

APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **BUSHRA AMIR** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Part of Lot 5, Concession 5 WHS, Parts 1 and 3, Plan 43R-27848 municipally known as **2231 EMBLETON ROAD**, Brampton;

AND WHEREAS the applicant is requesting the following variance(s):

1. To permit a 10.5m (34.45 ft) front yard setback to a proposed dwelling whereas the by-law requires a minimum front yard setback of 12.0m (40 ft);
2. To permit a minimum 5.0m (16.40 ft) side yard setback to a proposed dwelling whereas the by-law requires a minimum side yard setback of 7.5m (24.60 ft.).

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: _____	NO	File Number: _____
Application for Consent: _____	NO	File Number: _____

The Committee of Adjustment has appointed **TUESDAY, April 18, 2023 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant, the Minister, a specified person or a public body.

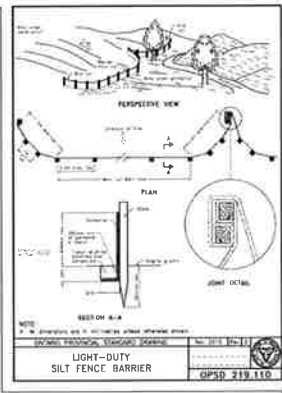
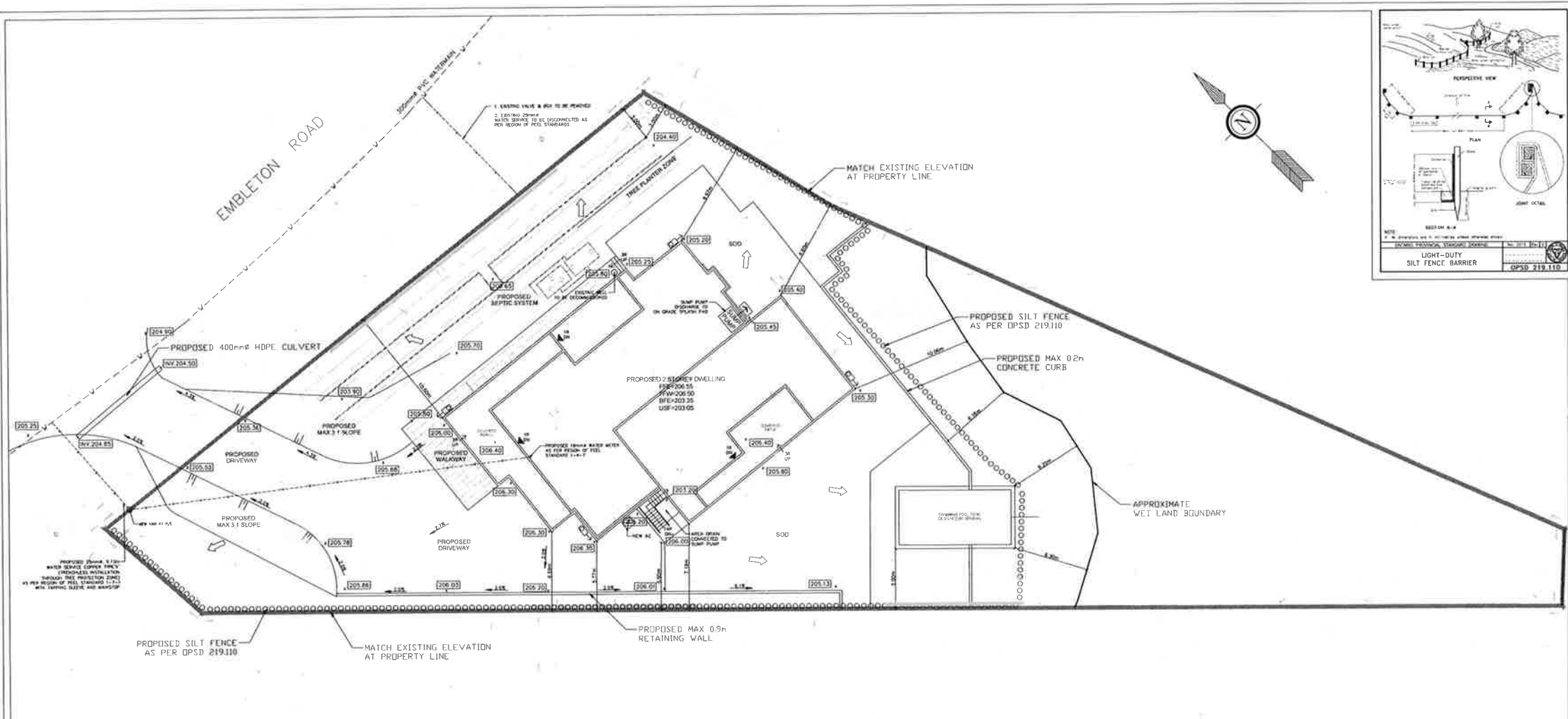
RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this 5th Day of April, 2023.

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca



NOTES

- MATERIALS SPECIFICATIONS & CONSTRUCTION**
SHALL BE (WHENEVER NOT SPECIFIED) IN ACCORDANCE WITH THE APPLICABLE ONTARIO PROVINCIAL STANDARD SPECIFICATIONS (OPSS), LATEST AMENDMENTS.
- OCCUPATIONAL HEALTH AND SAFETY**
A. SAFETY ACT
THE CONTRACTOR AND ITS SUBCONTRACTORS SHALL BE RESPONSIBLE FOR CONSTRUCTION SAFETY AND FOR COMPLIANCE WITH THE RULES, REGULATIONS AND PRACTICES REQUIRED BY THE APPLICABLE FEDERAL AND PROVINCIAL CONSTRUCTION SAFETY LEGISLATION.
- ROADWORKS**
A. EXISTING PAVEMENT
ANY SECTION OF PAVEMENT DISTURBED WITHIN THE EXISTING RIGHT-OF-WAY (R.O.W.) SHALL BE RESTORED AS PER THE ORIGINAL PAVEMENT DESIGN AND AS PER THE REQUIREMENTS OF THE CITY AND THE REGION.
B. PARKING AREA RESTORATION
SHALL BE RESTORED TO ORIGINAL CONDITION (HLS - 40mm(min.); HLB - 80mm(min.))
C. ECOMORPHOSE
ALL WORKS SHALL CONFORM TO THE REQUIREMENTS OF THE CITY AND THE REGION.

THE SUMP-PUMP DISCHARGE WILL BE MANAGED WITHIN THE SITE WITHOUT A DETRIMENTAL EFFECT TO ADDJACENT LANDS INCLUDING CITY DITCHES.

