

APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **VEEPAL SINGH DHUGGA AND RAMANDEEP KAUR DHUGGA** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Lot 26, Plan M-287 municipally known as **31 LEONE LANE**, Brampton;

AND WHEREAS the applicants are requesting the following variance(s):

1. To permit a building height of 11.3m (37.07 ft) whereas the by-law permits a maximum building height of 10.6m (34.78 ft.).

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: _____ NO _____ File Number: _____
Application for Consent: _____ NO _____ File Number: _____

The Committee of Adjustment has appointed **TUESDAY, April 18, 2023 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant, the Minister, a specified person or a public body.

RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this 5th Day of April, 2023.

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca

SITE STATISTICS		ZONING: RE2-1500		31 LEONE LANE										
LOT NUMBER	MUNICIPAL ADDRESS	LOT AREA (m ²)	LOT FRONTAGE (m)	AREA TO BE DEMOLISHED (m ²)	AREA PROVIDED (m ²)	GROUND FLOOR AREA (m ²)	MIN. LOT COVERAGE (%)	COVERAGE PROVIDED (%)	BUILDING AREA (m ²)	FRONT YARD LANDSCAPED OPEN SPACE (m ²)	FRONT YARD LANDSCAPED OPEN SPACE PROVIDED (70% MIN) (m ²)	PAVED AREA (m ²)	BUILDING HEIGHT PROVIDED (Meters)	LOT DEPTH (m)
26	31	8125.61	60.86	366.69	803.61	421.95	743.76	9.4%	760.50	487.37	2551.26	132.81	1.60	132.68

WWW.ANDERCAD.COM

CONTRACTOR WILL CHECK AND VERIFY ALL DIMENSIONS AND CHECK ALL CONDITIONS ON THE JOB BEFORE PROCEEDING WITH WORK

LATEST APPROVED DRAWINGS ONLY TO BE USED FOR CONSTRUCTION.

ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF ANDERSON & ASSOCIATES INC. AND MAY NOT BE REPRODUCED WITHOUT WRITTEN CONSENT.

DRAWINGS NOT TO BE SCALED.

CITY OF BRAMPTON
PLANNING, DESIGN AND DEVELOPMENT DEPARTMENT
City of Brampton, Ontario, Canada
7500 Hurontario Street, Unit 300, Brampton, ON L6Y 4R2
Tel: 905.874.2311, Fax: 905.874.2323

CITY FILE NUMBER
(SPA-2022-0174)

THE UNDERSIGNED HAS REVIEWED THE SITE PLAN AND SPECIFICATIONS AND IS SATISFIED THAT THE SAME COMPLY WITH THE REQUIREMENTS OF THE ZONING BY-LAW AND THE CITY OF BRAMPTON ACT. THE UNDERSIGNED IS NOT PROVIDING ANY WARRANTY OR GUARANTEE FOR THE ACCURACY OF THE INFORMATION PROVIDED IN THIS DRAWING.

REGISTERED PLAN M-287
ISSUED IN THE
CITY OF BRAMPTON
ON BEHALF OF THE
MUNICIPALITY OF PEELE
LOCAL AUTHORITY OF PEELE
MAGNAY, MAGNAY & PETERS LIMITED O.L.S.

BENCHMARK INFO
BENCHMARK No. 573
ELEVATION = 205.68 (GVD) (EIR 1978)
BRAMPTON - THE NORTH FACE OF THE
CONTOUR ADJACENT TO A CONCRETE
BRIDGE ON AUBURN COURT, 100M WEST OF
THE CENTRAL POINT OF A CONTIGUOUS
TABLET IS SET 0.77M WEST OF THE EAST
END OF THE AGREEMENT AND 0.34M ABOVE
CHANG.

LEGEND

PROPOSED FINISHED ELEVATIONS
FINISHED MAIN FLOOR FINISHED BASEMENT SLAB UNDERSIDE OF FOOTING TOP OF FOUNDATION WALL NUMBER OF RISERS BASEMENT WALKOUT DOOR LOCATION REVERSE UNIT

HYDRANT
HYDRO TRANSFORMER
LIGHT STANDARD
CABLE TR. PEDESTAL
WELL PEDESTAL
HYDRANT
SINGLE BOX OR CHAMBER CANNED/SUB
INDICATION OF SURFACE LOW
DOOR OPENING INDICATOR
RAIN WATER LEADER & SPLASH PAD W/DIRECTION OF FLOW
S.P.D. SUMP PUMP DISCHARGE LOCATION ONTO CONCRETE SPLASH PAD
CENTRAL AIR CONDENSER
ENGINEERED FILL LOT
COMMUNITY MAINTENANCE WATER CONNECTION
SANITARY STORM SERVICE CONNECTION
SANITARY MANHOLE
STORM MANHOLE
HARD SURFACE PAVING
ALL SLOPES 3:1 MAX, UNLESS OTHERWISE NOTED
SLOTTION FENCE
EXISTING OWNERS FENCE

NOTE
IT SHALL BE THE RESPONSIBILITY OF THE DRAWER TO HAVE ALL GRADES VERIFIED AND CHECKED BEFORE BEING PREPARED. THE DRAWING ENGINEER IS NOT RESPONSIBLE FOR THE ACCURACY OF THE GRADES SHOWN HEREIN. THE ENGINEER IS NOT RESPONSIBLE FOR THE REQUIREMENTS OF THE MUNICIPALITY BEING OBTAINED.

NOTE
ANDERSON & ASSOCIATES IS TO BE RESPONSIBLE FOR THE SUMP PUMP WITH BEFORE EXCAVATION COMMENCES IN ORDER TO AVOID FLOODING. THE SUMP PUMP SHALL BE INSTALLED IN SUCH A MANNER AS TO BE PROTECTED FROM DAMAGE BY EXCAVATION. THE SUMP PUMP SHALL BE INSTALLED IN SUCH A MANNER AS TO BE PROTECTED FROM DAMAGE BY EXCAVATION.

REVISIONS CONTINUED

NO.	DATE	DESCRIPTION
01	11/21/22	REVISED PER CIV COMMENTS

MATURE NEIGHBOURHOOD SITE PLAN DRAWING NOTES
The following notes must appear on the drawings submitted under this type of review.

All working drawings submitted to the Building Division as part of a Building Permit application shall be in conformity with the approved site plan drawings as approved by the Development Services Division.

The Owner is responsible for ensuring that tree relocation markings, placed at the drip line of the trees, are maintained throughout all phases of demolition and construction in the location and condition as approved by the Planning and Building Division. No materials (i.e. building materials, soil, excavation vehicles, equipment, etc.) may be stacked within the area of marking.

All utility companies will be notified for location prior to the installation of the heading that lies within the limits of the COB boundaries area.

Should the installation of below ground services require heading to be removed, Open Space staff (at: open.space@brampton.ca) are to be contacted prior to the commencement of such work. Should an alternative service route not be possible, staff will assess and document the condition of the vegetation and serving installation in order to mitigate damage to the vegetation.

The Owner (or applicant as applicable) will be responsible for the cost of any utility relocations necessitated by the Site Plan Approval and Building Permit.

The existing on-site drainage pattern shall be maintained.

Grades must be met within 33% maximum slope at the property lines and within the site.

The structural design of any retaining wall over 0.60 m (2'00 ft.) in height or any retaining wall located on a property line is shown on the Site Plan and Grading Plan and is to be approved by the Consulting Engineer for the project.

The portions of the driveway within the municipal boulevard will be paved by the Owner at their own expense.

At the entrances to the site, the municipal curb and sidewalk will be continuous through the driveway and a curb depression will be provided for each entrance.

All proposed curbing at the entrances to the site is to terminate at the property line or at the municipal sidewalk.

Construction materials are not to be put out for garbage collection.

All damaged landscape areas will be reinstated with topsoil and sod following construction activity.

Any COB boulevard trees damaged or removed are to be replaced with minimum 75mm caliper deciduous trees to the satisfaction of the COB of the owner's expense.

All excess excavated materials will be removed from the site at the owner's expense.

All existing or proposed easements on the property should be illustrated and dimensioned on all of the drawing if applicable, stipulate on the drawings. There are no existing or proposed easements on the property.

City of Brampton Standard Site Plan Landscape Notes

i. The Contractor must notify the Open Space Development Section of the City of Brampton prior to commencement of any planting.

ii. The locations of all trees on street frontages must be approved by the Open Space Development Section of the City of Brampton prior to their installation.

iii. The Owner is required, upon completion of all landscape works, to submit an Acceptance Certificate prepared by a certified and registered OALA Landscape Architect to the Open Space Development Section and to request an inspection by the Open Space Section.

iv. All landscape works will be guaranteed for one year following inspection. Plant material, which is not in healthy growing condition one year after inspection, shall be replaced to the satisfaction of the City of Brampton with an additional one-year maintenance guarantee period. Supply and plant all replacements in strict accordance with plans and specifications.

v. Sod that is damaged or missing on the public boulevard is to be repaired/installed at the Owner's expense.

