

APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **KULWARANJIT SINGH DHUGGA AND KULDEEP KAUR DHUGGA** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Lot 18, Plan M-232 municipally known as **1 BELLINI AVENUE**, Brampton;

AND WHEREAS the applicants are requesting the following variance(s):

1. To permit a building height of 11.3m (37.07 ft) whereas the by-law permits a maximum building height of 10.6m (34.78 ft.).

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: _____ NO _____ File Number: _____
Application for Consent: _____ NO _____ File Number: _____

The Committee of Adjustment has appointed **TUESDAY, April 18, 2023 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant, the Minister, a specified person or a public body.

RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this 5th Day of April, 2023.

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca

City of Brampton Standard Site Plan Landscape Notes

1. The Contractor must notify the Open Space Invoicing Section of the City of Brampton prior to commencement of any planting.

2. The locations of all trees on adjacent properties must be approved by the Open Space Invoicing Section of the City of Brampton prior to their installation.

3. The Owner is required upon completion of all landscape works to submit an Acceptance Certificate prepared by a certified and registered OALA Landscape Architect to the Open Space Invoicing Section and to request an inspection by the Open Space Invoicing Section. All landscape works will be guaranteed for one year following inspection. Plant material which is not in healthy growing condition one year after inspection, shall be replaced to the satisfaction of the City of Brampton with an additional one-year maintenance guarantee period. Safety and plant all replacements in strict accordance with plans and specifications.

4. Soil that is damaged or missing on the public footpath is to be reinstated/restored at the Owner's expense.

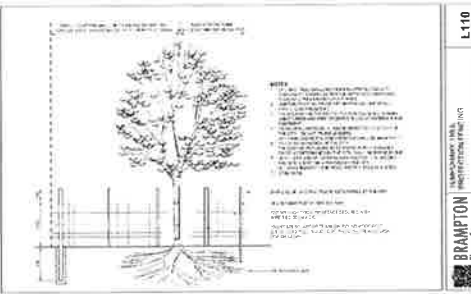
5. Any open site fencing and components that are installed subsequent to Site Plan approval must have a black vinyl covered fence by grade coat application. Four to six coats of black vinyl covered fence with Posture Brand and Chlorophyll solvent applied in a thickness of 4-5 mils by electrostatic coat and even cured for 4 weeks and even surface. All chain link fabric must be black vinyl coated.

6. The Contractor is responsible for location of all underground services prior to excavation of tree pits and utility lines.

7. All 7.5m to be removed at the conclusion of the warranty period, unless otherwise specified by the Open Space Section of the City of Brampton.

8. In any transformer indicated subsequent to site plan approval shall be screened with plant material to the satisfaction of the City of Brampton and meet all requirements of Type One Brampton planting setbacks.

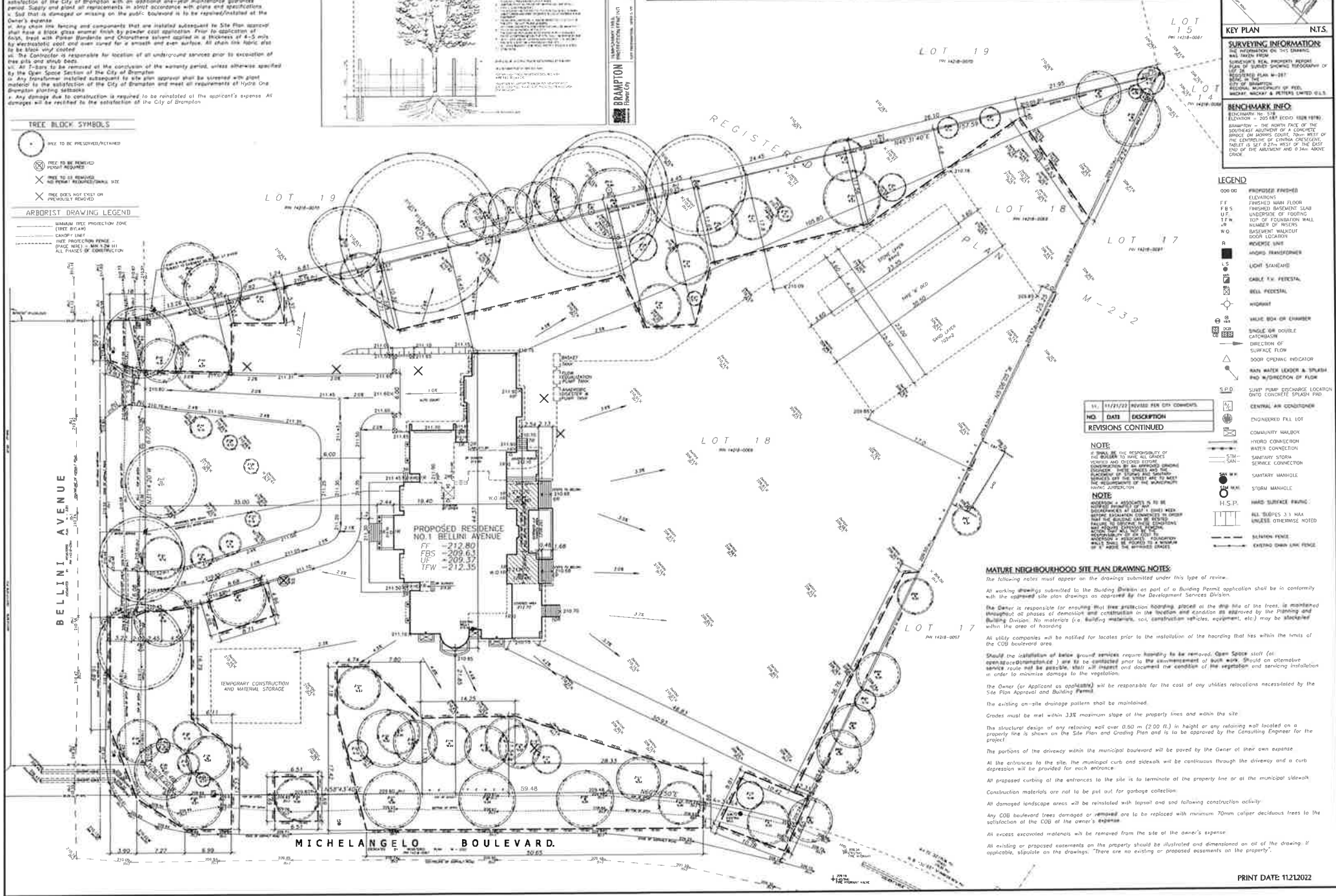
9. Any damage due to construction is required to be reinstated at the applicant's expense. All damages will be restored to the satisfaction of the City of Brampton.