I HAVE REVIEWED THE PLAN FOR THE CONSTRUCTION OF TWO STOREY DWELLING AT 2231 EMBLETON ROAD AND HAVE PREPARED THIS PLAN TO INDICATE THE COMPARABILITY OF THE PROPOSAL TO EXISTING ADJACENT PROPERTIES AND MUNICIPAL SERVICES. IT IS MY BELIEF THAT ADHERENCE TO THE PROPOSED GRADING AS SHOWN WILL PRODUCE ADEQUATE SURFACE DRAINAGE AND PROPER FACILITY OF THE MUNICIPAL SERVICES WITHOUT ANY DETRIMENTAL EFFECT TO THE EXISTING DRAINAGE PATTERNS OF ADJACENT PROPERTIES.

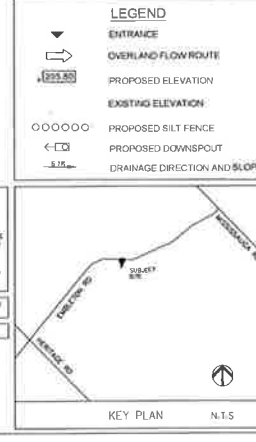
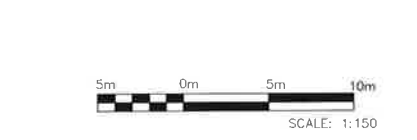
LAND & BUILDING EXPERTS
JUDITH PARK, P.ENG.
J. PARK
10042888
10/11/2022
PROVINCE OF ONTARIO

- DIMENSIONS**
ALL DIMENSIONS AND ELEVATIONS ARE IN METRES UNLESS NOTED OTHERWISE. ALL PIPE SIZES ARE IN MILLIMETRES.
- BENCH MARK**
BENCH MARK ELEVATION NOTE:
ELEVATIONS SHOWN ON THIS PLAN ARE RELATED TO GEODETIC DATUM AND ARE DERIVED FROM CITY OF BRAMPTON BENCHMARK W04200934 HAVING A PUBLISHED VALUE OF 205.880 METRES (COVD 26.78).
- BEARING**
BEARING SHOWN HEREON ARE ASTROLOGIC AND ARE REFERRED TO THE SOUTH LINE OF EMBLETON ROAD HAVING A BEARING OF NORTH 30° W ACCORDING TO PLAN 43R-27848.
- GENERAL**
A. WHENEVER PIPES ARE PASSING THROUGH UNCONTRACTED FILL AREA, THE BEARING THEREON SHALL BE EXCAVATED TO THE UNDISTURBED ORIGINAL LEVEL AND BACKFILLED WITH GRANULAR MATERIAL COMPACTED TO A MINIMUM OF 90% STANDARD PROCTOR DENSITY.
B. FOR DIMENSIONS AND DETAILS NOT SHOWN ON THE PLAN, REFER TO THE 200 CODES ALL AREAS OUTSIDE OF THE DEVELOPMENT PLAN LIMITS, SHALL BE RESTORED TO THE ORIGINAL CONDITIONS TO THE SATISFACTION OF THE CITY OF BRAMPTON AND THE REGION OF PEEL.
C. ALL TRAFFIC CONTROLS AND SIGNING DURING CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE REGION, AND THE CITY.
D. BEFORE ANY DIGGING, ALL UTILITIES MUST BE CONTACTED BY THE CONTRACTOR FOR EXACT LOCATION OF THEIR PLANTS. THE CONTRACTOR MUST PROTECT THE EXISTING PLANTS AS PER THE REQUIREMENTS OF THE CORRESPONDING UTILITY COMPANIES.
E. ALL SURFACE DRAINAGE SHALL CONTINUE TO DRAIN AS PER EXISTING SYSTEM.
F. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS (E.G. - CONSIDERATION OF STRUCTURE, REMOVAL OF TREES, FOUNDATION INSTALLATION, ROAD ENCHANCEMENT, WORK WITHIN FLOOD PLAIN AREA ETC) PRIOR TO COMMENCEMENT OF CONSTRUCTION.
G. EXISTING GRADING WITHIN THE DEVELOPMENT SYS. SHALL BE MAINTAINED.
H. ALL RECOMMENDATIONS OF THE SOILS REPORT SHALL BE STRICTLY FOLLOWED AND CONSIDERED.
I. DISCREPANCY BETWEEN THESE PLANS AND THE SOILS REPORT SHALL BE REPORTED BY THE CONTRACTOR TO THE ENGINEER PRIOR TO THE TENDERING OF THE PRICES FOR THIS PROJECT.
J. THE BOUNDARIES AND THE SITE BOUNDARIES HAVE BEEN LOCATED BASED ON INFORMATION OBTAINED FROM KVA/SLA DESIGN INC.
K. ALL FIRE ACCESS ROUTES ARE TO BE CONSTRUCTED TO HARD SURFACE.
L. ALL FIRE ACCESS ROUTES ARE TO BE CONSTRUCTED TO SUPPORT A LOAD OF NOT LESS THAN 110kN/m² PER AXLE AND HAVE A CLEAR HEIGHT OF NOT MORE THAN 1.8m (6ft) OVER MINIMUM DISTANCE OF 15m, AS PER RECORDS AND SHALL BE MAINTAINED.
M. FIRE ROUTES SHALL CONTINUE TO BE DESIGNATED AS PER THE CITY OF MISSISSAUGA AND THE REGION OF PEEL REQUIREMENTS.

- EROSION AND SEDIMENT CONTROL**
A. ALL EROSION CONTROL MEASURES TO BE IN PLACE BEFORE STARTING CONSTRUCTION.
B. MAINTAIN EXISTING CONTROL MEASURES DURING CONSTRUCTION IN GOOD ORDER.
C. MINIMIZE AREA DISTURBED DURING CONSTRUCTION.
D. PROTECT ALL CATCHBASINS, MANHOLES AND PIPE ENDS FROM SEDIMENT INTRUSION.
E. ALL SITES MUST BE KEPT CLEAN DURING CONSTRUCTION.
F. PREVENT WIND BLOWN DUST BY WATERING, SEEDING DISTURBED AREAS AS REQUIRED.
G. SILT CONTROL AS PER STD. DWGS. 2040.00, 2040.05, 2030.00 & 2030.04 OF THE CITY SHALL BE USED IN LOCATED AREAS IF REQUIRED AND AS DIRECTED BY THE ENGINEER DURING CONSTRUCTION.
H. CAUTION AGAINST EXISTING UNDERGROUND SERVICES
A. THE CONTRACTOR SHALL ACCEPT THAT OUR DRAWING HAS BEEN PREPARED BASED ON INFORMATION FROM RECORDS AND THE ACTUAL INSTALLATION OF THESE SERVICES MAY HAVE VARIED SUBSTANTIALLY FROM THESE RECORDS.
B. THE CONTRACTOR SHALL THEREFORE, TAKE ALL REASONABLE PRECAUTIONS TO PROTECT THESE UNIDENTIFIABLE EXISTING SERVICES.
C. THE COST FOR REPAIRING DAMAGED UN-IDENTIFIED UNDERGROUND SERVICES SHALL BE ESTABLISHED BETWEEN THE CONTRACTOR AND THE OWNER AS ADDITIONAL SERVICES.