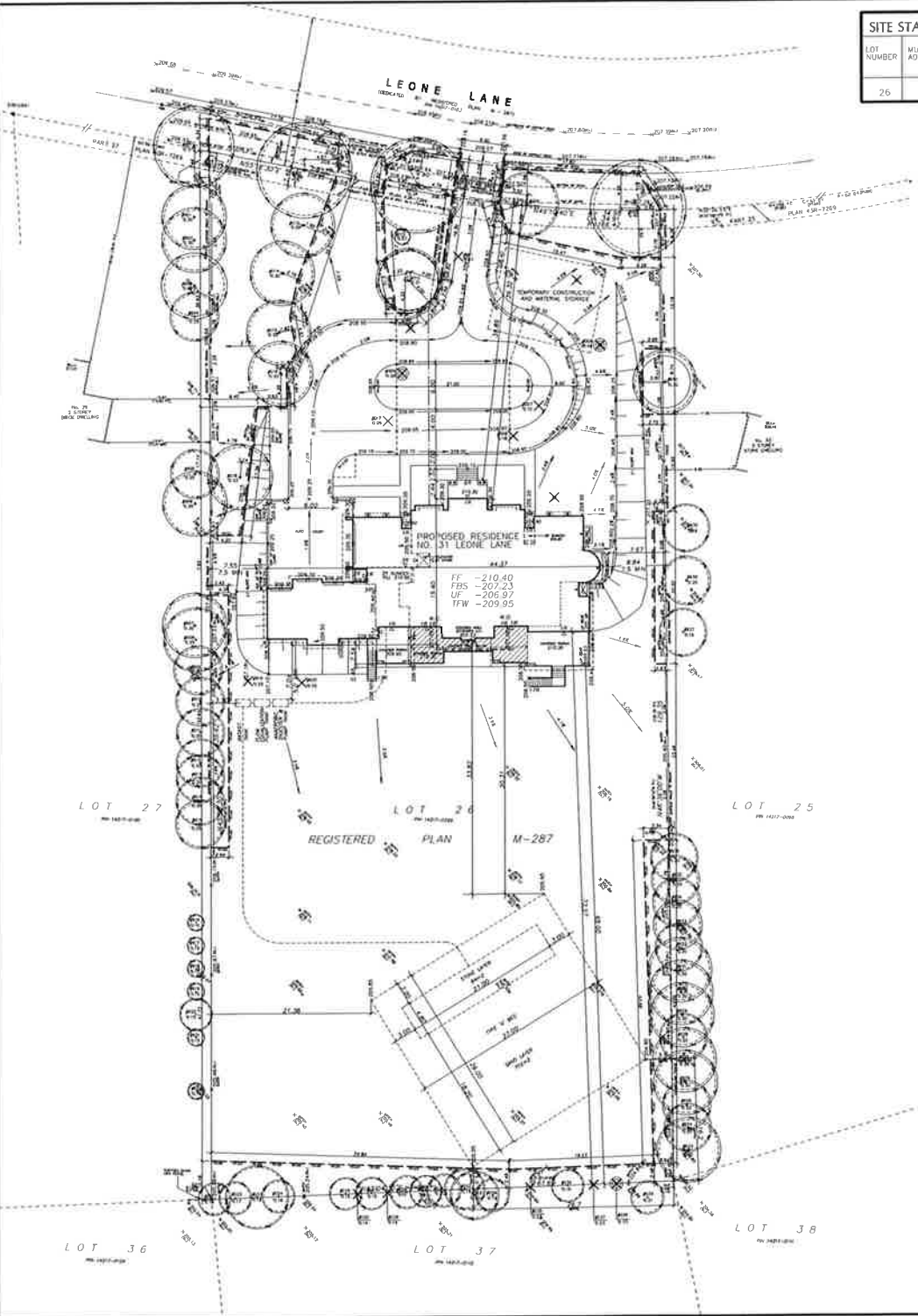
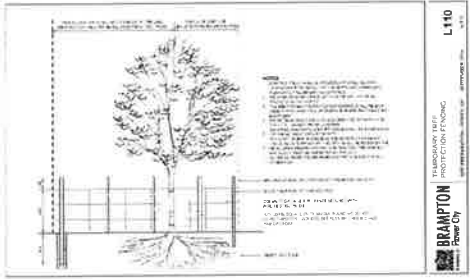
vi. Any chain link fencing and components that are installed subsequent to Site Plan approval shall have a black glass enamel finish by powder coat application. Prior to application of finish, treat with Primer/Bonderite and Chlorothene solvent applied in a thickness of 4-5 mils by electrocoat and oven cured for a smooth and even surface. All chain link fabric also to be black vinyl coated.

vii. The Contractor is responsible for location of all underground services prior to excavation of tree pits and shrub beds.

viii. All T-taps to be removed at the conclusion of the warranty period, unless otherwise specified by the Open Space Section of the City of Brampton.

ix. Any transducer installed subsequent to site plan approval shall be screened with plant material to the satisfaction of the City of Brampton and meet all requirements of Hydro One Brampton planting setbacks.

x. Any damage due to construction is required to be reinstated at the applicant's expense. All damages will be rectified to the satisfaction of the City of Brampton.



ANDERSON & ASSOCIATES INC.

1111 BRAMPTON AVENUE
BRAMPTON, ONTARIO, CANADA
L6Y 4R2
Tel: 905.874.2311, Fax: 905.874.2323

TRUCustom HOMES

LOT 26
LEONE LANE
MUNICIPAL ADDRESS
31 LEONE LANE

SITE PLAN

DRAWN BY: MA/PRO DATE: MAY 2022
CHECKED BY: DATE:
SCALE: 1:300 FILE: 2021-15-SITE
PROJECT NO.: 2021-15 DRAWING NO.: SP-31G

PRINT DATE: 11/21/2022

Under the authority of the *Emergency Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

**Electronic/Hybrid Hearing Procedures
How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **April 18, 2023** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

How to Participate in the Hearing:

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, April 13, 2023.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
 1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, April 13, 2023.**
 2. To participate in-person, please email the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, April 13, 2023.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, April 13, 2023.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

A-2023-0075

March 20, 2023

COMMITTEE OF ADJUSTMENT
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2

Attention: Jeanie Myers, Legislative Coordinator/Secretary-Treasurer

Re: 31 Leone Lane

Dear Jeanie,

Attached please find the application for Minor Variance for the above-mentioned address, along with the twelve (12) copies as per the application specifications.

Mr. Veerpal Singh Dhugga and Mrs. Ramandeep Kaur Dhugga will be demolishing the existing house and building a new two-storey, single-family dwelling.

In order to facilitate this proposal, a minor variance with regards to the maximum height permitted must be requested. Specifically, the zoning for this property mandates a 10.6m maximum building height. The variance, albeit minor in nature, being requested is for a building height of 11.3m.

Should you have any further questions or concerns, please feel free to contact me at your convenience.

Best Regards,



Margaret Perrotta (agent)
President
TRUcustom Homes Inc.
Phone: (905) 467-8048
Email: margaretperrotta@gmail.com



For Office Use Only
(to be inserted by the Secretary-Treasurer
after application is deemed complete)

FILE NUMBER: A-2023-0075

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** Veerpal Singh Dhugga and Ramandeep Kaur Dhugga
Address 31 Leone Lane, Brampton, Ontario L6P 0K7

Phone # (647) 294-9499 **Fax #** _____
Email paul@newmilleniumtire.com; rjohal62@hotmail.com

2. **Name of Agent** Margaret Perrotta
Address 79 Elgin Street, P.O. Box 1332, Waterdown, Ontario L0R 2H0

Phone # (905) 467-8048 **Fax #** _____
Email margieperrotta@cogeco.ca

3. **Nature and extent of relief applied for (variances requested):**

- Building Height required in Mature Neighborhoods = 10.60m
 - Building Height provided = 11.30m

4. **Why is it not possible to comply with the provisions of the by-law?**

We are trying to match existing grades as much as possible to preserve trees and incorporate a new septic system. So due to the Average grade measurement system being used around the house to determine height, and this lots grades falling at the rear so that it becomes a Look-out/Walk-out at the rear. The height needed to go to committee of adjustment.

5. **Legal Description of the subject land:**
Lot Number 26
Plan Number/Concession Number M-287
Municipal Address 31 Leone Lane, Brampton

6. **Dimension of subject land (in metric units)**
Frontage 60.86m
Depth 132.68m
Area 8125.61m²

7. **Access to the subject land is by:**

Provincial Highway	<input type="checkbox"/>	Seasonal Road	<input type="checkbox"/>
Municipal Road Maintained All Year	<input checked="" type="checkbox"/>	Other Public Road	<input type="checkbox"/>
Private Right-of-Way	<input type="checkbox"/>	Water	<input type="checkbox"/>

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

Existing buildings/structures to be demolished; GFA measured 268.92 m2

PROPOSED BUILDINGS/STRUCTURES on the subject land:

- Ground Floor Area = 421.96m2 - Height = 11.60m
- Gross Floor Area = 803.61m2 - Lot Coverage = 760.50m2
- 2 Storeys
- Overall width = 44.37m
- Overall length = 24.84m

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback 31.39m
Rear yard setback 84.37m
Side yard setback 21.03m (left side looking in from street)
Side yard setback 12.17m (right side looking in from street)

PROPOSED

Front yard setback 36.89m
Rear yard setback 69.00m
Side yard setback 8.84m
Side yard setback 7.55m

10. Date of Acquisition of subject land: March 2014

11. Existing uses of subject property: Residential

12. Proposed uses of subject property: Residential

13. Existing uses of abutting properties: Residential

14. Date of construction of all buildings & structures on subject land: 1981

15. Length of time the existing uses of the subject property have been continued: 41 years

16. (a) What water supply is existing/proposed?

Municipal Other (specify) _____
Well

(b) What sewage disposal is/will be provided?

Municipal Other (specify) _____
Septic

(c) What storm drainage system is existing/proposed?

Sewers Other (specify) _____
Ditches
Swales

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes No

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes No

19. Has the subject property ever been the subject of an application for minor variance?

Yes No Unknown

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Veerpal Dugga
Signature of Applicant(s) or Authorized Agent

DATED AT THE City of OF BRAMPTON
THIS 20 DAY OF MARCH, 2023

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, VEERPAL DHUGGA, OF THE city OF BRAMPTON

IN THE Region OF Peel SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE
City OF Brampton
IN THE Region OF
Peel THIS 20th DAY OF
March, 2023

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024.

Veerpal Dugga
Signature of Applicant or Authorized Agent

Submit by Email

Jeanie Myers
A Commissioner etc.