SITE STATISTICS ZONING: RE2

LOT NUMBER	MUNICIPAL ADDRESS	LOT AREA (m ²)	LOT FRONTAGE (m)	GFA TO BE DEMOLISHED (m ²)	GFA PROVIDED (m ²)	GROUND FLOOR AREA (MAY INCLUDE) (m ²)	MIN. LOT COVERAGE (20%) (m ²)	COVERAGE PROVIDED (1.3%)	BUILDING AREA (m ²)	FRONT YARD LANDSCAPED OPEN SPACE PROVIDED (FOR 30% MIN) (m ²)	FRONT YARD LANDSCAPED OPEN SPACE PROVIDED (FOR 30% MIN) (m ²)	PAVED AREA (m ²)	BUILDING HEIGHT PROVIDED (Mature Neighbourhood) (S.S. MAX) (m)	LOT DEPTH (m)
18	1	10,946.60	72.93	372.54	803.61	421.96	3284.58	797.36	487.37	2924.71	2384.30	540.41	11.30	126.51

- TREE BLOCK SYMBOLS**
- TREE TO BE PRESERVED/PLANTED
 - TREE TO BE REMOVED
 - TREE TO BE REMOVED AND REPLANTED/REPLANT SIZE
 - TREE DOES NOT EXIST OR PROBABLY REMOVED
- ARBORIST DRAWING LEGEND**
- MINIMUM TREE PROTECTION ZONE
 - TREE BLOCK
 - LANDFILL
 - TREE PROTECTION FENCE (PAGE THREE) - MIN 2M HI ALL PHASES OF CONSTRUCTION



- LEGEND**
- FINISHED FINISHED ELEVATIONS
 - FINISHED MAIN FLOOR
 - FINISHED BASEMENT SLAB
 - UNDERSIDE OF FOOTING
 - TOP OF FOUNDATION WALL
 - NUMBER OF RISERS
 - BASEMENT WALKOUT
 - DOOR LOCATION
 - WINDOW UNIT
 - WINDOW TRANSFORMER
 - LIGHT STAIRWELL
 - CABLE TV FEEDING
 - BELL FEEDING
 - HIGHWATER
 - VALVE BOX OR CHAMBER
 - SINGLE OR DOUBLE CATCHBASIN
 - DIRECTION OF SURFACE FLOW
 - DOOR OPENING INDICATOR
 - RAIN WATER LEADER & SPLASH PAD W/DIRECTION OF FLOW
 - SUMP PUMP DISCHARGE LOCATION
 - DIRECTION OF SURFACE FLOW
 - CENTRAL AIR CONDITIONER
 - ENGINEERED FILL LOT
 - COMMUNITY MAILBOX
 - HYDRO CONNECTION
 - WATER CONNECTION
 - SANITARY STORM SERVICE CONNECTION
 - SANITARY MANHOLE
 - STORM MANHOLE
 - HARD SURFACE FINISHING
 - REEL STRIPS 3:1 MAX UNLESS OTHERWISE NOTED
 - SATURATION FENCE
 - EXISTING OPEN LINK FENCE

1 BELLINI AVENUE

KEY PLAN

SURVEYING INFORMATION:

ALL INFORMATION ON THIS DRAWING IS THE PROPERTY OF THE SURVEYOR AND IS TO BE USED ONLY FOR THE PROJECT DESCRIBED HEREIN. ANY REUSE OF THIS INFORMATION WITHOUT THE WRITTEN CONSENT OF THE SURVEYOR IS STRICTLY PROHIBITED.

BENCHMARK INFO:

ENCUMBRANCE NO. 578
 LOCATION: 505 FM 6000 (E000 100M 1989)
 BRAMPTON - THE NORTH FACE OF THE SOUTHEAST ADJUTMENT OF A CONCRETE BRIDGE ON JONES CREEK, 100M WEST OF THE CENTRELINE OF JONES CREEK, 100M WEST OF THE ADJUTMENT AND 0.5M ABOVE THE ADJUTMENT AND 0.5M ABOVE THE ADJUTMENT.

WWW.ANDERCAD.COM

CONTRACTOR WILL CHECK AND VERIFY ALL DIMENSIONS AND CHECK ALL CONDITIONS ON THE JOB BEFORE PROCEEDING WITH WORK.

LATEST APPROVED DRAWINGS ONLY TO BE USED FOR CONSTRUCTION.

ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF ANDERSON & ASSOCIATES INC. AND MAY NOT BE REPRODUCED WITHOUT WRITTEN CONSENT.

DRAWINGS NOT TO BE SCALED.

CITY OF BRAMPTON
 PLANNING, DESIGN AND INSPECTION DEPARTMENT

CITY FILE NUMBER
 (SPA-2022-0176)

CITY OF BRAMPTON LANDSCAPE PLAN APPROVED

subject to an agreement on this Day of _____

Alan Parsons
 Director, Development Services

REVISIONS

NO.	DATE	DESCRIPTION
1	11/14/22	ISSUED PER CITY COMMENTS
2	07/21/22	CITY PLAN UPDATES PER CITY COMMENTS
3	06/24/22	CITY PLAN UPDATES PER CITY COMMENTS
4	06/15/22	CITY PLAN UPDATES PER CITY COMMENTS
5	06/15/22	CITY PLAN UPDATES PER CITY COMMENTS
6	07/05/22	CITY PLAN UPDATES PER CITY COMMENTS
7	06/03/22	CITY PLAN UPDATES PER CITY COMMENTS
8	06/03/22	CITY PLAN UPDATES PER CITY COMMENTS

ANDERSON & ASSOCIATES INC.

TRUcustom HOMES

LOT 18
 BELLINI AVENUE
 MUNICIPAL ADDRESS
 1 BELLINI AVENUE

SITE PLAN

DRAWN BY: MA/PRO DATE: MAY 2022
 CHECKED BY: DATE:

SCALE: FILE: 2021-16-SITE

PROJECT NO.: 2021-16 DRAWING NO.: SP-1G

MATURE NEIGHBOURHOOD SITE PLAN DRAWING NOTES:

The following notes must appear on the drawings submitted under this type of review:

All working drawings submitted to the Building Division as part of a Building Permit application shall be in conformity with the approved site plan drawings as approved by the Development Services Division.

The Owner is responsible for ensuring that tree protection hoarding placed on the site of its trees, is maintained throughout all phases of demolition and construction in the location and condition as approved by the Planning and Building Division. No materials (i.e. building materials, soil, construction vehicles, equipment, etc.) may be stockpiled within the area of hoarding.

All utility companies will be notified for locates prior to the installation of the hoarding that lies within the limits of the COB landscaped area.

Should the installation of below ground services require removal of Open Space staff (at open-space@brampton.ca) are to be contacted prior to the commencement of such work. Should an alternative service route be possible, staff will inspect and document the condition of the vegetation and service installation in order to minimize damage to the vegetation.

The Owner (or Applicant as applicable) will be responsible for the cost of any utilities relocations necessitated by the Site Plan Approval and Building Permit.

The existing on-site drainage pattern shall be maintained.

Grades must be met within 33% maximum slope of the property lines and within the site.

The structural design of any retaining wall over 0.60 m (2'00") in height or any retaining wall located on a property line is shown on the Site Plan and Grading Plan and is to be approved by the Consulting Engineer for the project.

The portions of the driveway within the municipal boulevard will be paved by the Owner at their own expense.

At the entrances to the site, the municipal curb and sidewalk will be continuous through the driveway and a curb depression will be provided for each entrance.

All proposed curbing at the entrances to the site is to terminate at the property line or at the municipal sidewalk. Construction materials are not to be put out for garbage collection.

All damaged landscape areas will be reinstated with topsoil and sod following construction activity.

Any COB boulevard trees damaged or removed are to be replaced with minimum 70mm caliper deciduous trees to the satisfaction of the COB at the owner's expense.

All excess excavated materials will be removed from the site at the owner's expense.

All existing or proposed easements on the property should be illustrated and dimensioned as on the drawing. If applicable, stipulate on the drawings: "There are no existing or proposed easements on the property."

PRINT DATE: 11.21.2022

Under the authority of the Emergency Management and Civil Protection Act and the Municipal Act, 2001, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

**Electronic/Hybrid Hearing Procedures
How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **April 18, 2023** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

How to Participate in the Hearing:

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, April 13, 2023.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:

1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, April 13, 2023.**

2. To participate in-person, please email the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, April 13, 2023.**

- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, April 13, 2023.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance.

Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

March 20, 2023

A-2023-0076

COMMITTEE OF ADJUSTMENT
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2

Attention: Jeanie Myers, Legislative Coordinator/Secretary-Treasurer

Re: 1 Bellini Avenue

Dear Jeanie,

Attached please find the application for Minor Variance for the above-mentioned address, along with the twelve (12) copies as per the application specifications.

Mr. Kulwaranjit Singh Dhugga and Mrs. Kuldeep Kaur Dhugga will be demolishing the existing house and building a new two-storey, single-family dwelling.