REGION OF PEEL CONSTRUCTION STANDARDS

- ALL MATERIALS AND CONSTRUCTION METHODS MUST CONFORM TO THE CURRENT - PEEL PUBLIC WORKS STANDARDS AND SPECIFICATIONS.
- WATERMAIN AND/OR WATER SERVICE MATERIALS 100mm(4") AND LARGER MUST BE OF 18 P.V.C. PIPE MANUFACTURED TO A.M.N.A. SPEC. C900-18.
- CONCRETE WITH FINISH SURF SHALL BE 20MPa AND SHALL BE TYPE 10000 PORTLAND CEMENT CONCRETE PER A.S.T.M. SPEC. C1500-18.
- WATERMAIN AND/OR WATER SERVICES ARE TO HAVE A MINIMUM COVER OF 1.2m(4ft) WITH A MINIMUM HORIZONTAL SPACING OF 1.2m(4ft) FROM BOUNDARIES AND ALL OTHER UTILITIES.
- PROVISIONS FOR FLOWING WATER LINE PRIOR TO TESTING, ETC. MUST BE PROVIDED WITH AT LEAST A 50mm(2") OUTLET ON 100mm(4") AND LARGER LINES. COPPER LINES ARE TO HAVE FLOWING POINTS AT THE END, THE SAME SIZE AS THE LINE. THEY MUST ALSO BE TYPED OR PIPED TO ALLOW THE WATER TO DRAIN ONTO A PARKING LOT OR DOWN A DRAIN. ON 50mm LINES, FLOWING OUTLET TO BE 100mm(4") DIAMETER MINIMUM ON A HORIZONTAL.
- ALL CURBS TO BE 300mm(12") OFF THE FACE OF THE BUILDING UNLESS OTHERWISE NOTED.
- MANHOLE AND JUNCTION TO RECORD STANDARDS 1+1/8" DIAMETER A AND B, 0.3m(12") AND 0.5m(18") AND TO HAVE FLOWER NOZZLE.
- WATERMANS TO BE INSTALLED TO GRABES AS SHOWN ON APPROVED SITE PLAN. COPY OF GRABE SHEET MUST BE SUPPLIED TO INSPECTOR PRIOR TO COMMENCEMENT OF WORK. WHERE REQUESTED BY INSPECTOR.
- WATERMANS MUST HAVE A MINIMUM VERTICAL CLEARANCE OF 0.3m(12") OVER/50cm (20") UNDER SERVICES AND ALL OTHER UTILITIES WHEN GROUNDING.
- ALL PROPOSED WATER PIPING MUST BE ISOLATED FROM EXISTING LINES IN ORDER TO AVOID UNDESIRABLE PRESSURE TESTING AND OPERATING FROM EXISTING SYSTEMS.
- ALL LOCATION AND OPERATION OF REGION WATER VALVES SHALL BE ARRANGED THROUGH THE REGIONAL INSPECTOR ASSIGNED OR BY CONTACTING THE OPERATIONS AND MAINTENANCE DIVISION.
- LOCATION OF ALL EXISTING UTILITIES IN THE FIELD TO BE ESTABLISHED BY THE CONTRACTOR.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR LOCATING, FUNDING, SUPPORTING AND MAINTENANCE OF ALL UNDERGROUND AND OPENED UTILITIES AND STRUCTURES EXISTING AT THE TIME OF CONSTRUCTION IN THE AREA OF THEIR WORK, WHETHER SHOWN ON THE PLANS OR NOT AND FOR ALL REPAIRS AND CONSEQUENCES RESULTING FROM DAMAGE TO SAME.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE TO OBTAIN WRITTEN NOTICE TO THE UTILITIES PRIOR TO CROSSING SAME UTILITIES. FOR THE PURPOSES OF NOTIFICATION BY THE CONSIDERED UTILITY, THIS NOTIFICATION WILL BE FOR THE DURATION OF THE CONSTRUCTION, WITH THE CONTRACTOR RESPONSIBLE FOR ALL COSTS ARISING FROM SUCH NOTIFICATION.
- ALL PROPOSED WATER PIPING MUST BE LOCATED THROUGHOUT THE DEVELOPMENT CONNECTION THAT SHALL INCLUDE AN APPROPRIATE EROSION-CONTROL MEASURE, CONSISTENT WITH THE SEVERE OF HAZARD, FOR ABANDON PREVENTION OF THE ACTIVE DISTRIBUTION SYSTEM, CONFORMING TO REGION OF PEEL STANDARDS 1-7-7 ON 1-7-8.



10/11/2022		ISSUE FOR PERMIT	
No.	Date	By	Description
REVISIONS			
UNAUTHORIZED USE OR REUSE OF THIS DRAWING IS NOT PERMITTED. ALL MEASUREMENTS ARE IN METRES UNLESS OTHERWISE NOTED. UNAUTHORIZED USE OR REUSE OF THIS DRAWING IS NOT PERMITTED.			
PEEL REGION			
PROPOSED 2 STOREY DWELLING 2231 EMBLETON ROAD BRAMPTON, ON L6Y 0S2			
Title: SITE GRADING & SERVICING PLAN			
		LAND & BUILDING EXPERTS 570 ALDEN ROAD, UNIT 6, MARKHAM ONTARIO, L3R 8N5 TEL: (905) 740-8848 building.experts@yahoo.com	
REVIEWED BY: J.P.	PROJECT No. EMBLETON 2231-22	DATE: OCT. 2022	
DRAWN BY: J.P.	DRAWING No. SS-1		
SCALE: 1:150			

Under the authority of the Emergency Management and Civil Protection Act and the Municipal Act, 2001, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

**Electronic/Hybrid Hearing Procedures
How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **April 18, 2023** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

How to Participate in the Hearing:

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, April 13, 2023.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
 1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, April 13, 2023.**
 2. To participate in-person, please email the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, April 13, 2023.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, April 13, 2023.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.



The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION
Minor Variance or Special Permission
 (Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** Bushra Amir
Address 11 Vernosa Dr. Brampton ON. L6Y 2Y2

Phone # 647-281 2926 **Fax #** _____
Email amir@kinexmedia.com

2. **Name of Agent** Nader Akel
Address 274 Hillside Drive. Mississauga ON. L5M 1G5

Phone # 905 232 1460 **Fax #** _____
Email nader@phivedimensions.com

3. **Nature and extent of relief applied for (variances requested):**
1- Reduce the front yard setback from 12m to 10.50m
2- Reduce one side Setback from 7.5m to different lengths
6.59m, 5.77m, 5.60m, 7.18m, and 5.0m

4. **Why is it not possible to comply with the provisions of the by-law?**

The main reason is to comply with Wetland boundary setback 10m
and to have a septic system on the land.

cvc permit approval 22/288 oct-21-22

5. **Legal Description of the subject land:**
Lot Number part 1 East half Lot 5 W.H.St.
Plan Number/Concession Number 5
Municipal Address 2231 Embleton Rd. Brampton ON. L6Y 1G2