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Zoning Officer

Date

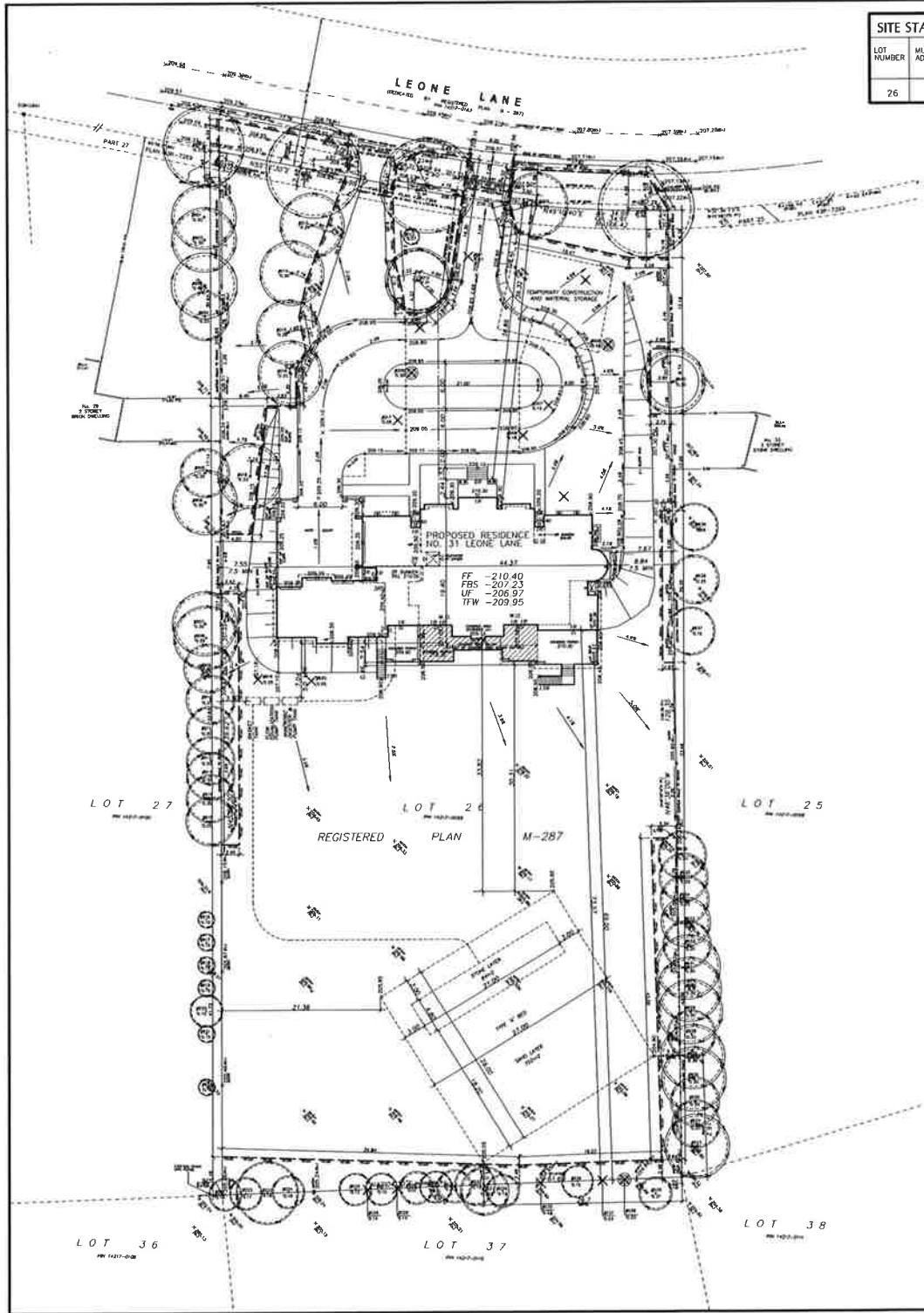
DATE RECEIVED March 20, 2023

Date Application Deemed Complete by the Municipality _____

SITE STATISTICS ZONING: RE2-1500

LOT NUMBER	MUNICIPAL ADDRESS	LOT AREA (m ²)	LOT FRONTAGE (m)	GFA TO BE DEDICATED (m ²)	GFA PROVIDED (m ²)	GROUND FLOOR AREA (m ²)	MIN. LOT COVERAGE (30%)(m ²)	COVERAGE PROVIDED (%)	BUILDING AREA (m ²)	FRONT YARD LANDSCAPED OPEN SPACE (m ²)	FRONT YARD LANDSCAPED OPEN SPACE (TYP. MIN)(m ²)	PAVED AREA (m ²)	BUILDING HEIGHT PROVIDED (Mature Neighbourhoods) (P.S. MAX)(m)	LOT DEPTH (m)
26	31	8125.61	60.86	366.69	803.61	421.96	2437.68	760.50	487.37	2551.28	1880.11	671.17	11.60	132.68

31 LEONE LANE

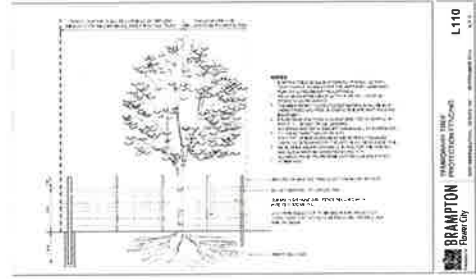


MATURE NEIGHBOURHOOD SITE PLAN DRAWING NOTES

- The following notes must appear on the drawings submitted under this type of review:
- All working drawings submitted to the Building Division as part of a Building Permit application shall be in conformity with the approved site plan drawings as approved by the Development Services Division.
- The Owner is responsible for ensuring that tree protection hoarding, placed at the drip line of the trees, is maintained throughout all phases of demolition and construction in the location and condition as approved by the Planning and Building Division. No materials (i.e. building materials, soil, construction vehicles, equipment, etc.) may be stacked within the tree protection zone.
- All utility companies will be notified for locates prior to the installation of the hoarding that lies within the limits of the COB boulevard area.
- Should the installation of below ground services require hoarding to be removed, Open Space staff (at: open-space@brampton.ca) are to be contacted prior to the commencement of such work. Should an alternative service route not be possible, staff will inspect and document the condition of the vegetation and servicing installation in order to minimize damage to the vegetation.
- The Owner (or Applicant as applicable) will be responsible for the cost of any utilities relocations necessitated by the Site Plan Approval and Building Permit.
- The existing on-site drainage pattern shall be maintained.
- Grades must be met within 33% maximum slope of the property lines and within the site.
- The structural design of any retaining wall over 0.60 m (2.00 ft.) in height or any retaining wall located on a property line is shown on the Site Plan and Grading Plan and is to be approved by the Consulting Engineer for the project.
- The portions of the driveway within the municipal boulevard will be paved by the Owner at their own expense.
- At the entrances to the site, the municipal curb and sidewalk will be continuous through the driveway and a curb depression will be provided for each entrance.
- All proposed curbing at the entrances to the site is to terminate at the property line or at the municipal sidewalk.
- Construction materials are not to be put out for garbage collection.
- All damaged landscape areas will be reinstated with topsoil and sod following construction activity.
- Any COB boulevard trees damaged or removed are to be replaced with minimum 70mm caliper deciduous trees to the satisfaction of the COB at the owner's expense.
- All excess excavated materials will be removed from the site at the owner's expense.
- All existing or proposed easements on the property should be illustrated and dimensioned on all of the drawing. If applicable, stipulate on the drawings: "There are no existing or proposed easements on the property."

City of Brampton Standard Site Plan Landscape Notes

- The Contractor must notify the Open Space Development Section of the City of Brampton prior to commencement of any planting.
- The locations of all trees on street frontages must be approved by the Open Space Development Section of the City of Brampton prior to their installation.
- The Owner is required, upon completion of all landscape works, to submit an Acceptance Certificate prepared by a certified and registered DLA Landscape Architect to the Open Space Development Section and to request an inspection by the Open Space Section.
- All landscape works will be guaranteed for one year following inspection. Plant material, which is not in healthy growing condition one year after inspection, shall be replaced to the satisfaction of the City of Brampton with an additional one-year maintenance guarantee period. Supply and plant all replacements in strict accordance with plans and specifications.
- Soil that is damaged or missing on the public boulevard is to be repaired/reinstated at the Owner's expense.
- Any above line fencing and components that are installed subsequent to Site Plan approval shall have a black glass enamel finish by powder coat application. Prior to application of finish, treat with Parker Blendeck and Chlorothane solvent applied in a thickness of 4-5 mils by electrostatic coat and even cured for a smooth and even surface. All chain link fabric also to be black vinyl coated.
- The Contractor is responsible for location of all underground services prior to excavation of tree pits and shrub beds.
- All T-bars to be removed at the conclusion of the warranty period, unless otherwise specified by the Open Space Section of the City of Brampton.
- Any transformer installed subsequent to site plan approval shall be screened with plant material, to the satisfaction of the City of Brampton and meet all requirements of Hydro One Brampton planting setbacks.
- Any damage due to construction is required to be reinstated at the applicant's expense. All damages will be rectified to the satisfaction of the City of Brampton.



NO.	DATE	DESCRIPTION
13.	11/21/23	REVISED PER CITY COMMENTS

REVISIONS CONTINUED

LEGEND

- 000.00 PROPOSED FINISHES
- ELEVATIONS
- F.F.S. FINISHED MAIN FLOOR
- U.B.S. UNFINISHED BASEMENT SLAB
- U.F. UNDERLAY OF FOOTING
- T.F.W. TOP OF FOUNDATION WALL
- N.D. NUMBER OF RISERS
- B.M.S. BASEMENT MAINS
- D.L. DOOR LOCATION
- H.T. HYDRO TRANSFORMER
- L.S. LIGHT STAGNOD
- C.F. CABLE T.V. PEDESTAL
- B.F. BELL PEDESTAL
- H.D. HYDRANT
- V.B. VALVE BOX OR CHAMBER
- S.D. SINGLE OR DOUBLE CATCHER
- S.F. DIRECTION OF SURFACE FLOW
- D.R. DOOR OPENING INDICATOR
- R.W. RAIN WATER LEADER & SPLASH PAD W/ DIRECTION OF FLOW
- S.P.L. SUMP PUMP EXCHANGE LOCATION AND CONCRETE SPLASH PAD
- A.C. CENTRAL AIR CONDITIONER
- E.P.L. EXPOSED PILE LOT
- C.M. COMMUNITY MAILBOX
- H.C. HIGH CONNECTION WATER CONNECTION
- S.S. SANITARY STORM SERVICE CONNECTION
- S.M. SANITARY MANHOLE
- S.H. STORM MANHOLE
- H.S.P. HARD SURFACE FINISH
- A.S. ALL SLOPES 2% MAX UNLESS OTHERWISE NOTED
- S.F. SILICON FENCE
- E.C. EXISTING CHAIN LINK FENCE

NOTE

THE RESPONSIBILITY OF THE DESIGNER TO MAKE ALL DIMENSIONS AND LOCATIONS OF ALL UTILITIES, CONDUITS, AND SERVICES SHOWN ON THIS DRAWING ACCURATE AND TO VERIFY THE LOCATION OF ALL UTILITIES, CONDUITS, AND SERVICES BY THE EXISTING RECORDS AND TO OBTAIN THE PERMISSION OF THE APPROPRIATE AGENCIES.