In order to facilitate this proposal, a minor variance with regards to the maximum height permitted must be requested. Specifically, the zoning for this property mandates a 10.6m maximum building height. The variance, albeit minor in nature, being requested is for a building height of 11.3m.

Should you have any further questions or concerns, please feel free to contact me at your convenience.

Best Regards,



Margaret Perrotta (agent)
President
TRUcustom Homes Inc.
Phone: (905) 467-8048
Email: margaretperrotta@gmail.com



The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** Kulwaranjit Singh Dhugga and Kuldeep Kaur Dhugga
Address 1 Bellini Avenue, Brampton, Ontario L6P 0X6

Phone # (416) 400-5454 **Fax #** _____
Email kaladhugga2gmail.com; kdhugga37@gmail.com

2. **Name of Agent** Margaret Perrotta
Address 79 Elgin Street, P.O. Box 1332, Waterdown, Ontario L0R 2H0

Phone # (905) 467-8048 **Fax #** _____
Email margaretperrotta@gmail.com

3. **Nature and extent of relief applied for (variances requested):**

- Building Height required in Mature Neighborhoods = 10.60m
 - Building Height provided = 11.30m

4. **Why is it not possible to comply with the provisions of the by-law?**

We are trying to match existing grades as much as possible to preserve trees and incorporate a new septic system. So due to the Average grade measurement system being used around the house to determine height, and this lots grades falling at the rear so that it becomes a Look-out/Walk-up at the rear. The height needed to go to committee of adjustment.

5. **Legal Description of the subject land:**
Lot Number 18
Plan Number/Concession Number M-232
Municipal Address 1 Bellini Avenue, Brampton, Ontario

6. **Dimension of subject land (in metric units)**
Frontage 72.93m
Depth 126.51m
Area 10,948.60m²

7. **Access to the subject land is by:**

Provincial Highway	<input type="checkbox"/>	Seasonal Road	<input type="checkbox"/>	
Municipal Road Maintained All Year	<input checked="" type="checkbox"/>	Other Public Road	<input type="checkbox"/>	
Private Right-of-Way	<input type="checkbox"/>	Water	<input type="checkbox"/>	

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

Existing buildings/structures to be demolished; existing house GFA measured 274.96 m2; existing shed GFA 9.33 m2

PROPOSED BUILDINGS/STRUCTURES on the subject land:

- Ground Floor Area = 421.96m2 - Height = 11.30m
- Gross Floor Area = 803.61m2 - Lot Coverage = 797.38m2
- 2 Storeys
- Overall width = 44.37m
- Overall length = 26.51m

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback 24.72m
Rear yard setback 127.98m
Side yard setback 21.92m (left side looking in from street) (existing shed - 1.56m to side yard)
Side yard setback 30.76m (right side corner flanking) (existing shed - 1.56m to side yard)

PROPOSED

Front yard setback 35.00m
Rear yard setback 105.80m
Side yard setback 16.45m
Side yard setback 21.85m

10. Date of Acquisition of subject land: 2015

11. Existing uses of subject property: Residential

12. Proposed uses of subject property: Residential

13. Existing uses of abutting properties: Residential

14. Date of construction of all buildings & structures on subject land: 1982

15. Length of time the existing uses of the subject property have been continued: 40 years

16. (a) What water supply is existing/proposed?
Municipal Other (specify) _____
Well

(b) What sewage disposal is/will be provided?
Municipal Other (specify) _____
Septic

(c) What storm drainage system is existing/proposed?
Sewers Other (specify) _____
Ditches
Swales

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes No

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes No

19. Has the subject property ever been the subject of an application for minor variance?

Yes No Unknown

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Dhugga

Signature of Applicant(s) or Authorized Agent

DATED AT THE City OF Brampton
THIS 20 DAY OF March, 2023.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Kucup Dhugga, OF THE City OF Brampton
IN THE Region OF Peel SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE
City OF Brampton
IN THE Region OF
Peel THIS 20TH DAY OF
March, 2023

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024.

Dhugga

Signature of Applicant or Authorized Agent

Submit by Email

Jeanie Myers
A Commissioner etc.

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Zoning Officer

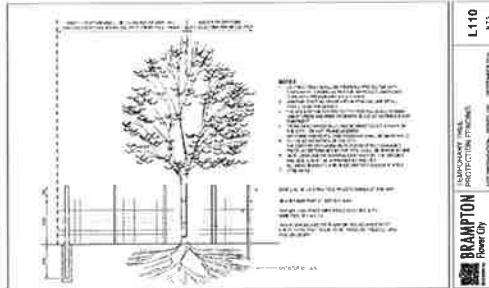
Date

DATE RECEIVED March 20, 2023

Date Application Deemed Complete by the Municipality _____

City of Brampton Standard Site Plan Landscape Notes

1. The Contractor must notify the Open Space Development Section of the City of Brampton prior to commencement of any planting.
 2. The locations of all trees on street frontages must be approved by the Open Space Development Section of the City of Brampton prior to their installation.
 3. The Owner is required, upon completion of all landscape works, to submit an Acceptance Certificate prepared by a certified or registered OALA Landscape Architect to the Open Space Development Section and to request an inspection by the Open Space Section.
 4. All landscape works will be guaranteed for one year following inspection. Plant material, which is not in healthy growing condition one year after inspection, shall be replaced to the satisfaction of the City of Brampton with an additional one-year maintenance guarantee period. Supply and plant of replacements in strict accordance with plans and specifications.
 5. Soil that is damaged or missing on the public boulevard is to be replaced/instilled at the Owner's expense.
 6. Any chain link fencing and components that are installed subsequent to Site Plan approval shall have a black glass enamel finish by powder coat application. Prior to application of finish, treat with PORCELANITE and Chromalume solvent applied in a thickness of 4-5 mils by electrostatic coat and oven cured for 4 months and even surface. All chain link fabric area to be black vinyl coated.
 7. The Contractor is responsible for location of all underground services prior to excavation of tree pits and when done.
 8. All 1-3-20 are to be removed at the conclusion of the warranty period, unless otherwise specified by the Open Space Section of the City of Brampton.
 9. Any structures installed subsequent to site plan approval shall be stamped with plant material to the satisfaction of the City of Brampton and meet all requirements of Type One Brampton planting standards.
 10. Any damage due to construction is required to be reinstated at the applicant's expense. All drawings will be required to the satisfaction of the City of Brampton.



