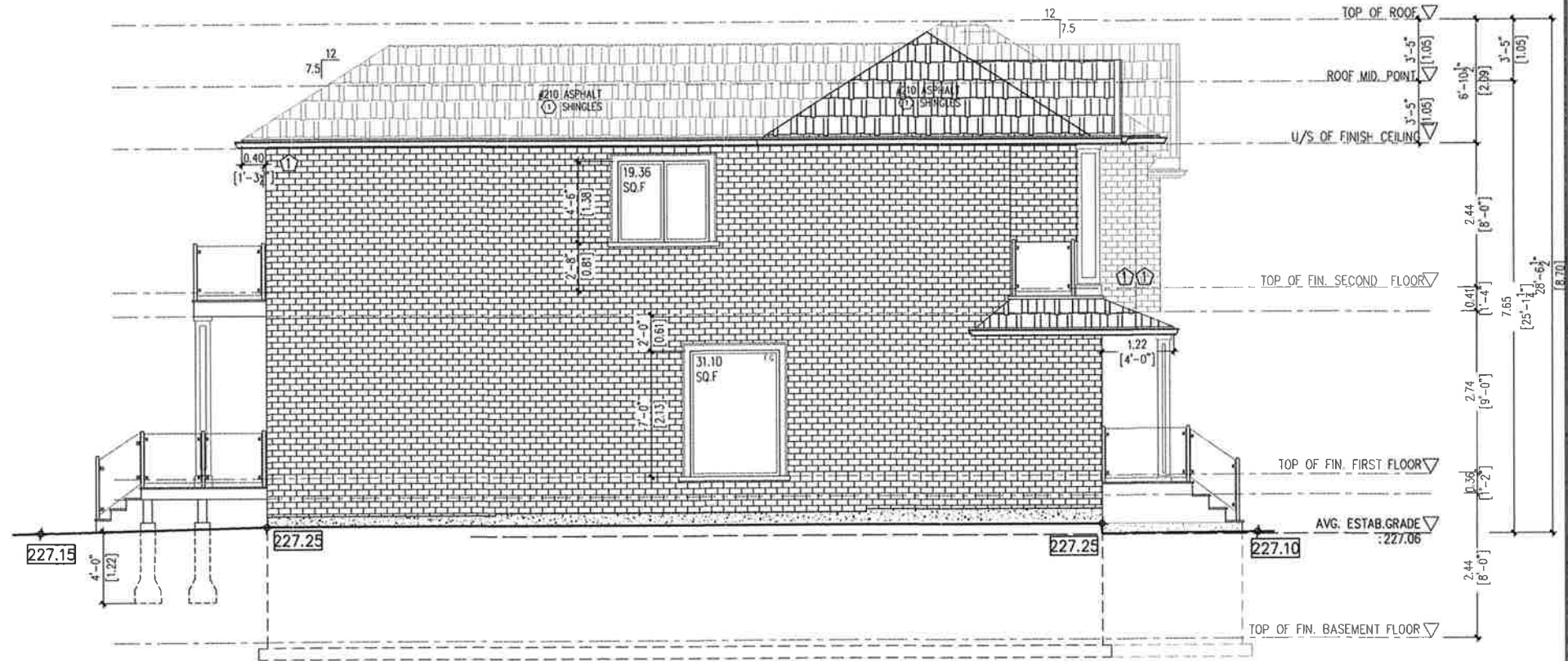
DATE PERMITS
NAME: 2026
SIGNATURE: EKP

REGISTRATION INFORMATION
Required unless design is exempt under 32.4.7, DIVISION C of the Ontario Building Code.
EKP DESIGNS INC. 2021
FILE NAME: EKP

PROJECT
PROP. 2 STY FULLY DETACHED
85 WOODWARD AVE
CITY OF BRAMPTON

DRAWING NAME
FRONT ELEVATION

DESIGNED BY JH01	DRAWN BY H01	APPROVED BY EKP
PROJECT No. 2021-136	DATE NOV 2021	SCALE AS SHOWN
FILE 2021		DRAWING NO. A5



- ① BRICK DETAIL:
COLOR TYPE: CLAYLAND
COMPANY BRAND: KING KLINKER
SIZE: KING STOCKED 14MM (5/8") THICKNESS
- ② STICK-ON-STONE DETAIL:
COLOR TYPE: BUCK HIDE
COMPANY BRAND: ACRYTEC

NOTE:
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- STONE CLADDING SHOULD APPLIED TO THE FACADE NOT MORE THAN 250mm OF EXPOSED CONC. FOUNDATION WALL.