6. **Dimension of subject land (in metric units)**
Frontage 57.71 M
Depth NA.
Area 2915.7 sq.m

7. **Access to the subject land is by:**

Provincial Highway	<input type="checkbox"/>	Seasonal Road	<input type="checkbox"/>
Municipal Road Maintained All Year	<input checked="" type="checkbox"/>	Other Public Road	<input type="checkbox"/>
Private Right-of-Way	<input type="checkbox"/>	Water	<input type="checkbox"/>

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

1 Story Brick house	182 sq.m
1 Shed	9 sq.m

PROPOSED BUILDINGS/STRUCTURES on the subject land:

2 Story House	535 sq.m
In-ground swimming pool	

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback	16.30m
Rear yard setback	11m
Side yard setback	8.13m
Side yard setback	7.62m

PROPOSED

Front yard setback	10.50m
Rear yard setback	10m
Side yard setback	6.59, 5.77m, 5.60m, 7.18m, 5.00m
Side yard setback	8.60

10. Date of Acquisition of subject land: 2020

11. Existing uses of subject property: Residential

12. Proposed uses of subject property: Residential

13. Existing uses of abutting properties: Residential

14. Date of construction of all buildings & structures on subject land: 1970

15. Length of time the existing uses of the subject property have been continued: 53

16. (a) What water supply is existing/proposed?

Municipal Other (specify) _____
Well

(b) What sewage disposal is/will be provided?

Municipal Other (specify) _____
Septic

(c) What storm drainage system is existing/proposed?

Sewers Other (specify) _____
Ditches
Swales

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes No

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes No

19. Has the subject property ever been the subject of an application for minor variance?

Yes No Unknown

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Nader Akel

Signature of Applicant(s) or Authorized Agent

DATED AT THE city OF Brampton
THIS 10 DAY OF March January, 2023

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Nader Akel, OF THE city OF Mississauga
IN THE Region OF Peel SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE
City OF Brampton
IN THE Region OF
Peel THIS 20th DAY OF
March, 2023

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024.

Nader Akel
Signature of Applicant or Authorized Agent

Jeanie Myers
A Commissioner etc.

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

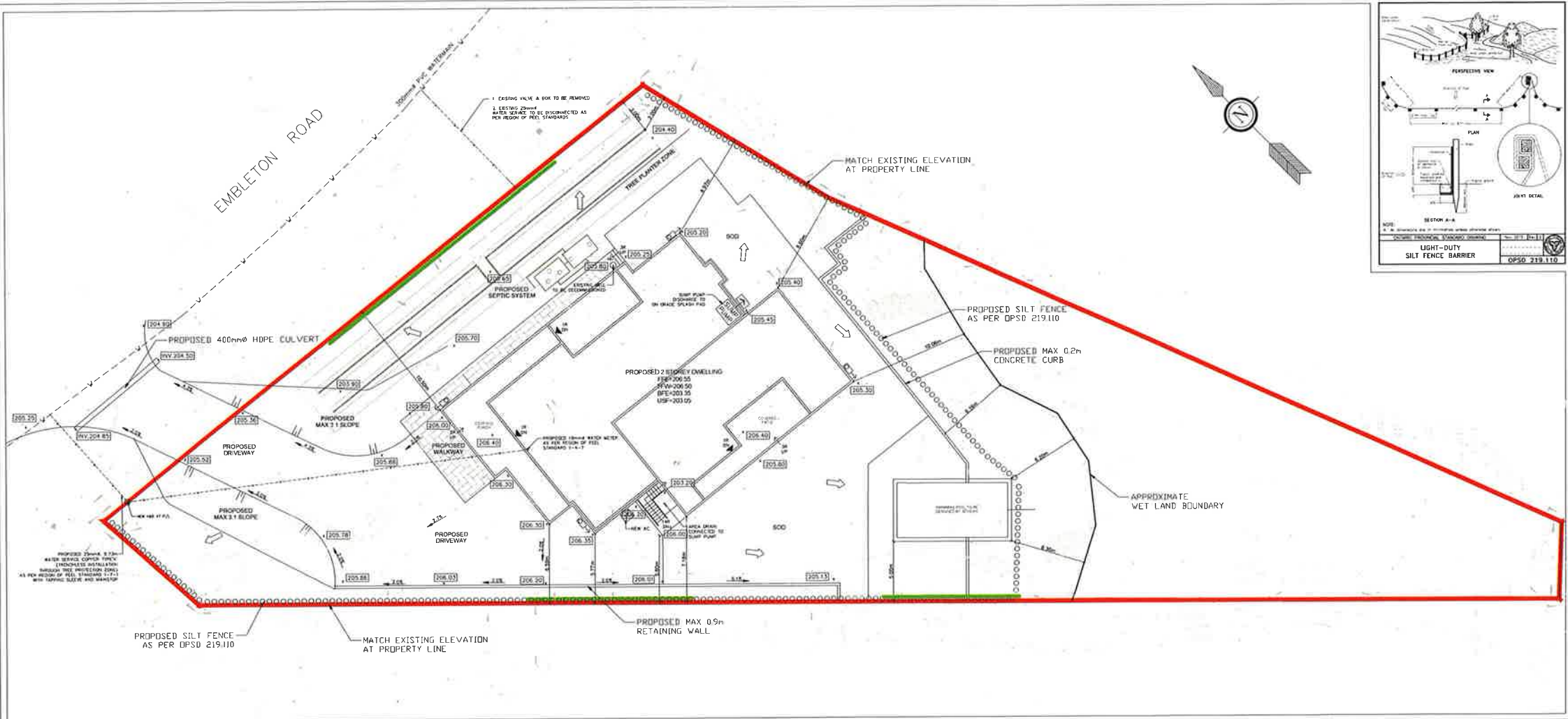
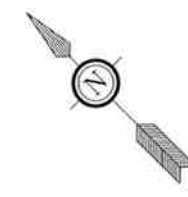
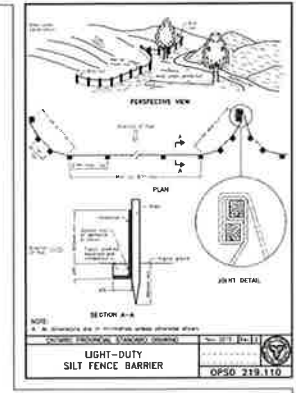
Present Zoning By-law Classification: _____

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Zoning Officer

Date

DATE RECEIVED March 20, 2023



NOTES

1. MATERIALS SPECIFICATIONS & CONSTRUCTION
SHALL BE (WHETHER NOT SPECIFIED) IN ACCORDANCE WITH THE APPLICABLE ONTARIO PROVINCIAL STANDARD SPECIFICATIONS (OPSS), LATEST AMENDMENTS.