SITE STATISTICS ZONING: RE2

LOT NUMBER	MUNICIPAL ADDRESS	LOT AREA (m ²)	LOT FRONTAGE (m)	GFA TO BE DEMOLISHED (m ²)	GFA PROVIDED (m ²)	GROUND FLOOR AREA (m ²)	MIN. LOT COVERAGE (m ²)	COVERAGE PROVIDED (%)	BUILDING AREA (m ²)	FRONT YARD LANDSCAPED OPEN SPACE (m ²)	FRONT YARD LANDSCAPED OPEN SPACE PROVIDED (% MAX)	PAVED AREA (m ²)	BUILDING HEIGHT PROVIDED (m)	LOT DEPTH (m)
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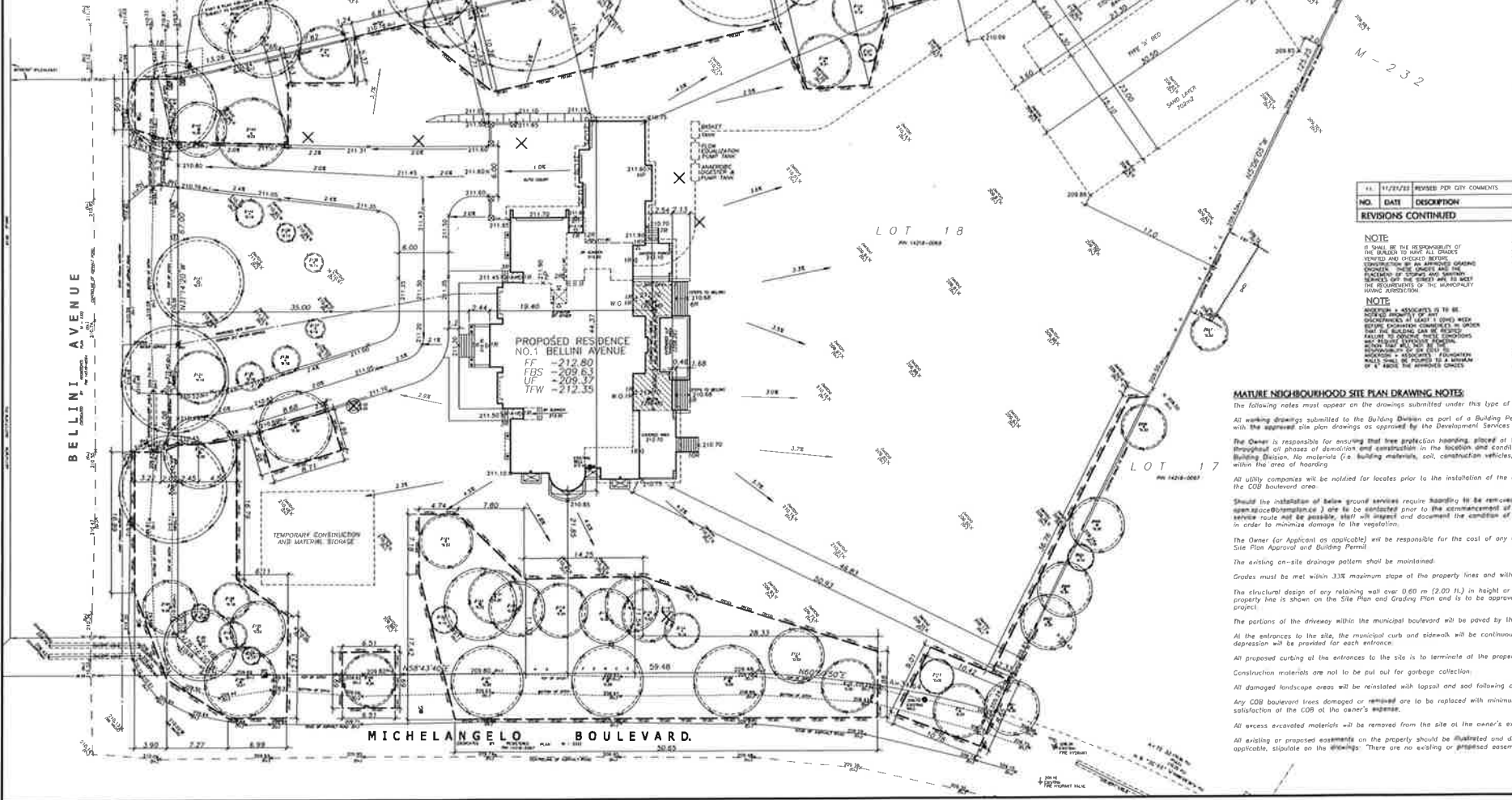
1 BELLINI AVENUE

TREE BLOCK SYMBOLS

- TREE TO BE PRESERVED/RETAINED
- ⊗ TREE TO BE REMOVED
- ⊗ TREE TO BE REMOVED POINT PRUNED
- ⊗ TREE TO BE REMOVED NO PERMIT REQUIRED/SMALL SIZE
- ⊗ TREE DOES NOT EXIST OR PREVIOUSLY REMOVED

ARBORIST DRAWING LEGEND

- NORMAL TREE PROTECTION ZONE
- TREE STRAND
- CANYON LANE
- TREE PROTECTION FENCE (FENCE WALL) - MIN 1.20 M HT ALL PHASES OF CONSTRUCTION



KEY PLAN N.T.S.

SURVEYING INFORMATION

THE INFORMATION ON THIS DRAWING WAS TAKEN FROM SURVEYOR'S PLAN, PROPERTY REPORT, PLAN OF SURVEY, SHADING TOPOGRAPHY OF LOT 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.

LEGEND

- 000.00 PROPOSED FINISHED ELEVATIONS
- FF FINISHED MAIN FLOOR
- FBS FINISHED BASEMENT SLAB
- UF UNDERFLOOR OF FOOTING
- TFW TOP OF FOUNDATION WALL
- HW NUMBER OF WINDOWS
- W ROOF
- REVERSE UNIT
- HTD HEATING TRANSFORMER
- L.S LIGHT STANDARD
- CABLE T.X. FEEDBACK
- BELL FEEDBACK
- HYDRAVANT
- VALVE BOX OR CHAMBER
- SINKS OR TOILETS CATCHBASIN
- DIRECTION OF SURFACE FLOW
- DOOR SWING INDICATOR
- RAIN WATER LEADER & SPLASH PAD W/DIRECTION OF FLOW
- S.P.D. SUMP PUMP DISCHARGE LOCATION ONTO CONCRETE SPLASH PAD
- CENTRAL AIR CONDITIONER
- ENGINEERED FILL LOT
- COMMUNITY MAILBOX
- HYDRO CONNECTION
- WATER CONNECTION
- SANITARY STORM SERVICE CONNECTION
- SANITARY MANHOLE
- STORM MANHOLE
- H.S.P. HARD SURFACE PAVING
- ALL SLOPES 3% MAX UNLESS OTHERWISE NOTED
- SALVATION FENCE
- EXISTING SHOWN LINK FENCE

NO.	DATE	DESCRIPTION
11	11/17/22	REVISED PER CITY COMMENTS
REVISIONS CONTINUED		

NOTE
 I, ANDERSON + ASSOCIATES INC. SHALL BE THE RESPONSIBILITY OF THE DESIGNER FOR THE WORK SHOWN HEREON. THESE DRAWINGS ARE THE PROPERTY OF ANDERSON + ASSOCIATES INC. AND WILL BE RETURNED TO THE CLIENT UPON COMPLETION OF THE PROJECT. ANY REVISIONS TO THESE DRAWINGS SHALL BE MADE BY THE CLIENT AND APPROVED BY ANDERSON + ASSOCIATES INC.

NOTE
 ANDERSON + ASSOCIATES INC. IS TO BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE WORK SHOWN HEREON. THESE DRAWINGS ARE THE PROPERTY OF ANDERSON + ASSOCIATES INC. AND WILL BE RETURNED TO THE CLIENT UPON COMPLETION OF THE PROJECT. ANY REVISIONS TO THESE DRAWINGS SHALL BE MADE BY THE CLIENT AND APPROVED BY ANDERSON + ASSOCIATES INC.