NOTE

THE CONTRACTOR IS TO BE RESPONSIBLE TO OBTAIN THE PERMISSION OF ALL UTILITIES, CONDUITS, AND SERVICES TO BE EXCAVATED AND TO OBTAIN THE PERMISSION OF THE APPROPRIATE AGENCIES.

FREE BLOCK SYMBOLS

- TREE TO BE PRESERVED/RETAINED
- ⊗ TREE TO BE REMOVED (PERMIT REQUIRED)
- ⊗ TREE TO BE REMOVED (NO PERMIT REQUIRED) (SMALL SIZE)
- ⊗ TREE DOES NOT EXIST OR PREVIOUSLY REMOVED

ARBORIST DRAWING LEGEND

- MINIMUM TREE PROTECTION ZONE (TREE B.L.A.)
- LANEWAY LIMIT
- TREE PROTECTION FENCE (FACE, HAND & SIGN 1.2M H)
- ALL PHASES OF CONSTRUCTION

WWW.ANDERCAD.COM

CONTRACTOR WILL CHECK AND VERIFY ALL DIMENSIONS AND CHECK ALL CONDITIONS ON THE JOB BEFORE PROCEEDING WITH WORK

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DRAWINGS NOT TO BE SCALED.

CITY OF BRAMPTON
PLANNING, BUILDING AND DEVELOPMENT DEPARTMENT

CITY FILE NUMBER
(SPA-2022-0174)

THE UNDERSIGNED HAS PREPARED AND MADE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE LANDSCAPE PLAN AND THE CITY OF BRAMPTON HAS REVIEWED AND APPROVED THE SAME FOR THE PURPOSES OF THE CITY OF BRAMPTON ACT AND THE CITY OF BRAMPTON ZONING BY-LAW AND THE CITY OF BRAMPTON DEVELOPMENT SERVICES DIVISION HAS REVIEWED AND APPROVED THE SAME FOR THE PURPOSES OF THE CITY OF BRAMPTON ACT AND THE CITY OF BRAMPTON ZONING BY-LAW.

NAME: JOHN J. LAMBY
DATE: 2023-05-21

REGISTRATION INFORMATION: JOHN J. LAMBY, LANDSCAPE ARCHITECT, REG. NO. 20037, BRAMPTON, ONTARIO.
FIRM NAME: ANDERSON & ASSOCIATES INC. (ON: 3538)

CITY OF BRAMPTON
LANDSCAPE PLAN
APPROVED
Subject to an agreement
On This _____ Day of _____

Alan Farnon
Director, Development Services

NO.	DATE	DESCRIPTION
12	11/23/23	REVISED PER CITY COMMENTS
11	08/31/23	SITE PLAN REVISED STREET
10	08/19/23	SITE PLAN REVISED TREE PLACEMENT
9	08/17/23	SITE PLAN REVISED EXISTING
8	08/17/23	SITE PLAN REVISED
7	08/17/23	SITE PLAN REVISED
6	08/17/23	SITE PLAN REVISED
5	08/17/23	SITE PLAN REVISED
4	07/28/23	SITE PLAN REVISED
3	07/28/23	SITE PLAN REVISED
2	07/28/23	SITE PLAN REVISED
1	05/26/23	SITE PLAN PREPARED FOR THE PLAN APPROVAL

REVISIONS

ONTARIO - L.A.S. 019 - (905) 833-5887

ANDERSON & ASSOCIATES INC.

TRUcustom HOMES

LOT 26
LEONE LANE
MUNICIPAL ADDRESS
31 LEONE LANE

SITE PLAN

DRAWN BY	DATE
MA/PRO	MAY 2022
CHECKED BY	DATE
SCALE	FILE
1:300	2021-15-SITE

PROJECT NO.	DRAWING NO.
2021-15	SP-31G

PRINT DATE: 11/21/2022

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SPA-2022-0174

CCC PART 9
BUILDING AREA = 5246 SF.
(487.97M²)

THE DIMENSIONS ARE SHOWN AND SET BY THE CONTRACTOR FOR THE FOUNDATION AND SET BY THE CONTRACTOR FOR THE WALLS AND SET BY THE CONTRACTOR FOR THE ROOFING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.

NO.	DATE	DESCRIPTION
REVISIONS		

ONTARIO = 1.86.349 • (905) 812-0887
1180 STEELES ROAD UNIT 201 SCARLETON, ONTARIO M1V 5P4
ANDERSON + ASSOCIATES INC.

TRUcustom HOMES

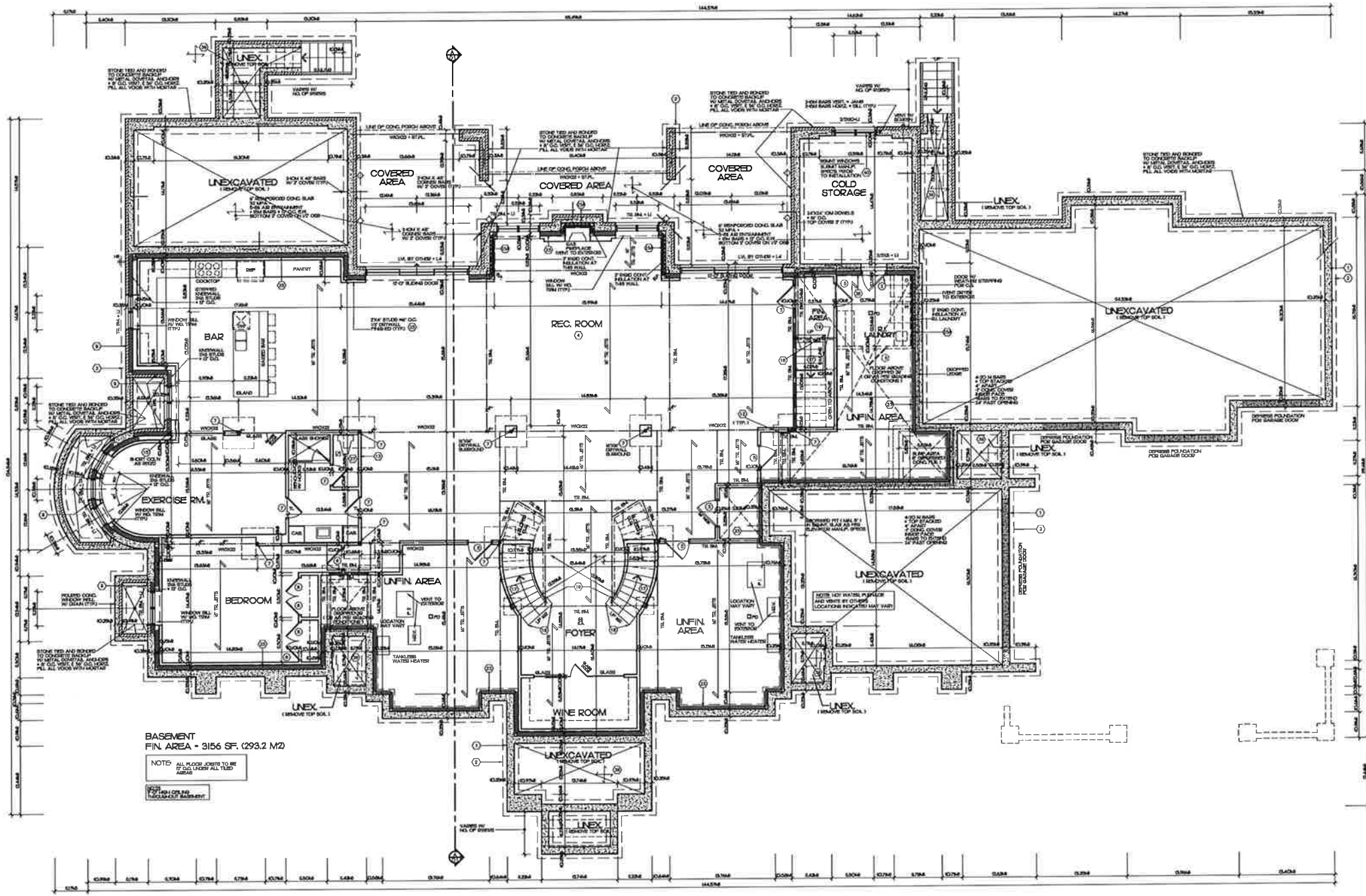
BASEMENT PLAN

31 LEONE LANE
BRAMPTON — ONTARIO

DRAWN BY JZL/PRO	DATE AUG. 2021
CHECKED BY	DATE 2021-15F
SCALE 1:65	FILE 2021-15F

PROJECT NO. 2021-15	DRAWING NO. A1
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PRELIMINARY
NOT FOR BUILDING PERMIT
NOT FOR CONSTRUCTION
LAST REVISED NOV/18/2022



BASEMENT
FIN. AREA = 3156 SF. (293.2 M²)

NOTES: ALL FLOOR JOISTS TO BE 2" x 8" LVL'S ALL TIED TOGETHER.
SEE FIN. CEILING DETAIL ON EXTERIOR.