2. OCCUPATIONAL HEALTH AND SAFETY
A. SAFETY ACT
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B. PARKING AREA RESTORATION
SHALL BE RESTORED TO ORIGINAL CONDITION (H.L. = 40mm(min); H.L.B. = 60mm(min))
C. CONFORMANCE
ALL WORKS SHALL CONFORM TO THE REQUIREMENTS OF THE CITY AND THE REGION.

3. THE SUMP-PUMP DISCHARGE WILL BE MANAGED WITHIN THE SITE WITHOUT A DETRIMENTAL EFFECT TO ADJOINING LANDS INCLUDING CITY DITCHES

4. DIMENSIONS
ALL DIMENSIONS AND ELEVATIONS ARE IN METRES UNLESS NOTED OTHERWISE

5. BENCH MARK
BENCH MARK ELEVATION NOTE
ELEVATIONS SHOWN ON THIS PLAN ARE RELATED TO GEOIDETIC DATUM AND ARE DERIVED FROM CITY OF BRAMPTON BENCHMARK N6-04220354 HAVING A PUBLISHED VALUE OF 205.890 METRES (LOVD 28'78").
BEARING SHOWN HEREIN ARE ASTRONOMIC AND ARE REFERRED TO THE SOUTH LIMIT OF EMBLETON ROAD HAVING A BEARING OF N85°18'30"W ACCORDING TO PLAN 43A-278-80.

6. GENERAL
A. WHEREVER PIPES ARE PASSING THROUGH UNOCCUPIED FULL AREA, THE BIDDING TRENCH SHALL BE EXCAVATED TO THE UNDISTURBED GROUND LEVEL AND BACKFILLED WITH GRANULAR MATERIAL COMPACTED TO A MINIMUM OF 95% STANDARD PROCTOR DENSITY.
B. FOR DIMENSIONS AND DETAILS NOT SHOWN ON THE PLAN, REFER TO THE STD. DWGS. ALL AREAS OUTSIDE OF THE DEVELOPMENT PLAN LIMITS, SHALL BE RESTORED TO THE ORIGINAL CONDITIONS TO THE SATISFACTION OF THE CITY OF BRAMPTON AND THE REGION OF PEE.
C. ALL TRAFFIC CONTROLS AND SIGNING DURING CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE REGION AND THE CITY.
D. BEFORE ANY DIGGING, ALL UTILITIES MUST BE CONTACTED BY THE CONTRACTOR FOR EXACT LOCATION OF THEIR PLANTS. THE CONTRACTOR MUST PROTECT THE EXISTING EXISTING ELEVATIONS HAVE BEEN OBTAINED BY KAWASAKI INC.
E. ALL SURFACE DRAINAGE SHALL CONTINUE TO DRAIN AS PER EXISTING SYSTEM.
F. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS (E.G. - DISMANTLING OF STRUCTURES, REMOVAL OF TREES, FOUNDATION INSTALLATION, ROAD ENCHROACHMENT, WORK WITHIN FLOOD PLAIN AREA ETC.) PRIOR TO COMMENCEMENT OF CONSTRUCTION.
G. EXISTING GRADING WITHIN THE DEVELOPMENT SITE, SHALL BE MAINTAINED.
H. ALL RECOMMENDATIONS OF THE SOILS REPORT SHALL BE STRICTLY FOLLOWED AND DISCREPANCIES BETWEEN THESE PLANS AND THE SOILS REPORT SHALL BE REPORTED BY THE CONTRACTOR TO THE ENGINEER PRIOR TO THE TENDERING OF THE PRICES FOR THIS PROJECT.
I. THE BOUNDARIES AND THE SITE BOUNDARIES HAVE BEEN LOCATED BASED ON INFORMATION OBTAINED FROM KAWASAKI DESIGN INC.
J. ALL FIRE ACCESS ROUTES ARE TO BE CONSTRUCTED OF HARD SURFACE MATERIAL.
K. SUCH AS ANNUAL COARSE, ON LOCKSTONE AND DESIGNED TO SUPPORT A LOAD OF NOT LESS THAN 1383 kg PER AXLE AND HAVE A CHANGE IN GRADIENT OF NOT MORE THAN 1 IN 12.5 (8%) OVER ANY DISTANCE OF 15M, AS PER RECORDS AND SHALL BE MAINTAINED.
L. FIRE RIESSES SHALL CONTINUE TO BE DESIGNATED AS PER THE CITY OF MISSISSAUGA AND THE REGION OF PEE REQUIREMENTS.

7. EROSION AND SEDIMENT CONTROL
A. ALL EROSION CONTROL MEASURES TO BE IN PLACE BEFORE STARTING CONSTRUCTION
B. MAINTAIN EROSION CONTROL MEASURES DURING CONSTRUCTION BY GOOD ORDER
C. GRASSIZE AREA DISTURBED DURING CONSTRUCTION
D. PROTECT ALL CATCHBASINS, MANHOLES AND PIPE ENDS FROM SEDIMENT INTRUSION
E. KEEP ALL SLOPES CLEAN DURING CONSTRUCTION
F. PREVENT WIND BLOWN DUST BY WATERING SEEDING DISTURBED AREAS AS REQUIRED.
G. SILT CONTROL AS PER STD. DWGS. 2940.010, 2930.020, 2930.030 & 2930.040 OF THE CITY SHALL BE USED IN LOCALIZED AREAS IF REQUIRED AND AS DIRECTED BY THE ENGINEER DURING CONSTRUCTION.
H. THE CONTRACTOR SHALL RECOGNIZE THAT OUR DRAWING HAS BEEN PREPARED BASED ON INFORMATION FROM RECORDS AND THE ACTUAL INSTALLATION OF THESE SERVICES MAY HAVE DEVIATED SUBSTANTIALLY FROM THESE RECORDS.
I. THE CONTRACTOR SHALL THEREFORE, TAKE ALL REASONABLE PRECAUTIONS TO PROTECT THESE UNIDENTIFIABLE EXISTING SERVICES.
J. THE COST FOR REPAIRING DAMAGED UN-IDENTIFIED UNDERGROUND SERVICES SHALL BE ESTABLISHED BETWEEN THE CONTRACTOR AND THE OWNER AS ADDITIONAL SERVICES.