LIMITING DISTANCE = 1.22 M
WALL AREA = 956.04 SQ.FT (88.82 SQ.M)
MAX. AREA OF UNPROTECTED OPENINGS = 66.92 SQ.FT (6.21 SQ.M) 7%
AS PER O.B.C. 9.10.15.2(1)
ACTUAL AREA OF UNPROTECTED OPENINGS = 50.46 SQ.FT (4.68 SQ.M) 5.27% OK

① SIDE (NORTH) ELEVATION
A8 SCALE : 3/16" = 1' - 0"

EKP DESIGNS INC.

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No.	REVISIONS	DATE
1	REVISIONS	2022-05-05

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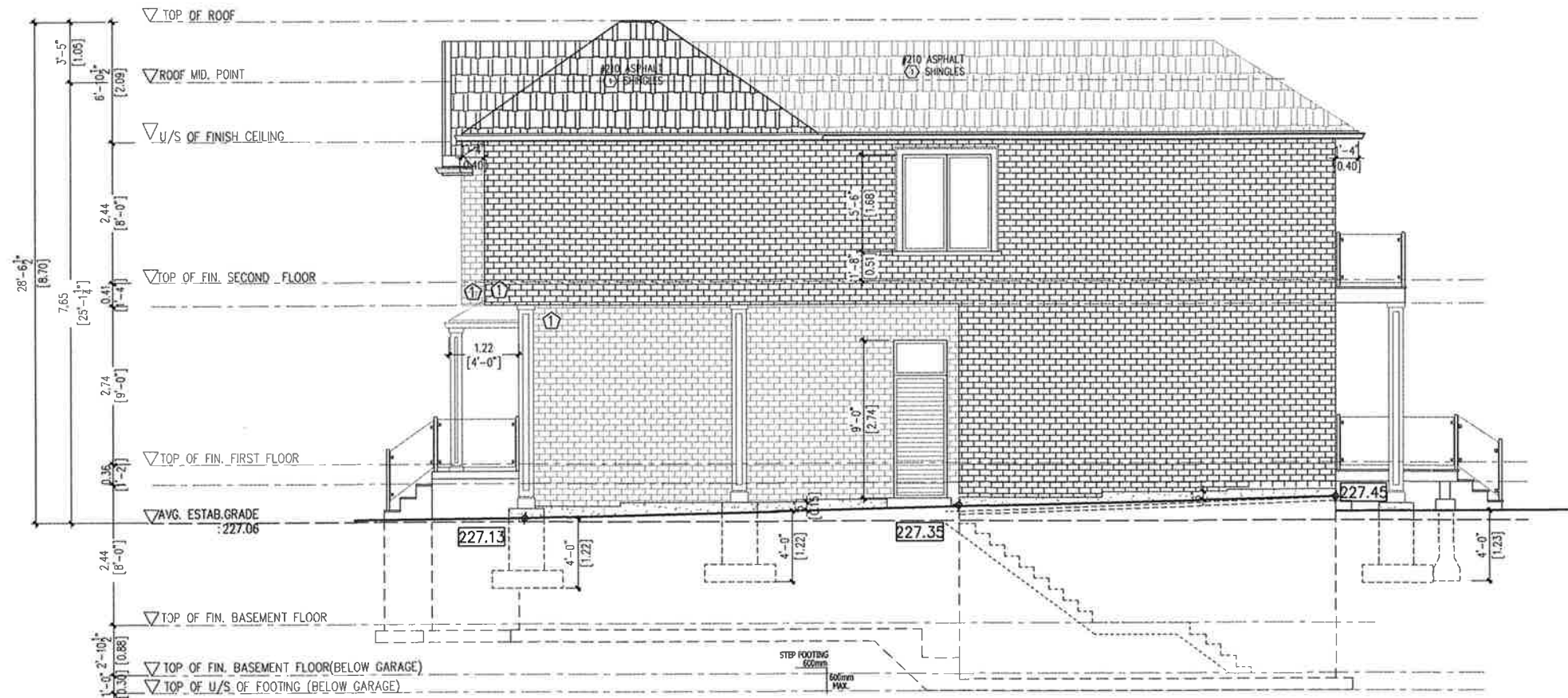
DESIGNER'S NAME: H.K.H. SIGNATURE: [Signature] 2/2/2022
REGISTRATION INFORMATION
Required unless design is exempt under 3.2.4.7, DIVISION C of the Ontario Building Code.
EKP DESIGNS INC. 2/2/2022
FIRM NAME: EKP