MATURE NEIGHBOURHOOD SITE PLAN DRAWING NOTES

- The following notes must appear on the drawings submitted under this type of review:
- All working drawings submitted to the Building Division as part of a Building Permit application shall be in conformity with the approved site plan drawings as approved by the Development Services Division.
- The Owner is responsible for ensuring that tree protection hoarding, placed at the drip line of the trees, is maintained throughout all phases of demolition and construction in the location and condition as approved by the Planning and Building Division. No materials (e.g. building materials, soil, construction vehicles, equipment, etc.) may be stockpiled within the area of hoarding.
- All utility companies will be notified for locates prior to the installation of the hoarding that lies within the limits of the COB boulevard area.
- Should the installation of below ground services require hoarding to be removed, Open Trench Staff (OTSS) (see attached drawing) are to be installed prior to the commencement of such work. Should an alternative service route be possible, start with a request and document the condition of the vegetation and servicing installation in order to minimize damage to the vegetation.
- The Owner (or Applicant as applicable) will be responsible for the cost of any utilities relocations necessitated by the Site Plan Approval and Building Permit.
- The existing on-site drainage pattern shall be maintained.
- Grades must be met within 3.3% maximum slope of the property lines and within the site.
- The structural design of any retaining wall over 0.60 m (2.00 ft.) in height or any retaining wall located on a property line is shown on the Site Plan and Grading Plan and is to be approved by the Consulting Engineer for the project.
- The portions of the driveway within the municipal boulevard will be paved by the Owner at their own expense.
- At the entrances to the site, the municipal curb and sidewalk will be continuous through the driveway and a curb depression will be provided for each entrance.
- All proposed curbing at the entrances to the site is to terminate at the property line or at the municipal sidewalk.
- Construction materials are not to be put out for garbage collection.
- All damaged landscape areas will be reinstated with topsoil and sod following construction activity.
- Any COB boulevard trees damaged or removed are to be replaced with minimum 70mm caliper deciduous trees to the satisfaction of the COB of the owner's expense.
- All excess excavated materials will be removed from the site at the owner's expense.
- All existing or proposed easements on the property should be identified and dimensioned on all of the drawing. If applicable, stipulate on the drawings: "There are no existing or proposed easements on the property."

CONTRACTOR WILL CHECK AND VERIFY ALL DIMENSIONS AND CHECK ALL CONDITIONS ON THE JOB BEFORE PROCEEDING WITH WORK.

LATEST APPROVED DRAWINGS ONLY TO BE USED FOR CONSTRUCTION.

ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF ANDERSON + ASSOCIATES INC. AND MAY NOT BE REPRODUCED WITHOUT WRITTEN CONSENT.

DRAWINGS NOT TO BE SCALED.

CITY OF BRAMPTON
 PLANNING, BUILDING AND DEVELOPMENT DEPARTMENT

CITY FILE NUMBER
 (SPA-2022-0176)

THE UNDERSIGNED HAS REVIEWED AND APPROVED THE SITE PLAN DRAWING SET FOR THE PROPOSED CONSTRUCTION OF THE WORK SHOWN HEREON. THESE DRAWINGS ARE THE PROPERTY OF ANDERSON + ASSOCIATES INC. AND WILL BE RETURNED TO THE CLIENT UPON COMPLETION OF THE PROJECT. ANY REVISIONS TO THESE DRAWINGS SHALL BE MADE BY THE CLIENT AND APPROVED BY ANDERSON + ASSOCIATES INC.

CITY OF BRAMPTON LANDSCAPE PLAN APPROVED
 subject to an agreement on this ___ Day of ____.

Allan Parsons
 Director, Development Services

NO.	DATE	DESCRIPTION
10	11/17/22	REVISED PER CITY COMMENTS
11	02/27/22	REVISIONS CONTINUED
12	02/27/22	REVISIONS CONTINUED
13	02/27/22	REVISIONS CONTINUED
14	02/27/22	REVISIONS CONTINUED
15	02/27/22	REVISIONS CONTINUED
16	02/27/22	REVISIONS CONTINUED
17	02/27/22	REVISIONS CONTINUED
18	02/27/22	REVISIONS CONTINUED
19	02/27/22	REVISIONS CONTINUED
20	02/27/22	REVISIONS CONTINUED
21	02/27/22	REVISIONS CONTINUED
22	02/27/22	REVISIONS CONTINUED
23	02/27/22	REVISIONS CONTINUED
24	02/27/22	REVISIONS CONTINUED
25	02/27/22	REVISIONS CONTINUED
26	02/27/22	REVISIONS CONTINUED
27	02/27/22	REVISIONS CONTINUED
28	02/27/22	REVISIONS CONTINUED
29	02/27/22	REVISIONS CONTINUED
30	02/27/22	REVISIONS CONTINUED

NO.	DATE	DESCRIPTION
1	02/27/22	REVISIONS CONTINUED
2	02/27/22	REVISIONS CONTINUED
3	02/27/22	REVISIONS CONTINUED
4	02/27/22	REVISIONS CONTINUED
5	02/27/22	REVISIONS CONTINUED
6	02/27/22	REVISIONS CONTINUED
7	02/27/22	REVISIONS CONTINUED
8	02/27/22	REVISIONS CONTINUED
9	02/27/22	REVISIONS CONTINUED
10	02/27/22	REVISIONS CONTINUED

ANDERSON + ASSOCIATES INC.

TRUcustom HOMES

LOT 18
 BELLINI AVENUE
 MUNICIPAL ADDRESS
 1 BELLINI AVENUE

SITE PLAN

DRAWN BY MAY/PRO	DATE MAY 2022
CHECKED BY	DATE
SCALE 1:250	FILE 2021-16-SITE

PROJECT NO.
2021-16

DRAWING NO.
SP-1G

CONTRACTOR WILL CHECK AND VERIFY ALL DIMENSIONS AND CHECK ALL CONDITIONS ON THE JOB BEFORE PROCEEDING WITH WORK

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DRAWINGS NOT TO BE SCALED.
SPA-2022-0176

CCC PART 9
BUILDING AREA - 5246 SF.
(4437.37M²)

THIS DRAWING IS THE PROPERTY OF ANDERSON + ASSOCIATES INC. AND MAY NOT BE REPRODUCED WITHOUT WRITTEN CONSENT.
WALLS: 2 LASHU
DOOR: 2000
DATE: 2021-11-16
DESIGNED BY: JZL/PRO
CHECKED BY: JZL/PRO
SCALE: 1:65
FILE: 2021-16F

NO. DATE DESCRIPTION
REVISIONS

ONTARIO • LAK 348 • (416) 823-0887
ANDERSON + ASSOCIATES INC.