REGION OF PEE CONSTRUCTION STANDARDS
1. ALL MATERIALS AND CONSTRUCTION METHODS MUST CONFORM TO THE CURRENT PEEL PUBLIC WORKS STANDARDS AND SPECIFICATIONS.
2. WATERMAIN AND/OR WATER SERVICE MATERIALS (300mm(12") AND LARGER MUST BE OR 75 P.V.C. PIPE MANUFACTURED TO A M.W.A. SPEC. 0300-16 COURTESY WITH THUNDER BOLT "SIL" 300mm(12") AND SMALLER MUST BE TYPE "A" SOFT COPPER PIPE PER A.S.T.M. B88-84 SPECIFICATION.
3. WATERMAIN AND/OR WATER SERVICES ARE TO HAVE A MINIMUM COVER OF 1.5m(5'0") WITH A MINIMUM HORIZONTAL SPACING OF 1.5m(5'0") FROM TRAVELS AND ALL OTHER UTILITIES.
4. PROTECTORS FOR FLYING WATER LINE FROM TRENCH, ETC. MUST BE PROVIDED WITH AT LEAST A 100mm(4") OUTLET ON 100mm(4") AND LARGER LINES. COVER LINES ARE TO HAVE FLUSHING POINTS AT THE END, THE SAME SIZE AS THE LINE. THEY MUST ALSO BE NOTED OR PAID TO ALLOW THE WATER TO GRAB ONTO A PARKING LOT OR DOWN A DRAIN ON FIRE LINES. FLYING OUTLET TO BE 100mm(4") DIAMETER MINIMUM ON A HORIZONTAL ALIGNMENT.
5. ALL CURB STOP TO BE 100mm(4") BEYOND THE FACE OF THE BUILDING UNLESS OTHERWISE NOTED.
6. HORIZONTAL LINES HAVE SET TO REGION STANDARD 1:10 (DOWNHILL) AND R. 0.3% (2) AND 0.3% (2) AND TO HAVE FLUMER NOZZLE WATERMANS TO BE INSTALLED TO GRAB IN REGION STANDARD 1:10 (DOWNHILL) AND R. 0.3% (2) OF GRAB SHEET MUST BE SUPPLIED TO INSPECTOR FROM THE COMMENCEMENT OF WORK, WHEN REQUIRED BY INSPECTOR.
7. WATERMANS MUST HAVE A MINIMUM METRIC CLEARANCE OF 60mm(2 1/2") OVERHEAD CEMENT LINES AND ALL OTHER UTILITIES WHEN CROSSING ANY EXISTING SERVICE.
8. ALL EXISTING WATER PIPES MUST BE PROTECTED FROM EXISTING LINES IN ORDER TO AVOID INDEPENDENT PRESSURE TESTING AND COLORING FROM ANY EXISTING SYSTEM.
9. ALL THE TAPPING AND OPERATION OF REEDED WATER VALVES SHALL BE ARRANGED THROUGH THE REGIONAL INSPECTOR ASSIGNED ON BY CONTRACTING AGENCY.
10. ALL THE TAPPING AND OPERATION OF REEDED WATER VALVES SHALL BE ARRANGED THROUGH THE REGIONAL INSPECTOR ASSIGNED ON BY CONTRACTING AGENCY.
11. LOCATION OF ALL EXISTING UTILITIES IN THE FIELD TO BE ESTABLISHED BY THE CONTRACTOR.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATES, EXPOSURE, SUPPORTING AND PROTECTING OF ALL UNDERGROUND AND OVERHEAD UTILITIES AND STRUCTURES EXISTING AT THE TIME OF CONSTRUCTION IN THE AREA OF THEIR WORK WHETHER SHOWN ON THE PLAN OR NOT AND FOR ALL UTILITIES NOT SHOWN ON THE PLAN.
13. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE TO GIVE 72 HOURS WRITTEN NOTICE TO THE UTILITIES PRIOR TO CROSSING SUCH UTILITIES FOR THE PURPOSE OF CONDUCTING THE CONSTRUCTION WORK WITH THE INSPECTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS ARISING FROM SUCH INTERFERENCE.
14. ALL PROPOSED WATER PIPES MUST BE INSTALLED WITH A TEMPORARY CONNECTION THAT SHALL INCLUDE AN APPROPRIATE CROSS-CONNECTION-CONTROLLING DEVICE, CONSISTENT WITH THE DESIGN OF HAZARD, FOR BACKFLOW PREVENTION OF THE ACTIVE DISTRIBUTION SYSTEM, CONFORMING TO REGION OF PEE STANDARDS 1-7-7 OR 1-7-8.

LEGEND

ENTRANCE
OVERLAND FLOW ROUTE
PROPOSED ELEVATION
EXISTING ELEVATION
PROPOSED SILT FENCE
PROPOSED DOWNSPOUT
DRAINAGE DIRECTION AND SLOPE

5m 0m 5m 10m
SCALE: 1:150

DO NOT SCALE DRAWINGS

THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON-SITE AND MUST NOTIFY THE ENGINEER IMMEDIATELY OF ANY VARIATIONS FROM THE SUPPLIED DIMENSIONS AND INFORMATION BEFORE PROCEEDING WITH THE WORK. CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.
ALL DRAWINGS ARE THE PROPERTY OF LAND & BUILDING EXPERTS AND MUST NOT BE REPRODUCED WITHOUT WRITTEN CONSENT.
ANY OBTAINED PAVED AREAS, SIDEWALKS OR CURB SHOULD BE RESTORED TO THE ORIGINAL CONDITION AT OWNER'S EXPENSE.
ALL DIMENSIONS ARE TO BE GRABBED ON TO NEAREST SURFACE.

No.	Date	By	Revisions
1	10/11/2022	J.P.	ISSUE FOR PERMIT

PEEL REGION
PROPOSED 2 STOREY DWELLING
2231 EMBLETON ROAD
BRAMPTON, ON, L6R 0G2

Title: SITE GRADING & SERVICING PLAN

LAND & BUILDING EXPERTS
570 ALDEN ROAD,
UNIT 6, MARKHAM
ONTARIO, L3R 9S5
TEL (416) 240-8549
building.experts@ yahoo.com

REVIEWED BY: J.P.
DRAWN BY: J.P.
SCALE: 1:150

DATE: OCT. 2022
PROJECT NO: EMBLETON 2231-22
DRAWING NO: SS-1





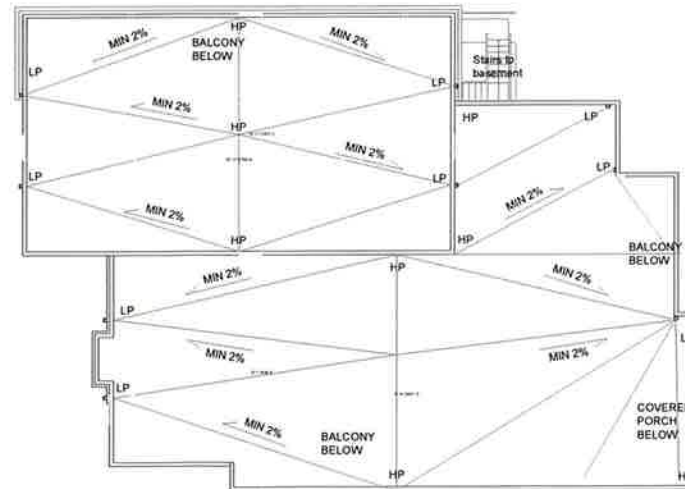
Main Floor Plan



2nd Floor Plan



Basement Floor Plan



Top Roof Plan

2231 Embleton Rd.
Brampton ON.
Lot : part Lot 5
Concession 5 W.H.S

KEY PLAN :



Stamp :

Notes :
All measurements are in inches/feet (mm)