CONTRACTOR WILL CHECK AND VERIFY ALL DIMENSIONS AND CHECK ALL CONDITIONS ON THE JOB BEFORE PROCEEDING WITH WORK.
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DRAWINGS NOT TO BE SCALED.
SPA-2022-0174

THE INFORMATION PROVIDED AND THIS DRAWING IS FOR INFORMATION ONLY. IT IS NOT TO BE USED FOR ANY OTHER PURPOSE. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AUTHORITIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AUTHORITIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AUTHORITIES.

NO.	DATE	DESCRIPTION
REVISIONS		

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ANDERSON + ASSOCIATES INC.

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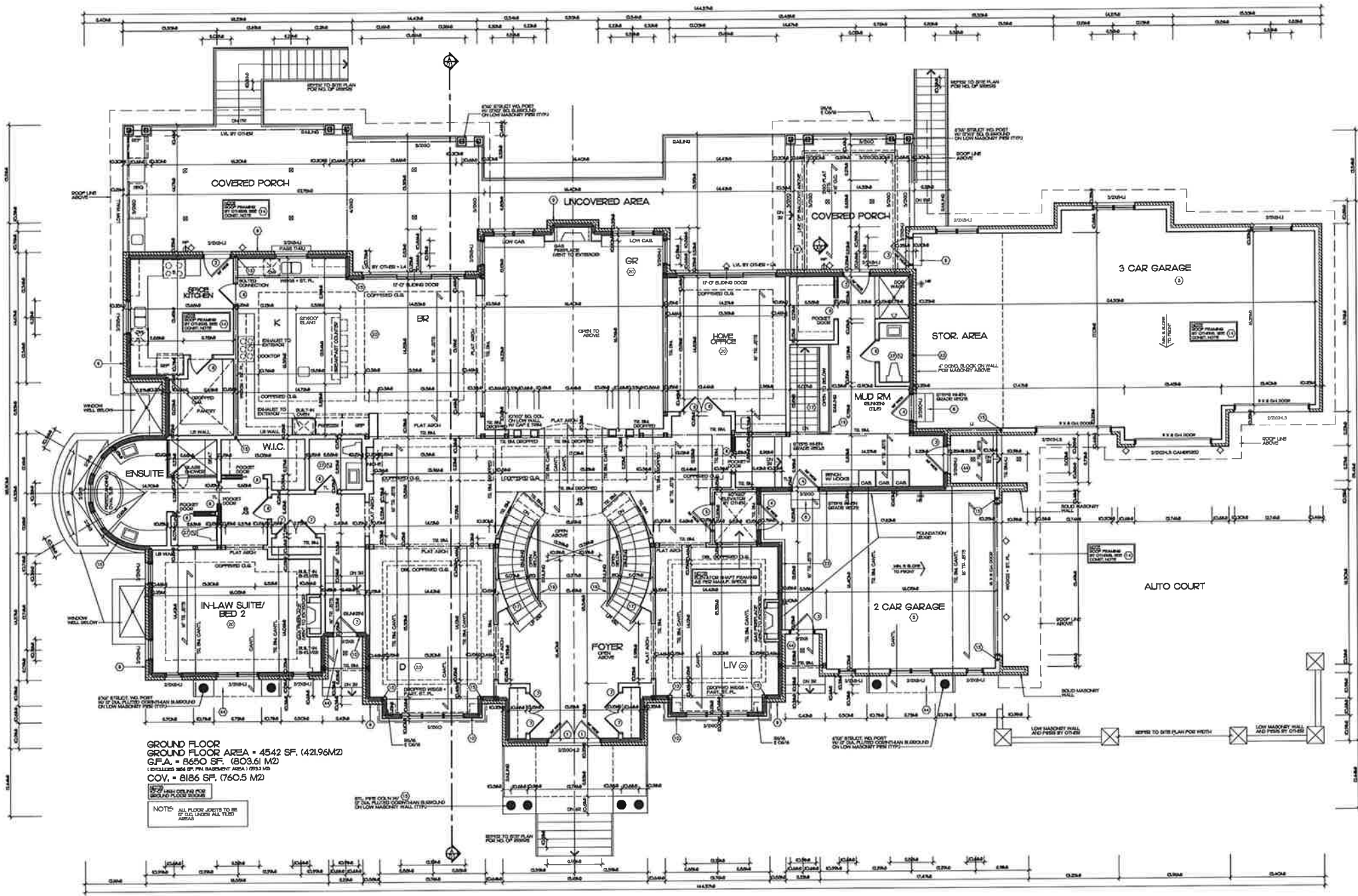
GROUND FLOOR PLAN

31 LEONE LANE
BRAMPTON - ONTARIO

DRAWN BY	DATE
JZL/PRO	
CHECKED BY	DATE
	AUG. 2021
SCALE	FILE
1:65	2021-15F

PROJECT NO.	DRAWING NO.
2021-15	A2

PRELIMINARY
NOT FOR BUILDING PERMIT
NOT FOR CONSTRUCTION
LAST REVISED NOV/18/2022



GROUND FLOOR
GROUND FLOOR AREA = 4542 SF. (421.96M²)
G.F.A. = 8650 SF. (803.61 M²)
(EXCLUDED AREA OF FIN. BASEMENT AREA) 1793.1 M²
COV. = 8186 SF. (760.5 M²)

NOTE: ALL FLOOR LEVELS TO BE 7'-0" UNLESS OTHERWISE NOTED.

CONTRACTOR WILL CHECK AND VERIFY ALL DIMENSIONS AND CHECK ALL CONDITIONS ON THE JOB BEFORE PROCEEDING WITH WORK

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SPA-2022-0174

REVISIONS

NO. DATE DESCRIPTION

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ANDERSON + ASSOCIATES INC.

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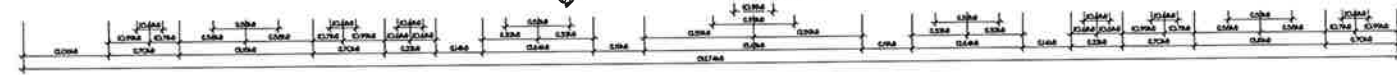
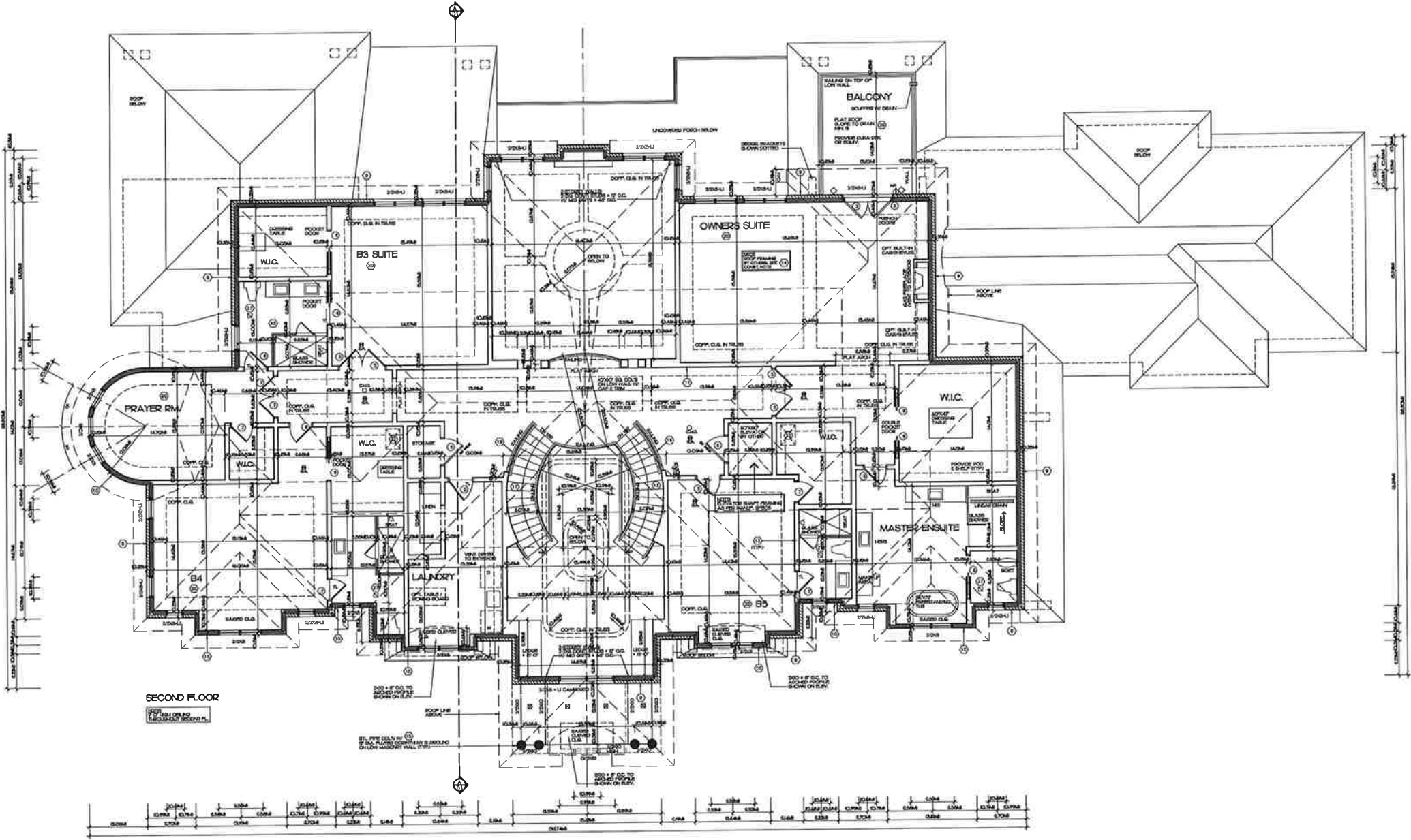
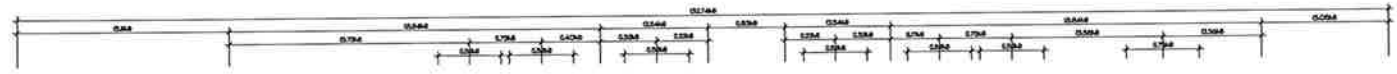
SECOND FLOOR PLAN