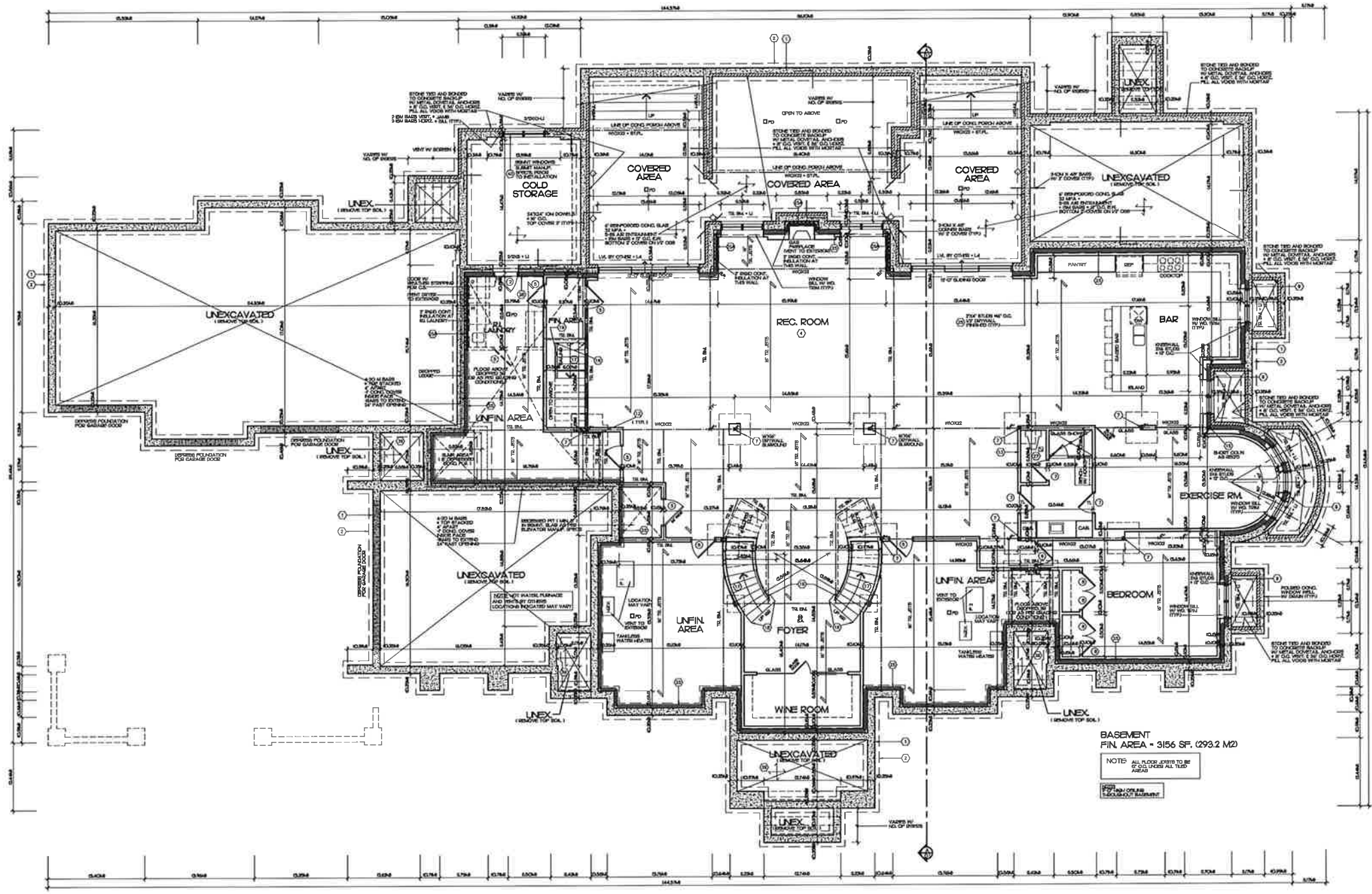
TRUcustom HOMES

BASEMENT PLAN

1 BELLINI AVENUE
BRAMPTON - ONTARIO

DRAWN BY: JZL/PRO
DATE: AUG. 2021
CHECKED BY: JZL/PRO
DATE: AUG. 2021
SCALE: 1:65
FILE: 2021-16F

PROJECT NO. 2021-16
DRAWING NO. A1



BASEMENT
FIN. AREA = 3156 SF. (293.2 M²)

NOTES: ALL FLOOR LEVELS TO BE 2'-0" UNDER ALL TIED AREAS.
DO NOT SCALE THIS DRAWING.

PRELIMINARY
NOT FOR BUILDING PERMIT
NOT FOR CONSTRUCTION
LAST REVISED NOV/16/2022

METRIC

CONTRACTOR WILL CHECK AND VERIFY ALL DIMENSIONS AND CHECK ALL CONDITIONS ON THE JOB BEFORE PROCEEDING WITH WORK

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DRAWINGS NOT TO BE SCALED.
SPA-2022-0176

WE UNDERTAKE NO RESPONSIBILITY FOR THE ACCURACY AND COMPLETENESS OF THE INFORMATION CONTAINED HEREIN. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND REGULATORY APPROVALS. ANDERSON + ASSOCIATES INC. SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND REGULATORY APPROVALS. ANDERSON + ASSOCIATES INC. SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS.

NO.	DATE	DESCRIPTION
REVISIONS		

ONTARIO - LEB. 248 + (403) 833-0887
 111 STEELES ROAD, UNIT 202, MISSISSAUGA, ONTARIO L4X 1L7
ANDERSON + ASSOCIATES INC.

TRUcustom HOMES

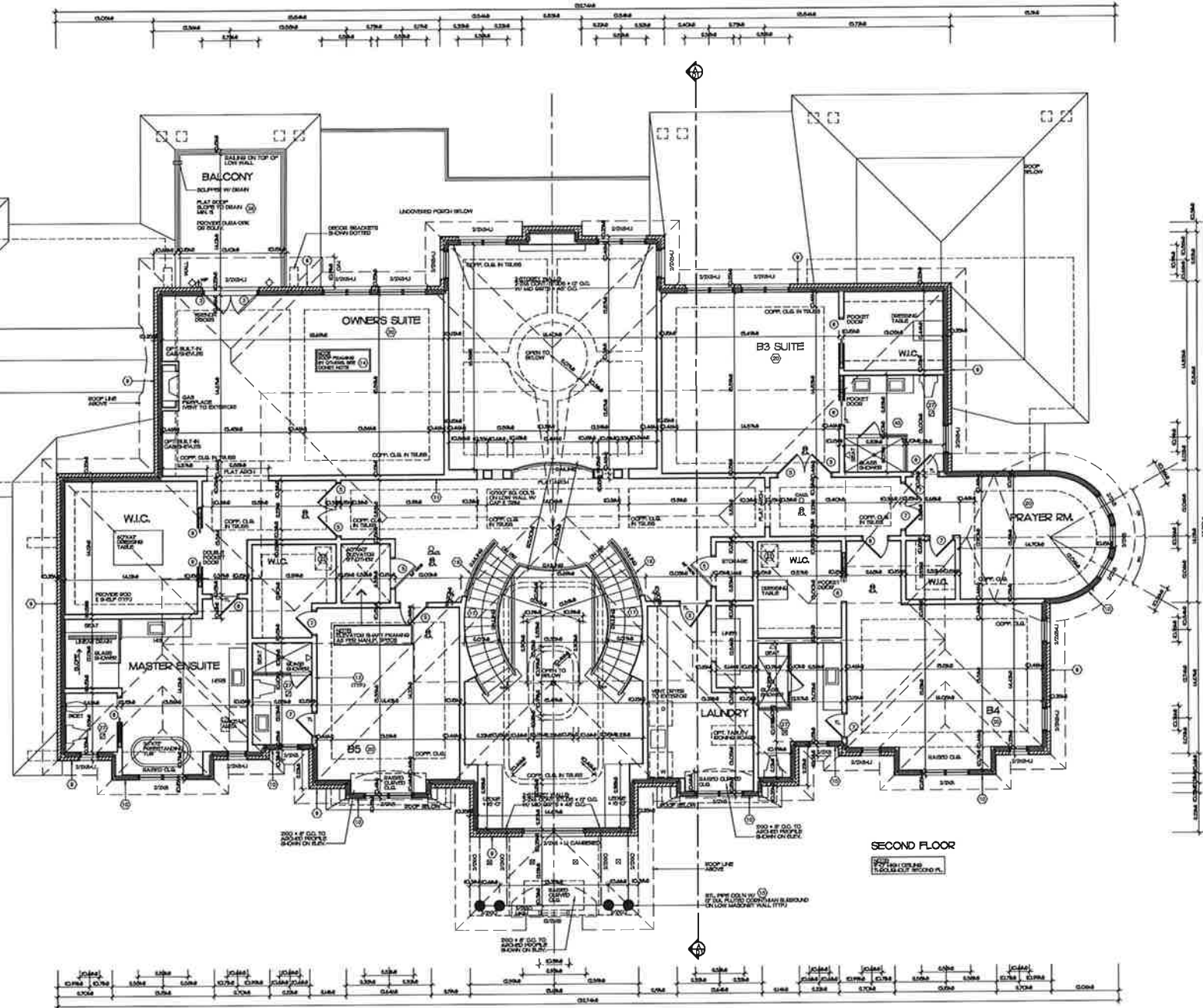
SECOND FLOOR PLAN

1 BELLINI AVENUE
BRAMPTON - ONTARIO

DRAWN BY JZL/PRO	DATE AUG. 2021
CHECKED BY	DATE AUG. 2021
SCALE: 1:65	FILE 2021-16F

PROJECT NO. 2021-16	DRAWING NO. A3
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PRELIMINARY
NOT FOR BUILDING PERMIT
NOT FOR CONSTRUCTION
LAST REVISED NOV/18/2022