REV	DESCRIPTION	DATE
1	Issued Arch control review	31-10-2022

OWNER : Bushra Amir
PROJECT TITLE :
2 Story Custom Home
2231 Embleton Rd.
Brampton ON

Phive dimensions Inc.
Architecture & Interior Design
Tel: 905.292.1480
Email: rader@phivedimensions.com

P ENQ CONSULTANT

CONTRACTOR

DRAWING NO

DRAWING TITLE :
Top roof & floor plans

SCALE	DATE	CHECKED BY	DRAWN BY
1/1000	31-10-2022	RE	

SURVEYOR'S REAL PROPERTY REPORT
PART 1
PLAN OF SURVEY SHOWING TOPOGRAPHY
 OF PART OF
EAST HALF OF LOT 5 (WEST OF HURONTARIO STREET)
CONCESSION 5
 (GEOGRAPHIC TOWNSHIP OF CHINGUACOUSY)
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEL
 SCALE 1:250
 0 1 2 3 4 5 10 15 METRES
 The intended plot size of this plan is 762mm in width by 457mm in height when plotted at a scale of 1:250m
 © COPYRIGHT 2022, AK&M SURVEYING LTD.

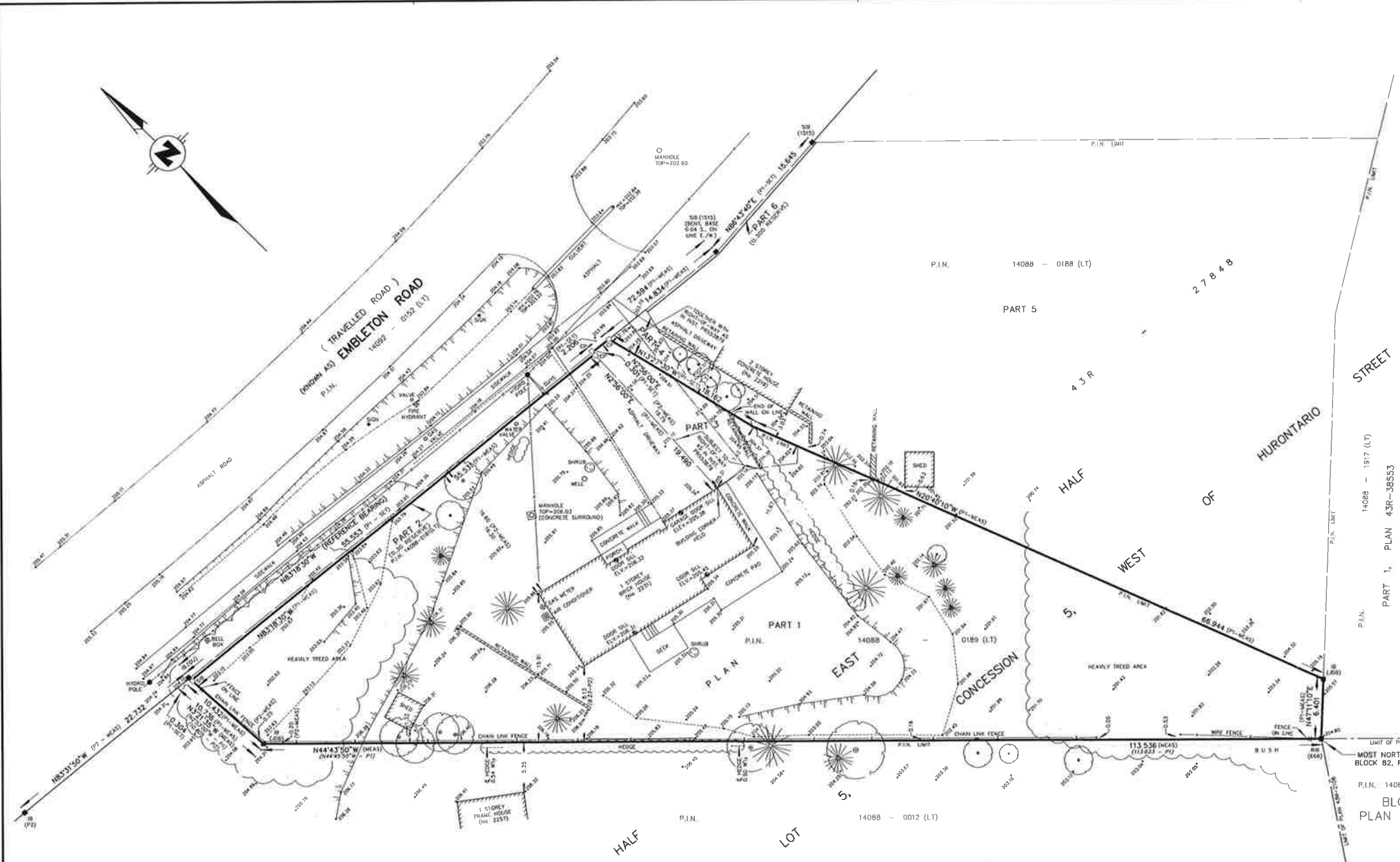
METRIC: DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

NOTES:
 1) BEARINGS SHOWN HEREON ARE ASTRONOMIC AND ARE REFERRED TO THE SOUTH LIMIT OF EMBLETON ROAD HAVING A BEARING OF N85°16'30"W ACCORDING TO A PLAN 43R-27848.

BENCH MARK:
 ELEVATIONS SHOWN ON THIS PLAN ARE RELATED TO GEODETIC DATUM AND ARE DERIVED FROM CITY OF BRAMPTON BENCH MARK No. 042200354 HAVING A PUBLISHED VALUE OF 205.880 METRES (CGVD2011).

LEGEND:
 □ DENOTES PLANTED MONUMENT
 ■ DENOTES FOUND MONUMENT
 SIB DENOTES STANDARD IRON BAR
 IB DENOTES IRON BAR
 RIB DENOTES ROUND IRON BAR
 CP DENOTES CONCRETE PIN
 MEAS DENOTES MEASURED
 JOB DENOTES J.D. BARNES LTD., O.L.S.'s
 666 DENOTES A DEATH, O.L.S.
 1515 DENOTES T. VAN LANKVELD, O.L.S.
 P1 DENOTES PLAN 43R-27848
 P2 DENOTES PLAN 43R-17960
 ○ DENOTES AERIAL HYDRO
 ● DENOTES DECIDUOUS TREE
 * DENOTES CONIFEROUS TREE

SURVEYOR'S CERTIFICATE
 I CERTIFY THAT:
 1) THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYORS ACT, THE SURVEYORS ACT, AND THE REGULATIONS MADE UNDER THEM
 2) THE SURVEY WAS COMPLETED ON THE 18th DAY OF MAY, 2022.
 DATE MAY 18, 2022
 ATHITHATHAN KANAGANAYAGAM
 ONTARIO LAND SURVEYOR



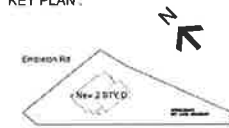
PART 2
 SURVEY REPORT
 1) EASEMENT/RIGHT-OF-WAYS:
 - SUBJECT TO A RIGHT-OF-WAY OVER PART 3, PLAN 43R-27848 AS IN INST. No. PR552879
 - TOGETHER WITH A RIGHT-OF-WAY OVER PART 4, PLAN 43R-27848 AS IN INST. No. PR552879.
 2) NOTE THE LOCATION OF FENCES AND RETAINING WALLS AS SHOWN ON THE PLAN.
 3) NOTE HYDRO WIRES CROSSING THE PROPERTY.