31 LEONE LANE BRAMPTON - ONTARIO

DRAWN BY JZL/PRO DATE
CHECKED BY DATE AUG. 2021
SCALE 1:65 FILE 2021-16F

PROJECT NO. 2021-16 DRAWING NO. A3

PRELIMINARY
NOT FOR BUILDING PERMIT
NOT FOR CONSTRUCTION
LAST REVISED NOV/18/2021



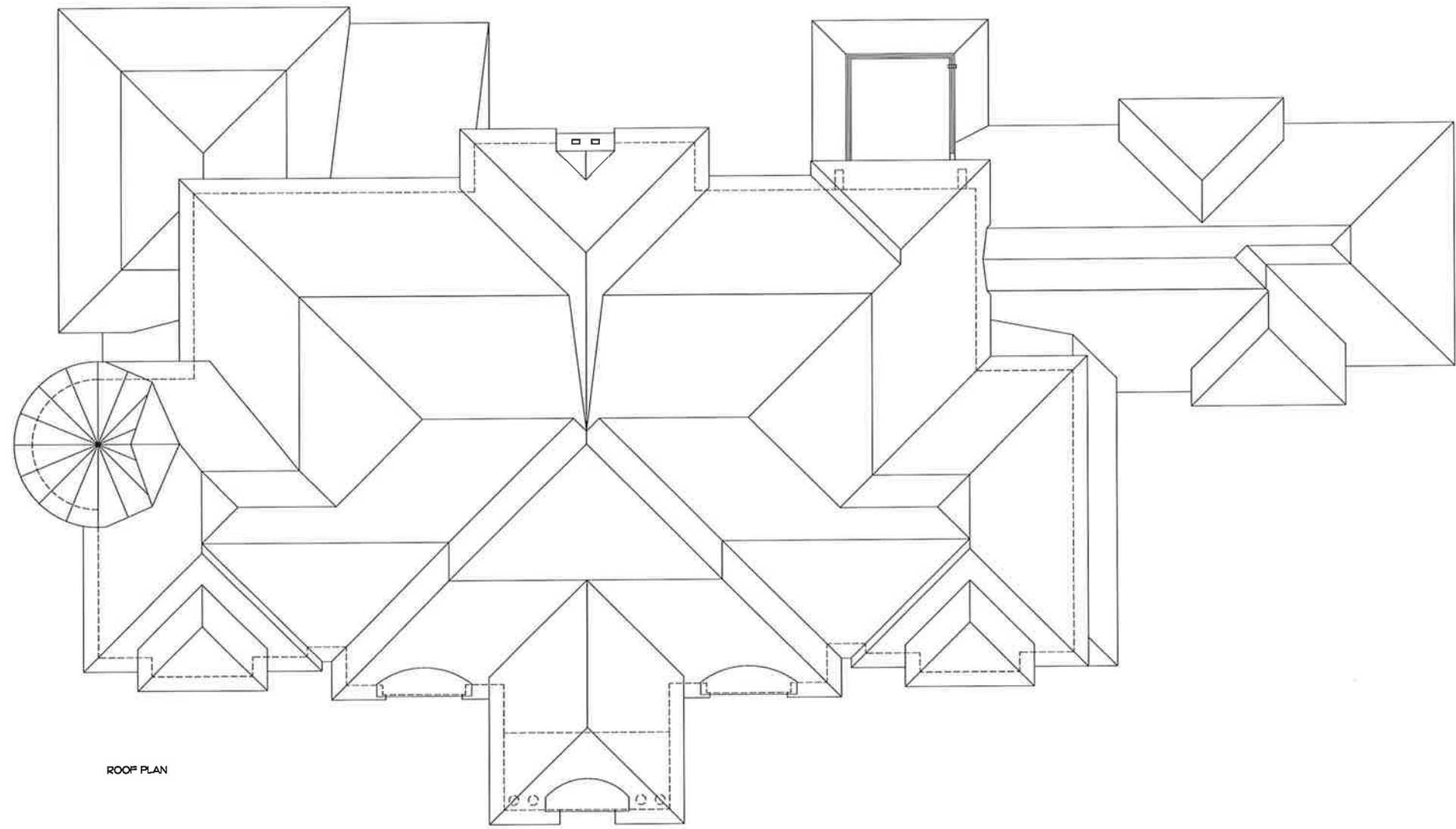
CONTRACTOR WILL CHECK AND VERIFY ALL DIMENSIONS AND CHECK ALL CONDITIONS ON THE JOB BEFORE PROCEEDING WITH WORK

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DRAWINGS NOT TO BE SCALED.
SPA-2022-0174

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ROOF PLAN

NO.	DATE	DESCRIPTION
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REVISIONS		

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ANDERSON + ASSOCIATES INC.

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ROOF PLAN

31 LEONE LANE
BRAMPTON - ONTARIO

DRAWN BY JZL/PRO DATE

CHECKED BY DATE AUG. 2021

SCALE 1:85 FILE 2021-16F

PRELIMINARY
NOT FOR BUILDING PERMIT
NOT FOR CONSTRUCTION
LAST REVISED NOV/10/2022

PROJECT NO.	DRAWING NO.
2021-15	A4

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DRAWINGS NOT TO BE SCALED.
SPA-2022-0174

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NAME: JOHN Z. LASSU
DATE: 25/02/21
SCALE: 1/8" = 1'-0"

NO.	DATE	DESCRIPTION
1	25/02/21	ISSUED FOR PERMIT
2	25/02/21	ISSUED FOR PERMIT
3	25/02/21	ISSUED FOR PERMIT
4	25/02/21	ISSUED FOR PERMIT

REVISIONS

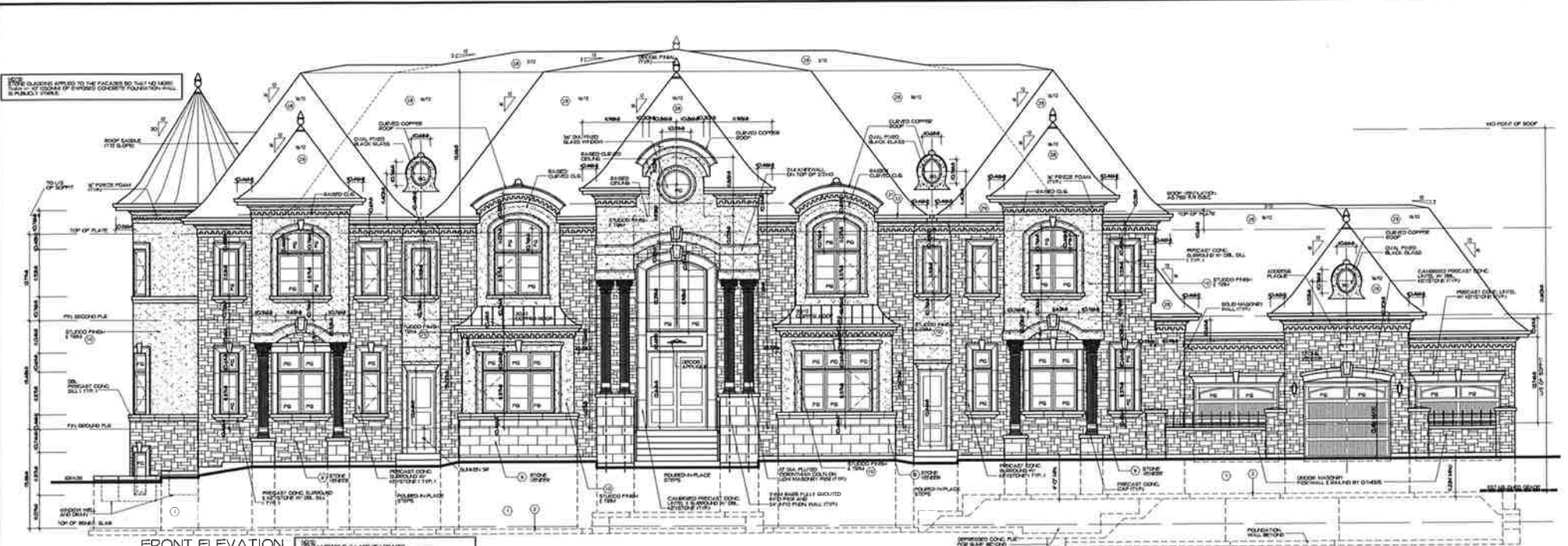
ANDERSON & ASSOCIATES INC.

TRUcustom HOMES

FRONT AND REAR ELEVATIONS

31 LEONE LANE
BRAMPTON - ONTARIO
DRAWN BY: JZL/PRO DATE: DEC 2021
CHECKED BY: DATE: DEC 2021
SCALE: 1/8" = 1'-0" FILE: 2021-15-16E

PROJECT NO: 2021-15 DRAWING NO: A5



FRONT ELEVATION

EXTERIOR MATERIAL AND COLOUR SCHEDULE

NO.	DESCRIPTION	MANUFACTURER	PRODUCT NAME	FINISH	COLOUR
1	BRICK				
2	STONE				
3	WOOD				
4	GLASS				
5	PAINT				
6	ROOFING				
7	ROOFING				
8	ROOFING				
9	ROOFING				
10	ROOFING				
11	ROOFING				
12	ROOFING				
13	ROOFING				
14	ROOFING				
15	ROOFING				
16	ROOFING				
17	ROOFING				
18	ROOFING				
19	ROOFING				
20	ROOFING				

NOTE: METERS SHALL NOT BE LOCATED IN ANY AREAS THAT ARE PUBLIC PROPERTY AND SHALL BE LOCATED TO PROTECT PUBLIC PROPERTY FROM DAMAGE AND TO BE REMOVED FROM PUBLIC VIEW.