METRIC

CONTRACTOR WILL CHECK AND VERIFY ALL DIMENSIONS AND CHECK ALL CONDITIONS ON THE JOB BEFORE PROCEEDING WITH WORK.
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DRAWINGS NOT TO BE SCALED.
SPA-2022-0176

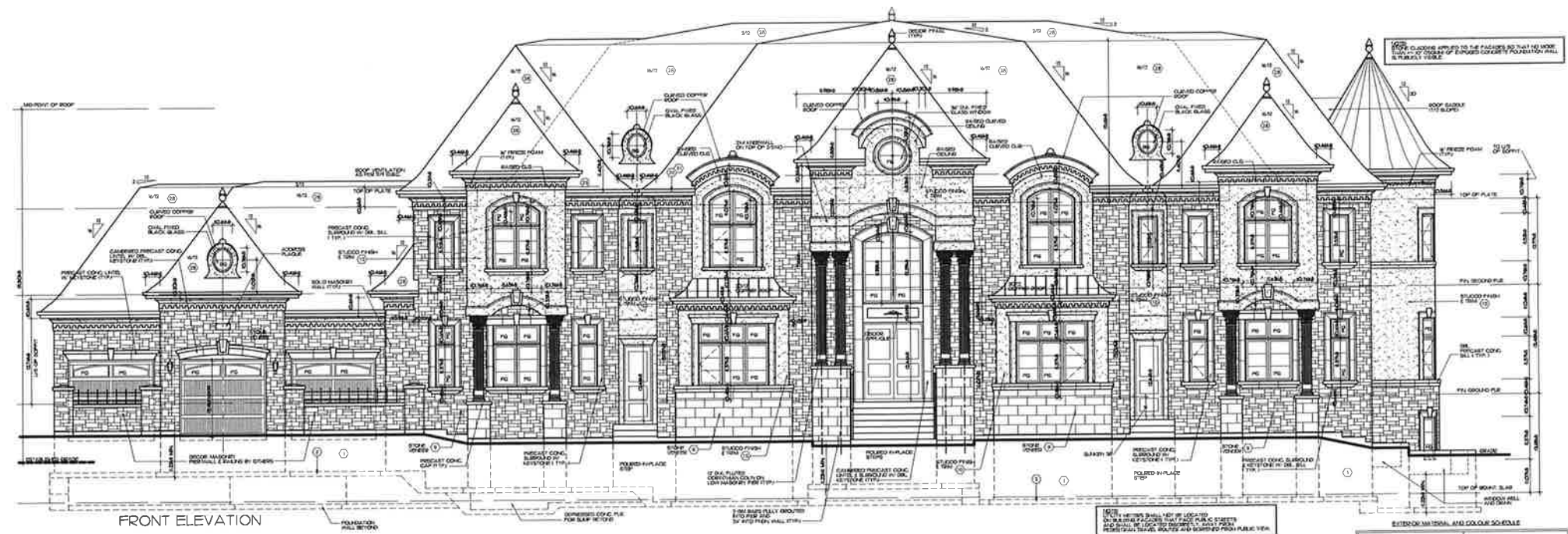
WE UNDERTAKE THE DESIGN AND DRAWING OF ALL BUILDINGS AND STRUCTURES IN ACCORDANCE WITH THE BUILDING ACT AND REGULATIONS THEREUNDER AND ALL APPLICABLE BY-LAWS AND ORDINANCES.
NAME: JOHN Z. LASSU
REG. NO: 23682
DATE:
DESIGNATION: ARCHITECT
ADDRESS: 1000 SHEPPARD AV. E. UNIT 237
SCHEMATIC DESIGN
DRAWN BY: ANDERSON + ASSOCIATES INC.
DATE:

NO.	DATE	DESCRIPTION

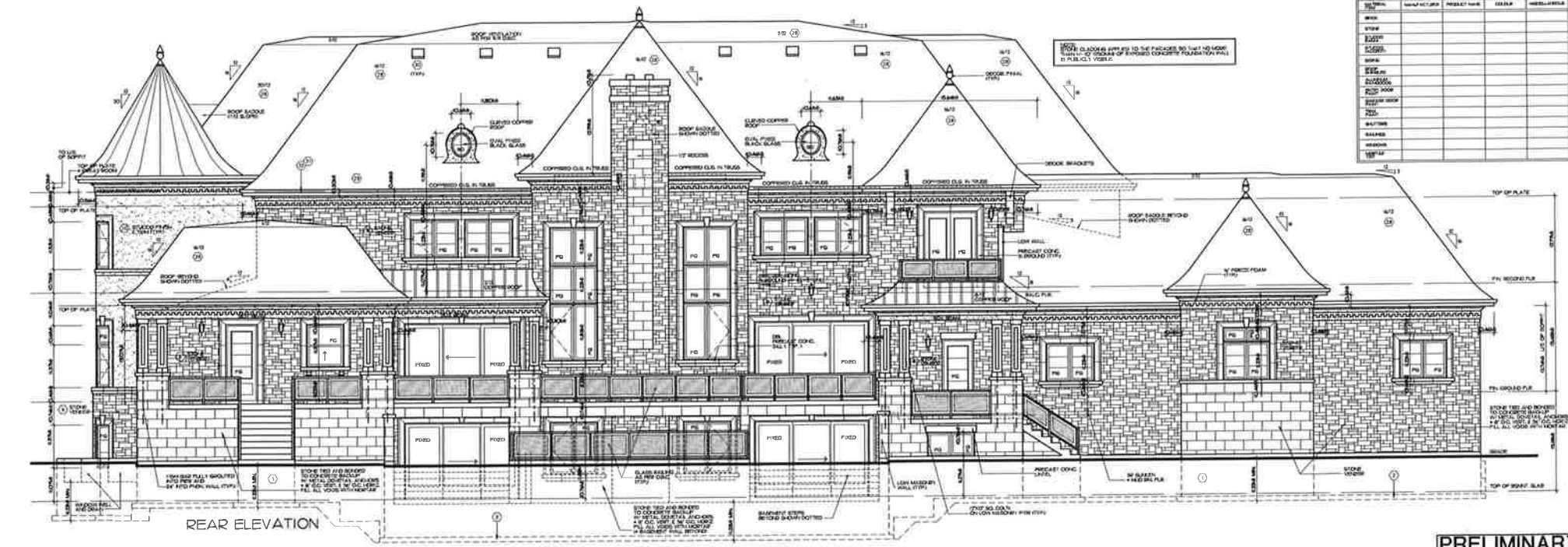
ONTARIO • LEX. 440 • (905) 883-3687
ANDERSON + ASSOCIATES INC.

TRUcustom HOMES
FRONT AND REAR ELEVATIONS
1 BELLINI AVENUE
BRAMPTON - ONTARIO
DRAWN BY: JZL/PRO DATE: DEC. 2021
CHECKED BY: DATE: 2021-16E
SCALE: 1/8" = 1'-0" FILE: 2021-16E
PROJECT NO: 2021-16 DRAWING NO: A5