PROJECT
PROP. 2 STY FULLY DETACHED
85 WOODWARD AVE
CITY OF BRAMPTON

DRAWING NAME
FRONT ELEVATION

DRAWN BY: H.K.H. CHECKED BY: H.K.H.
DATE: NOV 2021 SCALE: AS SHOWN

FILE: 2021 DRAWING NO.: A8



- 1 BRICK DETAIL:
COLOR TYPE: CLAYLAND
COMPANY BRAND: KING KLINCKER
SIZE: KING STOCKED 14MM (5/8") THICKNESS
- 2 STICK ON STONE DETAIL:
COLOR TYPE: BUCK HIDE
COMPANY BRAND: ACRYTEC

NOTE:
- UTILITY METERS SHALL NOT BE LOCATED ON BUILDING FACADES THAT FACE PUBLIC STREETS & SHALL BE LOCATED DISCREETLY AWAY FROM PEDESTRIAN TRAVEL ROUTES & SCREENED FROM PUBLIC VIEW.
- STONE CLADDING SHOULD APPLIED TO THE FACADE NOT MORE THAN 250mm OF EXPOSED CONC. FOUNDATION WALL.

1 SIDE (SOUTH) ELEVATION A6 SCALE : 3/16" = 1'-0"

EKP DESIGNS INC.		THIS DRAWING AS AN INSTRUMENT OF SERVICE IS PREPARED BY AND IS THE PROPERTY OF EKP DESIGNS INC. THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE AND MUST NOTIFY EKP DESIGNS INC. OF ANY VARIATIONS FROM THE SUPPLIED INFORMATION. THE DRAWING IS NOT TO SCALE. THE DESIGNER IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL, MECHANICAL, ELECTRICAL ETC. VERIFY INFORMATION SHOWN ON THE DRAWINGS BEFORE PROCEEDING WITH WORK. CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION. THE CONTRACTOR WORKING FROM DRAWINGS NOT SPECIFICALLY MARKED FOR CONSTRUCTION MUST ASSUME FULL RESPONSIBILITY AND BEAR COSTS FOR ANY CORRECTIONS OR DAMAGES RESULTING FROM HIS/HER WORK.		<table><tr><th>No.</th><th>REVISIONS</th><th>DATE</th></tr><tr><td>1</td><td>REVISIONS</td><td>2022-05-05</td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr></table>	No.	REVISIONS	DATE	1	REVISIONS	2022-05-05																												City's Site Plan Number: (SPA-2022-0035)	<p>The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents.</p> <p>QUALIFICATION INFORMATION: Required unless design is exempt under 3.2.4.1(5) Division C of the Ontario Building Code.</p> <table><tr><td>DESIGNER: NAME:</td><td>SIGNATURE: 3/2/20 3020</td></tr><tr><td colspan="2">REGISTRATION INFORMATION: Required unless design is exempt under 3.2.4.7 DIVISION C of the Ontario Building Code.</td></tr><tr><td>EKP DESIGNS INC.</td><td>3020</td></tr><tr><td>FIRM NAME:</td><td>3020</td></tr></table>	DESIGNER: NAME:	SIGNATURE: 3/2/20 3020	REGISTRATION INFORMATION: Required unless design is exempt under 3.2.4.7 DIVISION C of the Ontario Building Code.		EKP DESIGNS INC.	3020	FIRM NAME:	3020	<p>PROJECT: PROP. 2 STY FULLY DETACHED 85 WOODWARD AVE CITY OF BRAMPTON</p> <p>DRAWING NAME: FRONT ELEVATION</p> <table><tr><td>DESIGNED BY: HCH</td><td>DRAWN BY: HCH</td><td>APPROVED BY: EKP</td></tr><tr><td>PROJECT No. 1021-130</td><td>DATE: NOV 2021</td><td>SCALE: AS SHOWN</td></tr><tr><td>FILE: 1021</td><td></td><td>DRAWING NO.: A6</td></tr></table>	DESIGNED BY: HCH	DRAWN BY: HCH	APPROVED BY: EKP	PROJECT No. 1021-130	DATE: NOV 2021	SCALE: AS SHOWN	FILE: 1021		DRAWING NO.: A6
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FILE: 1021		DRAWING NO.: A6																																																							

A-2023-0071