REAR ELEVATION

PRELIMINARY
NOT FOR BUILDING PERMIT
NOT FOR CONSTRUCTION
LAST REVISED FEB/11/2022

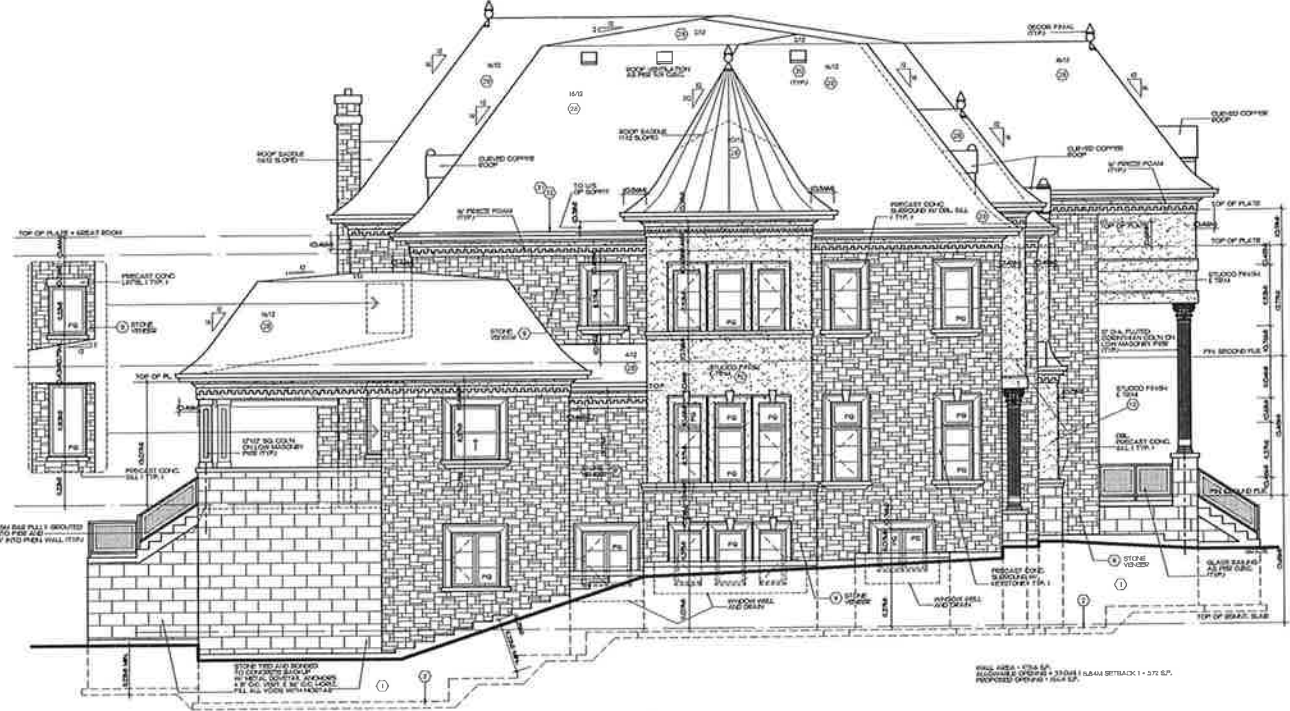
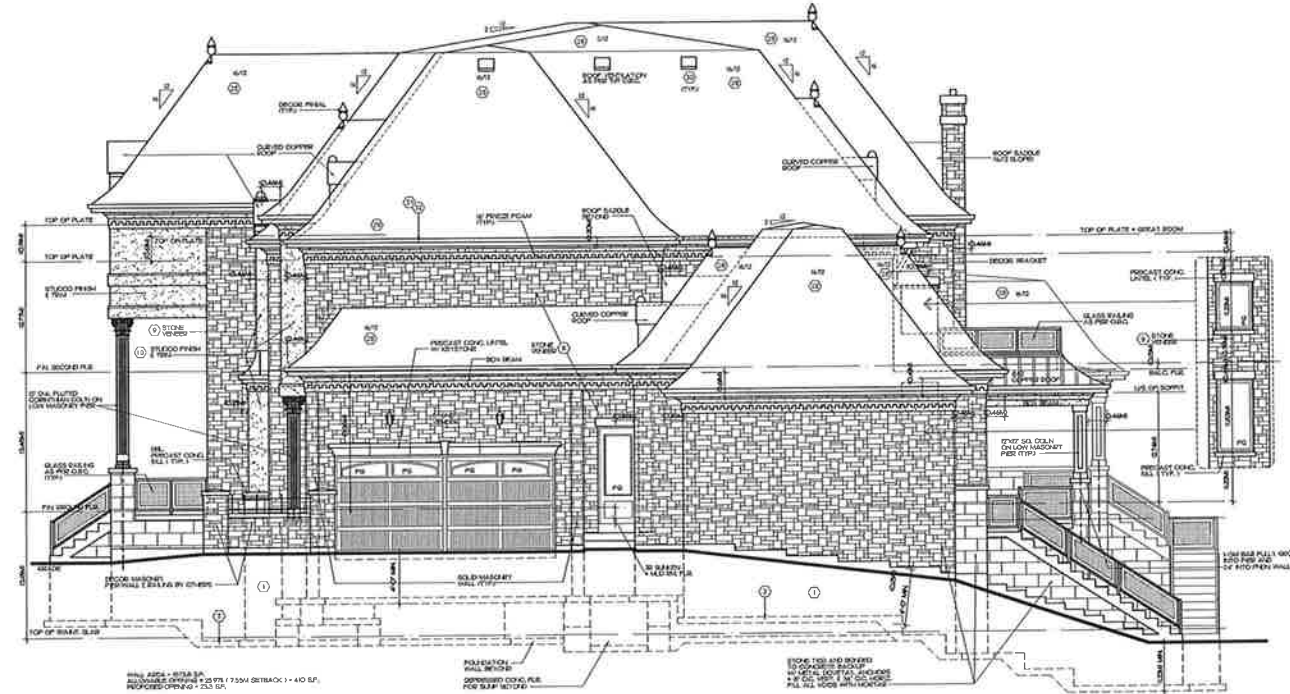
METRIC

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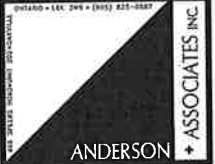
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DRAWINGS NOT TO BE SCALED.



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 PROJECT: 31 LEONE LANE BRAMPTON, ONTARIO
 DRAWN BY: JZL/PRO
 CHECKED BY: JZL/PRO
 SCALE: 1/65
 FILE: 2021-15-16E

NO.	DATE	DESCRIPTION
REVISIONS		



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SIDE ELEVATIONS

31 LEONE LANE BRAMPTON ONTARIO

DRAWN BY: JZL/PRO DATE: DEC 2021

CHECKED BY: JZL/PRO DATE: DEC 2021

SCALE: 1/65 FILE: 2021-15-16E

PROJECT NO. 2021-15 DRAWING NO. A6

PRELIMINARY
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 NOT FOR CONSTRUCTION
 LAST REVISED MAY 16/2022

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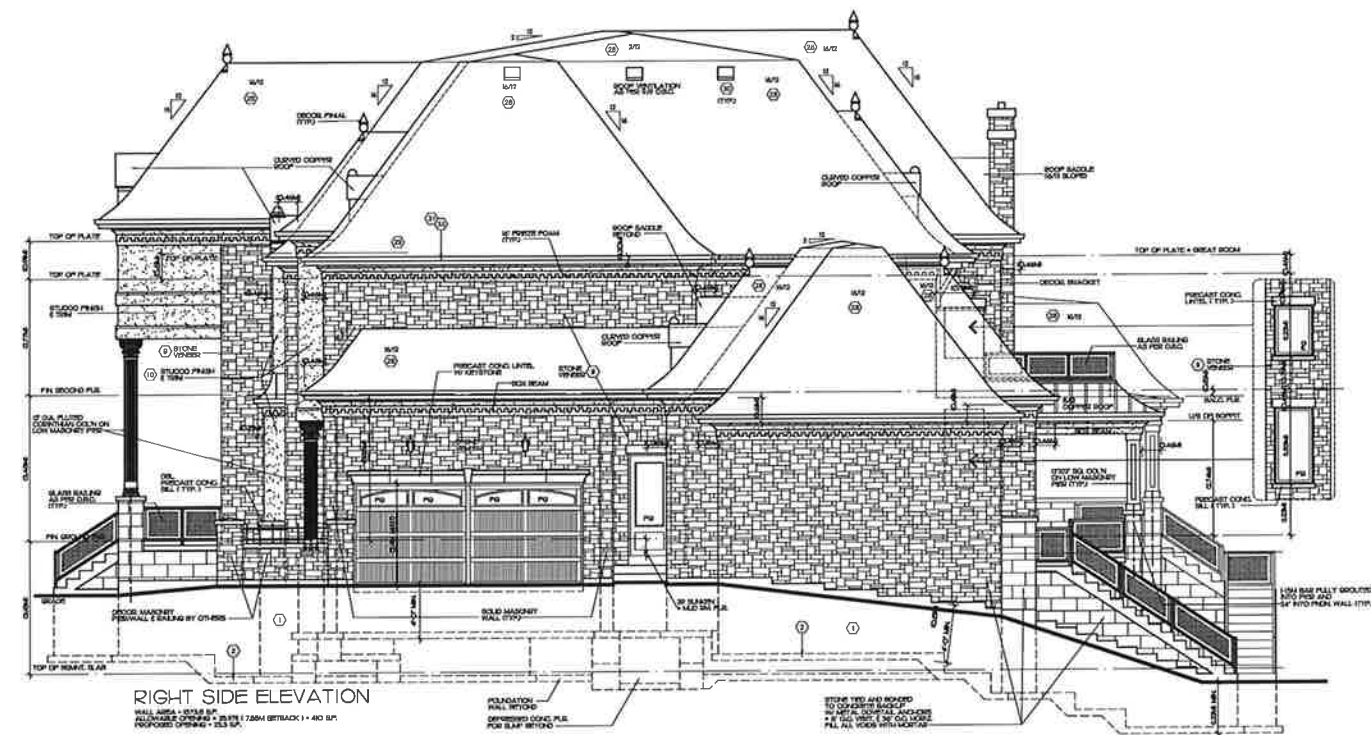
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SPA-2022-0174