PRELIMINARY
NOT FOR BUILDING PERMIT
NOT FOR CONSTRUCTION
LAST REVISED FEBRUARY 2023



FRONT ELEVATION



REAR ELEVATION

METRIC

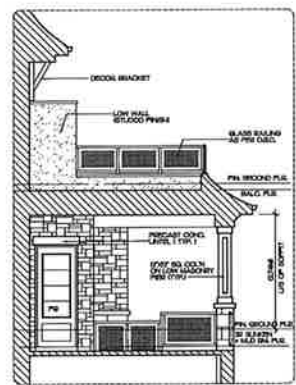
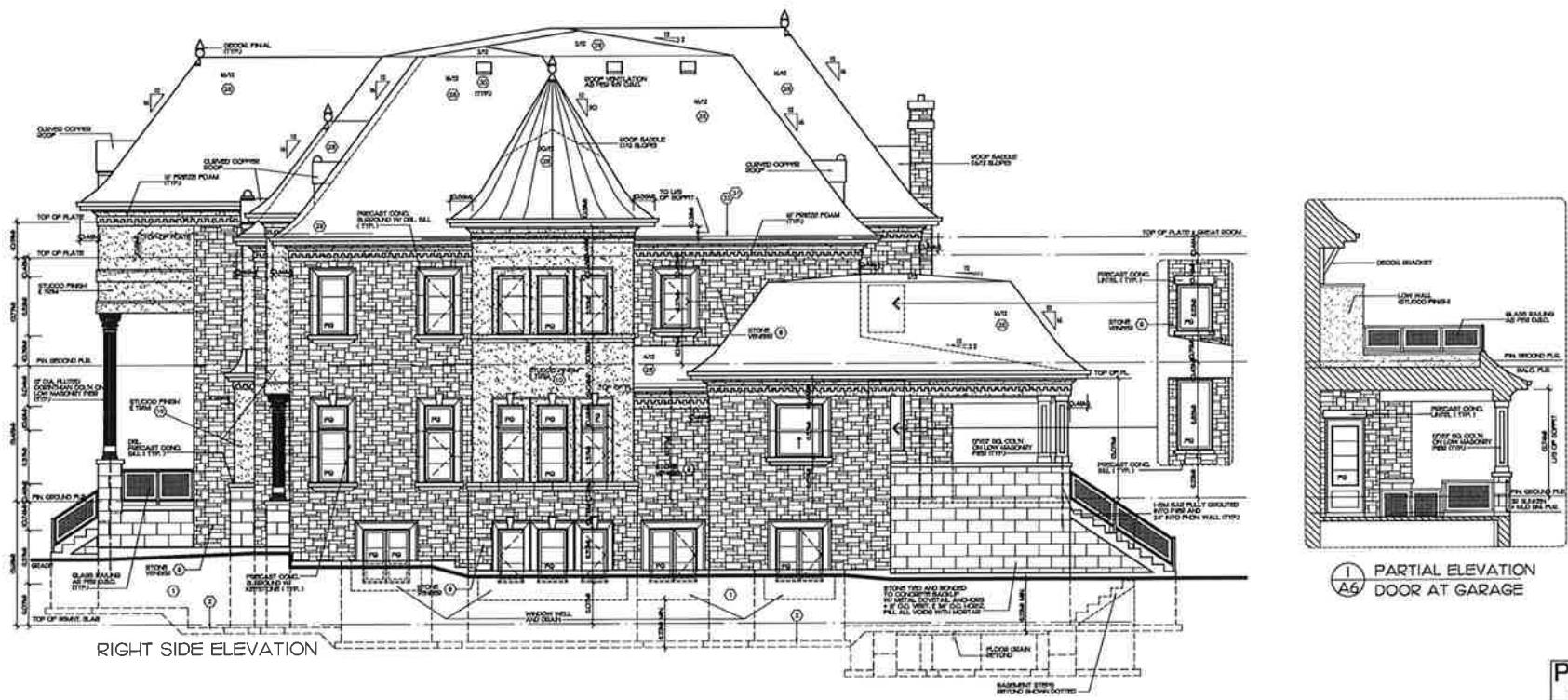
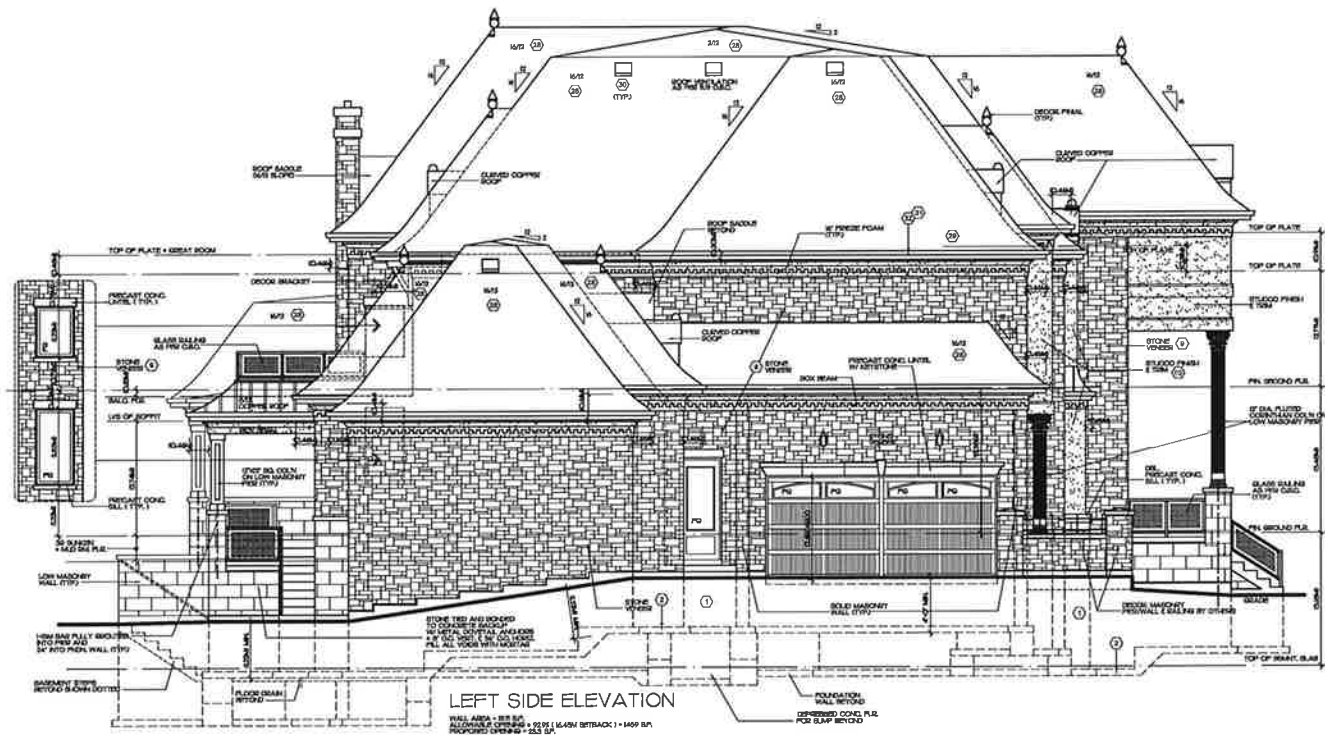
CONTRACTOR WILL CHECK AND VERIFY ALL DIMENSIONS AND CHECK ALL CONDITIONS ON THE JOB BEFORE PROCEEDING WITH WORK

LATEST APPROVED DRAWINGS ONLY TO BE USED FOR CONSTRUCTION.

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DRAWINGS NOT TO BE SCALED.
SPA-2022-0176

THE UNDERSIGNED HAS REVIEWED AND SET THE DIMENSIONS FOR THE FOUNDATION SET OUT IN THIS DRAWING. THESE DIMENSIONS SET OUT ARE THE DIMENSIONS OF THE FOUNDATION OF THE BRICK BUILDING AS SHOWN IN THE DRAWING. THE DIMENSIONS OF THE FOUNDATION OF THE BRICK BUILDING AS SHOWN IN THE DRAWING ARE THE DIMENSIONS OF THE FOUNDATION OF THE BRICK BUILDING AS SHOWN IN THE DRAWING.



1 PARTIAL ELEVATION A6 DOOR AT GARAGE

NO.	DATE	DESCRIPTION

REVISIONS		

ONTARIO - 1.866.289.4053 823-2847

TRUcustom HOMES

SIDE ELEVATIONS

1 BELLINI AVENUE
BRAMPTON - ONTARIO

DRAWN BY JZL/PRO	DATE DEC. 2021
CHECKED BY	FILE 2021-16E

PROJECT NO. 2021-16	DRAWING NO. A6
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A-2023-0076