PREPARED FOR: LAND AND BUILDING EXPERTS.

ASSOCIATION OF ONTARIO LAND SURVEYORS PLAN SUBMISSION FORM V-24379 	15 Great Plains Street Brampton, Ontario L6R-1Z5 Phone: (647) 914-3361 Email: info@akmsurveying.com	 AK&M SURVEYING LTD.
	DATE: MAY 18, 2022 CHECKED BY: A.K. DRAWN BY: S.R.M. PRODUCT No.: 2021-32 PLAN LOCATION: D:\Block 41\242434\2022-32-SRP1.dwg	

2231 Embleton Rd,
Brampton ON,
Lot : part Lot 5
Concession 5 W.H.S

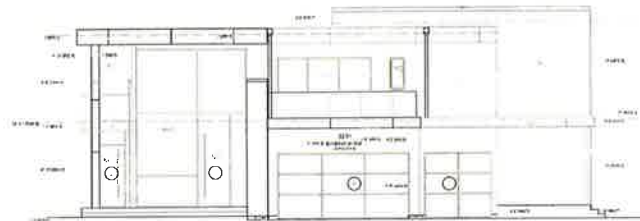
KEY PLAN :



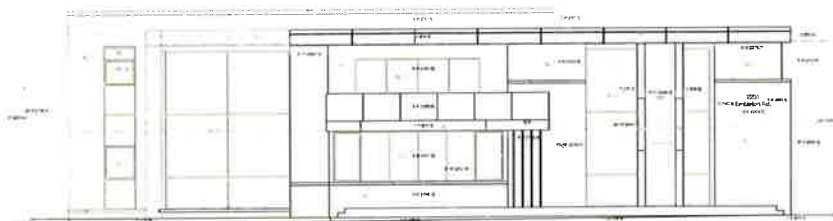
Stamp :

FINISHES SCHEDULE

Symbol	TYPE	Color
St	Stucco	Off white
Sl	Stone Sill	Off white
S	Stone cladding	Off white
SM	Sheet metal	Black
AL	Aluminum composite material	Black
AP	Perforated Aluminum panel	light Grey
NC	Northwood panel cladding	light Grey



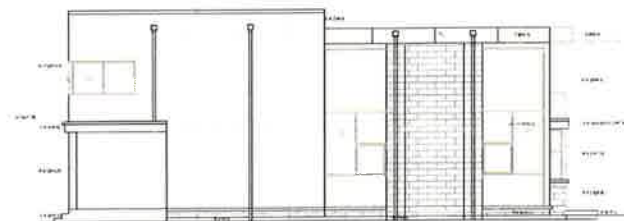
Main West elevation



North elevation



South elevation



East elevation



North -West (main) View



South -East View

Notes :
All measurements are in inches/feet (mm)

REV	DESCRIPTION	DATE
2	Control review Comments added	16-11-2022
1	Issued Arch control review	31-10-2022

OWNER :
Bushra Amir

PROJECT TITLE :
2 Story Custom Home
2231 Embleton Rd,
Brampton ON

Phive dimensions Inc.

Architecture & Interior Design
Tel: 905-232-1450

Email: nader@phivedimensions.com

PHIVE CONSULTANT

CONTRACTOR

DRAWING NO

DRAWING TITLE :
Elevations &
Perspectives

SCALE : 1/100
DATE : 31-10-2022
CHECKED BY : N
DRAWN BY :

City of Brampton
Planning & Development Department
**ARCHITECTURAL CONTROL
APPROVAL**
Marina Zhao
2023.01.10



**Credit Valley
Conservation**

inspired by nature

Credit Valley Conservation Authority

Date of Issuance: October 21, 2022

PERMIT 22/288

IN ACCORDANCE WITH:

ONTARIO REGULATION 160/06, PURSUANT TO SECTION 28 OF THE CONSERVATION AUTHORITIES ACT (R.S.O. 1990 Chapter C.27).

PERMISSION HAS BEEN GRANTED TO:

Owner Name: Bushra Amir **Tel:** 647 281-2926

Address: 11 Vermosa Dr, Brampton ON L6Y 2Y2

Agent Name: Phive Dimensions Inc. (Nader Akel) **Tel:** 905 232-1460

Address: 274 Hillside Dr, Mississauga ON L5M 1G5

Property Location: 2231 Embleton Road
Part Lot 5, Concession 5 WHS
City of Brampton

This permit is issued for the above noted property for the purpose of:

Development in the Regulated Area for the purpose of constructing a new home, swimming pool, septic system and associated grading.

This permit is valid for 2 (two) years and is subject to the following conditions:

Expiry Date: October 21, 2024

CONDITIONS:

1. That the work be carried out in accordance with the following plans which are marked: **22/288**
 - **Site Plan prepared by Land & Building Experts last revised October 11, 2022.**
2. That permission granted herein shall lapse on the above noted expiry date, unless the work for which the permission has been given has been completed. If the work has not been completed by the aforementioned date, this permit is invalid and all on-going and future work must cease and a new application be submitted to the Credit Valley Conservation Authority. New applications will be assessed in accordance with information, policies and practices in place as of the date of receipt of the new submission. What shall be deemed as "complete" is within the sole discretion of the Credit Valley Conservation Authority.
3. That the Credit Valley Conservation Authority be notified 48 hours prior to the commencement of any works and be notified of the completion of the project.
4. That appropriate erosion and sediment control measures must be installed prior to construction and maintained until all disturbed areas have been stabilized.
5. That all disturbed areas be stabilized and restored to existing conditions or better immediately upon completion of the works.

INSPECTIONS MAY BE CARRIED OUT BY CVC STAFF MEMBERS TO ENSURE THAT THE WORK IS UNDERTAKEN AND COMPLETED ACCORDING TO THE APPROVED PLANS.

Be advised that the Credit Valley Conservation Authority may, at any time, withdraw this permission, if, in the opinion of the Authority, the conditions of the permit are not being complied with. This approval does not exempt the property owner/applicant/agent from the provisions of any other Federal, Provincial or Municipal statutes, regulations or by-laws, or any rights under common law.


Regulations Officer

Record Summary**CH-2022-0016****Type:** Custom Home**Subtype:** N/A**Status:** Approved**Planner:****Proposal:** Demolishing the existing 1 story house (bungalow) and shed and build new 2 story contemporary house with a swimming pool

Application Location2231 EMBLETON RD
L6Y0G2