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DATE: 25/08/21
DRAWN BY: JZL/PRO
CHECKED BY: JZL/PRO
DATE: 25/08/21

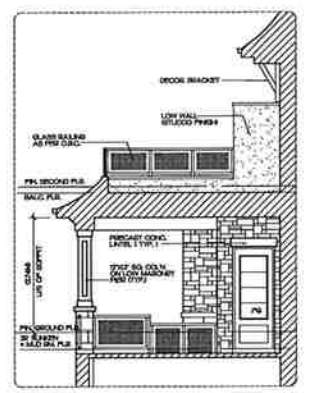


RIGHT SIDE ELEVATION

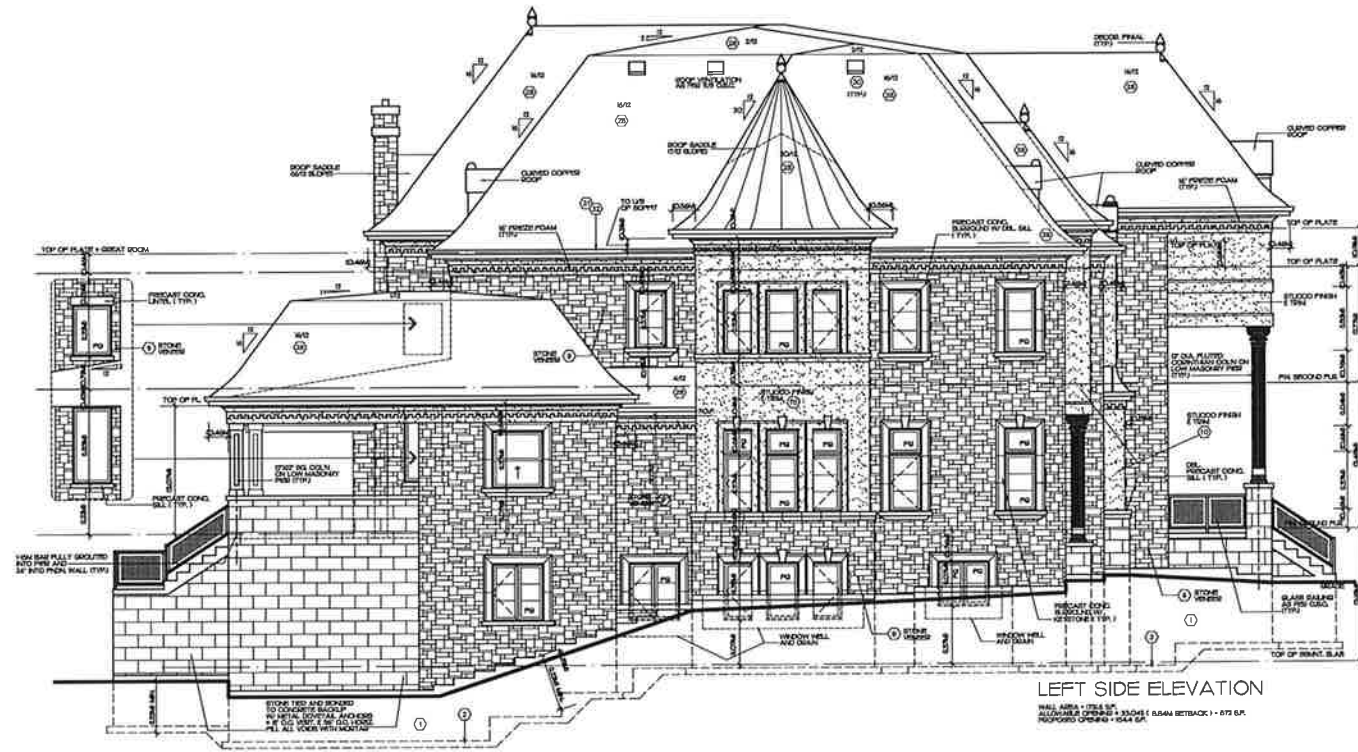
WALL AREA - 1078.1 SQ. FT.
ALLOWABLE OPENING - 23.58 (1750) (SETBACK) - 40.0 SQ. FT.
EXPOSED OPENING - 123.5 SQ. FT.

FOUNDATION WALL WITH 20% DEPRESSURE DRAINAGE FOR BLAST MITIGATION

STONE TIES AND BOLDS TO CONCRETE BACKUP TO TOP OF WALL ABOVE 4" MIN. OVERLAP. SEE CO-LOCATED PLAN FOR WALL DETAIL.



PARTIAL ELEVATION DOOR AT GARAGE



LEFT SIDE ELEVATION

WALL AREA - 1776.1 SQ. FT.
ALLOWABLE OPENING - 33.06 (1750) (1750) (SETBACK) - 47.0 SQ. FT.
EXPOSED OPENING - 104.4 SQ. FT.

NO.	DATE	DESCRIPTION
1	10/01/22	PARTIAL ELEVATION ADDED

REVISIONS

DETAILS • LEX 248 • (303) 823-0887

WE SPEAK RESIDENT 202-240-0416

ANDERSON + ASSOCIATES INC.

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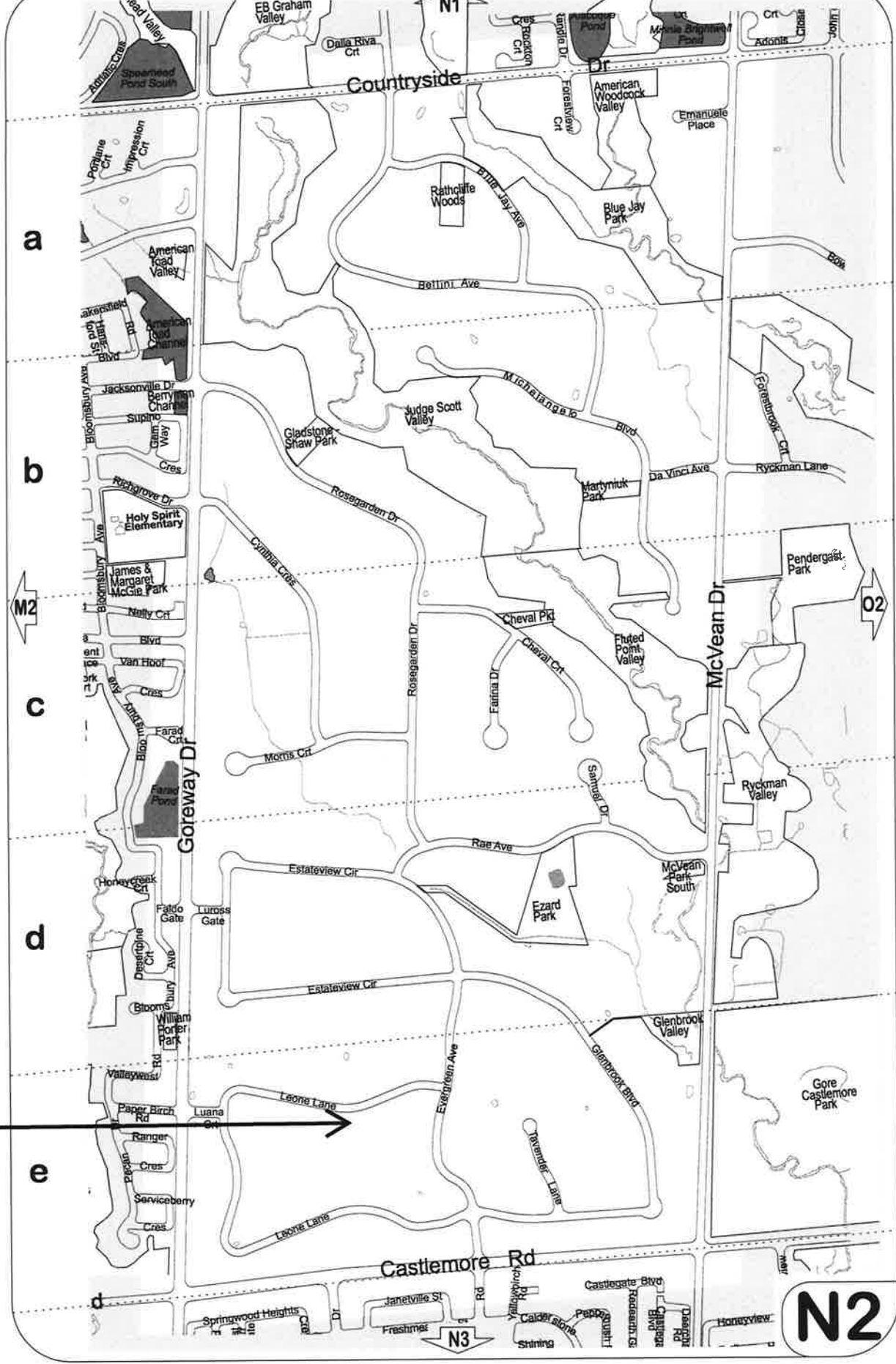
SIDE ELEVATIONS

31 LEONE LANE
BRAMPTON - ONTARIO

DRAWN BY	DATE
JZL/PRO	DEC. 2021
CHECKED BY	DATE
JZL/PRO	DEC. 2021
SCALE 1:65	FILE
	2021-15-16E

PRELIMINARY
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NOT FOR CONSTRUCTION
LAST REVISED NOV/18/2022

PROJECT NO.	DRAWING NO.
2021-15	A6



A-2023-0075

N2